

**THE CITY OF GRETNA  
HISTORIC DISTRICT COMMISSION  
MEETING**

**740 2nd Street, Gretna, LA 70053  
Council Chambers - 2nd Floor  
January 3, 2017 - 4:00 PM**

**AGENDA**

**AGENDA ITEM(S):**

**1. Call to Order/Roll Call**

**2. CONSENT AGENDA for Certificate of Appropriateness:**

A. 421 10th Street

**For: Demolition of damaged carport by fallen tree.- Craig J. Leonard, Applicant (Dist. 2)**

**3. Properties with current request for Certificate of Appropriateness:**

A. 624 Monroe Street

**For: Carport proposal. - Mary Kay White, Applicant (District 1)**

B. 119-121 Newton Street

**For: Driveway proposal. - Nick Hebert, Applicant (District 2)**

C. 415 Monroe Street

**For: Installation of fence. -Leslie St. Julien, Applicant (District 1)**

D. 411 Newton Street

**For: Railings.- Kelly Steele, Applicant (District 2)**

E. 1126 6th Street

**For: New construction, single-family dwelling. -Vincent Baldassaro Jr., Applicant (Dist. 2)**

F. 1108 Jefferson Street

**For: New construction, single-family dwelling. -Vincent Baldassaro Jr., Applicant (Dist. 1)**

G. 1112 Jefferson Street

**For: New construction, single family dwelling. -Vincent Baldassaro Jr., Applicant (Dist. 1)**

H. 1020 Jefferson Street

**For: New construction, single-family dwelling. -Vincent Baldassaro Jr., Applicant (Dist.1)**

**4. Adjourn**



# Historic District Commission

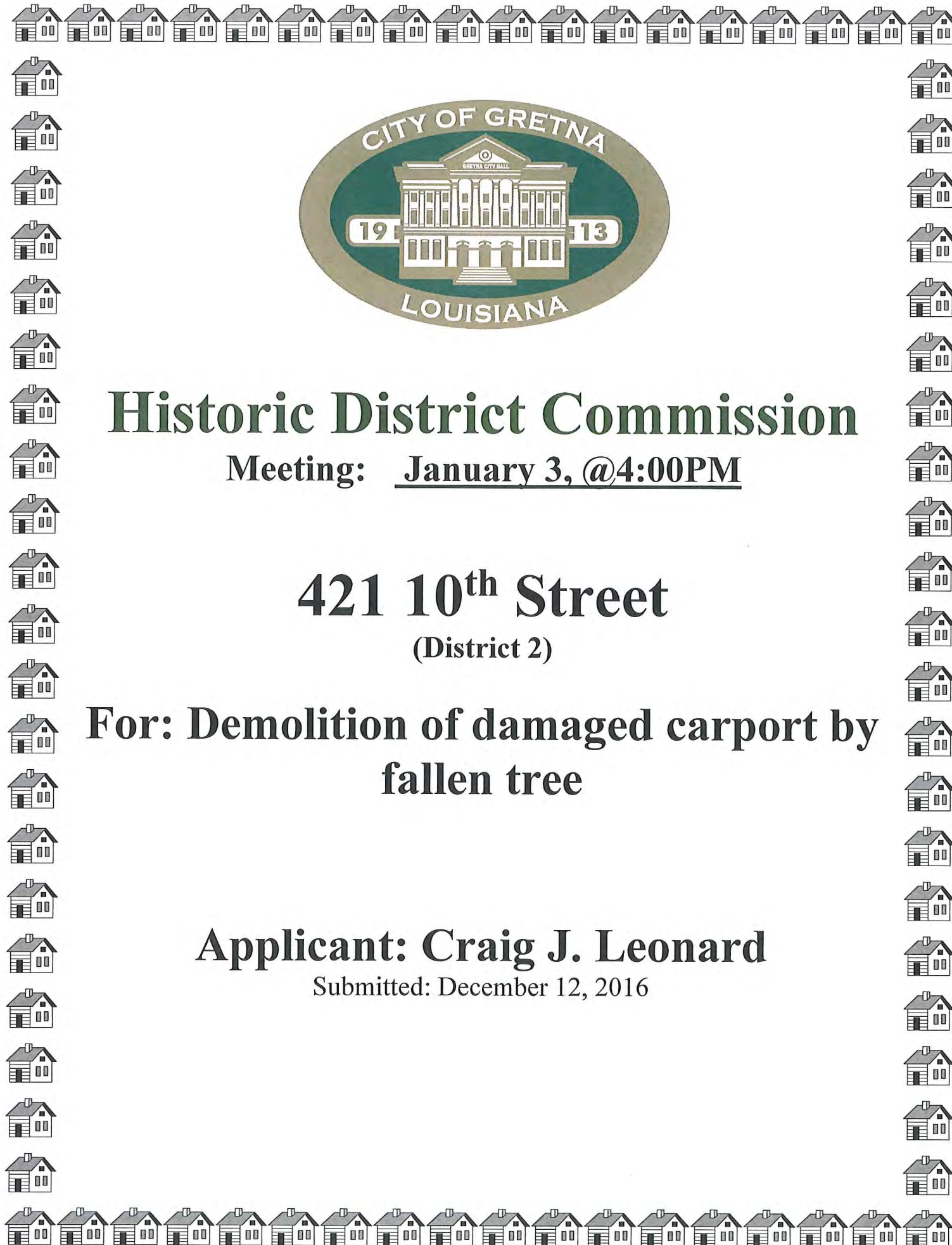
Meeting: January 3, @4:00PM

**421 10<sup>th</sup> Street**  
(District 2)

**For: Demolition of damaged carport by  
fallen tree**

**Applicant: Craig J. Leonard**

Submitted: December 12, 2016





Permit #2016-1211

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 421 10TH ST.

Renovation:

New Construction:

Age of Structure: 40 YEARS PLUS

Demolition: TEAR DOWN OF CARPORT DAMAGE BY TREE

Building Type:

Creole Cottage  
Shotgun  
Bungalow  
Other

Building Style:

Greek Revival  
Italianate  
New Orleans Bracketed  
Eastlake  
Colonial Revival  
Other

Exterior materials proposed:

Roof Soffit  
Fascia Siding  
Masonry Porches  
Balconies Handrails

Type of exterior lighting fixtures:  
Style of windows:  
Type of exterior doors:  
Describe any ornamental woodwork:



Elevations:

Front Space:\_\_\_\_\_ft.      Side Space:\_\_\_\_\_ft.

Rear Space:\_\_\_\_\_ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Craig J. Leonard Date: 12/12/16

Applicant's Name: CRAIG J. LEONARD

Address: 15549 HACKBERRY CT. HAMMOND, LA,

Phone No: ( 985 ) 340-5900      Cell No: ( 504 ) 473-3822 70403

For Office Use Only:

Date of Application: \_\_\_\_\_

Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_      Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No \_\_\_\_\_

Historic District Commission meeting date: \_\_\_\_\_

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau  
Councilman-at-Large  
Milton L. Crosby  
District One  
Michael Hinyub  
District Two  
Mark K. Miller  
District Three  
Jackie J. Berthelot  
District Four

## Departments

### Building and Regulatory

Danika Gorrondona  
Planning and Zoning  
Azalea M. Roussell

### City Clerk

Norma J. Cruz

### Finance & Tax Departments

Raylyn C. Stevens

### Human Resources

David Neeb

### Public Utilities

Michael J. Baudoin

### Public Works

Daniel Lasyone

### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

I, Craig Leonard the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on 1-3-17 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Catherine T. Leonard  
Signature of Applicant

Craig Leonard  
NAME OF APPLICANT (PLEASE PRINT)

15349 Hackberry Ct. Hammond, LA. 70403  
Applicant's address

421 10<sup>th</sup> Street Gretna, LA  
Actual address of the property for review

Date: 12/22/16









































# Historic District Commission

Meeting: January 3, @4:00PM

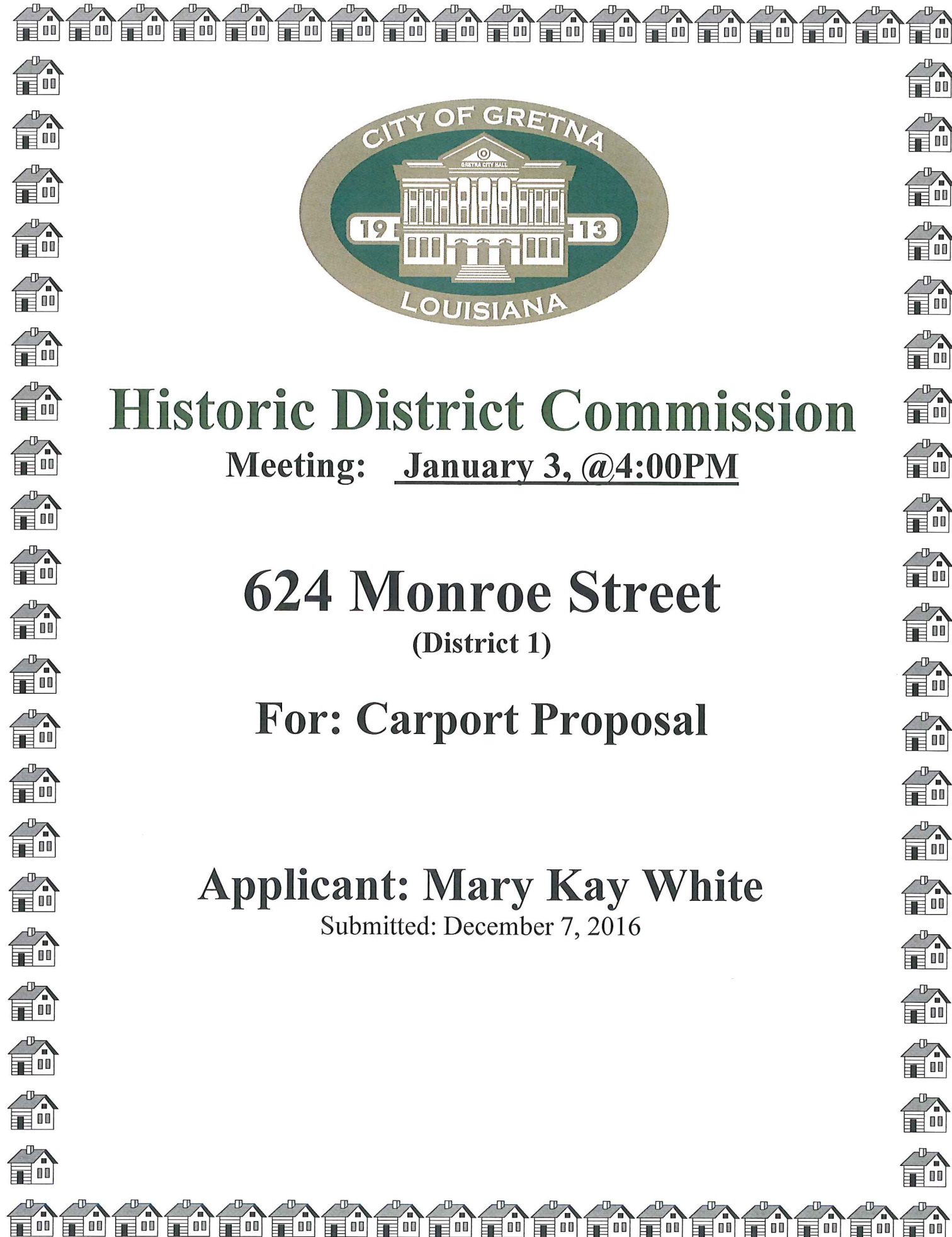
**624 Monroe Street**

(District 1)

**For: Carport Proposal**

**Applicant: Mary Kay White**

Submitted: December 7, 2016





Historic District Application for Certificate of Appropriateness  
Governed by Ordinance No. 4653 Adopted 2-11-15

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The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 624 Monroe St.

Renovation: \_\_\_\_\_

New Construction: Adding a Porch cover over driveway

Demolition: \_\_\_\_\_

Age of Structure: 3 years old

Building Type:

Building Style:

Creole Cottage \_\_\_\_\_

Greek Revival \_\_\_\_\_

Shotgun \_\_\_\_\_

Italianate \_\_\_\_\_

Bungalow 3 years old

New Orleans Bracketed \_\_\_\_\_

Other \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other ☒ \_\_\_\_\_

Exterior materials proposed:

Roof \_\_\_\_\_

Soffit \_\_\_\_\_

Fascia \_\_\_\_\_

Siding \_\_\_\_\_

Masonry \_\_\_\_\_

Porches \_\_\_\_\_

Balconies \_\_\_\_\_

Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_



Elevations:

Front Space: \_\_\_\_\_ ft.      Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Mary Kay White      Date: 1/4/16

Applicant's Name: Mary Kay White

Address: 624 Monroe St.

Phone No.: ( cell ) (985) 237 265      Work Cell No.: ( work ) 504 891 0847

For Office Use Only:

Date of Application: 12.7.2016

Substantive Change: Yes \_\_\_\_\_ No ☒

Inventory Number: N/A

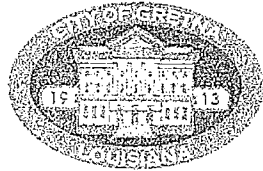
Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ☒

Historic District Commission meeting date: 1.3.2016

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





## City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

*Azalea Russo*  
*from City Zoning Dept.*

**Mayor**  
Belinda Cambre Constant

**Council Members**  
Wayne A. Rau  
**Councilman-at-Large**  
Milton L. Crosby  
**District One**  
Michael Hinyub  
**District Two**  
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Raylyn C. Stevens

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David Neeb

**Public Utilities**  
Michael J. Boudoin

**Public Works**  
Daniel Lasyone

**Parks and Recreation**  
Amie H. Hebert

**Information Technology**  
Michael Wesley

I, Mary Kay White the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on 11/5/16 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
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Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Mary Kay White  
Signature of Applicant

Mary Kay White  
NAME OF APPLICANT (PLEASE PRINT)

624 Monroe St.  
Applicant's address

624 Monroe St.  
Actual address of the property for review

Date:

11/4/16



PROPOSAL

SOUTHERN HOME IMPROVEMENT CENTER, INC.

58431 PEARL ACRES RD., SLIDELL, LA 70461 - 11754 S. HARRELL'S FERRY RD., SUITE C, BATON ROUGE, LA 70816  
504-833-1835 985-643-6611 985-626-3755 225-766-4244 228-467-7484 800-650-2032  
Orleans/ Jefferson Slidell/ Lacombe Mandeville/ Covington Baton Rouge Gulf Coast Toll Free

Job Name MARY G. White Date 9-22-16 Architect GEORGE Alonzo  
Job Location 624 MONROE ST. Home Phone \_\_\_\_\_ Cell 985-237-2065  
GRENA 70053 Work Phone \_\_\_\_\_

We hereby submit specifications and estimates for:

FURNISH AND INSTALL ONE SOUTHERN  
COMFORT SHADEMAKER HEAVY-DUTY STRUCTURAL  
FLAT PAN ALUMINUM CARPORT COVER. THE SIZE  
OF THE COVER WILL MEASURE APPROXIMATELY  
13 FT. X 28 FT. AND WILL BE CONSTRUCTED WITH  
A FULL GUTTER SYSTEM AND VALENCES. FLASH  
ENTIRE COVER TO EXISTING HOUSE ROOF  
WITH ALUMINUM FLASHING.  
PRICE INCLUDES TAX, MATERIAL AND  
LABOR.

COLOR: IVORY

We propose hereby to furnish materials and labor – complete in accordance with above specifications, for the sum of:

THREE THOUSAND SIX HUNDRED DOLLARS + dollars (\$ 3600<sup>00</sup> )

Payment to be made as follows: BALANCE UPON COMPLETION

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to the standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. A finance charge of 1½% per month (18% annual percentage rate) will be charged on all unpaid contracts 30 days after completion. Should it be necessary that an Attorney at Law or a collection agency be employed to collect any unpaid balance, attorney and collection fees of 25% of the balance will be charged. Southern Home Improvement is not responsible for any damage to underground pipes, wires, shrubbery, gardens or landscaping. This contract is conditioned upon Contractor performing testing for Lead-Based Paint or alternatively owner's execution of Waiver of Testing for Lead-Based Paint and EPA Work Practices in homes, schools and child care facilities built before 1978. Should testing for Lead-Based Paint reveal the presence of lead equal to or in excess of that allowed by law, this contract is null and void and subject to renegotiation. The buyer has the legal right to cancel this transaction prior to midnight of the third business day of this transaction. Cancellation must be sent to Southern Home Improvement in writing postmarked no later than midnight of the third business day after the date buyer signed.

Authorized  
Signature: \_\_\_\_\_  
Acceptance of Proposal – The above prices,  
specifications and conditions are satisfactory  
and are hereby accepted. You are authorized  
to do the work as specified. Payment will be  
made as outlined above.

Note: This proposal may be withdrawn by us if  
not accepted within: 10 Days  
Owner Signature: Mary G. White Date of Acceptance 9/22/16  
Owner Signature: \_\_\_\_\_ Date of Acceptance \_\_\_\_\_

Excellent Reputation \* Member of Better Business Bureau (BBB) \* Contractors License LA-#81801 / MS #R07326  
Visit our Website: [www.southernhomeimprovement.com](http://www.southernhomeimprovement.com)





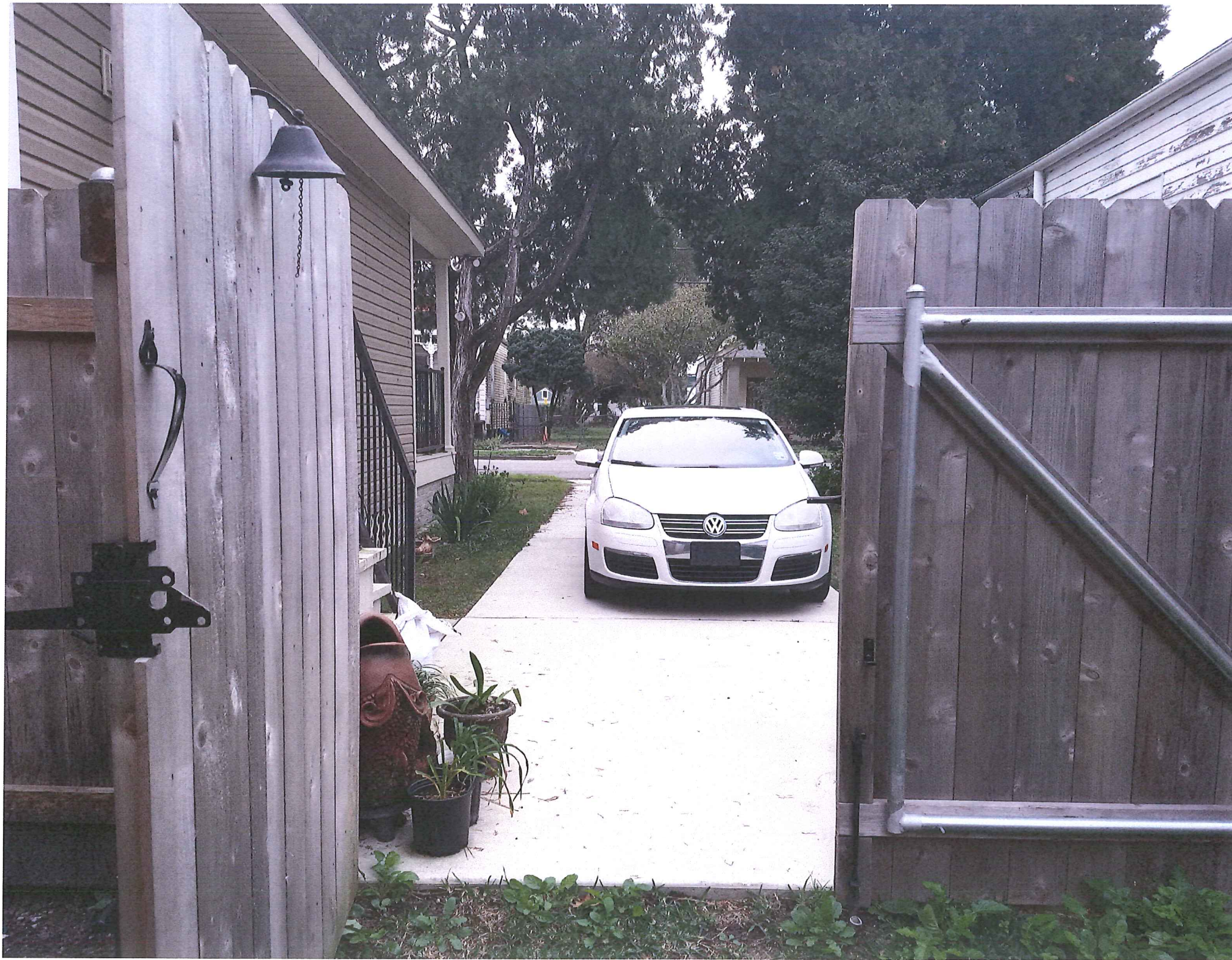
















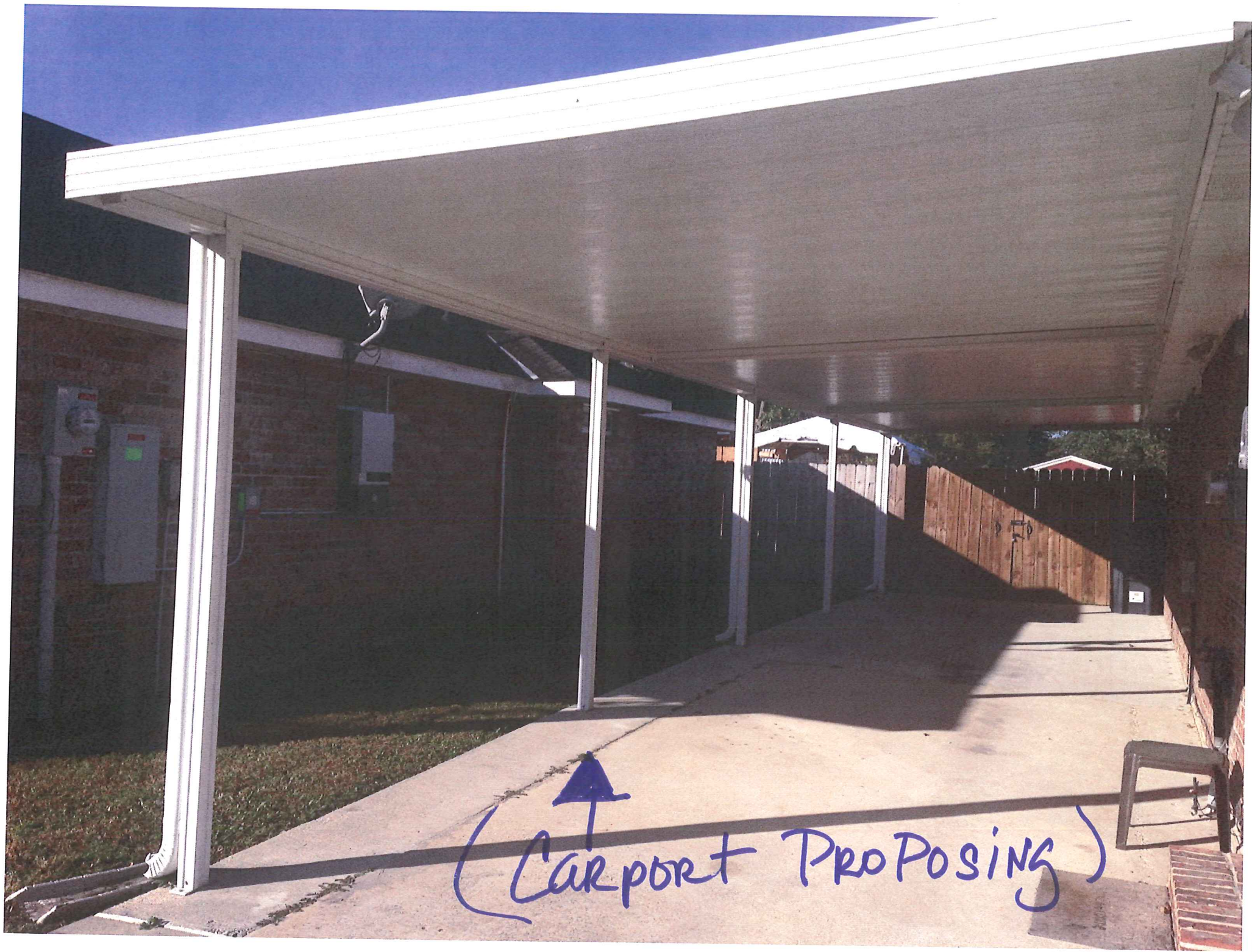












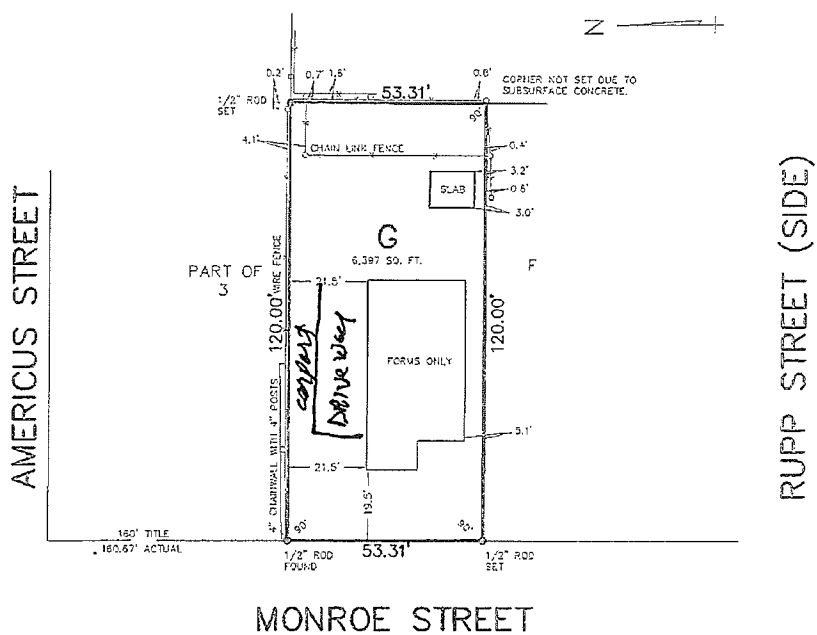


SQUARE 99  
McDONOGHVILLE, CITY OF GRETNA  
JEFFERSON PARISH, LA.

THE SERVICES AND RESTRICTIONS SHOWN ON THIS SURVEY  
ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION.  
PERFORMED US AND THERE IS NO REPRESENTATION THAT ALL  
APPLICABLE SERVICES AND RESTRICTIONS ARE SHOWN HEREON.  
THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD  
SEARCH IN COMPLYING THE DATA FOR THIS SURVEY.

REFERENCE: SURVEY BY ALVIN E. NOTARD DATED  
JANUARY 5, 1973.

FRANKLIN STREET (SIDE)



REVISED TO SHOW FORMS, DECEMBER 2, 2014

SEPTEMBER 16, 2014

SURVEYED IN ACCORDANCE WITH THE LOUISIANA  
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A  
CLASS C SURVEY, MADE AT THE REQUEST OF  
ERIC MANUEL CONSTRUCTION, LLC.

DUFRENE SURVEYING  
& ENGINEERING INC.

1624 MANHATTAN BOULEVARD, HARVEY, LA 70055  
504-358-6350 FAX 504-358-6354 FAX  
dufrene@cscom.net

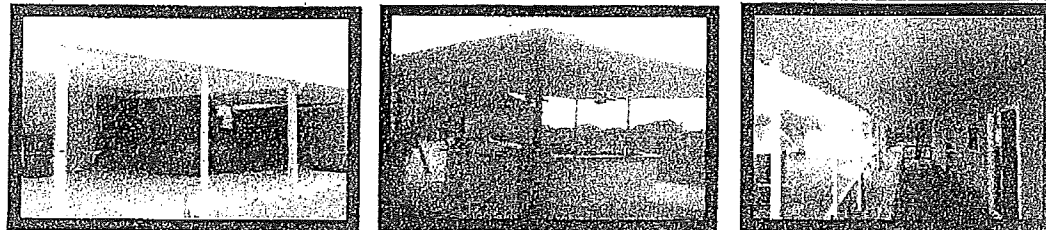
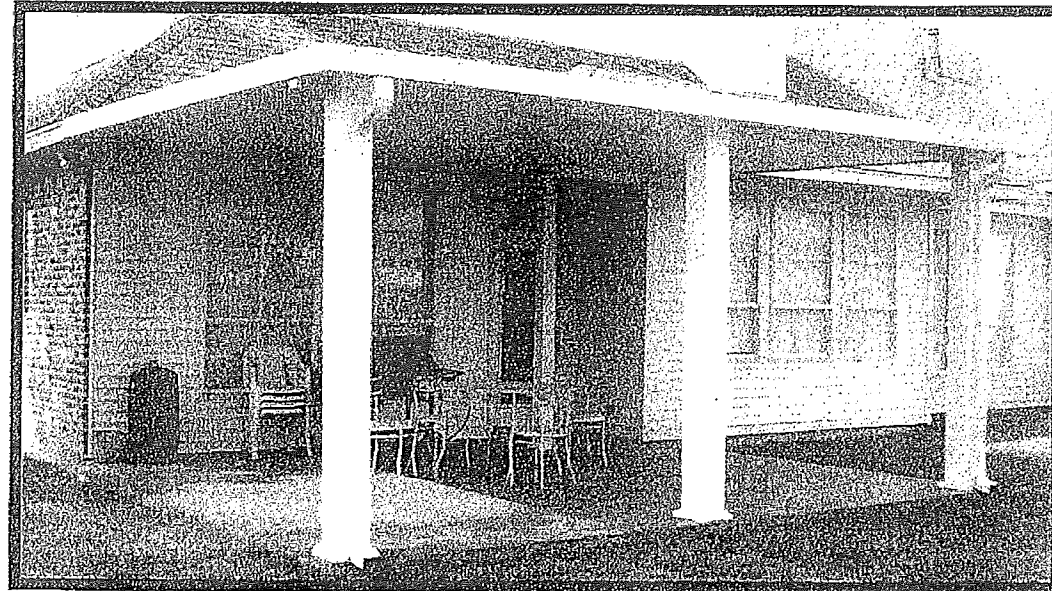
JOB# 14-000776  
1" = 30'

David A. Brent









**Southern Insulator** - 3" insulated roof designed for maximum strength, insulation from the heat and condensation resistance. Panels are put through extensive testing and can be designed to withstand wind loads of over 130 mph.

**Southern Shademaker** - This economical cover provides shade from the sun and shelter from the rain without sacrificing strength or quality. From the heavy-duty gutter and side valence to the engineered flat pans, this cover is built to last.

**Free Estimates!**

**Orleans/Jefferson**  
(504) 833-1835

**Slidell/Picayune**  
(985) 643-6011

**Mandeville/Covington**  
(985) 626-3755

**Gulf Coast**  
(228) 467-7484

**Baton Rouge**  
(225) 766-4244

**Toll Free**  
(800) 650-2032







# Historic District Commission

Meeting: January 3, @4:00PM

**119/121 Newton Street**  
(District 2)

**For: Driveway proposal**

**Applicant: Nick Hebert**

Submitted: December 15, 2016





## Historic District Application for Certificate of Appropriateness

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In addition to the information on the cover sheet, please provide the following:

Re: Address 119 + 121 Newton Street

Renovation: \_\_\_\_\_

New Construction: Driveway

Demolition: \_\_\_\_\_

Age of Structure: 100 + yrs

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun ✓ (double shotgun, Queen Anne Revival, 3)

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_

Soffit \_\_\_\_\_

Fascia \_\_\_\_\_

Siding \_\_\_\_\_

Masonry \_\_\_\_\_

Porches \_\_\_\_\_

Balconies \_\_\_\_\_

Handrails \_\_\_\_\_

\* driveway  
slatwork  
concrete

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_



Elevations:

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

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Applicant's Signature: Nick Hebert Date: 12/15/16

Applicant's Name: Nick Hebert

Address: \_\_\_\_\_

Phone No: (504) 452-0877 Cell No: ( ) \_\_\_\_\_

**For Office Use Only:**

Date of Application: 12/27/2014

Substantive Change: Yes \_\_\_\_\_ No ✓ Inventory Number: 362

Contributing Element to Gretna National Register Historic District: Yes ✓ No \_\_\_\_\_

Historic District Commission meeting date: 1/3/2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## **Mayor**

Belinda Cambre Constant

## **Council Members**

Wayne A. Rau  
*Councilman-at-Large*  
Milton L. Crosby  
*District One*  
Michael Hinyub  
*District Two*  
Mark K. Miller  
*District Three*  
Jackie J. Berthelot  
*District Four*

## **Departments**

**Building and Regulatory**  
Danika Gorronzona  
**Planning and Zoning**  
Azalea M. Roussell

**City Clerk**  
Norma J. Cruz

**Finance & Tax Departments**  
Raylyn C. Stevens

**Human Resources**  
David Neeb

**Public Utilities**  
Michael J. Baudoin

**Public Works**  
Daniel Lasyone

**Parks and Recreation**  
Amie H. Hebert

**Information Technology**  
Michael Wesley

I, Nick Hebert the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on \_\_\_\_\_ 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Nick Hebert  
Signature of Applicant

Nick Hebert  
NAME OF APPLICANT (PLEASE PRINT)

119 Newton street  
Applicant's address

119 Newton street  
Actual address of the property for review

Date: 12/22/16



STREET NAME REAR

~~Franklin~~

PROPERTY LINE

← 50' →

Fence ↑

(pre-existing)

↑ 60' ↓

Back yard

(pro-posing)

Driveway

↑ 65' ↓

↑ 80' ↓

House

← 30' →

← 13 1/2' →

PROPERTY LINE

FRONT STREET NAME

~~Hancock St.~~

~~North Street~~

SIDE STREET NAME  
Rupp St.  
PROPERTY LINE

~~Americus~~  
SIDE STREET NAME  
PROPERTY LINE













# Historic District Commission

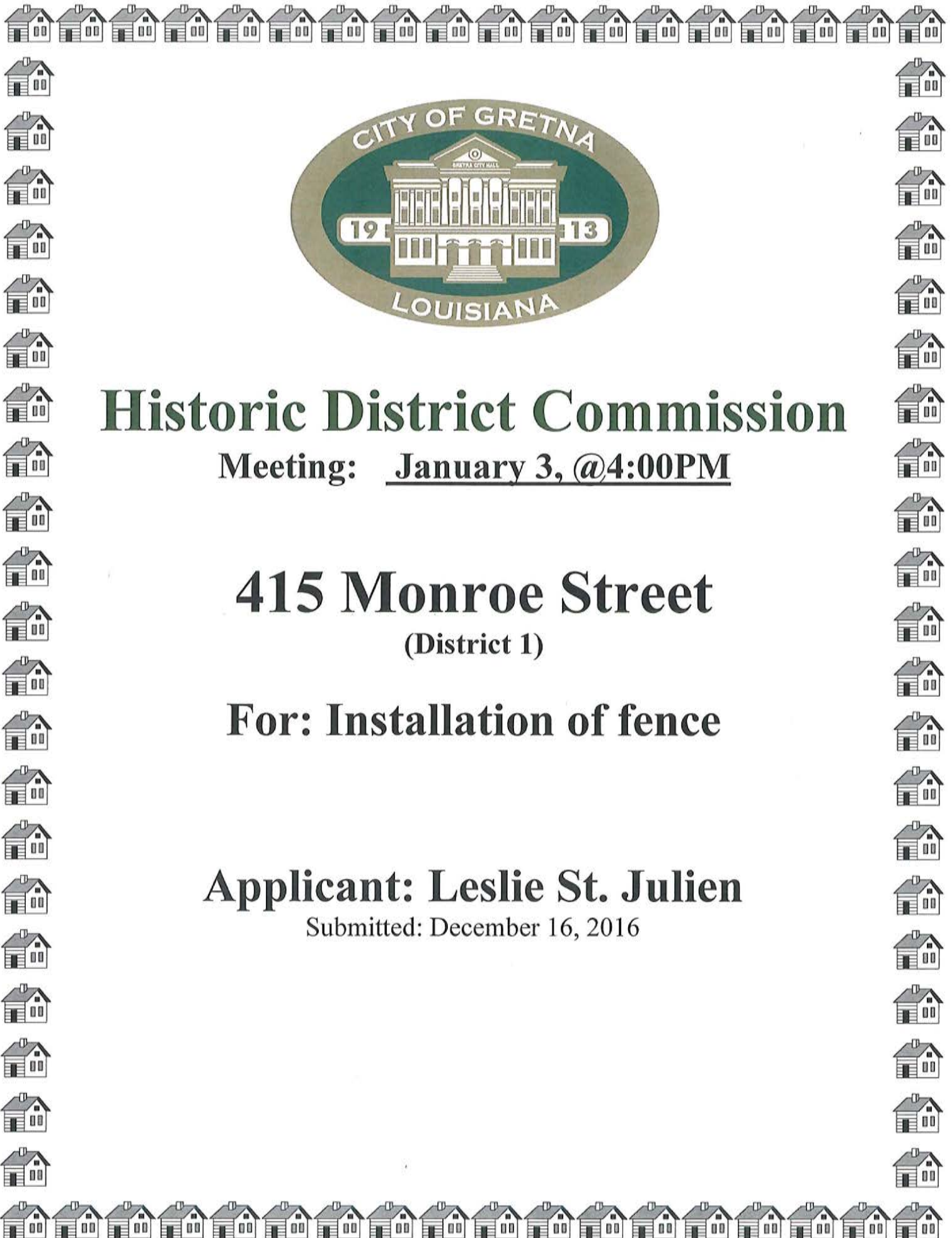
Meeting: January 3, @4:00PM

**415 Monroe Street**  
(District 1)

**For: Installation of fence**

**Applicant: Leslie St. Julien**

Submitted: December 16, 2016





**Historic District Application for Certificate of Appropriateness**

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit #  
2016-1210

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.



Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 415 MONROE ST., GRETN LA 70053

Renovation: N/A

New Construction: BACK YARD Set-Back Fence, 6' Wooden

Demolition: \_\_\_\_\_

Age of Structure: N/A

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow ✓

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other CRAFTSMAN

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: 6' Cedar/Redwood PRIVACY Fence



Elevations:

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

survey & pictures ✓

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Leslie St Julien Date: 12/16/2016

Applicant's Name: LESLIE ST. JULIEN

Address: 415 MONROE ST. GRETNA LA 70053

Phone No: ( ) \_\_\_\_\_

Cell No: (504) 715 8951

**For Office Use Only:**

Date of Application: \_\_\_\_\_

Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_

Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No \_\_\_\_\_

Historic District Commission meeting date: \_\_\_\_\_

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





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District Four

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## Parks and Recreation

Amie H. Hebert

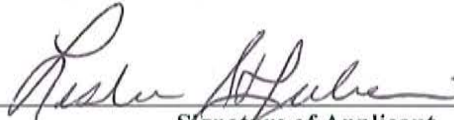
## Information Technology

Michael Wesley

I, LESLIE ST. JULIEN the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on Jan. 3rd 2017 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

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Signature of Applicant

LESLIE ST. JULIEN

NAME OF APPLICANT (PLEASE PRINT)

415 MONROE ST. GRETTA, LA 70053

Applicant's address

SAME AS ABOVE

Actual address of the property for review

Date: 12/16/2016





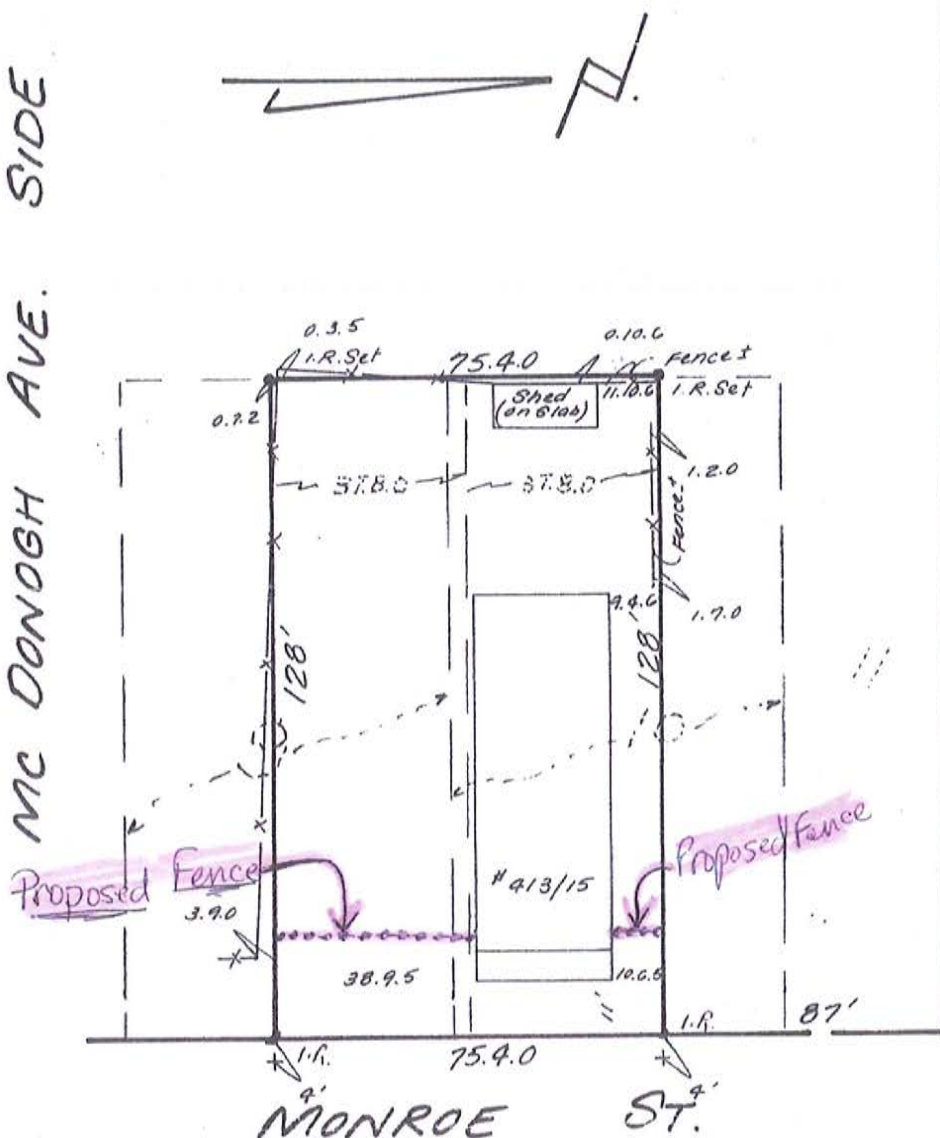
1000 N. 10th St.



STATE OF LOUISIANA  
JAMES H. COUTURIE  
REG. No. 1060  
REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

MC DONOUGH AVE. SIDE

COLUMBUS ST.





Permit Application

MyGovernmentOnline.Org Permit Application #18628

Leslie St. Julien

Property Address: 415 Monroe St., Gretna, LA 70053

Dear Sir/Madam:

We have a problem that we are attempting to solve. We have three large dogs contained by a four foot chain link fence along the sidewalk in front of our home. They love to run, bark and jump along the 4' fence when people pass on the sidewalk. They jump shoulders above this existing fence. While they have not yet jumped the fence, it is obvious that they are able. We want to protect ourselves and our pets as well from the consequences of escape or injury to others.

We would like to prevent the dogs from accessing the front fence all together by building the proposed 34' and 10' backyard wooden privacy fence lengths farther inside our yard on both sides of the home separating the front yard from the backyard, approximately 24' from the front fence. Pictures of three fence designs are uploaded with the online application. Note that it is slightly farther back into our yard than the front face of the home in order to avoid existing electrical boxes and gas meters placed on the sides of the home.

Thank you for your prompt consideration.

Sincerely,

Leslie St. Julien





First Choice





Second Choice





Third Choice





# Historic District Commission

Meeting: January 3, @4:00PM

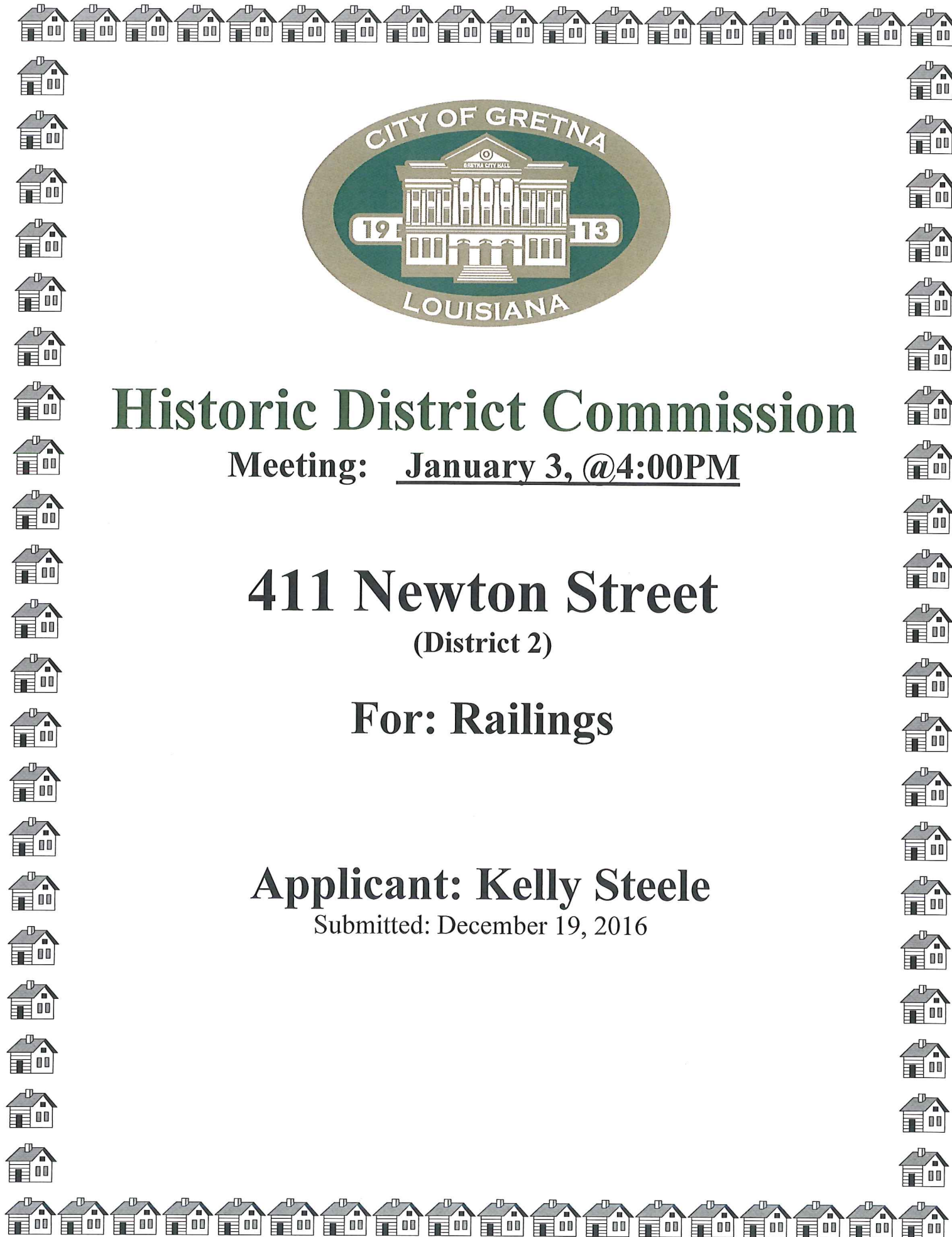
## 411 Newton Street

(District 2)

### For: Railings

### Applicant: Kelly Steele

Submitted: December 19, 2016





## Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

- ☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
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Substantive changes require review by the Historic District Commission

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In addition to the information on the cover sheet, please provide the following:

Re: Address 411 NEWTON ST GRETTA

Renovation: of Railings

New Construction:

Demolition:

Age of Structure:

Building Type:

Creole Cottage

Shotgun

Bungalow

Other

Building Style:

Greek Revival

Italianate

New Orleans Bracketed

Eastlake

Colonial Revival

Other

Exterior materials proposed:

Roof

Soffit

Fascia

Siding

Masonry

Porches

Balconies

Handrails (Metal)

Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork:



Elevations:

Front Space:\_\_\_\_\_ft.      Side Space:\_\_\_\_\_ft.  
Rear Space:\_\_\_\_\_ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Mona Steele      Date: 12-19-16  
Applicant's Name: MONA STEELE  
Address: 411-NEWTON ST GRETN  
Phone No: (504) 909-4913-KELLY      Cell No: ( )

For Office Use Only:

Date of Application: 12.19.16  
Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_      Inventory Number: [REDACTED]  
Contributing Element to Gretna National Register Historic District: Yes ✓ No \_\_\_\_\_  
Historic District Commission meeting date: 1.3.16  
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor  
Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





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### Public Works

Daniel Lasyone

### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

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Building and Zoning Code requirements.

Mona Steele

Signature of Applicant

MONA STEELE KELLY STEELE  
NAME OF APPLICANT (PLEASE PRINT)

411 NEWTON ST

Applicant's address

Actual address of the property for review

Date: 12-19-16













# Historic District Commission

Meeting: January 3, @4:00PM

**1126 6th Street**

(District 2)

**For: New construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: December 27, 2016

Set to Preliminary conference







# Historic District Commission

Meeting: December 5, 2016 @4:00PM

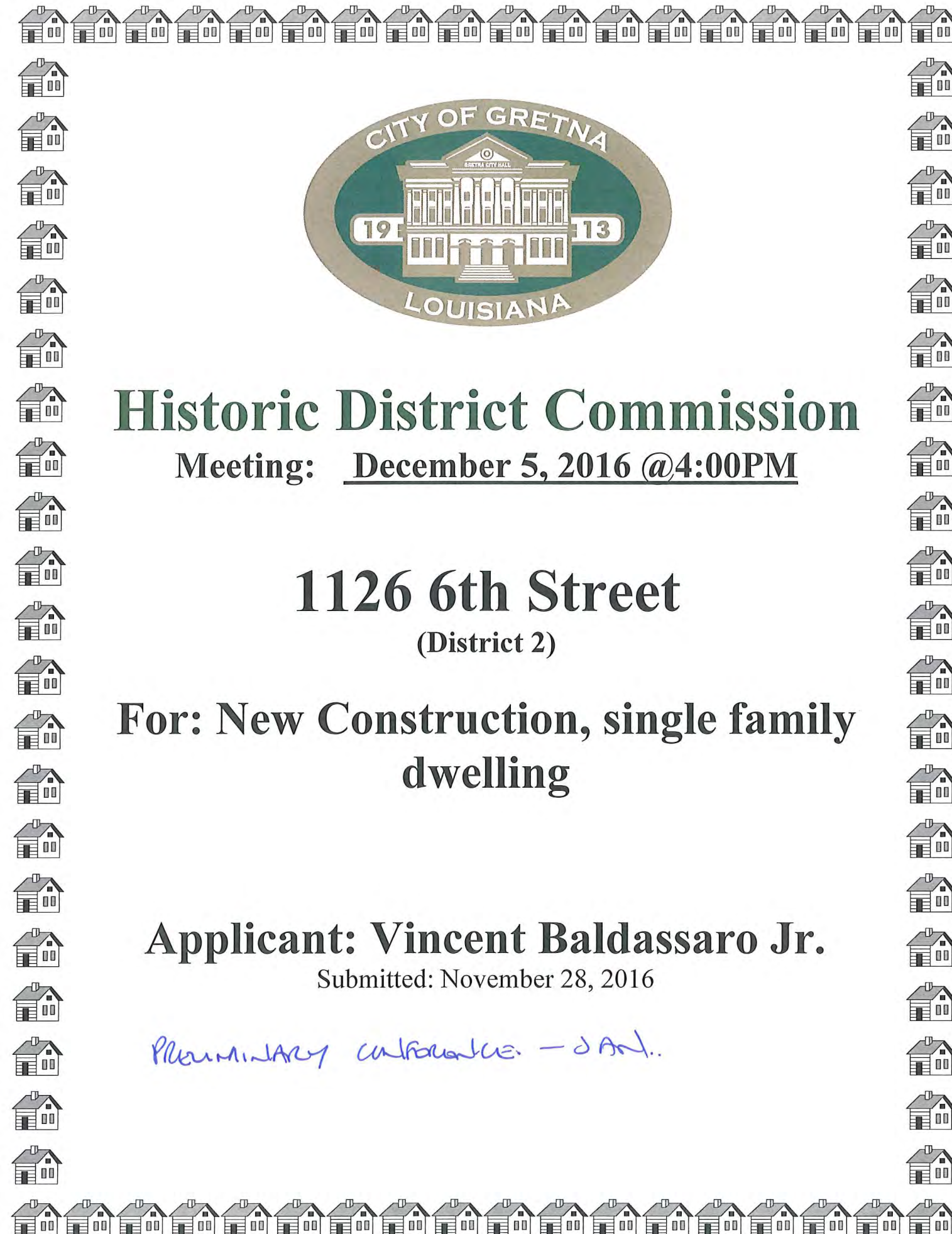
**1126 6th Street**  
(District 2)

**For: New Construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: November 28, 2016

*Preliminary conference - 12/1/16*





Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address 1128 6th Street

Renovation: New Construction: Demolition:

Age of Structure:

Building Type:

Creole Cottage Shotgun Bungalow Other

Building Style:

Greek Revival Italianate New Orleans Bracketed Eastlake Colonial Revival Other

Exterior materials proposed:

Roof Soffit Fascia Siding Masonry Porches Balconies Handrails

Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork:



Elevations:

Front Space:\_\_\_\_\_ft.      Side Space:\_\_\_\_\_ft.  
Rear Space:\_\_\_\_\_ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Vincent Balassano      Date: 11/27/16  
Applicant's Name: Leslie Homes Inc  
Address: 444 Ave H MARGERO  
Phone No:( ) \_\_\_\_\_      Cell No: ( <sup>504</sup> ) 628 5260

For Office Use Only:

Date of Application: 11/27/2016  
Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_      Inventory Number: \_\_\_\_\_  
Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No \_\_\_\_\_  
Historic District Commission meeting date: 12/5/2016  
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor  
Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





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### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

I, Vincent Baldassaro Jr the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on 12/5/16 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

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Appropriateness", issued by the Historic District Commission, does not  
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while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Vincent Baldassaro Jr  
Signature of Applicant

LESLIE HOMES INC VINCENT BALDASSARO JR  
NAME OF APPLICANT (PLEASE PRINT)

444 Ave H, MARIZERS LA 70072  
Applicant's address

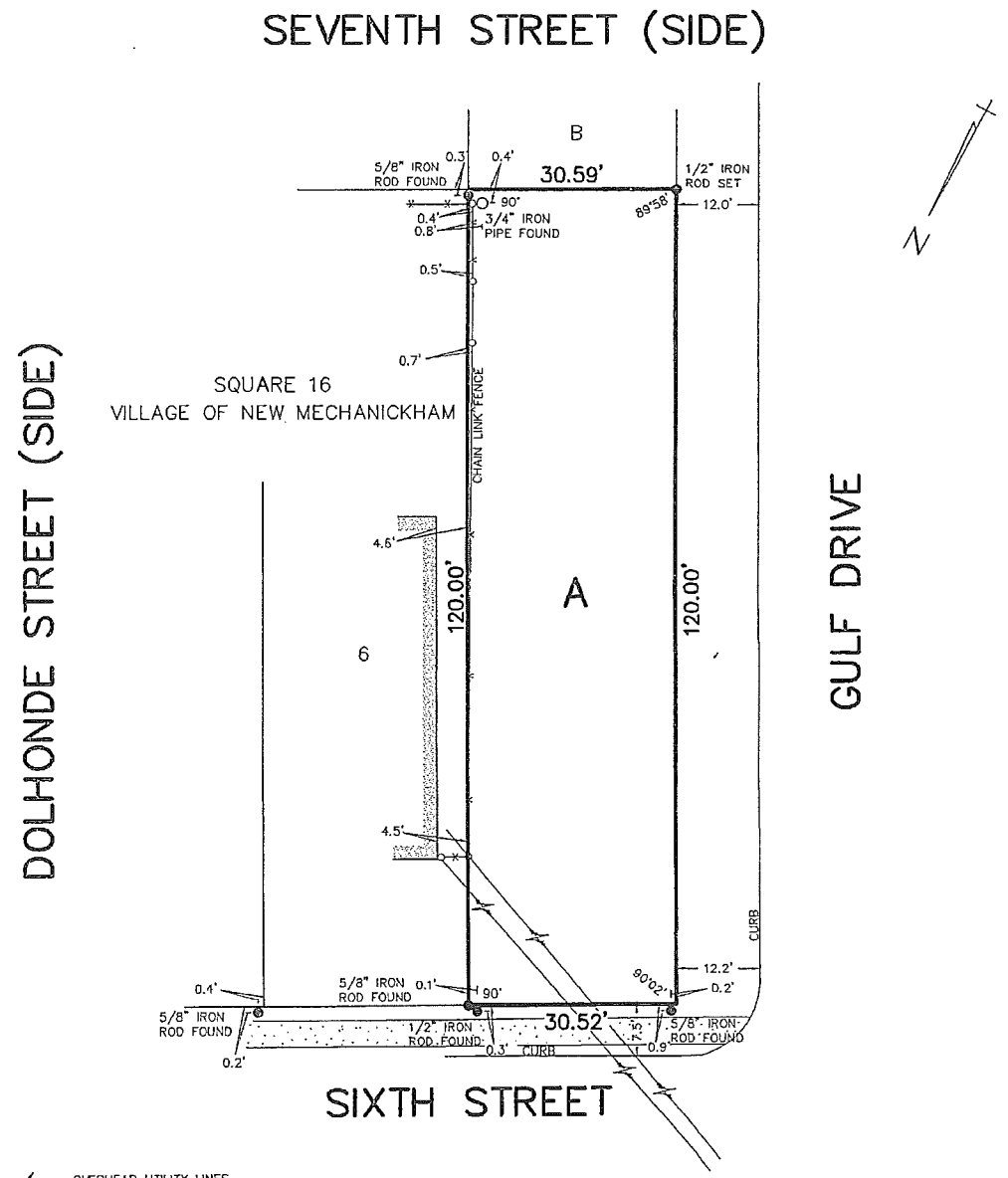
1126 6<sup>th</sup> ST  
Actual address of the property for review

Date: 11/27/16



PETERS ANNEX EXTENSION  
CITY OF GRETNA  
JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY  
ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION  
FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL  
APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON.  
THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD  
SEARCH IN COMPILING THE DATA FOR THIS SURVEY.



OVERHEAD UTILITY LINES

OCTOBER 5, 2016

SURVEYED IN ACCORDANCE WITH THE LOUISIANA  
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A  
CLASS C SURVEY, MADE AT THE REQUEST OF  
LESLIE HOMES.

**DUFRENE SURVEYING  
& ENGINEERING INC.**  
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058  
504-368-6390 PH. 504-368-6394 FAX  
dufrene@dufrenesurveying.com

*[Signature]*  
ks gretna\peters annex ext\1111.dwg

JOB# 16-000602  
SCALE: 1"= 20'



# NEW RESIDENCE

1126 SIXTH ST.  
GREटना, LOUISIANA



ARCHITECTURAL SYMBOLS	
	DRAWING NUMBER/LETTER <b>TITLE</b> SCALE: $\frac{3}{16}" = 1'-0"$ SHEET DRAWN
	DRAWING NUMBER <b>DETAIL</b> SCALE: $\frac{1}{2}" = 1'-0"$ SHEET DRAWN
	DIRECTION OF CUTTING PLANE SECTION NUMBER SHEET WHERE SECTION IS FOUND
	DETAIL NUMBER SHEET WHERE DETAIL IS FOUND
	SHEET WHERE ELEVATION IS FOUND ELEVATION NUMBER
	DOOR MARK (CORRESPONDS WITH ROOM NUMBER)
	WINDOW MARK
	ROOM NUMBER
	COLUMN LINE
	PARTITION TYPE

BUILDING INFORMATION	
1250 SF – LIVING	
80 SF – FRONT PORCH	
1330 SF – TOTAL	

INDEX OF DRAWINGS	
SHT NO.	DESCRIPTION
A00	TITLE SHEET
A01	SITE PLAN & GENERAL NOTES
A02	FOUNDATION PLAN & DETAILS
A03	FLOOR PLAN & ROOF PLAN
A04	EXTERIOR ELEVATIONS
A05	CROSS SECTIONS
A06	INTERIOR ELEVATIONS & SCHEDULES
A07	ELECTRICAL SCHEMATIC

New Residence  
1126 Sixth St.  
Gretna, Louisiana



12/26/16  
job no.  
572016  
drawn by: JND  
checked: JFD  
date: 12/26/16  
for  
PERMIT  
revisions

sheet content  
TITLE SHEET

A00  
of

STATEMENT OF RESPONSIBILITY:  
THIS PROJECT HAS BEEN DESIGNED UNDER MY DIRECT  
SUPERVISION, AND TO MY BEST PROFESSIONAL  
KNOWLEDGE, CONFORMS TO ALL APPLICABLE  
REQUIREMENTS OF THE 2012 INTERNATIONAL  
RESIDENTIAL CODE AND ALL REFERENCED CODES  
THEREIN.

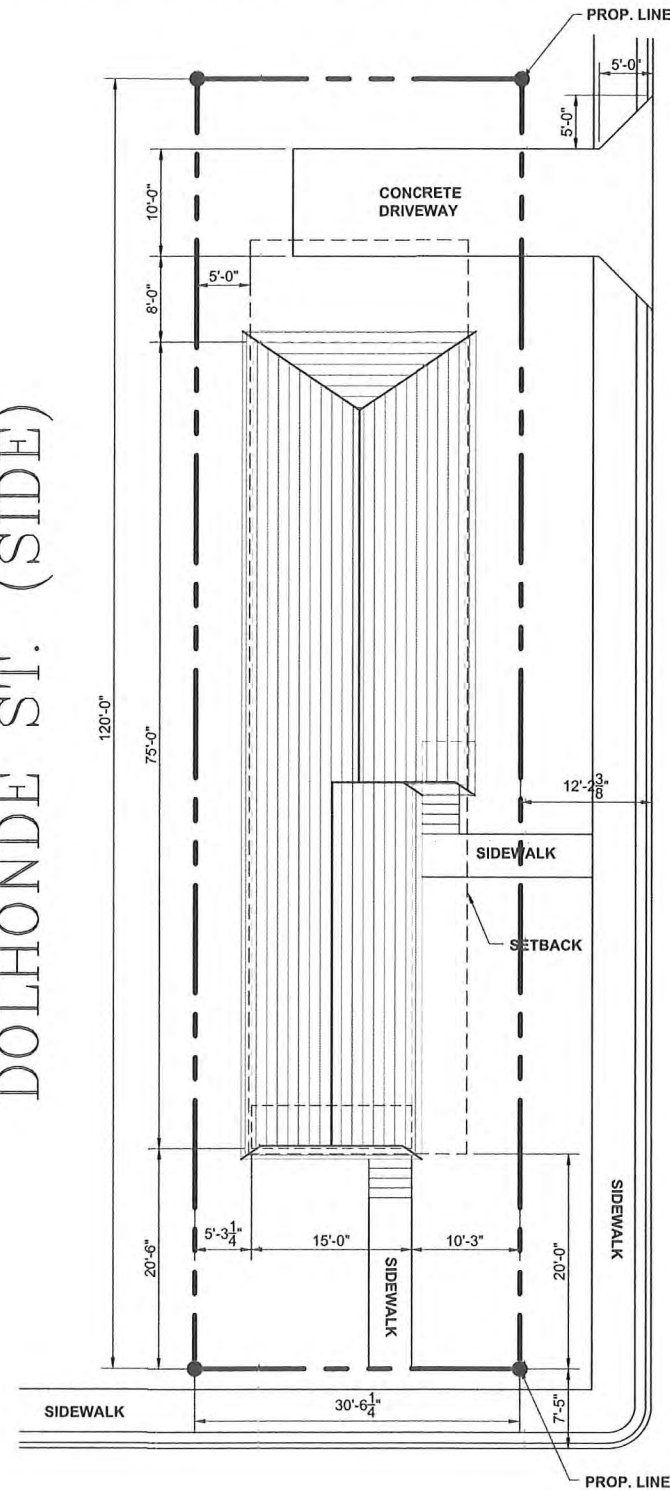
John F. Dalton, Jr., AIA, LEED AP, Architect



13. GLAZED OPENING PROTECTION FROM WIND-BORNE DEBRIS - THIS STRUCTURE SHALL UTILIZE  $\frac{3}{4}$ " PLYWOOD PANELS THAT SHALL BE PRECUT TO FIT EACH WINDOW AND ATTACHED WITH #8 WOOD SCREWS @ 8" O.C. EACH PANEL SHALL BE SIZED AND NUMBERED FOR EACH WINDOW AND SHALL BE STORED ON SITE WITH THE REQUIRED NUMBER OF FASTENERS AT ALL TIMES. NO PANEL SIZE SHALL EXCEED 8'

**LOT A  
SQUARE 16  
NEW MECHANICKHAM  
PETERS ANNEX EXTENSION  
CITY OF GRETN  
JEFFERSON PARISH, LOUISIANA**

## DOLHONDE ST. (SIDE)



SIXTH STREET

# SITE PLAN



# Dalton

architecture

New Residence  
1126 Sixth St.  
Gretna, Louisiana



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revisions

sheet content

### SITE PLAN & GENERAL NOTES

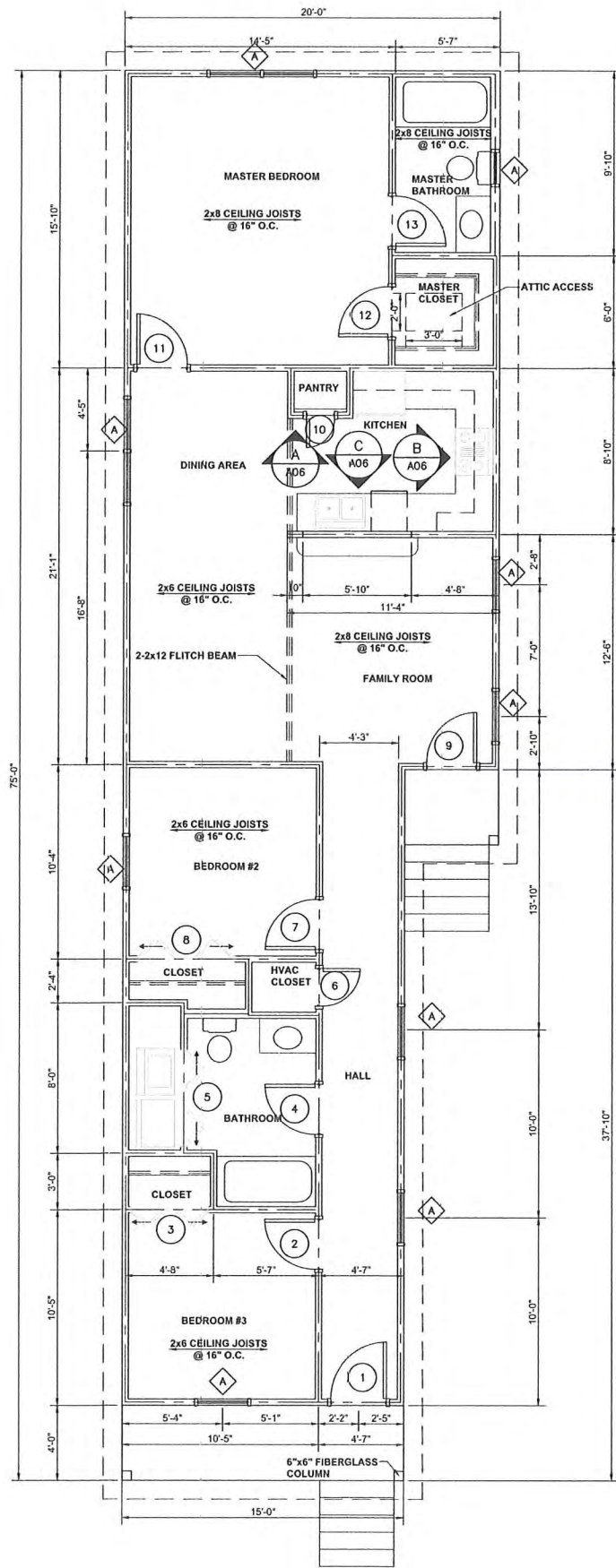
A01

**Note:** If any time limits are not enforceable or show as to blank, contractor must notify the Architect of Record for clarification and/or supplemental

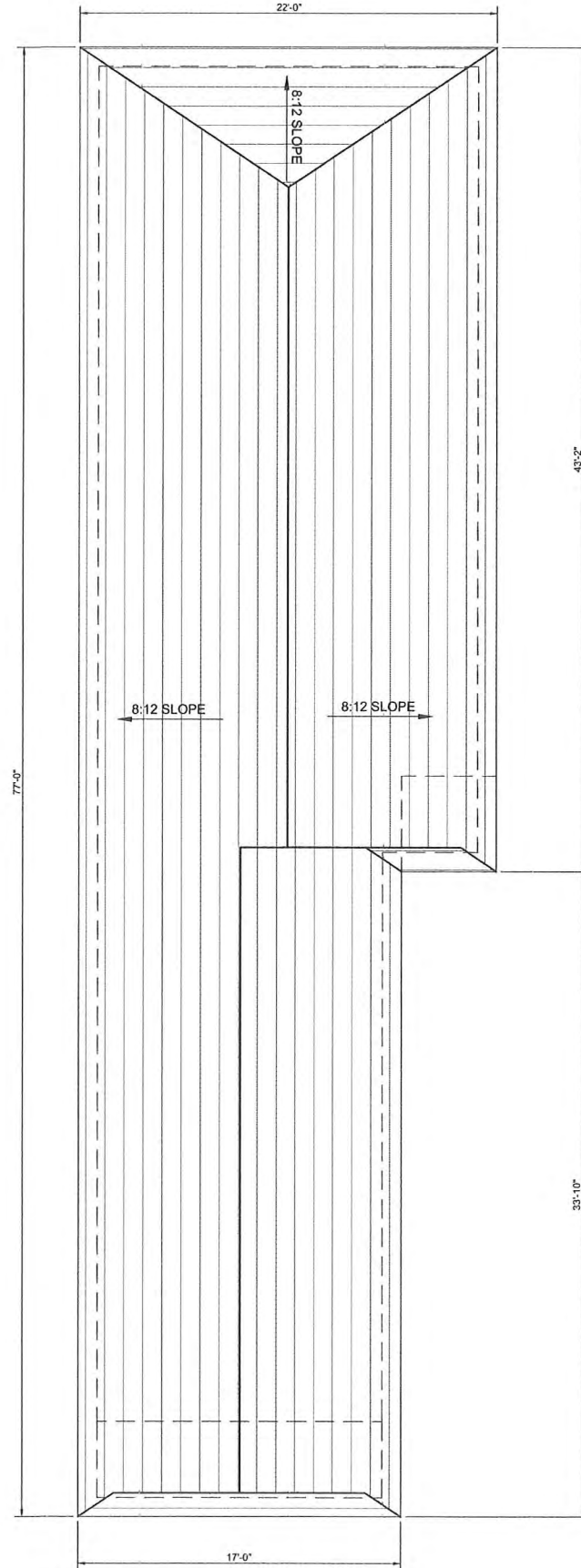
1242 Allo Ave. Marrero, LA 70072 - jdalton@daltonarchitects.com - 504-782-5705

**John F. Dalton, Jr. AIA, LEED AP, Architect**





1 OVERALL FLOOR PLAN  
A03 SCALE: 1/4"=1'-0"



2 OVERALL ROOF PLAN  
A03 SCALE: 1/4"=1'-0"



New Residence  
1126 Sixth St.  
Gretna, Louisiana



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PERMIT  
revisions

sheet content

FLOOR PLAN

A03  
of

Note: If any items herein are not applicable or not as shown, the contractor shall notify the architect in writing for clarification and/or amendment prior to start of construction.

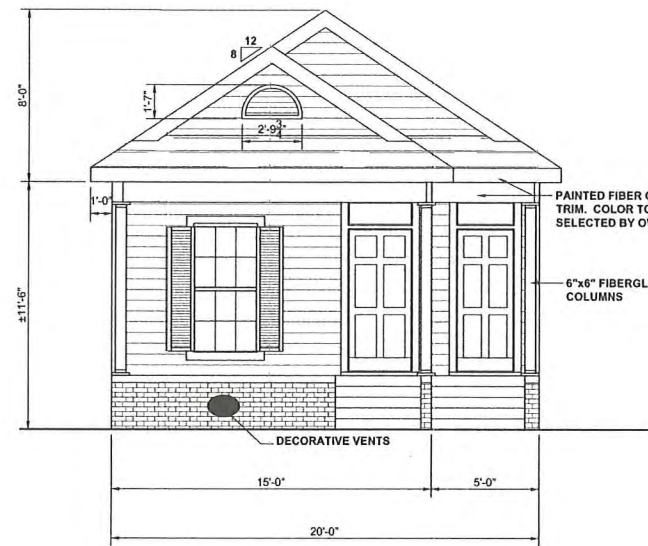
John F. Dalton, Jr. AIA, LEED AP, Architect

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Dalton

architecture

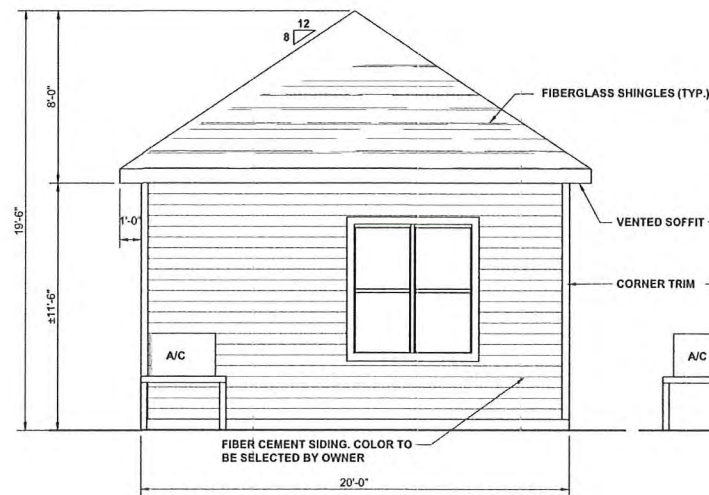




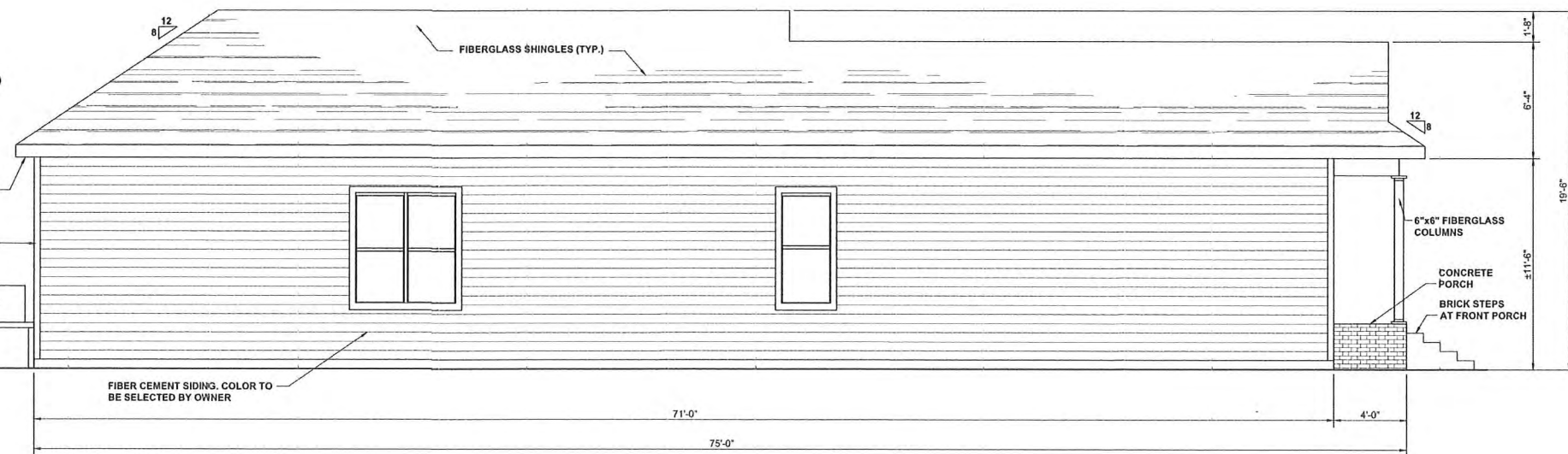
**A FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**B RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**C REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**D LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

# Dalton

architecture

New Residence  
1126 Sixth St.  
Gretna, Louisiana

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job no.  
**572016**  
drawn by: JFD  
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for  
PERMIT  
revisions

sheet content

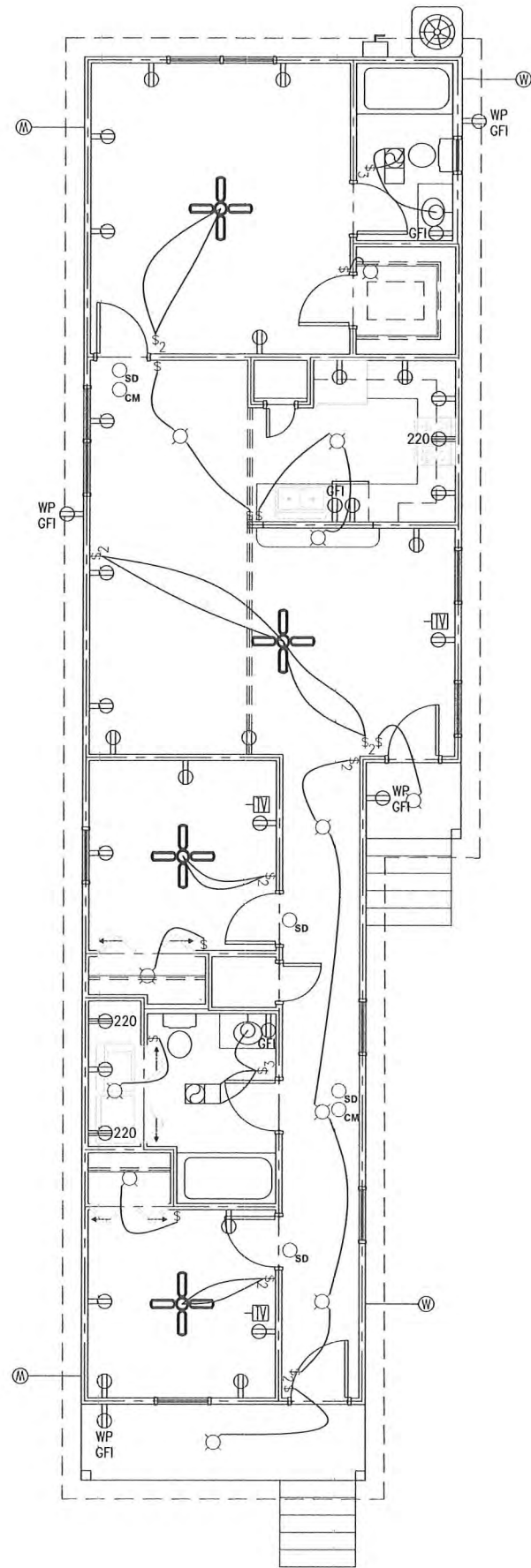
EXTERIOR  
ELEVATIONS

**A04**

of  
Notes: If any items herein are not  
specifications or code as to be used,  
contractor shall verify the material and  
workmanship and shall be held  
responsible for compliance with all  
requirements prior to start construction.

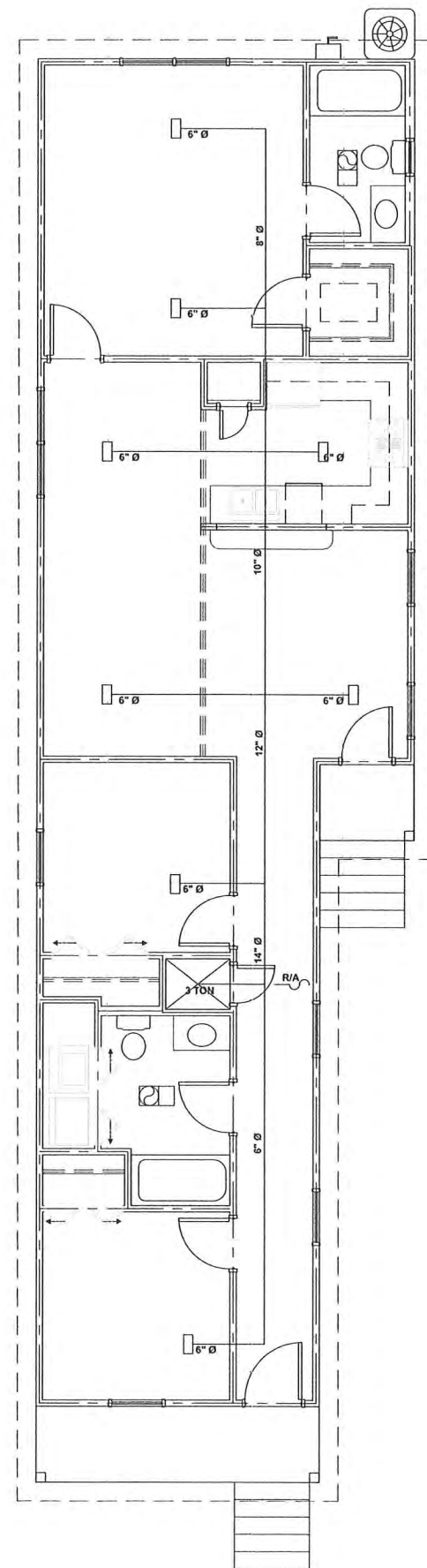
John F. Dalton, Jr. AIA, LEED AP, Architect





ELECTRICAL SCHEDULE	
\$	SWITCH
\$ <sub>2</sub>	2-WAY SWITCH
\$ <sub>3</sub>	3-WAY SWITCH
\$ <sub>4</sub>	4-WAY SWITCH
☉	CEILING MOUNTED LIGHT
☉ <sub>C</sub>	CHANDELIER
☉ <sub>P</sub>	PENDANT LIGHTING
☉ <sub>R</sub>	RECESSED LIGHTING
○	WALL SCONCE
○ <sub>F</sub>	FLOOD LIGHT
☐	VENT LIGHT
⊖	OUTLET
⊖ <sub>C</sub>	CEILING OUTLET
⊖ <sub>GFI</sub>	GROUND FAULT OUTLET
⊖ <sub>220</sub>	220 VOLT RECEPTACLE
⊖ <sub>WP GFI</sub>	WATERPROOF OUTLET
☐	VENT
▬	VANITY LIGHT
✦	CEILING FAN
☐ <sub>F</sub>	FLOOD LIGHT
△	TELEPHONE JACK
▬ <sub>TV</sub>	CATV JACK
⊖ <sub>G</sub>	GAS COCK
⊖ <sub>H</sub>	HOSE BIBB
☐ <sub>ED</sub>	ELECTRICAL SERVICE DISCONNECT
▬ <sub>LED</sub>	LED OR FLUORESCENT EXTERIOR LIGHTING
⊖ <sub>SD</sub>	GAS SYMBOL
○ <sub>SD</sub>	SMOKE DETECTOR
○ <sub>CM</sub>	CARBON MONOXIDE DETECTOR

1 ELECTRICAL SCHEMATIC  
A07 SCALE: 1/4"=1'-0"



2 MECHANICAL SCHEMATIC  
A07 SCALE: 1/4"=1'-0"

New Residence  
1126 Sixth St.  
Gretna, Louisiana



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sheet content

ELECTRICAL  
SCHEMATIC

A07

John F. Dalton, Jr. AIA, LEED AP, Architect

architecture

1242 Aljo Ave. Marrero, LA 70072 — jdalton@daltonarchitects.com — 504-782-5705





# Historic District Commission

Meeting: January 3, @4:00PM

**1108 Jefferson Street**

(District 1)

**For: New construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: December 27, 2016

Set to Preliminary conference







# Historic District Commission

Meeting: December 5, 2016 @4:00PM

**1108 Jefferson Street**

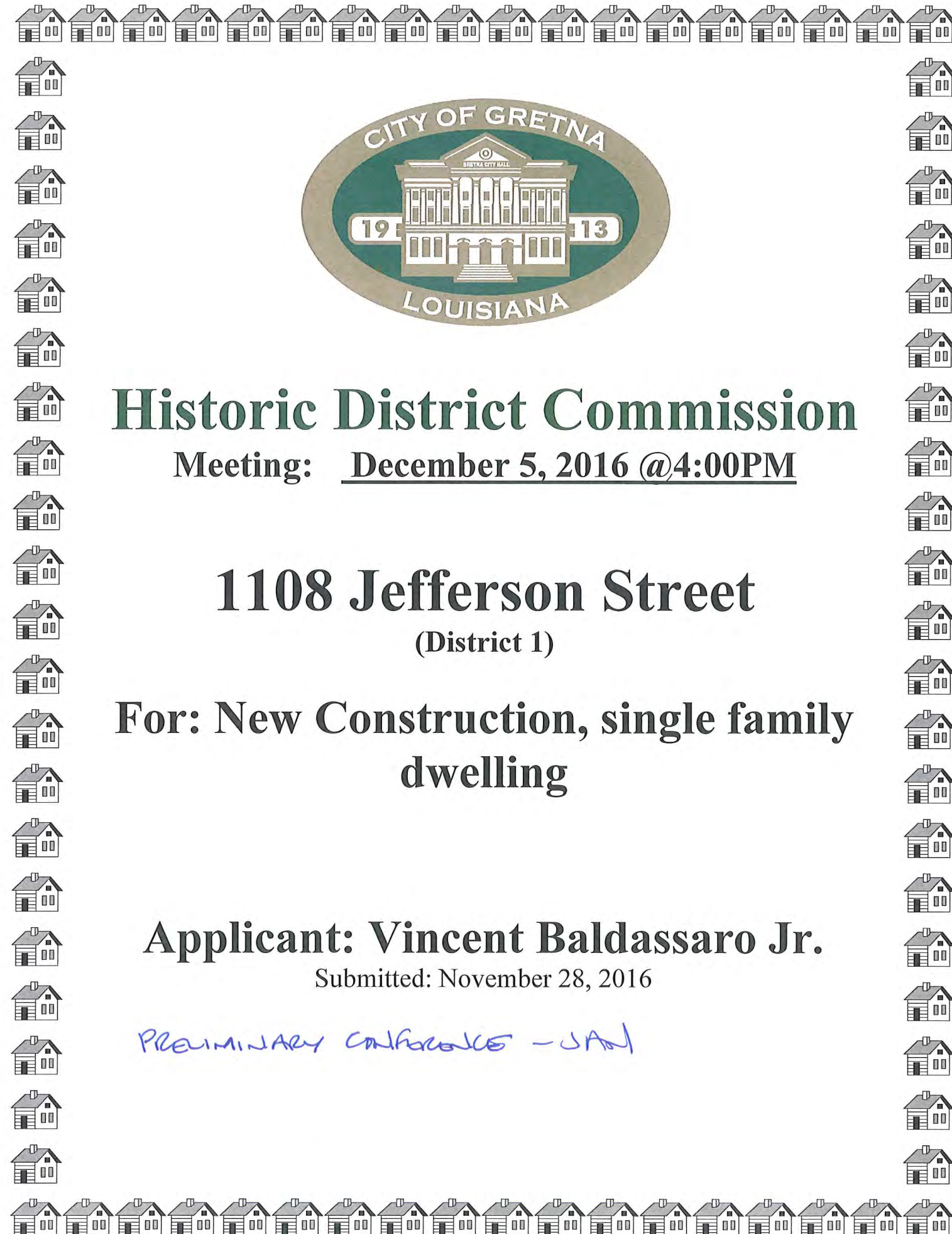
(District 1)

**For: New Construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: November 28, 2016

*Preliminary conference - JAN*





Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

- ☐ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.



Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1108 Jefferson St McDoughville

Renovation: New Construction: Demolition:

Age of Structure: New

Building Type:

Creole Cottage Shotgun Bungalow Other

Building Style:

Greek Revival Italianate New Orleans Bracketed Eastlake Colonial Revival Other

Exterior materials proposed:

Roof Composition Soffit Hardy Fascia Hardy Siding Hardy Masonry Porches Concrete & Brick Balconies N/A Handrails if needed wood

Type of exterior lighting fixtures: Hanging light over front door Style of windows: 2 over 2 Type of exterior doors: wood & glass Describe any ornamental woodwork: sg columns



Elevations:

Front Space: \_\_\_\_\_ ft.      Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Vincent Baldassaro Jr Date: \_\_\_\_\_

Applicant's Name: Vincent Baldassaro Jr

Address: 444 Ave H MARRET LA 70072

Phone No: ( ) \_\_\_\_\_ Cell No: 505 628 5260

**For Office Use Only:**

Date of Application: 11.28.16

Substantive Change: Yes ☒ No \_\_\_\_\_ Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No \_\_\_\_\_

Historic District Commission meeting date: 12.5.16

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau  
Councilman-at-Large  
Milton L. Crosby  
District One  
Michael Hinyub  
District Two  
Mark K. Miller  
District Three  
Jackie J. Berthelot  
District Four

## Departments

**Building and Regulatory**  
Danika Gorrondona  
**Planning and Zoning**  
Azalea M. Roussell

**City Clerk**  
Norma J. Cruz

**Finance & Tax Departments**  
Raylyn C. Stevens

**Human Resources**  
David Neeb

**Public Utilities**  
Michael J. Baudoin

**Public Works**  
Daniel Lasyone

**Parks and Recreation**  
Amie H. Hebert

**Information Technology**  
Michael Wesley

I, VINCENT BALDASSARO the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on 12/5/12 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Vincent Baldassaro  
Signature of Applicant

LESLIE HOMES, INC VINCENT BALDASSARO  
NAME OF APPLICANT (PLEASE PRINT)

444 Ave H Marrero LA 70072  
Applicant's address

1108 Jefferson St McDonoghville  
Actual address of the property for review

Date: 12/28/12



SQUARE 63  
McDONOGHVILLE  
CITY OF GRETN  
JEFFERSON PARISH, LA.

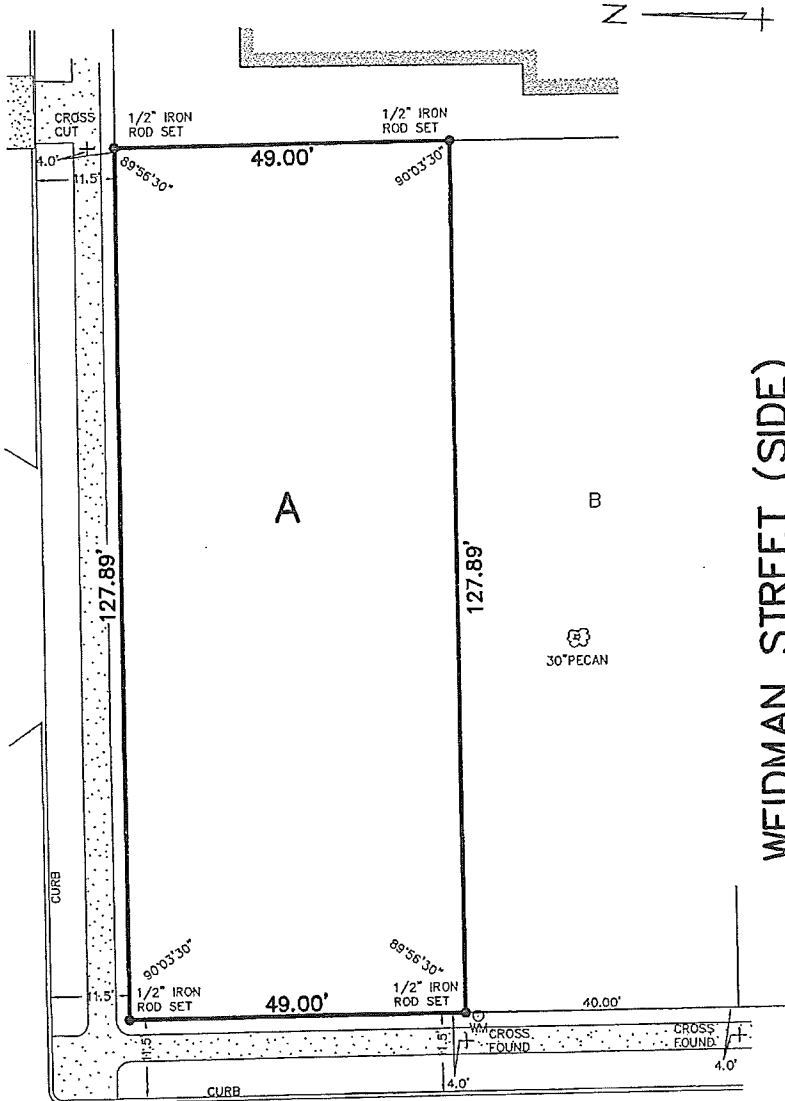
THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE:  
- SURVEY BY HOTARD & WEBB, DATED  
FEBRUARY 18, 1948  
- SURVEY OF LOT C BY ALVIN HOTARD,  
DATED MAY 15, 1957

MONROE STREET (SIDE)

ANSON STREET

WEIDMAN STREET (SIDE)



JEFFERSON STREET

OCTOBER 5, 2016

SURVEYED IN ACCORDANCE WITH THE LOUISIANA  
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A  
CLASS C SURVEY, MADE AT THE REQUEST OF  
LESLIE HOMES.

**DUFRENE SURVEYING  
& ENGINEERING INC.**  
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058  
504-368-6390 PH. 504-368-6394 FAX  
dufrene@dufrenesurveying.com

JOB# 16-000588  
SCALE: 1"= 20'

*[Signature]*  
ks gretna\mcdonoghville\sq63-ITA.dwg



# NEW RESIDENCE

1108 JEFFERSON ST.  
GREटना, LOUISIANA



ARCHITECTURAL SYMBOLS	
	DRAWING NUMBER/LETTER DRAWING TITLE DRAWING SCALE SHEET DRAWN
	DRAWING NUMBER DRAWING TITLE DRAWING SCALE SHEET DRAWN
	DIRECTION OF CUTTING PLANE SECTION NUMBER SHEET WHERE SECTION IS FOUND
	DETAIL NUMBER SHEET WHERE DETAIL IS FOUND
	SHEET WHERE ELEVATION IS FOUND ELEVATION NUMBER
	DOOR MARK (CORRESPONDS WITH ROOM NUMBER)
	WINDOW MARK
	ROOM NUMBER
	COLUMN LINE
	CONSTRUCTION ELEVATION
	PARTITION TYPE

INDEX OF DRAWINGS	
SHT NO.	DESCRIPTION
A00	TITLE SHEET
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A03	FLOOR PLAN & ROOF PLAN
A04	EXTERIOR ELEVATIONS
A05	CROSS SECTIONS
A06	INTERIOR ELEVATIONS & SCHEDULES
A07	ELECTRICAL SCHEMATIC

BUILDING INFORMATION	
1590 SF – 1ST FLOOR LIVING	
79 SF – FRONT PORCH	
1669 SF – TOTAL	

STATEMENT OF RESPONSIBILITY:  
THIS PROJECT HAS BEEN DESIGNED UNDER MY DIRECT SUPERVISION, AND TO MY BEST PROFESSIONAL KNOWLEDGE, CONFORMS TO ALL APPLICABLE REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE AND ALL REFERENCED CODES THEREIN.

New Residence  
1108 Jefferson St.  
Gretna, Louisiana



job no.  
572016  
drawn by: JND  
checked: JFD  
date: 12/26/16  
for  
PERMIT  
revisions

sheet content

TITLE SHEET

A00  
of

Dalton

architecture

1242 Aljo Ave. Marrero, LA 70072 — jdalton@daltonarchitects.com — 504-782-5705

John F. Dalton, Jr. AIA, LEED AP, Architect



GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION.
2. WORK ONLY FROM THE WRITTEN DIMENSIONS & OR ACTUAL FIELD CONDITIONS - DO NOT SCALE DRAWINGS.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS AND SHALL PAY ALL PERMIT FEES, AGENCY REVIEW FEES, AND INSPECTION FEES ASSOCIATED WITH THIS WORK.
4. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE & EVIDENCE THAT THEY HOLD LICENSE OF PROPER CLASSIFICATION & IN FULL FORCE & EFFECT.
5. ALL ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE LICENSED TO PERFORM THE STIPULATED SERVICES OF THEIR LICENSE REQUIREMENTS & SHALL BE LICENSED SPECIFICALLY IN ORLEANS PARISH, LOUISIANA.
6. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING & STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION SEQUENCING & PROCEDURE & TO INSURE THE SAFETY OF THE BUILDING, ITS COMPONENT PARTS, AND CONSTRUCTION WORKERS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY.
7. ALL WALL & CEILING FINISHES SHALL BE CLASS "A" & SO LABELED.
8. COORDINATE THE INSTALLATION OF ALL MECHANICAL, ELECTRICAL, & PLUMBING SLEEVES & DUCTS AS INDICATED BY THE OWNER TO COMPLETE THIS PROJECT. DUCTS AND SLEEVES SHALL NOT INTERFERE WITH THE STRUCTURAL FRAMING NOR SHALL THEY IMPAIR THE STRENGTH OF THE STRUCTURE.
9. PROVIDE OPEN CELL SPRAY FOAM INSULATION THROUGHOUT THE STRUCTURE; MINIMUM R-19 IN THE WALLS, & MINIMUM R-30 IN THE ATTIC.
10. THIS STRUCTURE WAS DESIGNED AS PER IRC 2012 WITH 140 MPH WIND LOAD.
11. ALL EXTERIOR WALLS AND PLUMBING WALLS SHALL BE 2X6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
12. IRC 2012 - R301.2.1.1 DESIGN CRITERIA - THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (WFCM)
13. GLAZED OPENING PROTECTION FROM WIND-BORNE DEBRIS - THIS STRUCTURE SHALL UTILIZE  $\frac{1}{2}$ " PLYWOOD PANELS THAT SHALL BE PRECUT TO FIT EACH WINDOW AND ATTACHED WITH #8 WOOD SCREWS @ 8" O.C. EACH PANEL SHALL BE SIZED AND NUMBERED FOR EACH WINDOW AND SHALL BE STORED ON SITE WITH THE REQUIRED NUMBER OF FASTENERS AT ALL TIMES. NO PANEL SIZE SHALL EXCEED 8'

LOT A  
SQUARE 63  
MCDONOUGHVILLE  
CITY OF GRETN  
JEFFERSON PARISH, LOUISIANA

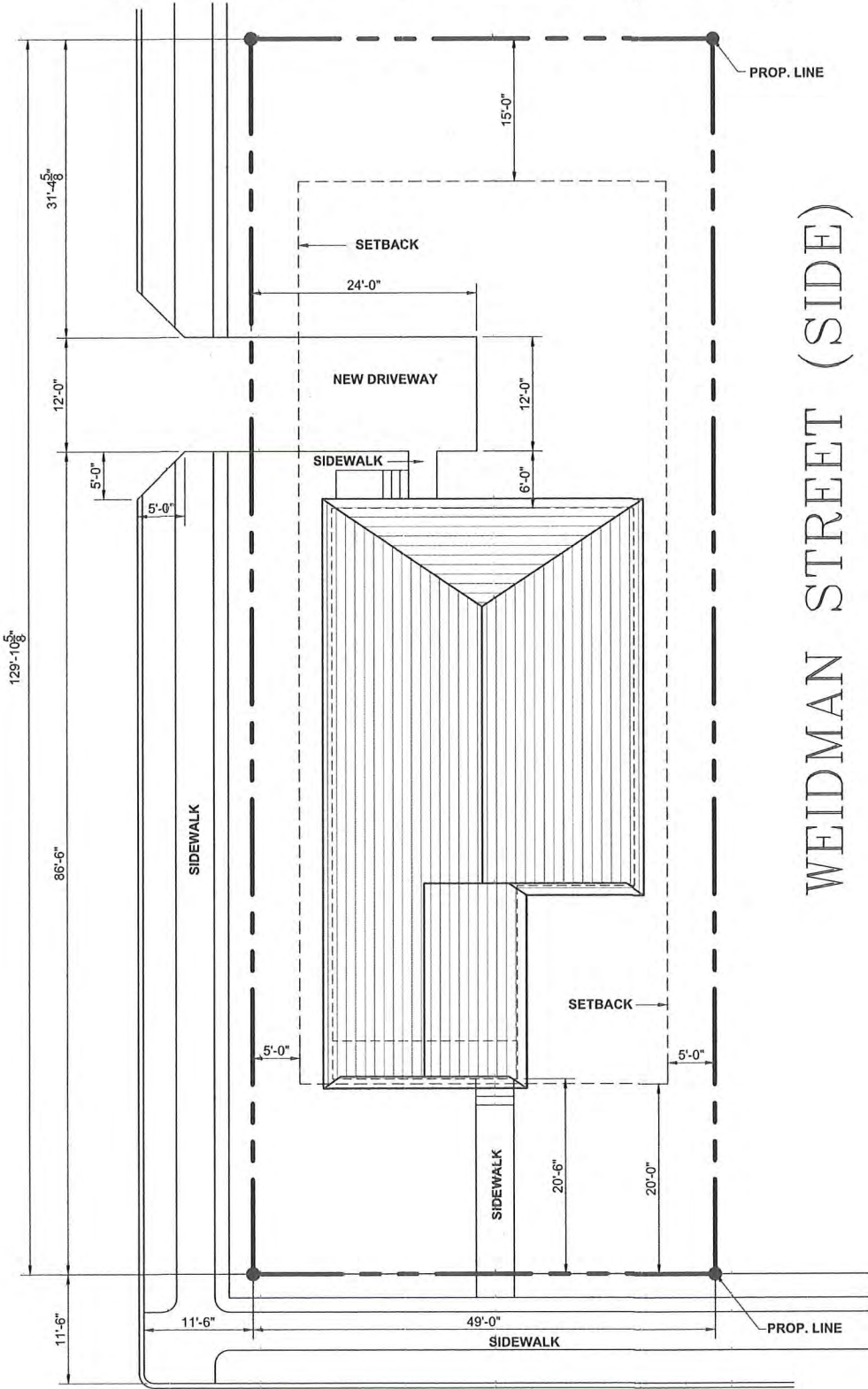


ANSON STREET

MADISON STREET (SIDE)

WEIDMAN STREET (SIDE)

JEFFERSON STREET



1 SITE PLAN  
A01 SCALE: 1/8"=1'-0"

Dalton

architecture

New Residence  
1108 Jefferson St.  
Gretna, Louisiana



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572016  
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PERMIT  
revisions

sheet content

SITE PLAN &  
GENERAL NOTES

A01  
of

This is a preliminary drawing and is not to be used for construction. It is the responsibility of the user to verify the accuracy of the information and to obtain all necessary permits prior to construction.

John F. Dalton, Jr. AIA, LEED AP, Architect

1242 Aljo Ave. Marrero, LA 70072 - jdalton@daltonarchitects.com - 504-782-5705



New Residence  
1108 Jefferson St.  
Gretna, Louisiana



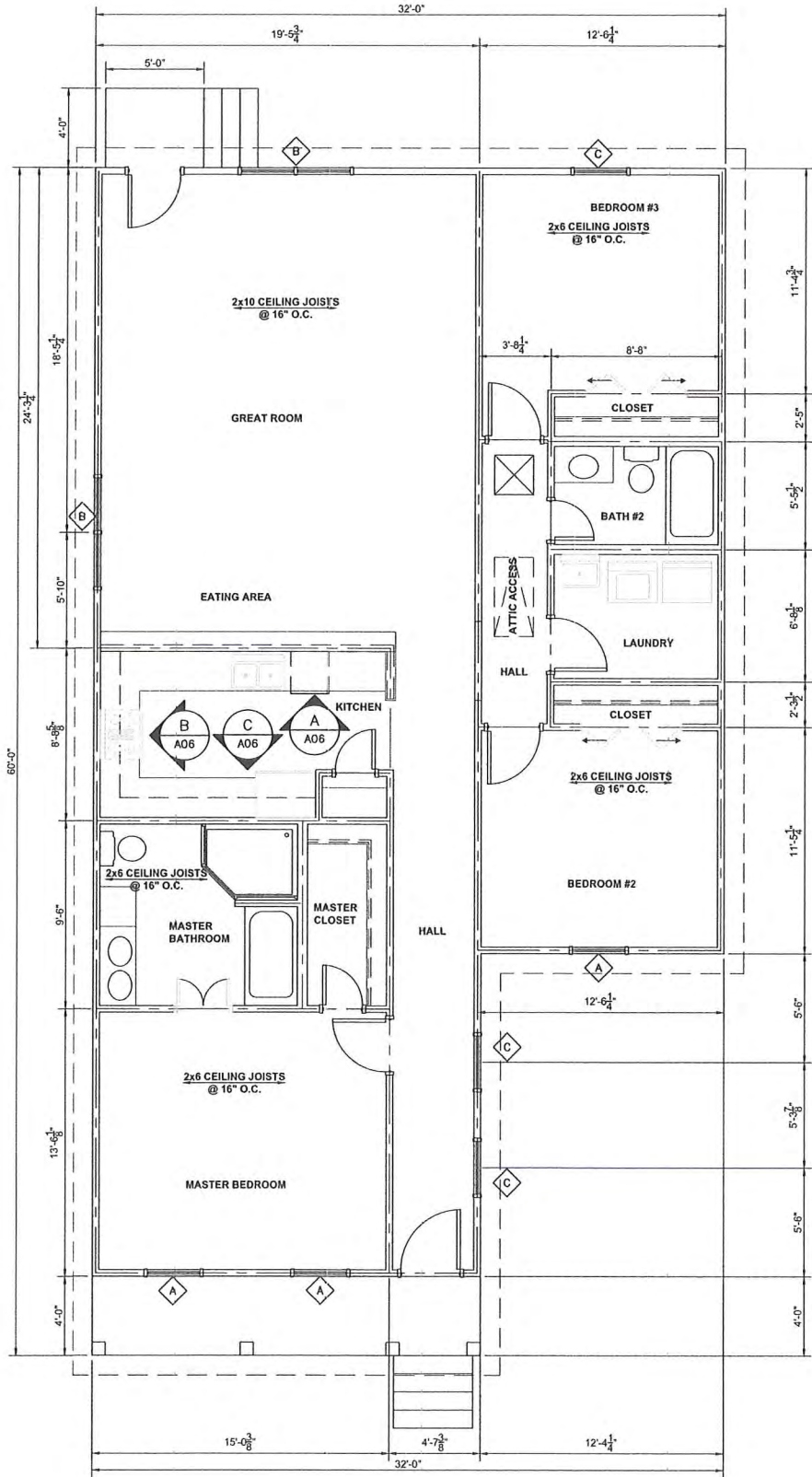
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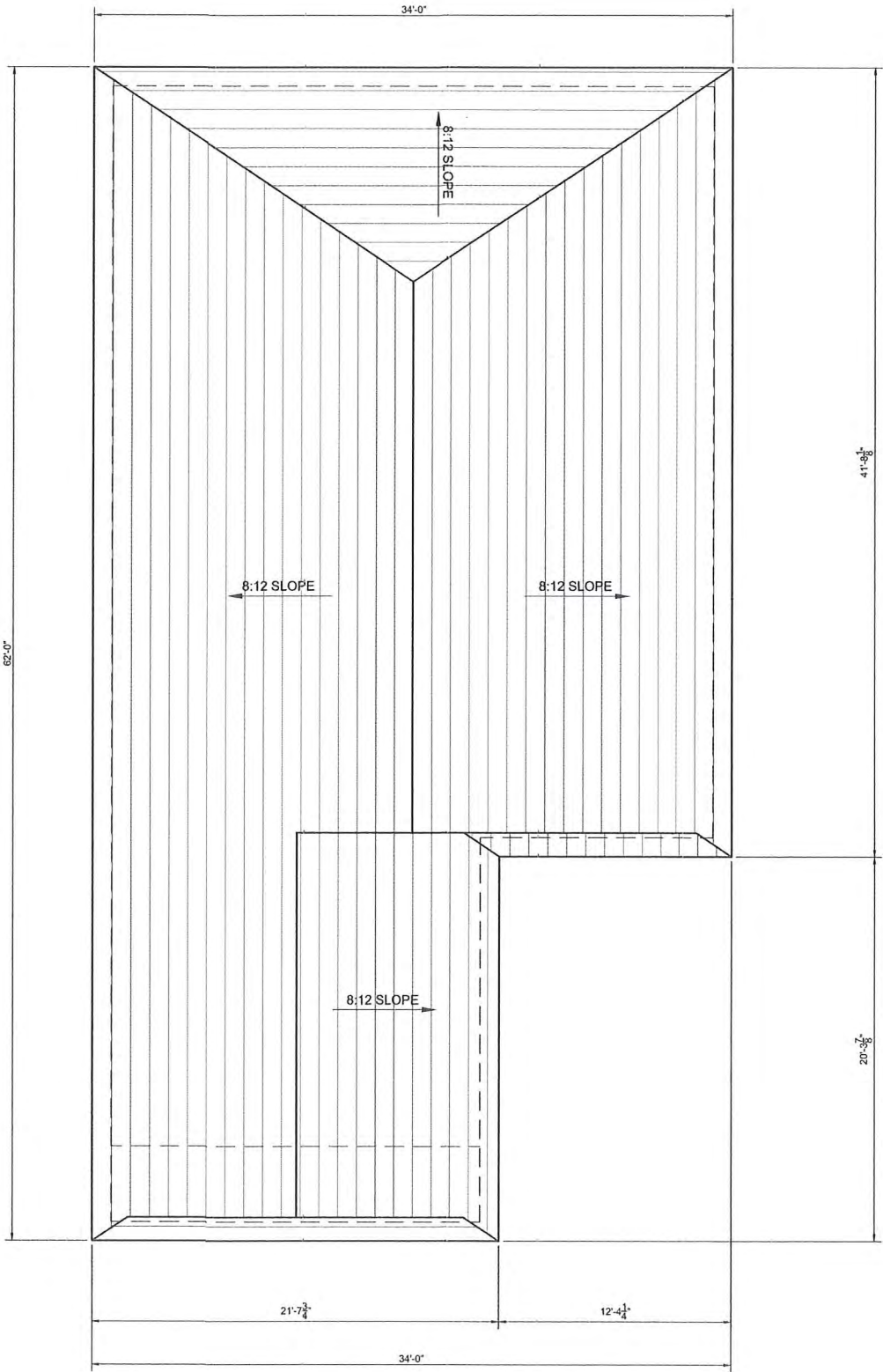
FLOOR PLAN

**A03**  
of

Note: If any home builds are not  
shown, the owner must verify the  
location and depth of all utilities  
prior to construction.

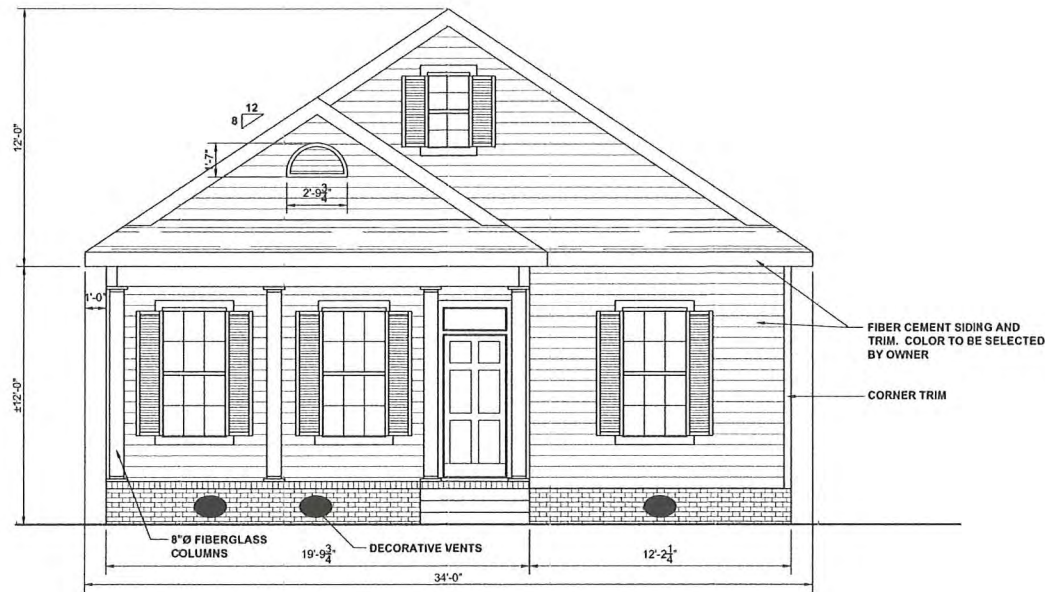


1 OVERALL FLOOR PLAN  
A03 SCALE: 1/4"=1'-0"

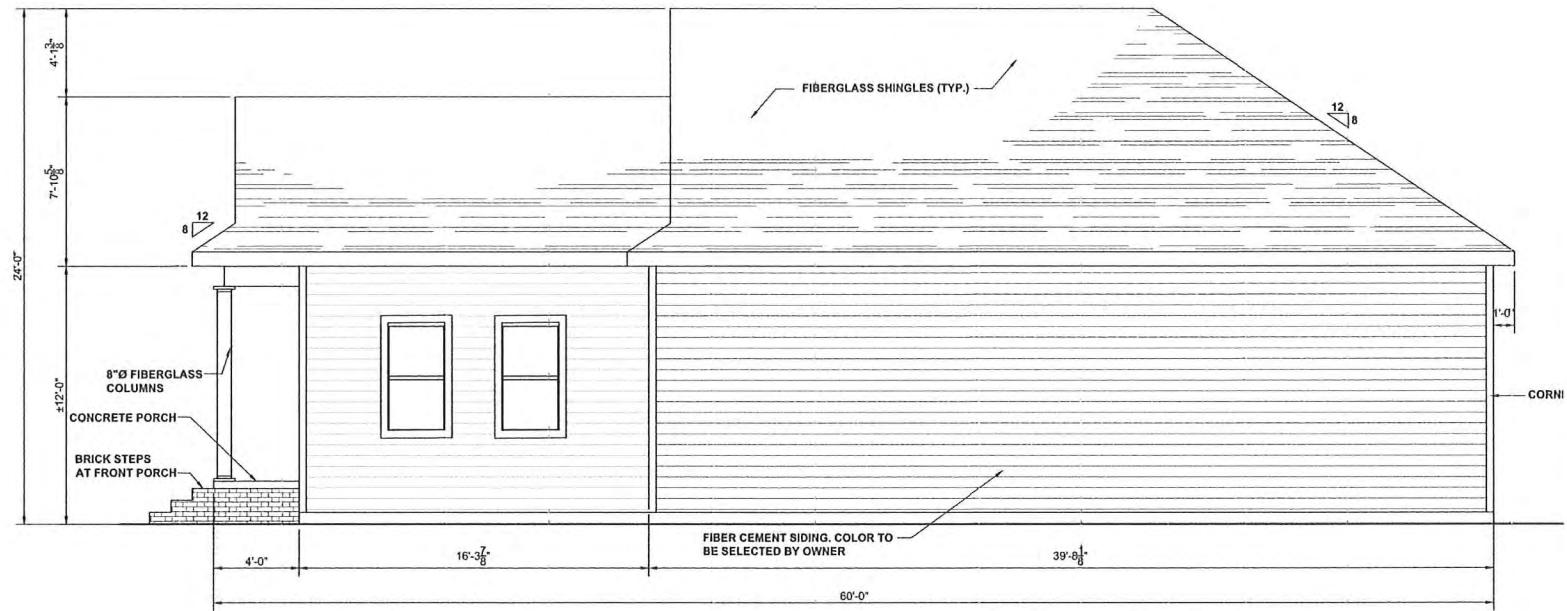


2 OVERALL ROOF PLAN  
A03 SCALE: 1/4"=1'-0"

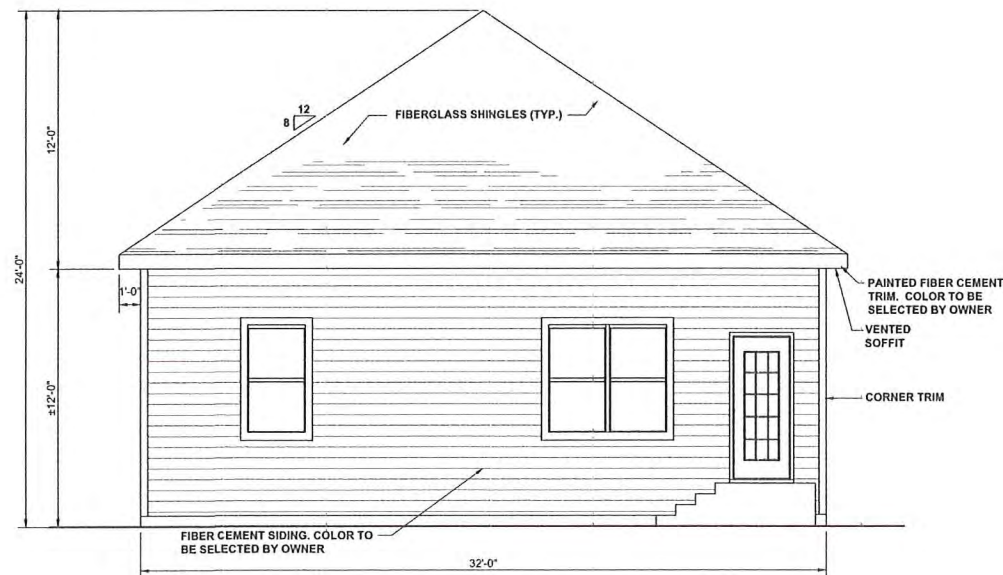




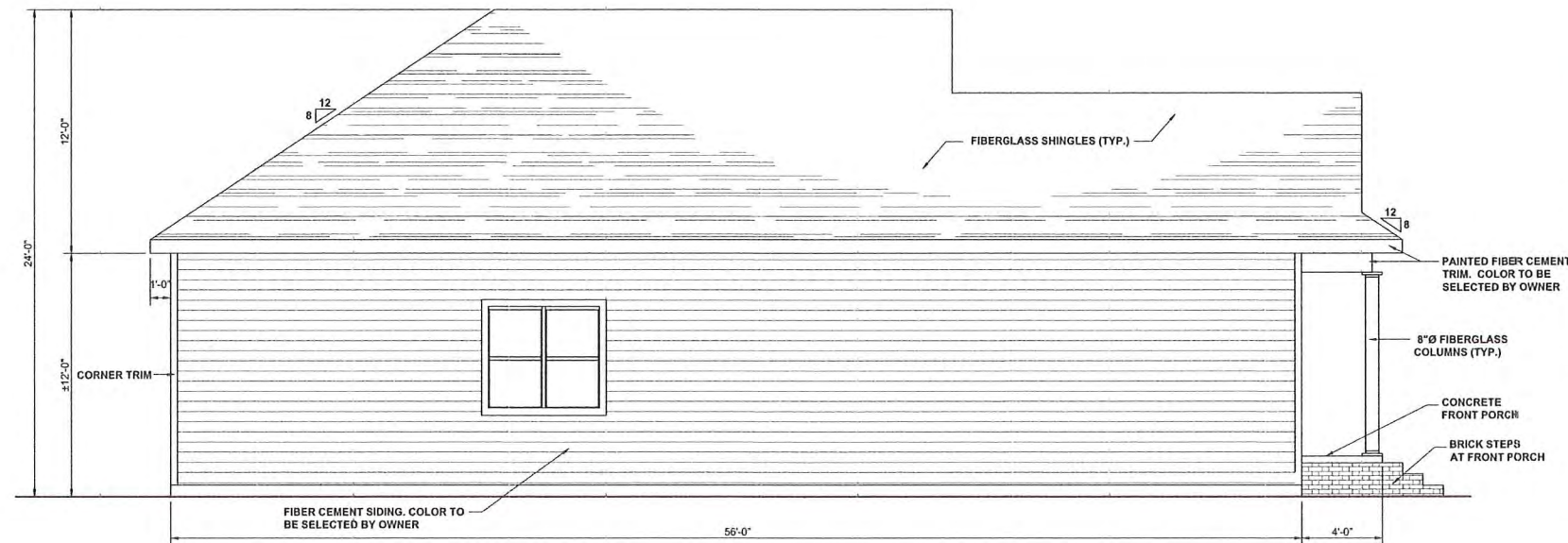
**A** FRONT ELEVATION  
A04 SCALE: 1/4"=1'-0"



**B** RIGHT SIDE ELEVATION  
A04 SCALE: 1/4"=1'-0"



**C** REAR ELEVATION  
A04 SCALE: 1/4"=1'-0"



**D** LEFT SIDE ELEVATION  
A04 SCALE: 1/4"=1'-0"

**Dalton**

architecture

New Residence  
1108 Jefferson St.  
Gretna, Louisiana



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sheet content

EXTERIOR  
ELEVATIONS

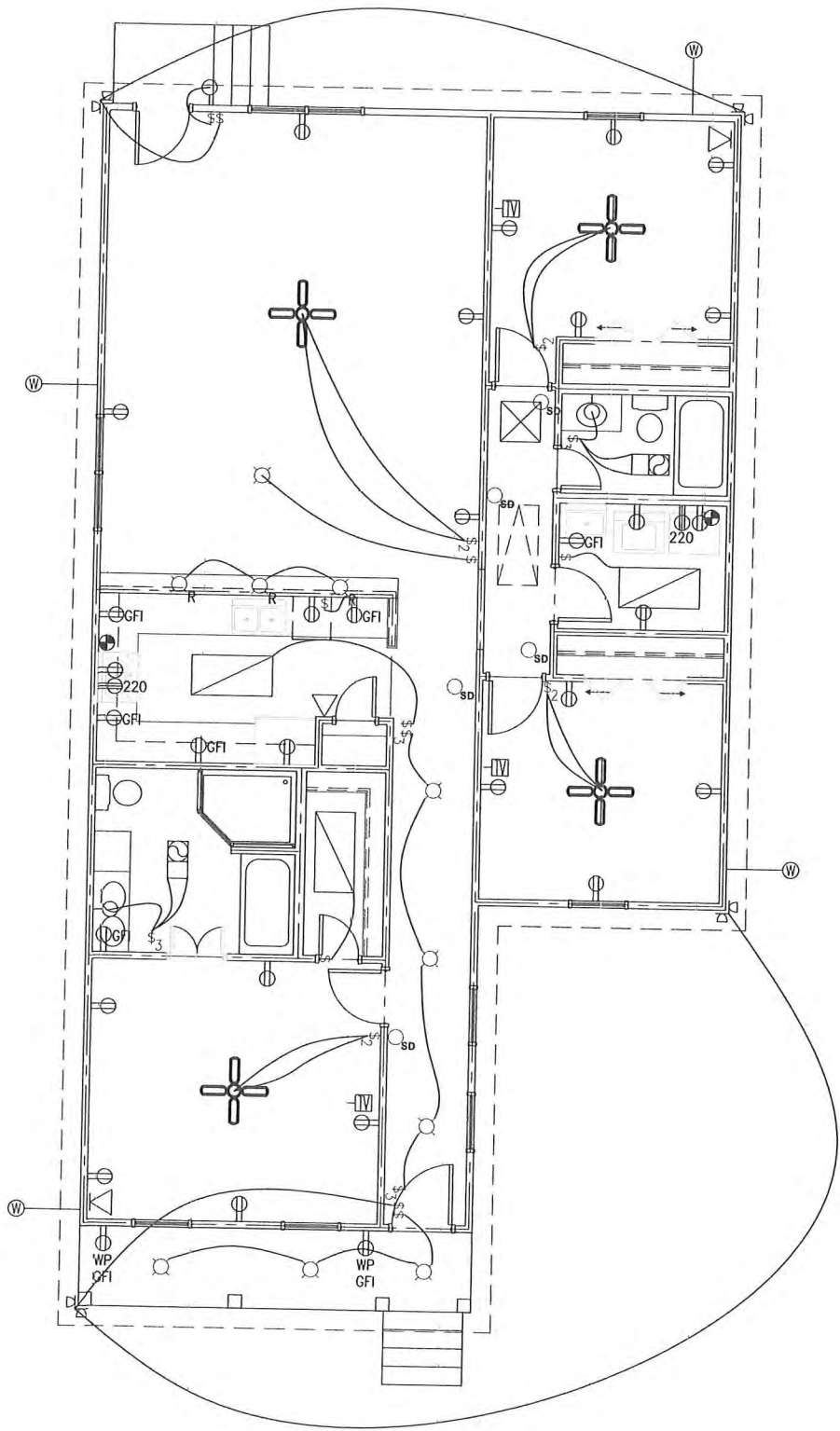
**A04**  
of

Note: If any items herein are not  
indicated, or if any are to be  
modified, the architect will be notified  
of any changes and an approved  
revision will be issued.

John F. Dalton, Jr. AIA, LEED AP, Architect

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**FIRST FLOOR ELECTRICAL SCHEMATIC**  
SCALE: 1/4"=1'-0"

ELECTRICAL SCHEDULE	
\$	SWITCH
\$2	2-WAY SWITCH
\$3	3-WAY SWITCH
\$4	4-WAY SWITCH
☐	CEILING MOUNTED LIGHT
☉ <sub>C</sub>	CHANDELIER
☉ <sub>P</sub>	PENDANT LIGHTING
☉ <sub>R</sub>	RECESSED LIGHTING
○	WALL SCONCE
○ <sub>F</sub>	FLOOD LIGHT
☐	VENT LIGHT
⊖	OUTLET
⊖ <sub>C</sub>	CEILING OUTLET
⊖ <sub>GFI</sub>	GROUND FAULT OUTLET
⊖ <sub>220</sub>	220 VOLT RECEPTACLE
⊖ <sub>WP GFI</sub>	WATERPROOF OUTLET
☐	VENT
▬	VANITY LIGHT
✦	CEILING FAN
☐ <sub>F</sub>	FLOOD LIGHT
△	TELEPHONE JACK
▬ <sub>TV</sub>	CATV JACK
⊖ <sub>G</sub>	GAS COCK
⊖ <sub>H</sub>	HOSE BIBB
☐	ELECTRICAL SERVICE DISCONNECT
▬ <sub>LED</sub>	LED OR FLUORESCENT EXTERIOR LIGHTING
⊕	GAS SYMBOL
○ <sub>SD</sub>	SMOKE DETECTOR

**Dalton**  
architecture

New Residence  
1108 Jefferson St.  
Gretna, Louisiana

12/26/16

job no.  
**572016**

drawn by: JMD

checked: JFD

date: 12/26/16

for  
PERMIT

revisions

sheet content

ELECTRICAL SCHEMATIC

**A07**  
of

1242 Alfo Ave., Marrero, LA 70072 — jdalton@daltonarchitects.com — 504-782-5705

John F. Dalton, Jr. AIA, LEED AP, Architect





# Historic District Commission

Meeting: January 3, @4:00PM

**1112 Jefferson Street**

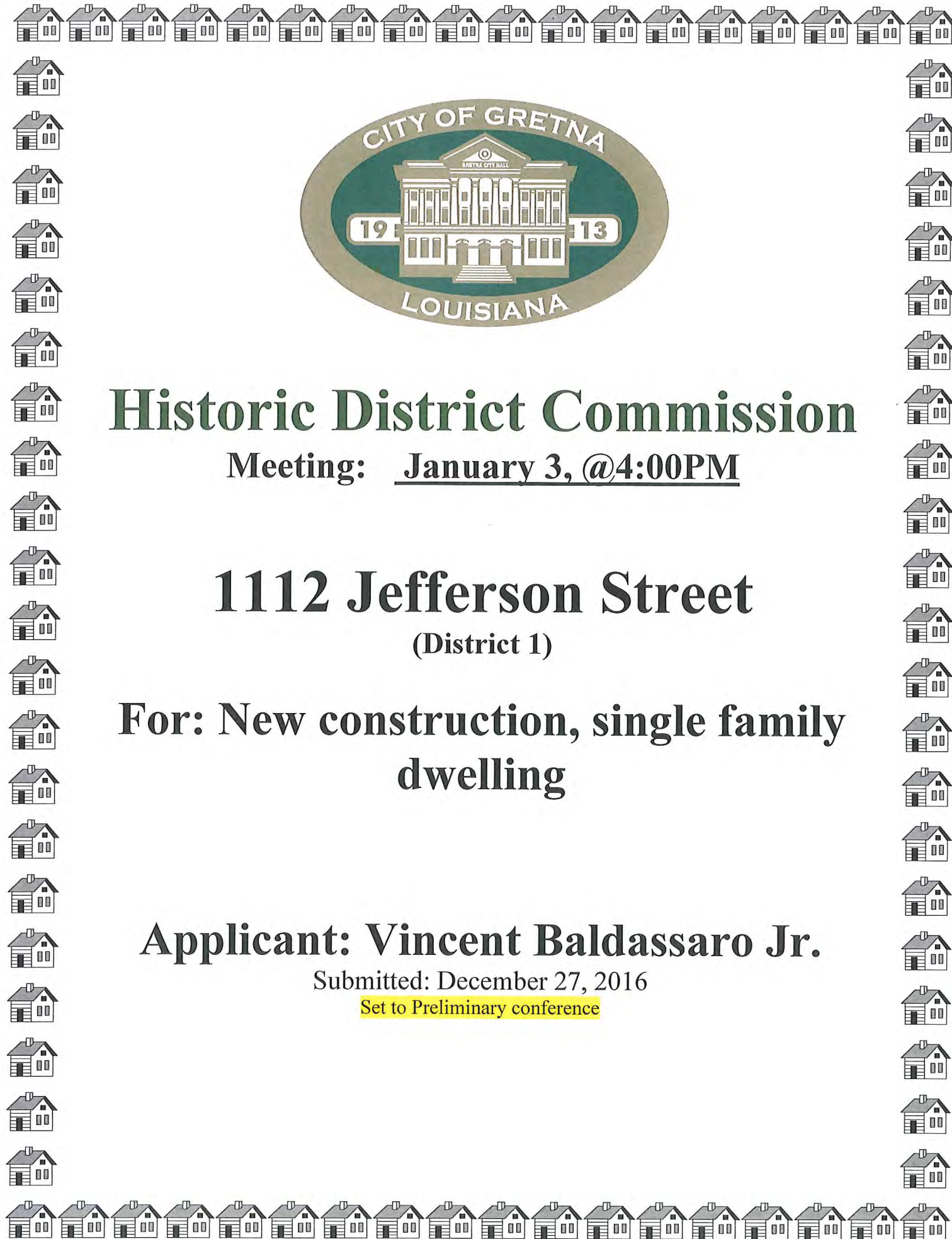
(District 1)

**For: New construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: December 27, 2016

Set to Preliminary conference







# Historic District Commission

Meeting: December 5, 2016 @4:00PM

**1112 Jefferson Street**

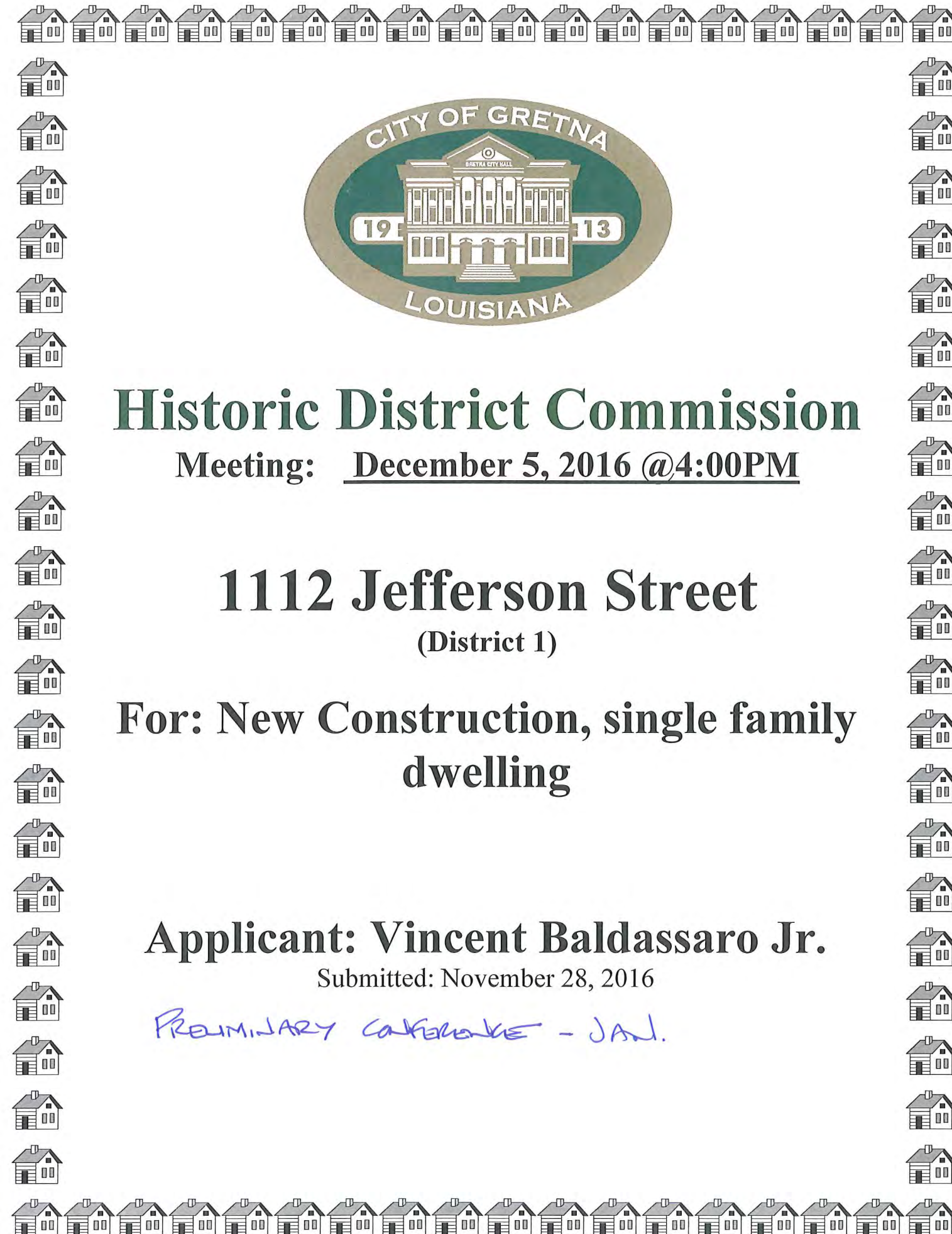
(District 1)

**For: New Construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: November 28, 2016

*PRELIMINARY CALLER - JAN.*





Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.



Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1112 Jefferson St

Renovation: New Construction: Demolition:

Age of Structure:

Building Type:

Creole Cottage Shotgun Bungalow Other

Building Style:

Greek Revival Italianate New Orleans Bracketed Eastlake Colonial Revival Other

Exterior materials proposed:

Roof Soffit Fascia Siding Masonry Porches Balconies Handrails

Type of exterior lighting fixtures: Style of windows: Type of exterior doors: Describe any ornamental woodwork:



Elevations:

Front Space: \_\_\_\_\_ ft.      Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Vincent Baldassaro Date: 11/28/16

Applicant's Name: Vincent Baldassaro Jr Leslie Homes

Address: 444 Ave H Marrero LA 70072

Phone No: ( ) \_\_\_\_\_ Cell No: ( ) <sup>504</sup> 628 5260

**For Office Use Only:**

Date of Application: 11.28.16

Substantive Change: Yes ☒ No \_\_\_\_\_ Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No \_\_\_\_\_

Historic District Commission meeting date: 12.5.16

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau

## Councilman-at-Large

Milton L. Crosby

## District One

Michael Hinyub

## District Two

Mark K. Miller

## District Three

Jackie J. Berthelot

## District Four

## Departments

### Building and Regulatory

Danika Gorrondona

### Planning and Zoning

Azalea M. Roussel

### City Clerk

Norma J. Cruz

### Finance & Tax Departments

Raylyn C. Stevens

### Human Resources

David Neeb

### Public Utilities

Michael J. Baudoin

### Public Works

Daniel Lasyone

### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

I, Vincent Balclassari Jr the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on 12/5/16 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Vincent Balclassari Jr  
Signature of Applicant  
LESLIE HOMES Inc Vincent Balclassari Jr  
NAME OF APPLICANT (PLEASE PRINT)

444 Ave H MAKERS LA 70072  
Applicant's address

1112 Jefferson St  
Actual address of the property for review

Date: 11/27/16



SQUARE 63  
CITY OF GRETN  
McDONOGHVILLE  
JEFFERSON PARISH, LA.

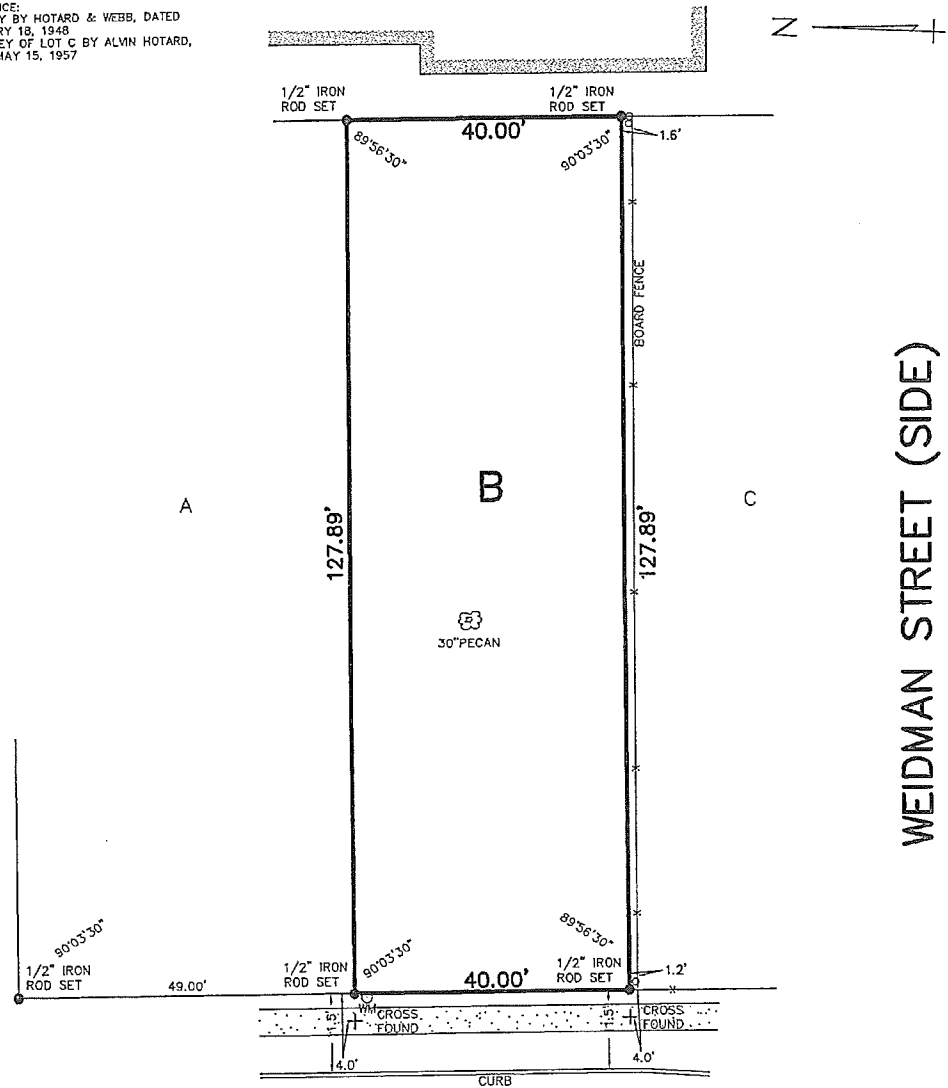
THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE:  
- SURVEY BY HOTARD & WEBB, DATED  
FEBRUARY 18, 1948  
- SURVEY OF LOT C BY ALVIN HOTARD,  
DATED MAY 15, 1957

MONROE STREET (SIDE)




ANSON STREET



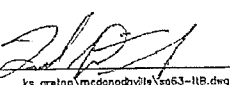
JEFFERSON STREET

OCTOBER 5, 2016

SURVEYED IN ACCORDANCE WITH THE LOUISIANA  
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A  
CLASS C SURVEY, MADE AT THE REQUEST OF  
LESLIE HOMES.

 **DUFRENE SURVEYING  
& ENGINEERING INC.**  
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058  
504-368-5390 PH. 504-368-6394 FAX  
dufrene@dufrenesurveying.com

JOB# 16-000589  
SCALE: 1" = 20'

  
ks gretna mcdonoghville sq63-118.dwg



# NEW RESIDENCE

1112 JEFFERSON ST.  
GRETNA, LOUISIANA



ARCHITECTURAL SYMBOLS	
	DRAWING NUMBER/LETTER <b>TITLE</b> SCALE: 3/16" = 1'-0" DRAWING TITLE DRAWING SCALE SHEET DRAWN
	DRAWING NUMBER <b>DETAIL</b> SCALE: 1/2" = 1'-0" DRAWING TITLE DRAWING SCALE ORIGIN SHEET SHEET DRAWN
	DIRECTION OF CUTTING PLANE SECTION NUMBER SHEET WHERE SECTION IS FOUND
	DETAIL NUMBER SHEET WHERE DETAIL IS FOUND
	SHEET WHERE ELEVATION IS FOUND ELEVATION NUMBER
	DOOR MARK (CORRESPONDS WITH ROOM NUMBER)
	WINDOW MARK
	ROOM NUMBER
	COLUMN LINE
	CONSTRUCTION ELEVATION
	PARTITION TYPE

INDEX OF DRAWINGS	
SHT NO.	DESCRIPTION
A00	TITLE SHEET
A01	SITE PLAN & GENERAL NOTES
A02	FOUNDATION PLAN & DETAILS
A03	FLOOR PLAN & ROOF PLAN
A04	EXTERIOR ELEVATIONS
A05	CROSS SECTIONS
A06	INTERIOR ELEVATIONS & SCHEDULES
A07	ELECTRICAL SCHEMATIC

BUILDING INFORMATION	
1418 SF - LIVING	
105 SF - FRONT PORCH	
1523 SF - TOTAL	

STATEMENT OF RESPONSIBILITY:  
THIS PROJECT HAS BEEN DESIGNED UNDER MY DIRECT  
SUPERVISION, AND TO MY BEST PROFESSIONAL  
KNOWLEDGE, CONFORMS TO ALL APPLICABLE  
REQUIREMENTS OF THE 2012 INTERNATIONAL  
RESIDENTIAL CODE AND ALL REFERENCED CODES  
THEREIN.

New Residence  
1112 Jefferson St.  
Gretna, Louisiana



job no.  
572016  
drawn by: JND  
checked: JFD  
date: 12/26/16  
for  
PERMIT  
revisions

sheet content  
TITLE SHEET

A00  
of

Note: If any items herein are not  
indicated as such on the drawing,  
they are not to be included in the  
scope of the project. The architect  
assumes no responsibility for the  
accuracy of the information provided  
herein prior to actual construction.

Dalton

architecture

1242 Aljo Ave. Marrero, LA 70072 - jdalton@daltonarchitects.com - 504-782-5705

John F. Dalton, Jr. AIA, LEED AP, Architect

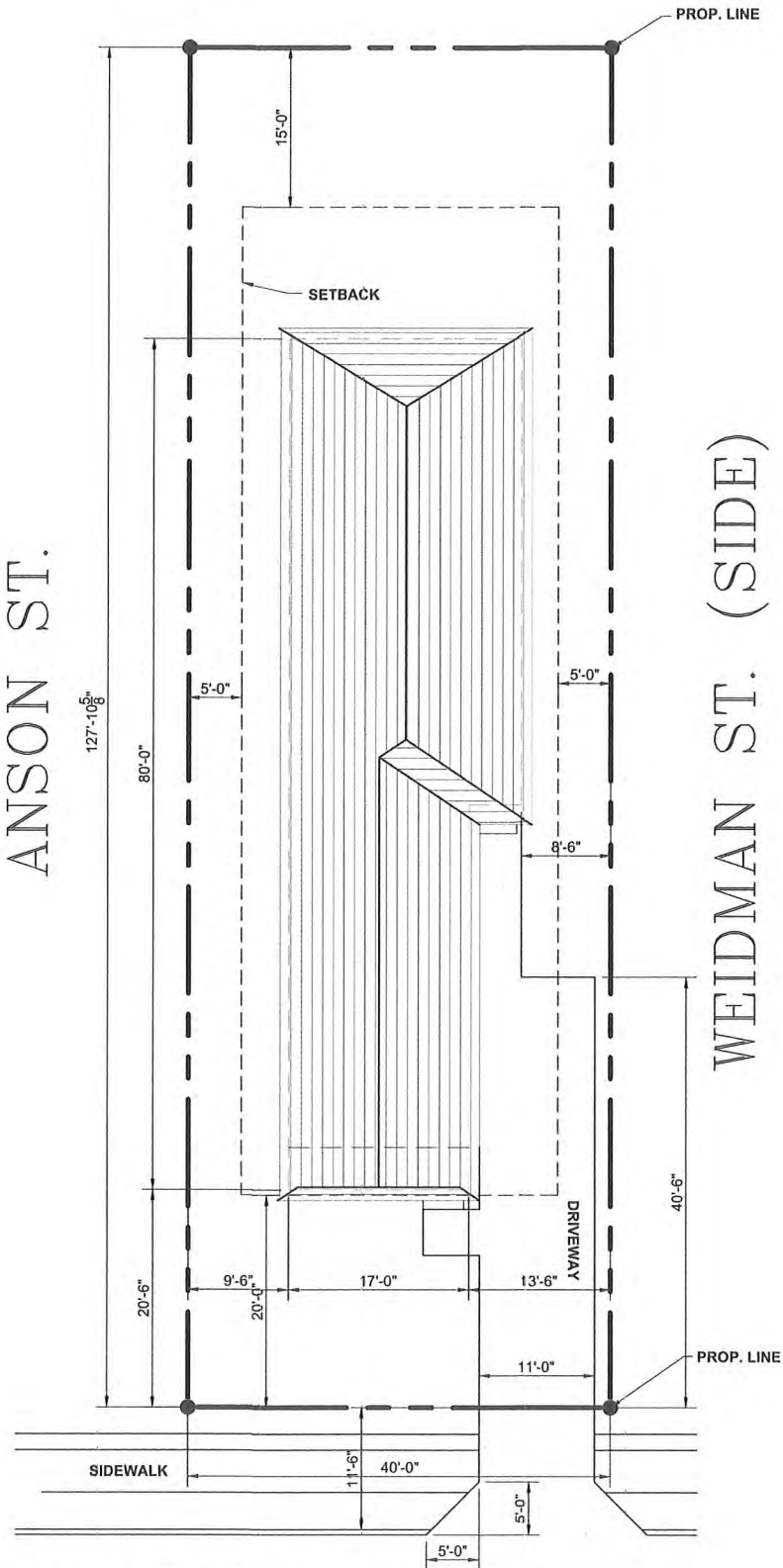


GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION.
2. WORK ONLY FROM THE WRITTEN DIMENSIONS & OR ACTUAL FIELD CONDITIONS - DO NOT SCALE DRAWINGS.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS AND SHALL PAY ALL PERMIT FEES, AGENCY REVIEW FEES, AND INSPECTION FEES ASSOCIATED WITH THIS WORK.
4. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE & EVIDENCE THAT THEY HOLD LICENSE OF PROPER CLASSIFICATION & IN FULL FORCE & EFFECT.
5. ALL ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE LICENSED TO PERFORM THE STIPULATED SERVICES OF THEIR LICENSE REQUIREMENTS & SHALL BE LICENSED SPECIFICALLY IN JEFFERSON PARISH, LOUISIANA.
6. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING & STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION SEQUENCING & PROCEDURE & TO INSURE THE SAFETY OF THE BUILDING, ITS COMPONENT PARTS, AND CONSTRUCTION WORKERS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY.
7. ALL WALL & CEILING FINISHES SHALL BE CLASS "A" & SO LABELED.
8. COORDINATE THE INSTALLATION OF ALL MECHANICAL, ELECTRICAL, & PLUMBING SLEEVES & DUCTS AS INDICATED BY THE OWNER TO COMPLETE THIS PROJECT. DUCTS AND SLEEVES SHALL NOT INTERFERE WITH THE STRUCTURAL FRAMING NOR SHALL THEY IMPAIR THE STRENGTH OF THE STRUCTURE.
9. PROVIDE OPEN CELL SPRAY FOAM INSULATION THROUGHOUT THE STRUCTURE; MINIMUM R-19 IN THE WALLS, & MINIMUM R-30 IN THE ATTIC.
10. THIS STRUCTURE WAS DESIGNED AS PER IRC 2012 WITH 140 MPH WIND LOAD.
11. ALL EXTERIOR WALLS AND PLUMBING WALLS SHALL BE 2X6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
12. IRC 2012 - R301.2.1.1 DESIGN CRITERIA - THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (WFCM)
13. GLAZED OPENING PROTECTION FROM WIND-BORNE DEBRIS - THIS STRUCTURE SHALL UTILIZE  $\frac{1}{2}$ " PLYWOOD PANELS THAT SHALL BE PRECUT TO FIT EACH WINDOW AND ATTACHED WITH #8 WOOD SCREWS @ 8" O.C. EACH PANEL SHALL BE SIZED AND NUMBERED FOR EACH WINDOW AND SHALL BE STORED ON SITE WITH THE REQUIRED NUMBER OF FASTENERS AT ALL TIMES. NO PANEL SIZE SHALL EXCEED 8'

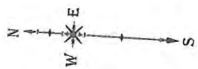
LOT B  
SQUARE 63  
MCDONGHVILLE  
CITY OF GRETN  
JEFFERSON PARISH, LOUISIANA

MONROE STREET (SIDE)



JEFFERSON STREET

1 SITE PLAN  
A01 SCALE: 3/32"=1'-0"



Dalton

architecture

New Residence  
1112 Jefferson St.  
Gretna, Louisiana



job no.  
572016  
drawn by: JFD  
checked: JFD  
date: 12/26/16  
for  
PERMIT  
revisions

sheet content

SITE PLAN &  
GENERAL NOTES

A01  
of

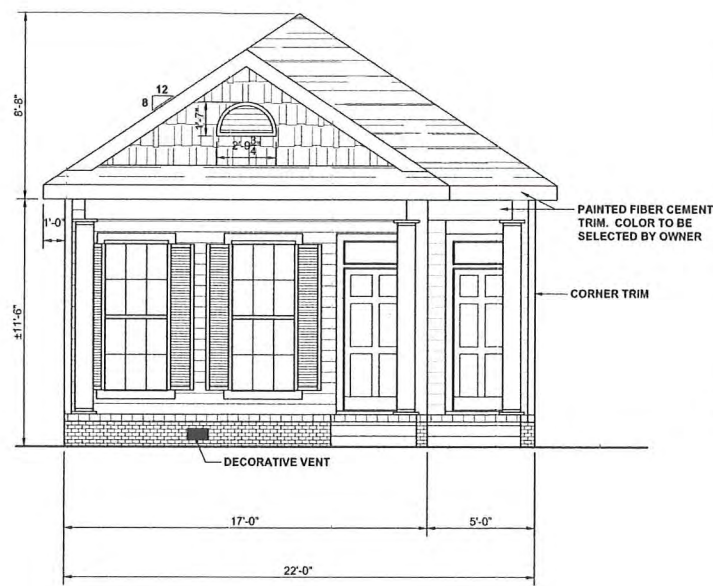
Note: If any items listed are not  
indicated on the plan, the architect  
shall be responsible for the design.  
The architect shall be responsible for  
the design of the structure and the  
structure shall be built in accordance  
with the design.

John F. Dalton, Jr., AIA, LEED AP, Architect  
1242 Aljo Ave. Marrero, LA 70072 - jdalton@daltonarchitects.com - 504-782-5705

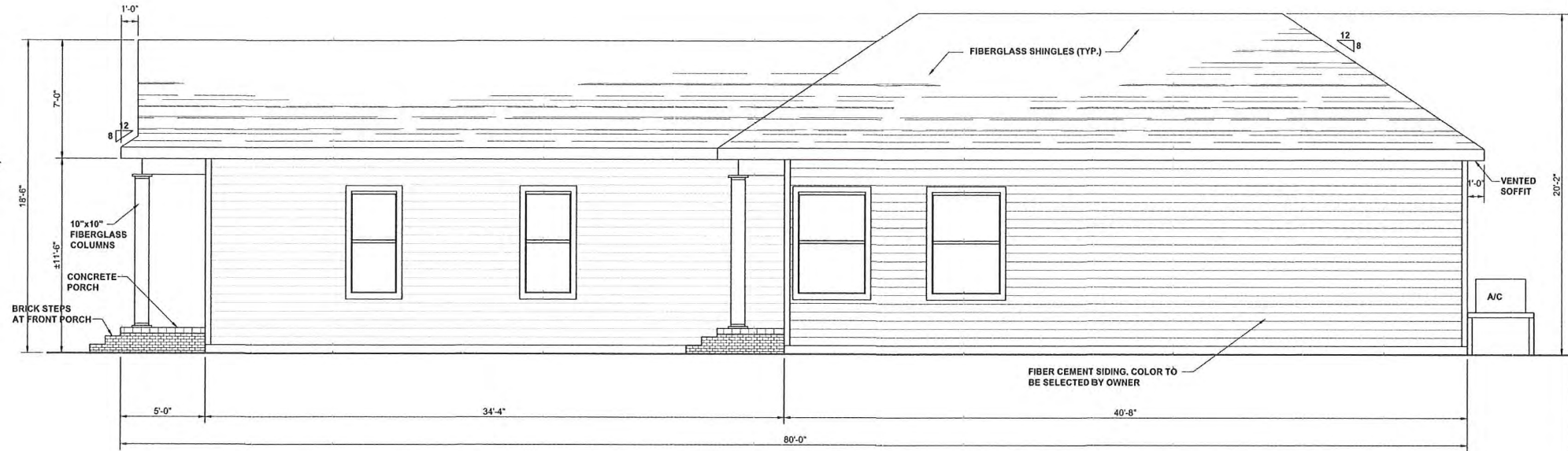




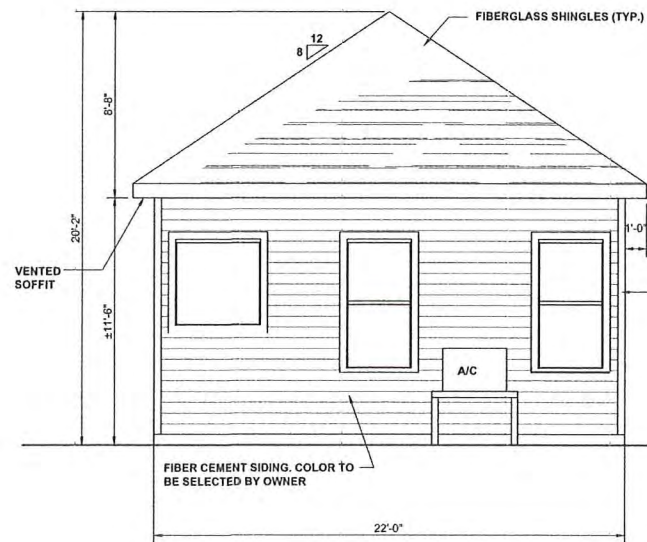




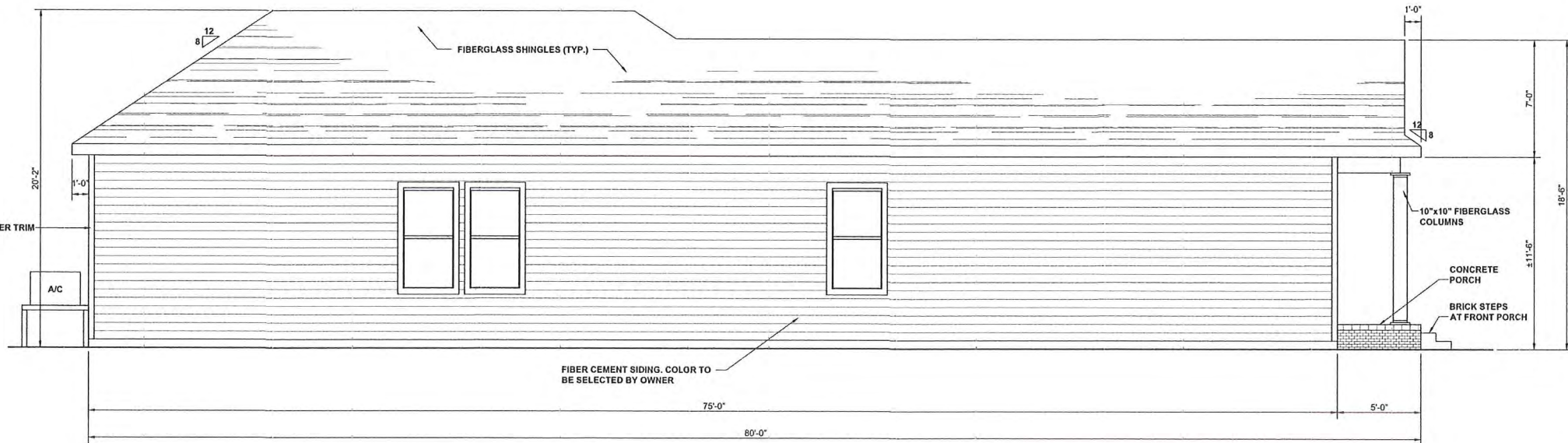
**A FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**B RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**C REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**D LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

# Dalton

architecture

New Residence  
1112 Jefferson St.  
Gretna, Louisiana

1242 Aljo Ave. Marrero, LA 70072  
jddalton@daltonarchitects.com - 504-782-5705

job no.  
**572016**  
drawn by: JWD  
checked: JFD  
date: 12/29/16  
for  
PERMIT  
revisions

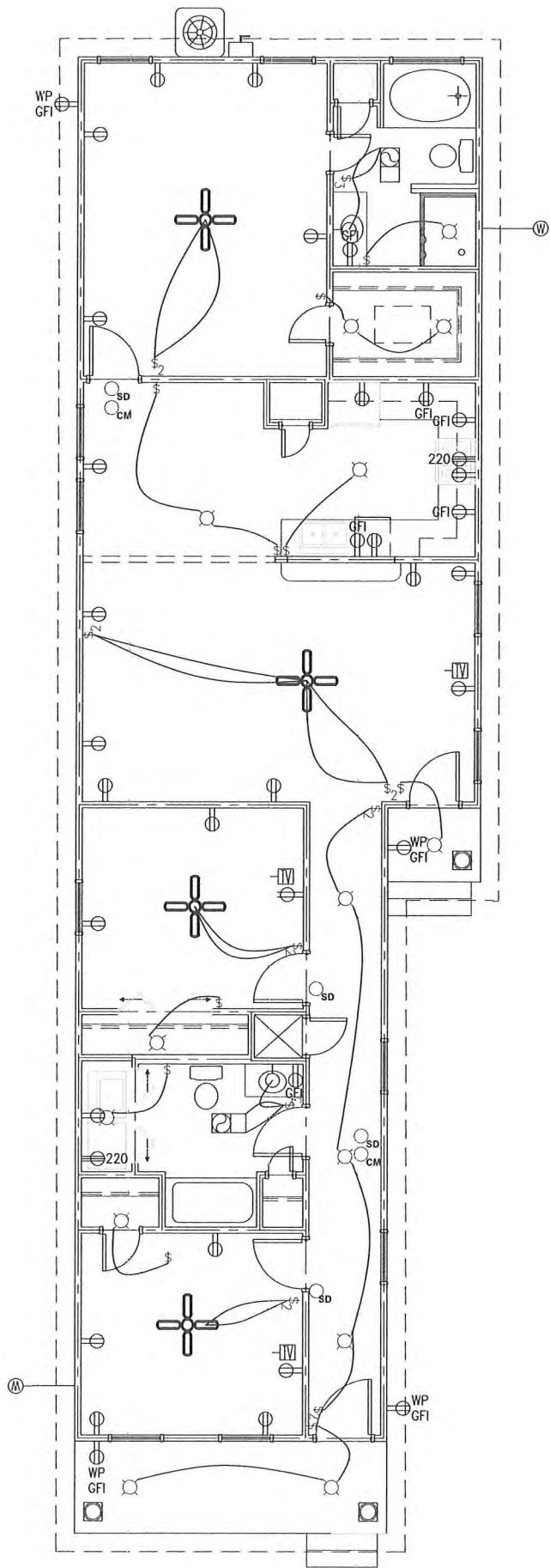
sheet content

EXTERIOR  
ELEVATIONS

**A04**

John F. Dalton, Jr. AIA, LEED AP, Architect





1 ELECTRICAL SCHEMATIC  
A07 SCALE: 1/4"=1'-0"

ELECTRICAL SCHEDULE	
\$	SWITCH
\$ <sub>2</sub>	2-WAY SWITCH
\$ <sub>3</sub>	3-WAY SWITCH
\$ <sub>4</sub>	4-WAY SWITCH
☉	CEILING MOUNTED LIGHT
☉ <sub>C</sub>	CHANDELIER
☉ <sub>VP</sub>	VAPOR PROOF LIGHTING
☉ <sub>R</sub>	RECESSED LIGHTING
○	WALL SCONCE
○ <sub>F</sub>	FLOOD LIGHT
☐	VENT LIGHT
⊖	OUTLET
⊖ <sub>C</sub>	CEILING OUTLET
⊖ <sub>GFI</sub>	GROUND FAULT OUTLET
⊖ <sub>220</sub>	220 VOLT RECEPTACLE
⊖ <sub>WP GFI</sub>	WATERPROOF OUTLET
☐	VENT
—	VANITY LIGHT
✚	CEILING FAN
☐ <sub>F</sub>	FLOOD LIGHT
△	TELEPHONE JACK
☐ <sub>TV</sub>	CATV JACK
⊕	GAS COCK
⊖	HOSE BIBB
☐	ELECTRICAL SERVICE DISCONNECT
▤	LED OR FLUORESCENT EXTERIOR LIGHTING
⊕	GAS SYMBOL
○ <sub>SD</sub>	SMOKE DETECTOR
○ <sub>CM</sub>	CARBON MONOXIDE DETECTOR

Dalton

architecture

New Residence  
1112 Jefferson St.  
Gretna, Louisiana



job no.  
572016  
drawn by: JMD  
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date: 12/26/16  
for  
PERMIT  
revisions

sheet content

ELECTRICAL  
SCHEMATIC

A07  
of

Note: If any items herein are not  
indicated or not as shown,  
please refer to the project manual  
for the complete list of items  
to be installed.

John F. Dalton, Jr. AIA, LEED AP, Architect  
1242 Allo Ave. Marrero, LA 70072 — jdalton@daltonarchitects.com — 504-782-5705



# Historic District Commission

Meeting: January 3, @4:00PM

**1020 Jefferson Street**

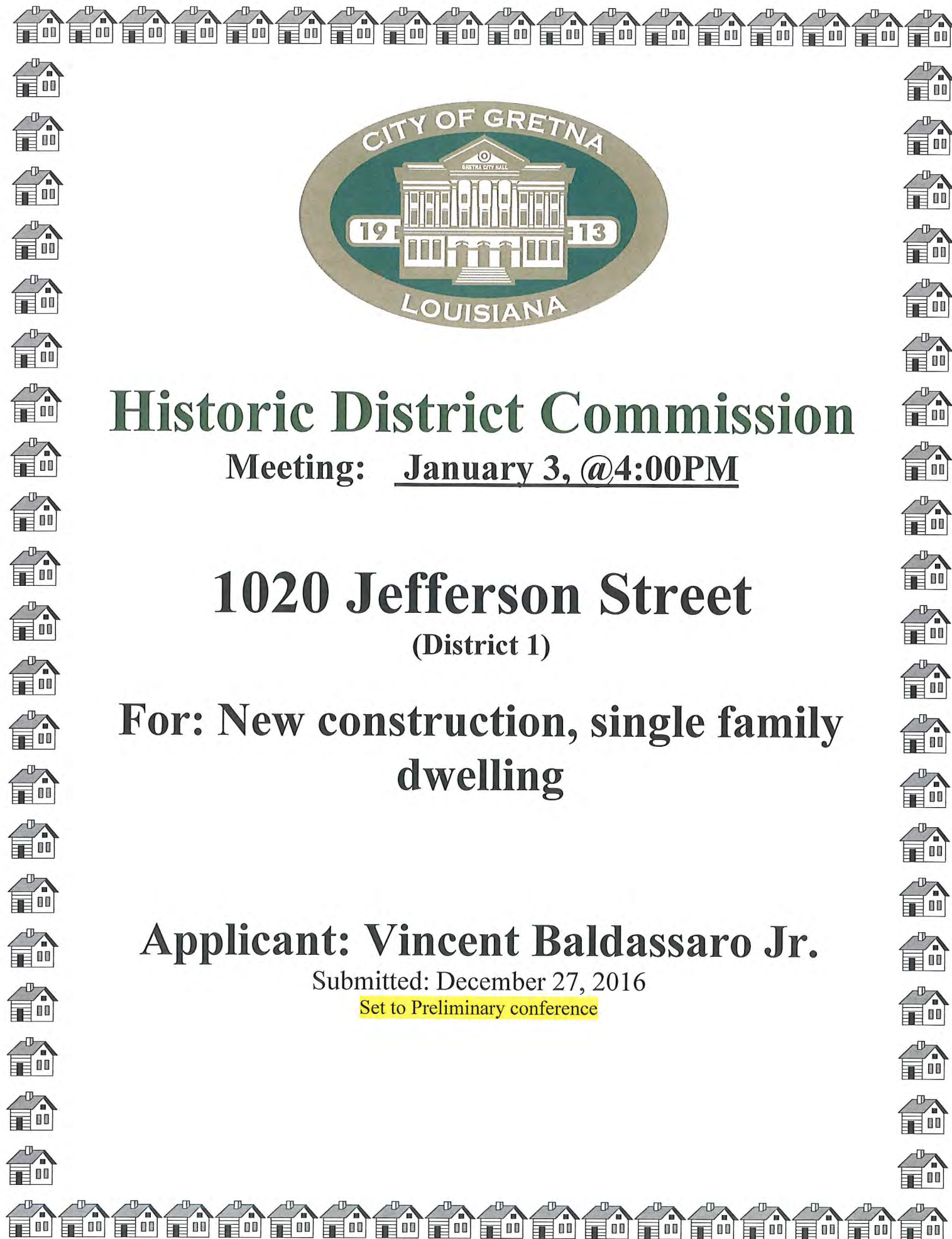
(District 1)

**For: New construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: December 27, 2016

Set to Preliminary conference







# Historic District Commission

Meeting: December 5, 2016 @4:00PM

**1020 Jefferson Street**

(District 1)

**For: New Construction, single family dwelling**

**Applicant: Vincent Baldassaro Jr.**

Submitted: November 28, 2016

*PRELIMINARY CONFERENCE - JAN*



Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

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- Moving of an historic building
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**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

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**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.



Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1020 Jefferson St Me Donoghville

Renovation: New Construction: New Home Demolition:

Age of Structure: NEW

Building Type:

Creole Cottage Shotgun Bungalow Other

Building Style:

Greek Revival Italianate New Orleans Bracketed Eastlake Colonial Revival Other

Exterior materials proposed:

Roof Comp Soffit Hardly Fascia Hardly Siding Hardly Masonry Porches Brick & Concrete Balconies N/A Handrails if needed wood

Type of exterior lighting fixtures: Hanging Light over Entrance Style of windows: 2 over 2 Type of exterior doors: wood & glass Describe any ornamental woodwork: 5g Columns

Elevations:

Front Space:\_\_\_\_\_ft.      Side Space:\_\_\_\_\_ft.  
Rear Space:\_\_\_\_\_ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Vincent Baldassaro Date: \_\_\_\_\_  
Applicant's Name: Vincent Baldassaro Jr  
Address: 444 Ave H MARVERO 20072  
Phone No:( ) \_\_\_\_\_ Cell No: (504) 628-5260

For Office Use Only:

Date of Application: 11/28/2016  
Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_ Inventory Number: \_\_\_\_\_  
Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No \_\_\_\_\_  
Historic District Commission meeting date: 12/5/2016  
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor  
Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau  
Councilman-at-Large  
Milton L. Crosby  
District One  
Michael Hinyub  
District Two  
Mark K. Miller  
District Three  
Jackie J. Berthelot  
District Four

## Departments

### Building and Regulatory

Danika Gorrondona

### Planning and Zoning

Azalea M. Roussell

### City Clerk

Norma J. Cruz

### Finance & Tax Departments

Raylyn C. Stevens

### Human Resources

David Neeb

### Public Utilities

Michael J. Baudoin

### Public Works

Daniel Lasyone

### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

I, Vincent Baldassaro the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on 12/5/16 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Vincent Baldassaro  
Signature of Applicant

LES/IEHOMES, INC VINCENT BALDASSARO, JR.  
NAME OF APPLICANT (PLEASE PRINT)

444 Ave H, Marrero LA 70072  
Applicant's address

1020 Jefferson ST McDonoghville  
Actual address of the property for review

Date: 11/28/16

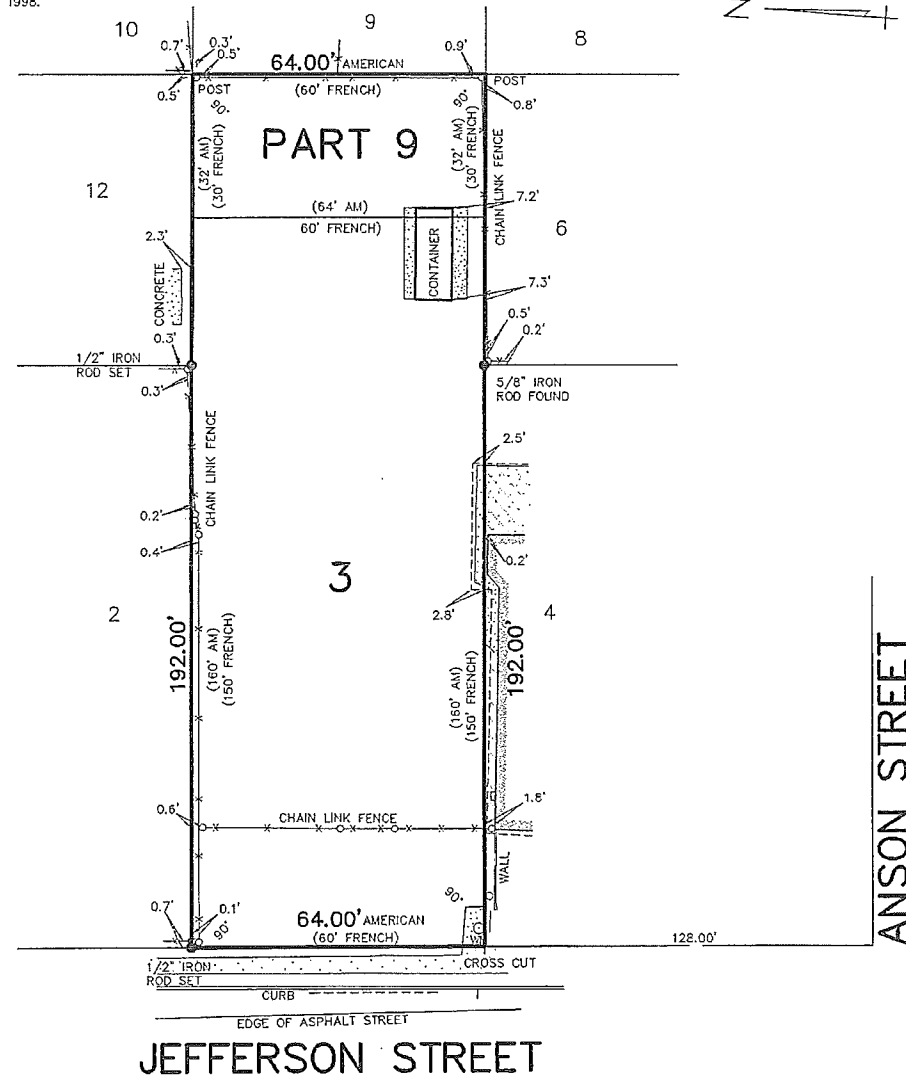
SQUARE 62  
MCDONOGHVILLE  
CITY OF GRETN  
JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY  
ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION  
FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL  
APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON.  
THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD  
SEARCH IN COMPIING THE DATA FOR THIS SURVEY.

REFERENCE: SURVEY OF LOT 11 SQUARE 62 BY  
DUFRENE SURVEYING & ENGINEERING, INC.  
DATED FEBRUARY 3, 1998.

MADISON STREET (SIDE)

BURMASTER STREET (SIDE)  
(FORMERLY FERNANDER STREET)



OCTOBER 19, 2016

SURVEYED IN ACCORDANCE WITH THE LOUISIANA  
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A  
CLASS C SURVEY, MADE AT THE REQUEST OF  
LESLIE HOMES.



DUFRENE SURVEYING  
& ENGINEERING INC.

1624 MANHATTAN BOULEVARD, HARVEY, LA 70058  
504-368-6390 PH. 504-368-6394 FAX  
dufrene@dufrenesurveying.com

JOB# 16-000639  
SCALE: 1" = 30'

*[Signature]*  
VL GRETN/MCDONOGHVILLE/SQ62-LT3.DWG



# NEW RESIDENCE

1020 JEFFERSON ST.  
GRETNA, LOUISIANA

ARCHITECTURAL SYMBOLS	
<div><div>AA</div><div>A5.1</div><div><div>TITLE</div><div>SCALE: 3/16" = 1'-0"</div></div></div> <div>DRAWING NUMBER/LETTER</div> <div>DRAWING TITLE</div> <div>DRAWING SCALE</div> <div>SHEET DRAWN</div>	
<div><div>8</div><div>F02 F06</div><div><div>DETAIL</div><div>SCALE: 1/2" = 1'-0"</div></div></div> <div>DRAWING NUMBER</div> <div>DRAWING TITLE</div> <div>DRAWING SCALE</div> <div>ORIGIN SHEET</div> <div>SHEET DRAWN</div>	
<div><div>AA</div><div>A5.1</div><div><div>DIRECTION OF CUTTING PLANE</div><div>SECTION NUMBER</div></div></div> <div>DIRECTION OF CUTTING PLANE</div> <div>SECTION NUMBER</div> <div>SHEET WHERE SECTION IS FOUND</div>	
<div><div>7</div><div>A6.1</div><div><div>DETAIL</div><div>SCALE: 1/2" = 1'-0"</div></div></div> <div>DETAIL NUMBER</div> <div>SHEET WHERE DETAIL IS FOUND</div>	
<div><div>AB.1</div><div>4</div><div><div>SHEET WHERE ELEVATION IS FOUND</div><div>ELEVATION NUMBER</div></div></div> <div>SHEET WHERE ELEVATION IS FOUND</div> <div>ELEVATION NUMBER</div>	
<div><div>143</div><div><div>DOOR MARK (CORRESPONDS WITH ROOM NUMBER)</div></div></div> <div>DOOR MARK (CORRESPONDS WITH ROOM NUMBER)</div>	
<div><div>W1</div><div><div>WINDOW MARK</div></div></div> <div>WINDOW MARK</div>	
<div><div>115</div><div><div>ROOM NUMBER</div></div></div> <div>ROOM NUMBER</div>	
<div><div>1</div><div><div>COLUMN LINE</div></div></div> <div>COLUMN LINE</div>	
<div><div>EL. 2'-6"</div><div><div>CONSTRUCTION ELEVATION</div></div></div> <div>CONSTRUCTION ELEVATION</div>	
<div><div>P6</div><div><div>PARTITION TYPE</div></div></div> <div>PARTITION TYPE</div>	



BUILDING INFORMATION	
1521 SF	1ST FLOOR LIVING
115 SF	FRONT PORCH
1636 SF	TOTAL

INDEX OF DRAWINGS	
SHT NO.	DESCRIPTION
A00	TITLE SHEET
A01	SITE PLAN & GENERAL NOTES
A02	FOUNDATION PLAN & DETAILS
A03	FLOOR PLAN & ROOF PLAN
A04	EXTERIOR ELEVATIONS
A05	CROSS SECTIONS
A06	INTERIOR ELEVATIONS & SCHEDULES
A07	ELECTRICAL SCHEMATIC

Dalton

architecture

New Residence  
1020 Jefferson St.  
Gretna, Louisiana



job no.  
572016  
drawn by: JND  
checked: JFD  
date: 12/26/16  
for  
PERMIT  
revisions

sheet content

TITLE SHEET

A00  
of

STATEMENT OF RESPONSIBILITY:  
THIS PROJECT HAS BEEN DESIGNED UNDER MY DIRECT  
SUPERVISION, AND TO MY BEST PROFESSIONAL  
KNOWLEDGE, CONFORMS TO ALL APPLICABLE  
REQUIREMENTS OF THE 2012 INTERNATIONAL  
RESIDENTIAL CODE AND ALL REFERENCED CODES  
THEREIN.

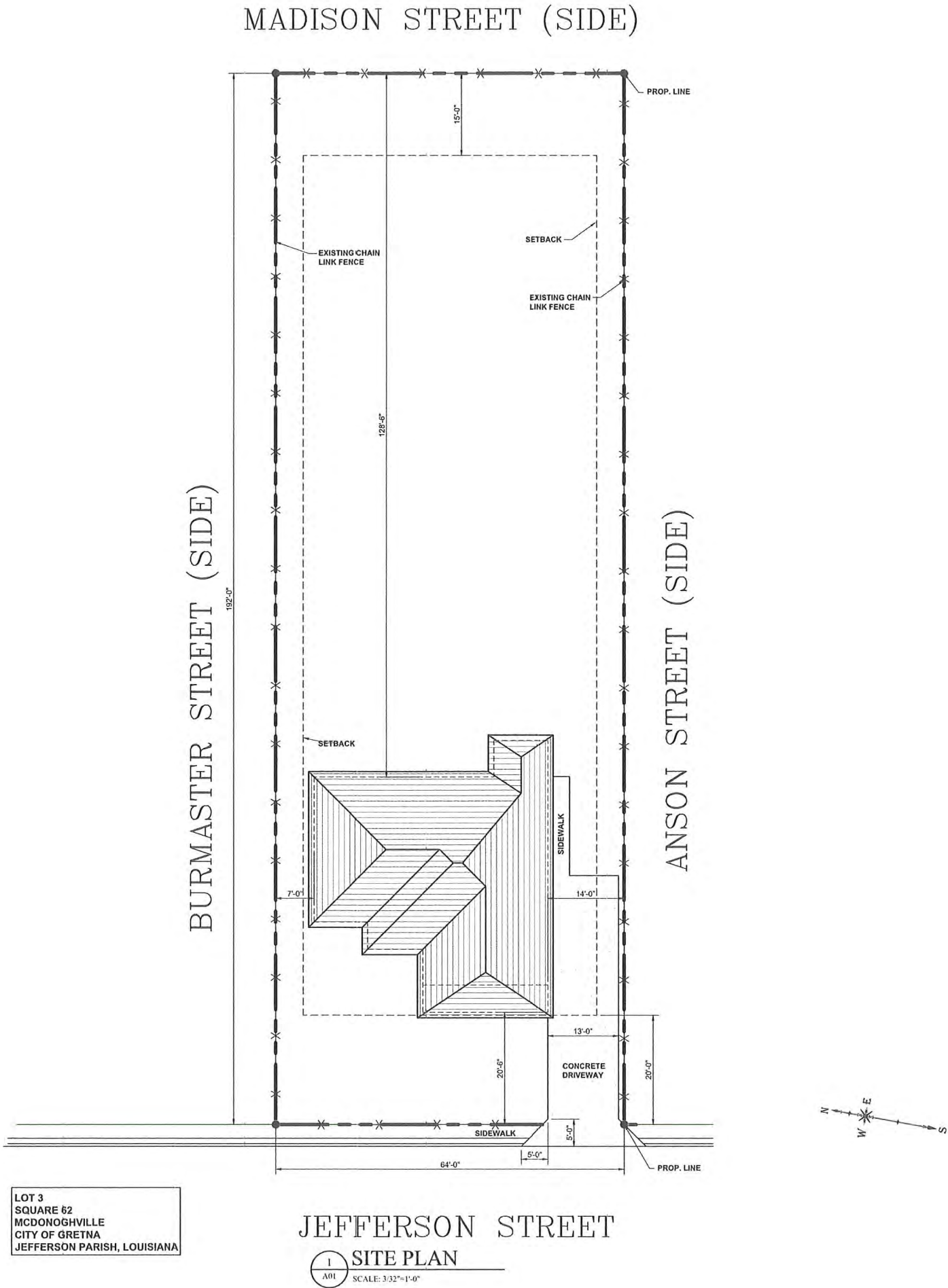
John F. Dalton, Jr. AIA, LEED AP, Architect

1242 Allo Ave. Marrero, LA 70072 - jdalton@daltonarchitects.com - 504-782-5705



GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION.
2. WORK ONLY FROM THE WRITTEN DIMENSIONS & OR ACTUAL FIELD CONDITIONS - DO NOT SCALE DRAWINGS.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS AND SHALL PAY ALL PERMIT FEES, AGENCY REVIEW FEES, AND INSPECTION FEES ACCOCIATED WITH THIS WORK.
4. THE GENERAL CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE & EVIDENCE THAT THEY HOLD LICENSE OF PROPER CLASSIFICATION & IN FULL FORCE & EFFECT.
5. ALL ELECTRICAL & MECHANICAL CONTRACTORS SHALL BE LICENSED TO PERFORM THE STIPULATED SERVICES OF THEIR LICENSE REQUIREMENTS & SHALL BE LICENSED SPECIFICALLY IN JEFFERSON PARISH, LOUISIANA.
6. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING & STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION SEQUENCING & PROCEDURE & TO INSURE THE SAFETY OF THE BUILDING, ITS COMPONENT PARTS, AND CONSTRUCTION WORKERS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY.
7. ALL WALL & CEILING FINISHES SHALL BE CLASS "A" & SO LABELED.
8. COORDINATE THE INSTALLATION OF ALL MECHANICAL, ELECTRICAL, & PLUMBING SLEEVES & DUCTS AS INDICATED BY THE OWNER TO COMPLETE THIS PROJECT. DUCTS AND SLEEVES SHALL NOT INTERFERE WITH THE STRUCTURAL FRAMING NOR SHALL THEY IMPAIR THE STRENGTH OF THE STRUCTURE.
9. PROVIDE OPEN CELL SPRAY FOAM INSULATION THROUGHOUT THE STRUCTURE; MINIMUM R-19 IN THE WALLS, & MINIMUM R-30 IN THE ATTIC.
10. THIS STRUCTURE WAS DESIGNED AS PER IRC 2012 WITH 140 MPH WIND LOAD.
11. ALL EXTERIOR WALLS AND PLUMBING WALLS SHALL BE 2X6 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
12. IRC 2012 - R301.2.1.1 DESIGN CRITERIA - THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (WFCM)
13. GLAZED OPENING PROTECTION FROM WIND-BORNE DEBRIS - THIS STRUCTURE SHALL UTILIZE  $\frac{1}{2}$ " PLYWOOD PANELS THAT SHALL BE PRECUT TO FIT EACH WINDOW AND ATTACHED WITH #8 WOOD SCREWS @ 8" O.C. EACH PANEL SHALL BE SIZED AND NUMBERED FOR EACH WINDOW AND SHALL BE STORED ON SITE WITH THE REQUIRED NUMBER OF FASTENERS AT ALL TIMES. NO PANEL SIZE SHALL EXCEED 8'



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New Residence  
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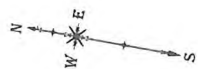
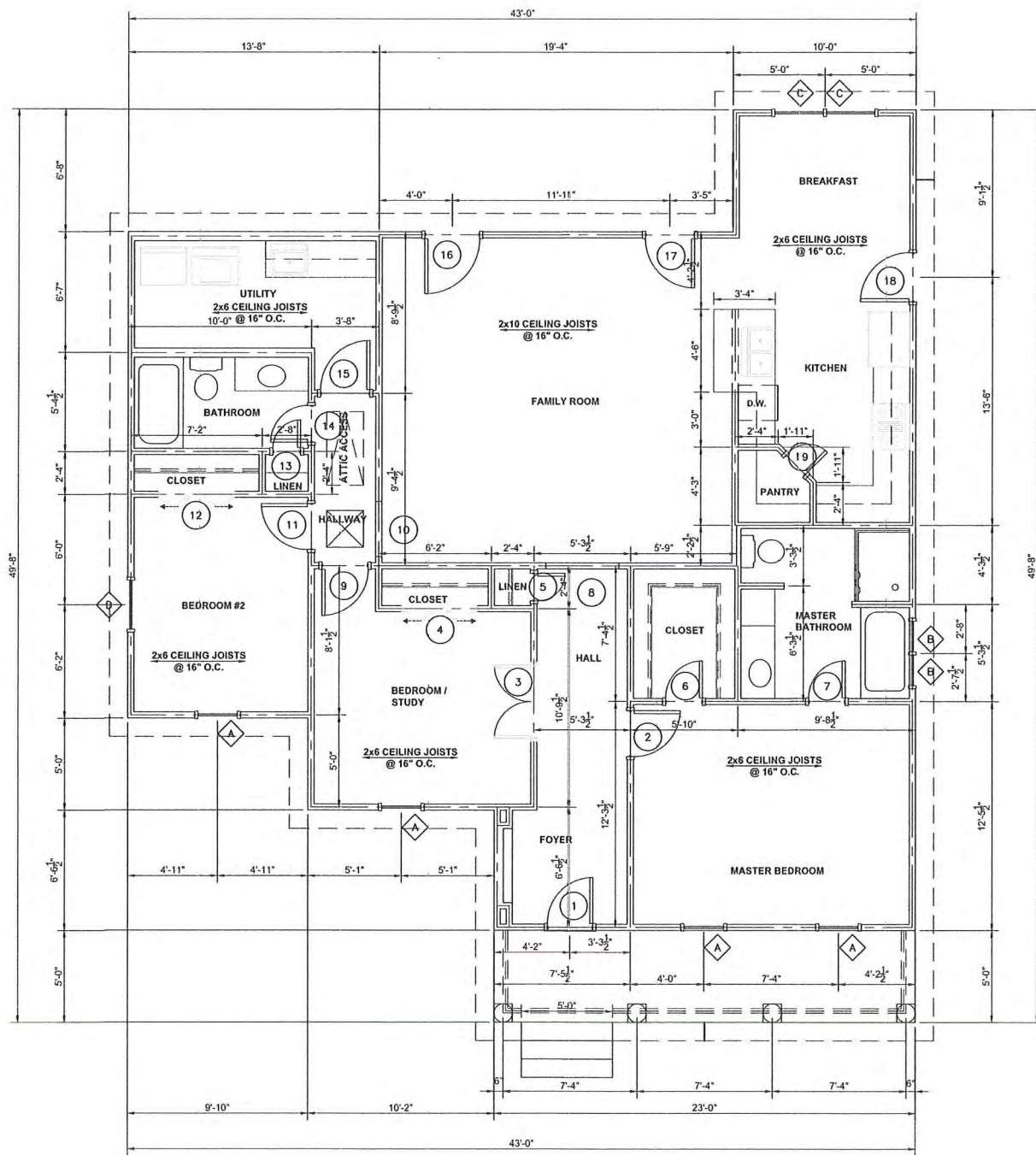
SITE PLAN &  
GENERAL NOTES

A01  
of

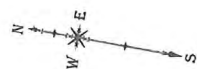
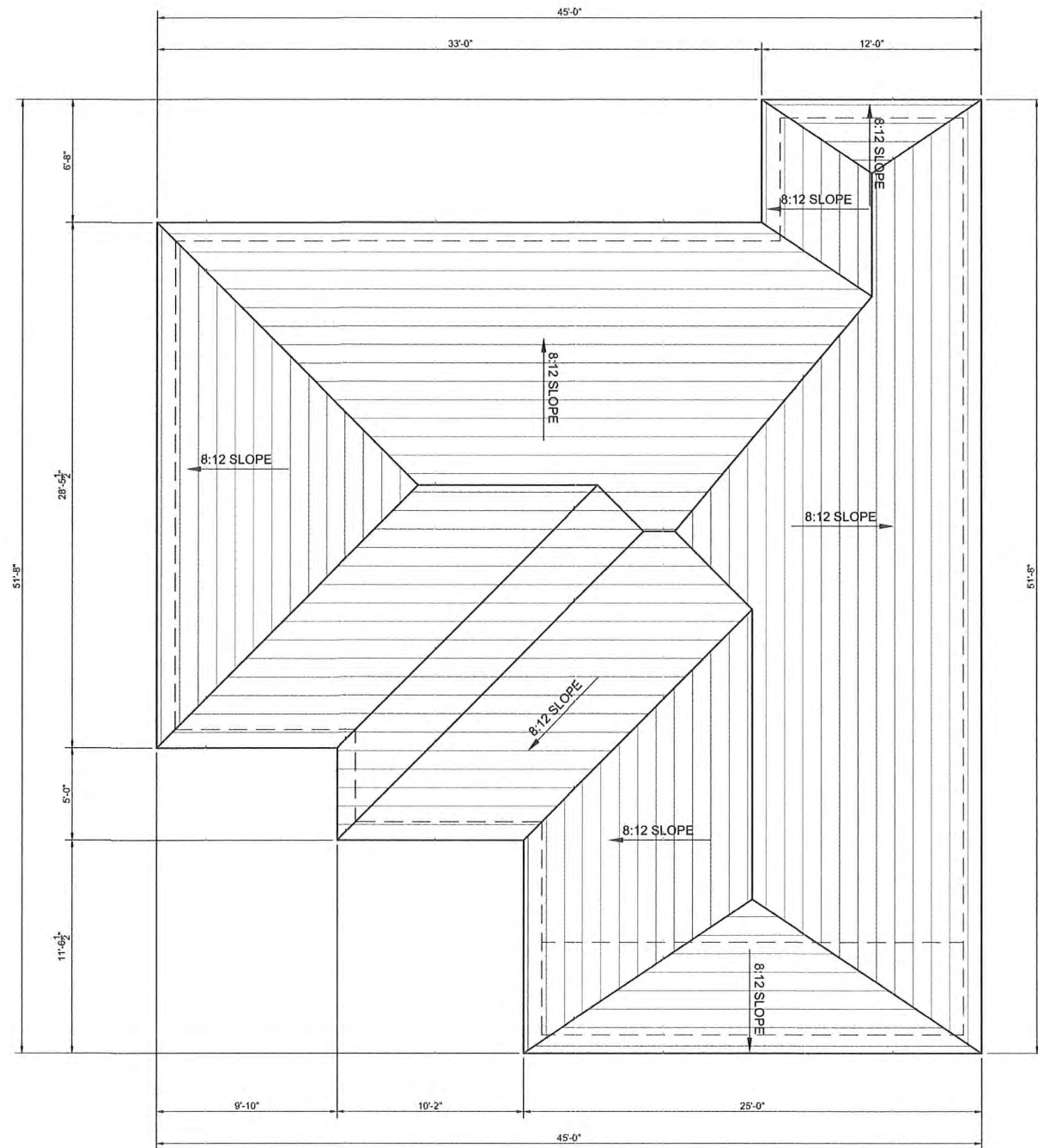
Note: If any items herein are not  
indicated as such on the drawing,  
contractor shall verify the location,  
depth, for existence and as required  
before any construction.

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1 OVERALL FLOOR PLAN  
A03 SCALE: 1/4"=1'-0"



2 OVERALL ROOF PLAN  
A03 SCALE: 1/4"=1'-0"



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FLOOR PLAN

A03  
of

Notes: If any items herein are not  
comprehensible or unclear to the client,  
the architect shall make every effort to  
clarify the same. The client shall be  
responsible for providing all necessary  
information prior to each meeting.

New Residence  
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Gretna, Louisiana

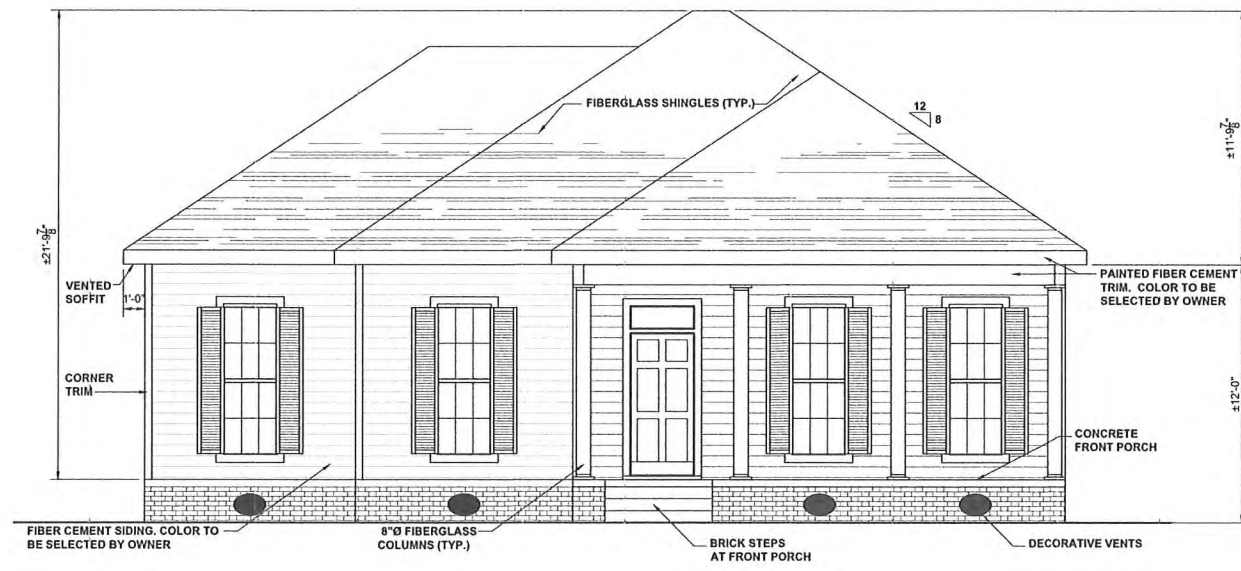
Dalton

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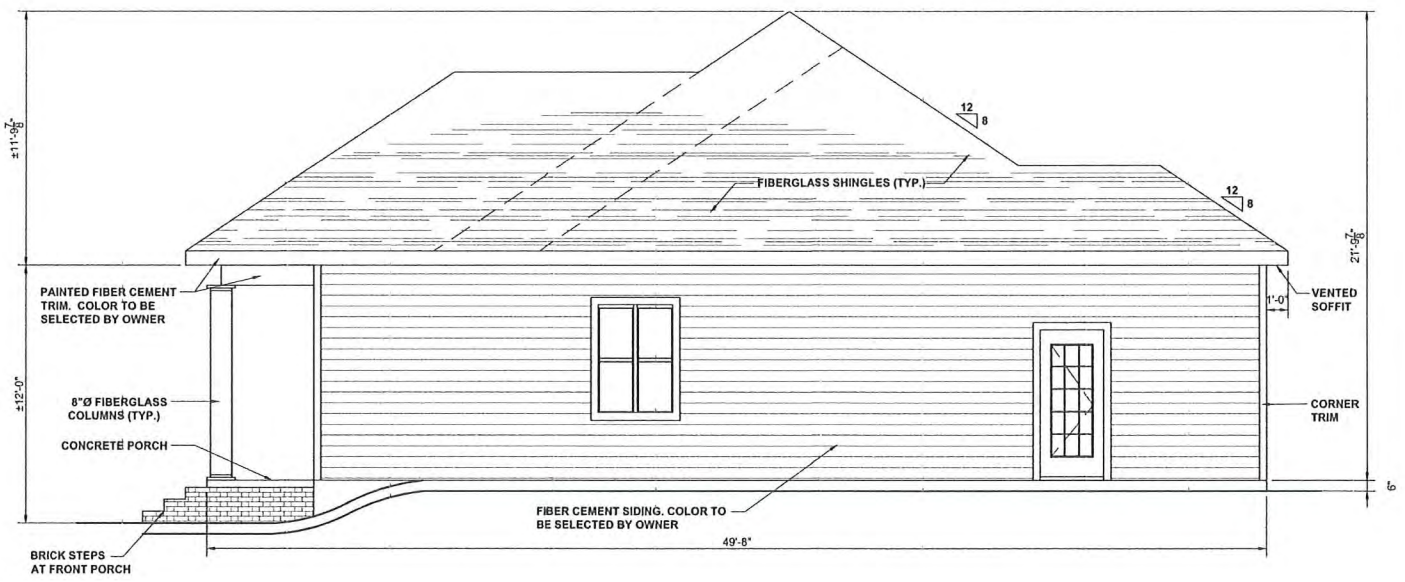
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architecture

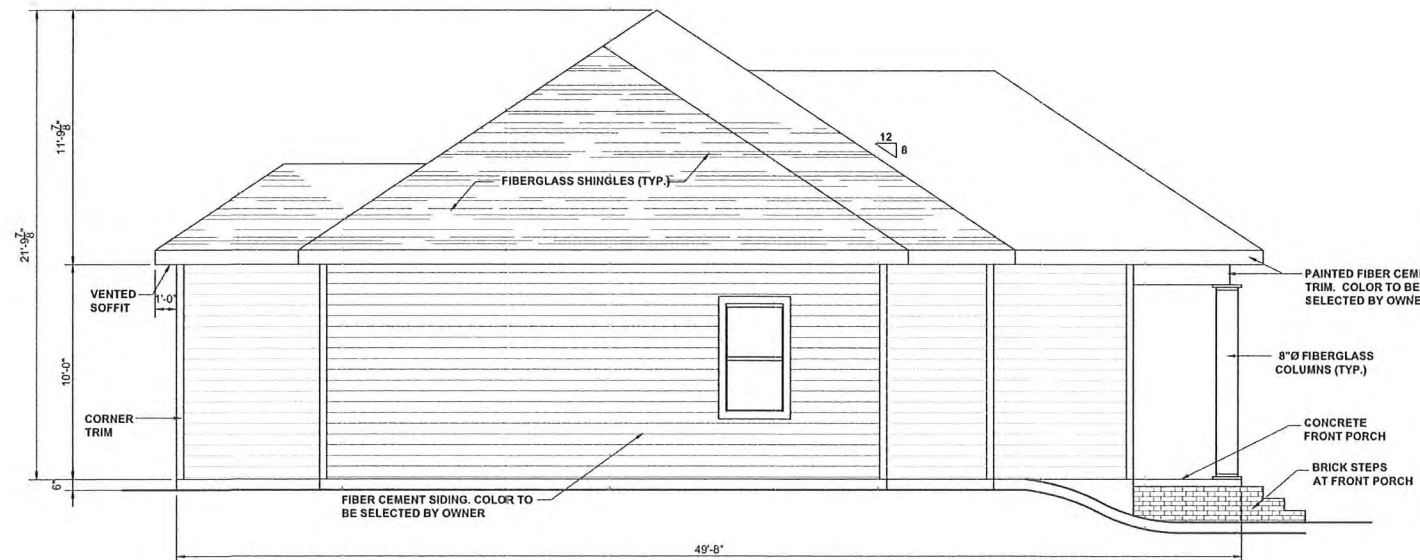




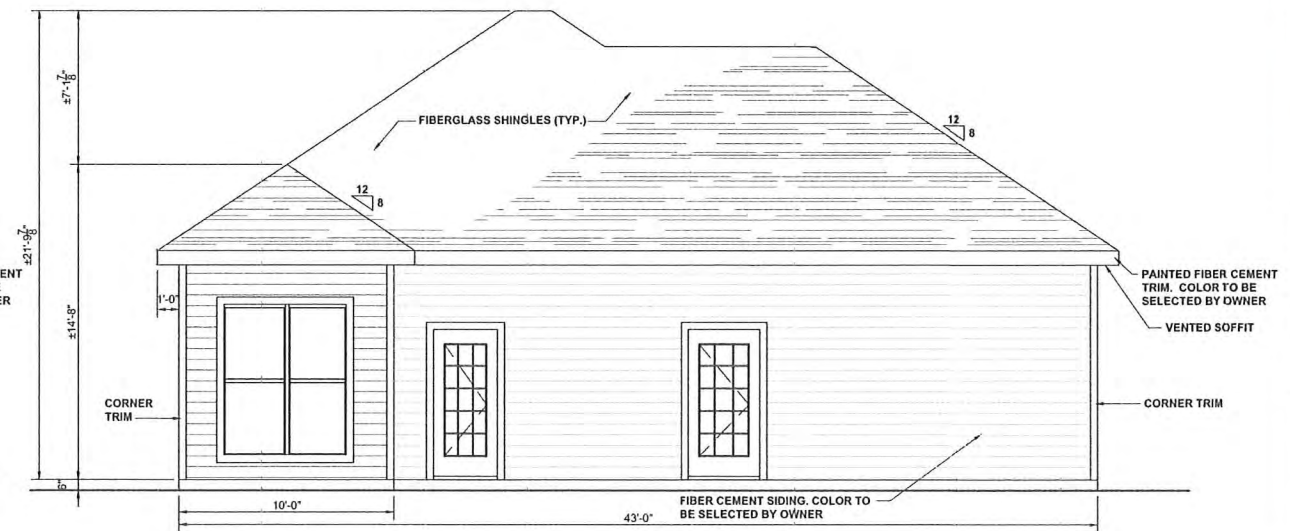
**A FRONT ELEVATION**  
A04 SCALE: 1/4"=1'-0"



**B RIGHT SIDE ELEVATION**  
A04 SCALE: 1/4"=1'-0"



**A FRONT ELEVATION**  
A04 SCALE: 1/4"=1'-0"



**B RIGHT SIDE ELEVATION**  
A04 SCALE: 1/4"=1'-0"

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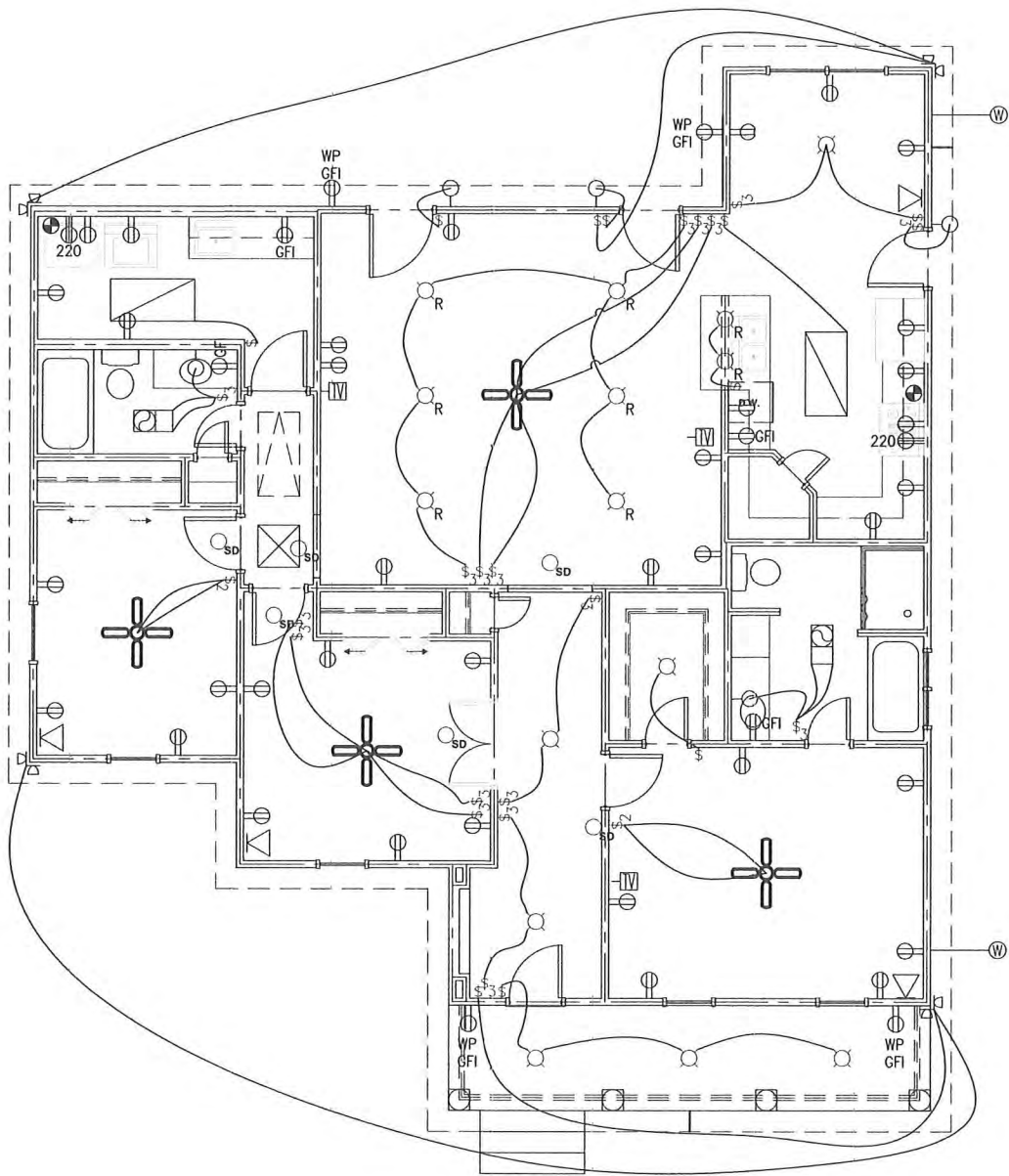
EXTERIOR  
ELEVATIONS

**A04**  
of

Notes: If any home builds any and modifications are made to the original design, the architect shall be notified. The architect shall be responsible for the distribution and use of the information prior to any construction.

John F. Dalton, Jr. AIA, LEED AP, Architect





1 FIRST FLOOR ELECTRICAL SCHEMATIC  
A07 SCALE: 1/4"=1'-0"

ELECTRICAL SCHEDULE

- \$ SWITCH
- \$<sub>2</sub> 2-WAY SWITCH
- \$<sub>3</sub> 3-WAY SWITCH
- \$<sub>4</sub> 4-WAY SWITCH
- ☉ CEILING MOUNTED LIGHT
- ☉<sub>C</sub> CHANDELIER
- ☉<sub>P</sub> PENDANT LIGHTING
- ☉<sub>R</sub> RECESSED LIGHTING
- WALL SCONCE
- <sub>F</sub> FLOOD LIGHT
- ☐ VENT LIGHT
- ⊖ OUTLET
- ⊖<sub>C</sub> CEILING OUTLET
- ⊖<sub>GFI</sub> GROUND FAULT OUTLET
- ⊖<sub>220</sub> 220 VOLT RECEPTACLE
- ⊖<sub>WP GFI</sub> WATERPROOF OUTLET
- ☐ VENT
- ▭ VANITY LIGHT
- ✦ CEILING FAN
- ▽<sub>F</sub> FLOOD LIGHT
- △ TELEPHONE JACK
- ▭<sub>TV</sub> CATV JACK
- ⊖<sub>G</sub> GAS COCK
- ⊖<sub>W</sub> HOSE BIBB
- ⊖<sub>E</sub> ELECTRICAL SERVICE DISCONNECT
- ▭<sub>LED</sub> LED OR FLUORESCENT EXTERIOR LIGHTING
- ⊖<sub>G</sub> GAS SYMBOL
- <sub>SD</sub> SMOKE DETECTOR

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ELECTRICAL  
SCHEMATIC

A07  
of

Notes: If any items herein are not  
indicated or shown as required,  
contractor must comply with the latest  
edition of applicable codes and standards.  
Contractor shall verify all conditions  
before construction.

John F. Dalton, Jr. AIA, LEED AP, Architect

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