THE CITY OF GRETNA HISTORIC DISTRICT COMMISSION MEETING

740 Second Street, Gretna, LA 70053 Council Chambers, 2nd floor

January 2, 2024 - 4:00 PM

AGENDA

AGENDA ITEM(S):

- 1. Call to Order/Roll Call
- 2. Discussion:
 - (1) Window shutters discussion.
- 3. CONSENT AGENDA for Certificate of Appropriateness:
 - (2) 539 Lafayette StreetCommercial sign Jennifer Joubert, Applicant (District 2)
 - (3) 904 9th Street Changes from approved COA 12/4/23 -Sal Gagliano, Applicant (District 2)
 - (4) 804 Franklin Street
 Laundry room addition Andrew Prejean, Applicant (District 1)
 - (5) 433 4th Street
 Front door change from original approved COA 11/1/22 Ricky Talamo, Applicant (District 2)
 - (6) 524 9th StreetShed John T. Vanderhooft, Applicant (District 2)
 - (7) 601 4th Street

 Commercial sign Julie Hill Foster, Applicant (District 2)
- 4. Properties with request for Certificate of Appropriateness:
 - (1) 726-728 Madison Street Front door and screen door - Clair Brown, Applicant (District 1)
 - (2) 500 1st Street

 Deviation from original approved COA 4/3/23 -Thomas Wilkinson, Applicant (District 2)
 - (3) 1114 Washington Street Renovations, preliminary conference 10/2/23 - Hyman Bartolo Jr., Applicant (District 2)

(4) 701 Franklin Street

Residential renovations, preliminary conference 10/30/23. Jimmy Cao, Applicant (District 1)

(5) 1108 Derbigny Street

Demolition - Jon McGill Sr., Applicant (District 2)

(6) 416 Lavoisier Street

Deviation from original approved COA 10/30/23, Ref.: COA 20-0004 - Marc Dougherty, Applicant (District 2)

5. Other Matters:

6. Adjournment.







Historic District Commission Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District — area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham — Gretna Historic District.

<u>McDonoghville Historic District</u> − area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are *required* for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
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<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building - a building at least fifty years-old with significant architectural value and integrity

<u>Ordinary repairs and standard maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 539 Lafagette	Str	cet
Renovation: Replace existing signer New Construction:	gn or	Demolition:
en representation of the control of		Demolition:
Age of Structure:		
Building Type:		Building Style:
Creole Cottage		Greek Revival
Shotgun		Italianate
Bungalow		New Orleans Bracketed
Other		Eastlake
		Colonial Revival
		Other
Exterior materials proposed:		
Roof		Soffit
Fascia		Siding
Masonry		Porches
Balconies		Handrails
Type of exterior lighting fixtures:		
Type of exterior doors:		
Elevations: Front Space:	_ft.	Side Space:ft.
Rear Space:	ft.	

This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately. Applicant's Signature: Applicant's Name: Applicant's Address: Phone No: (504) 734-6201 Cell No: (For Office Use Only: Application date: Substantive Change: Yes No 🗡 Inventory Number: Contributing Element to Gretna National Register Historic District: Yes No 4 Historic District Commission meeting date: Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.) Architectural Description/Comments (as per Gretna National Register Historic District nomination form):

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or

other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.



City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

Mayor Belinda Cambre Constant

Council Members

Wayne A. Rau Councilman-at-Large

Milton L. Crosby

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Michael Hinyub

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Mark K. Miller

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Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Amie n. nebert

Information Technology Michael Wesley I, <u>Jennifer Soubert</u> the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on <u>Jan.</u> 2,2024 (2) 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Jennifer Joubert

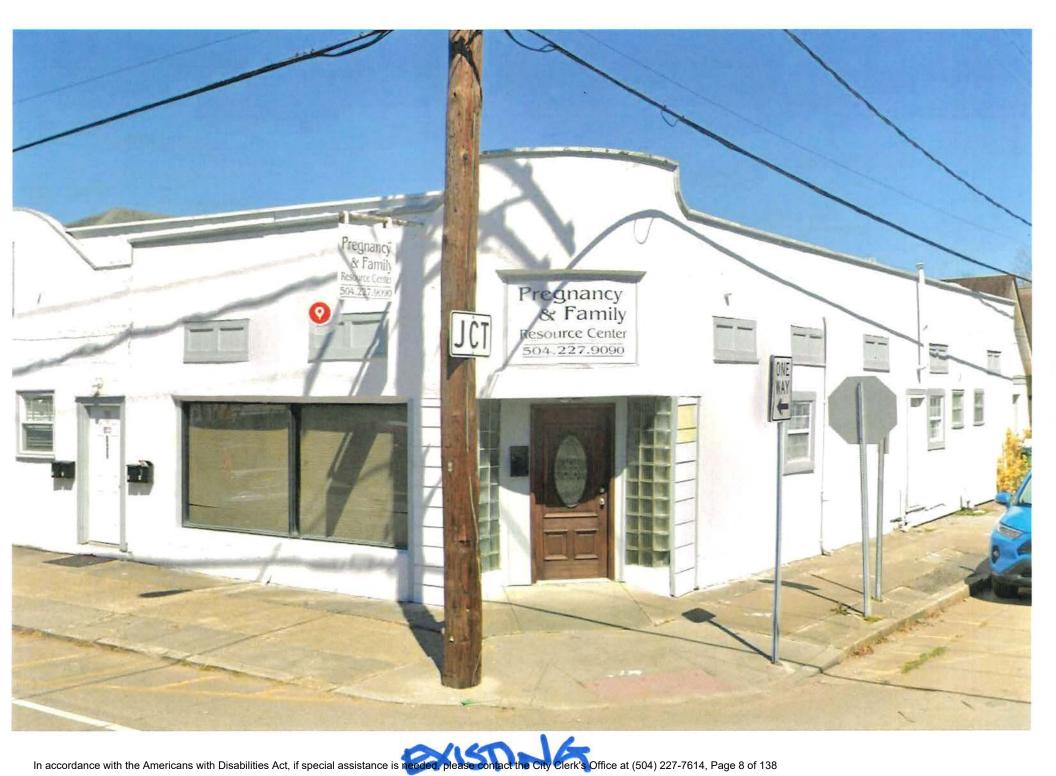
NAME OF APPLICANT (PLEASE PRINT)

2538 Paydras St. New Orleans, LA 70119

Applicant's address

539 Lafayette St. Gretna, LA 70053

Actual address of the property for review















Germin # 7219



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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Re: Address:	904	7th Street
Renovation:		
	New Construction:	
		Demolition:
	ure:	W
Building Tyr	oe:	Building Style:
Creole Cottag	ge	Greek Revival
Shotgun		Italianate
Bungalow		New Orleans Bracketed
Other		Eastlake
		Colonial Revival
		Other
Exterior ma	terials proposed:	
A	Roof Ashalf Sh	My e Soffit Hardre
	Fascia Hendi & Bo	and Siding Hardie
	Masonry	Porches Comout
	Balconies	Handrails
Type of exter	rior lighting fixtures:	octy e
Style of wind	lows:	
Type of exter	rior doors:	
Elevations:		
	Front Space:ft.	Side Space:ft.
	Rear Space: ft.	

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Signature of Applicant

Applicant

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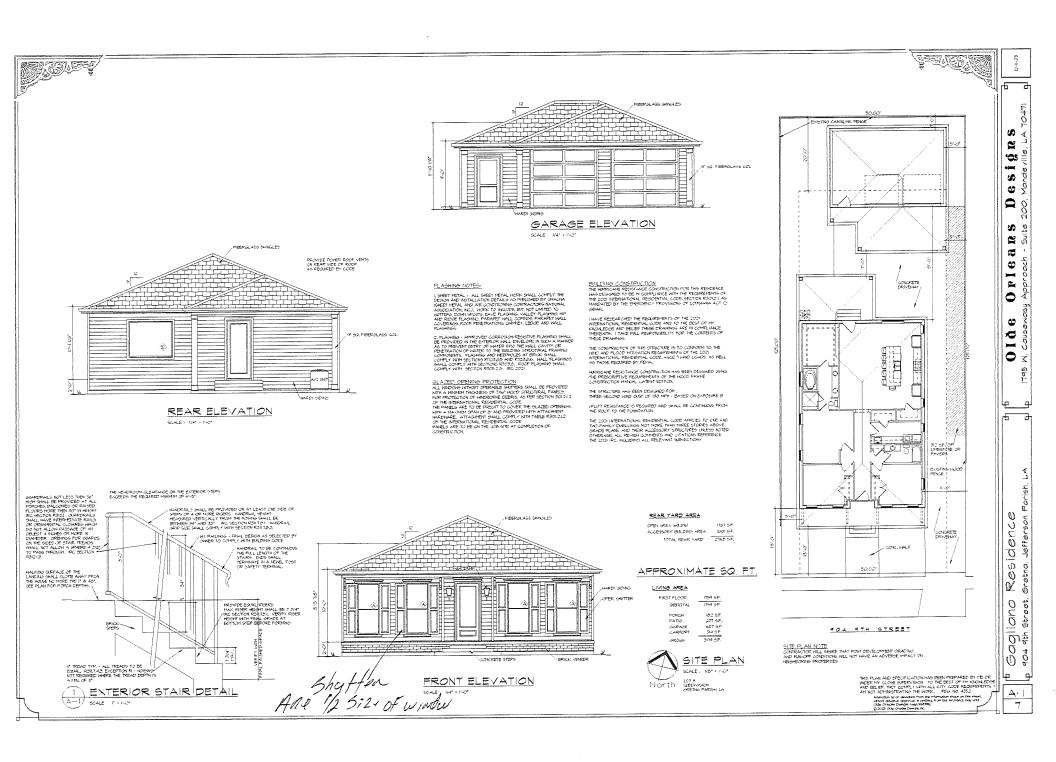
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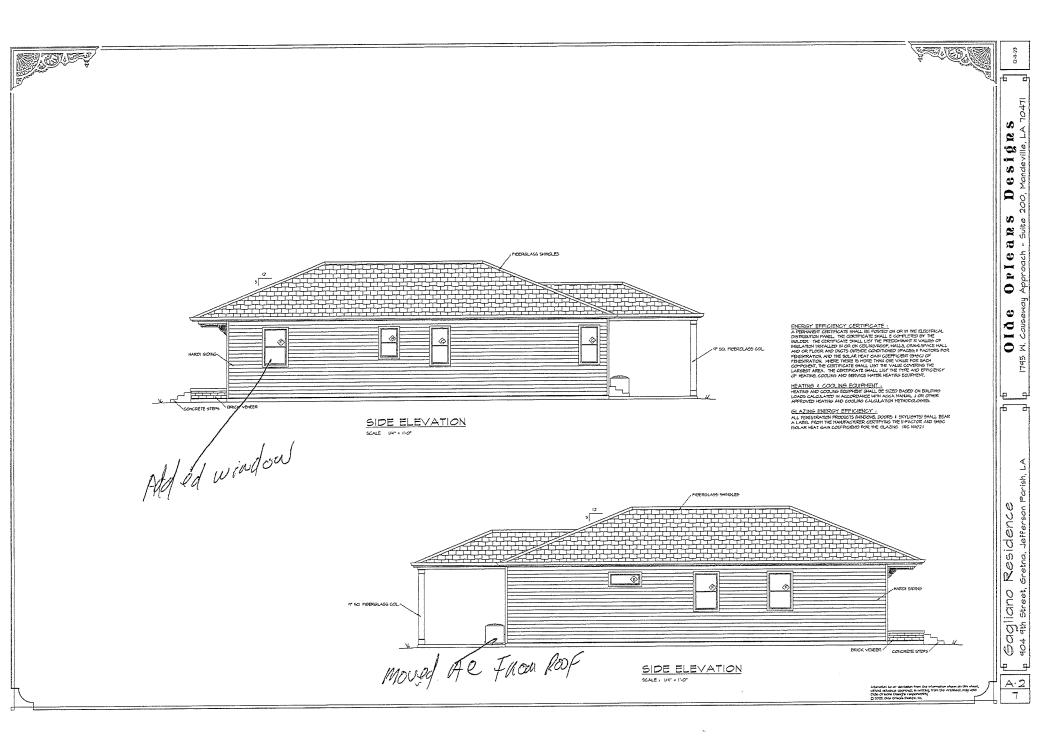
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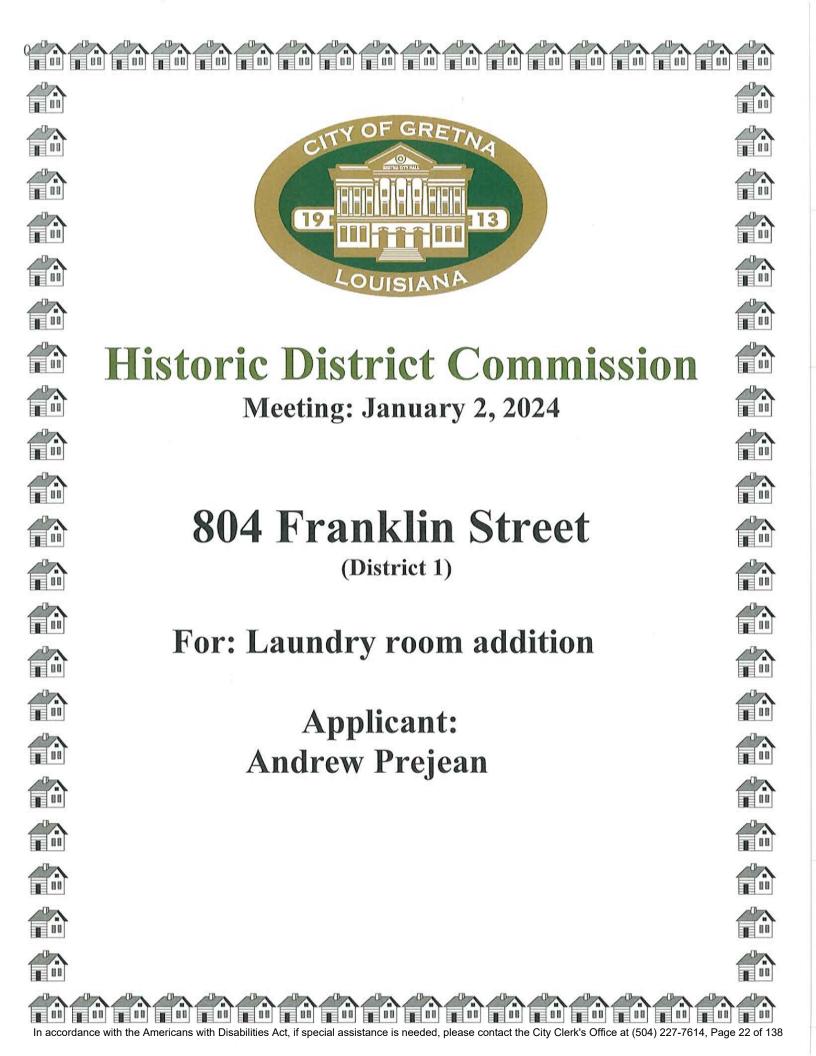
Signature

Date: /2/15/23





NAKANAKAKAKAKAKAKAKAKAKAKAKAKAKA CITY OF GRETNA HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROPRIATENESS Sal Gagliago
PROPERTY ADDRESS 904 9th Street NAME OF APPLICANT Work Approved: Approval For new single family home Construction. As submitted provided shutter meet 1/2 width of window sizes. Window to be added to Front right bothroom Signature of Applicant Date By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness. Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing. NOT VALID UNLESS POSTED ON SITE Please address all questions to: Gretna Department of Inspections 740 2nd Street, Room 111, Gretna, LA, 70053 COA-23-110 (504) 363-1563 - www.gretnala.com ordance with the Americans with Disabilities Act. if



Permit #336



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Renovation:	804 Franklin St., Gretna, LA 70053 Laundry Room addition to back of house						
Kenovation	New Construction:						
Age of Struct	ure:15 years old (2008)	Demolition: Back concrete steps					
Building Typ		Building Style:					
Creole Cottag	se	Greek Revival					
Shotgun>		Italianate					
Bungalow		New Orleans Bracketed					
		Eastlake					
		Colonial Revival					
		Other					
Exterior mat	terials proposed:						
	Roof_ asphalt shingles	Soffit_Vinyl					
	PPT wood painted to match						
	Masonry CMU	Porches Painted PPT (treated) wood					
	Balconies none	Handrails Painted PPT wood					
		ght and Outdoor rated LED ceiling light					
Style of wind	ows: Single hung vinyl	vided lite, painted impact resistant exterior door					
		vided life, painted impact resistant exterior door					
•	ornamental woodwork: None						
Elevations:	Front Space: 5.9 ft.	Side Space: 5.9 ft.					
	Rear Space: 5.9 ft						

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's

Signature: Date: 12/6/2023

Signature:	Lelle of		Date:12/6/2023
Applicant's Name:	Andrew Prejean		
Applicant's Address:	Andrew Prejean		
Phone No: ()	Cell No: (504) 390	0-3880
For Office Us	se Only:	Application of	date: <u>McC. 15</u> , 2023
Substantive C	hange: Yes 🗀 No 🖾	Inventory Nu	umber: <u>36 - 0/736</u>
	Element to Gretna National Re	gister Historic Distric	
	Hearing to be held at the Council regular meetin		at Gretna City Hall, 740 2 nd Street, 2nd sday of every month.)
Architectural	Description/Comments (as per	· Gretna National Reg	gister Historic District nomination
form):			·



City of Gretna

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Public Works

Daniel Lasyone

Parks and Recreation Amie H. Hebert

Information Technology

Michael Wesley

I,	Andrew Prejean	the	unde	rsigned,
have been	informed of the Historic District Commissi	on (H	DC)	meeting
where my	application for historic district appropriatenes	ss wil	be re	eviewed
on_Janua	ary 2, 2023 4:00 p.m.,	740	2^{nd}	Street,
Gretna Cit	y Hall, 2nd floor Council Chambers.			

I further understand that the Historic District application and/or Ce ·k. Α g. If \mathbf{C} me

of Αp ot gua se, wh nt Bu

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and Project
Signature of Applicant
Andrew Prejean
NAME OF APPLICANT (PLEASE PRINT)
804 Franklin St., Gretna, LA 70053
Applicant's address
804 Franklin Ave., Gretna, LA 70053
Actual address of the property for review
Date: 12/6/2023







Image capture: Mar 2023 © 2023 Go

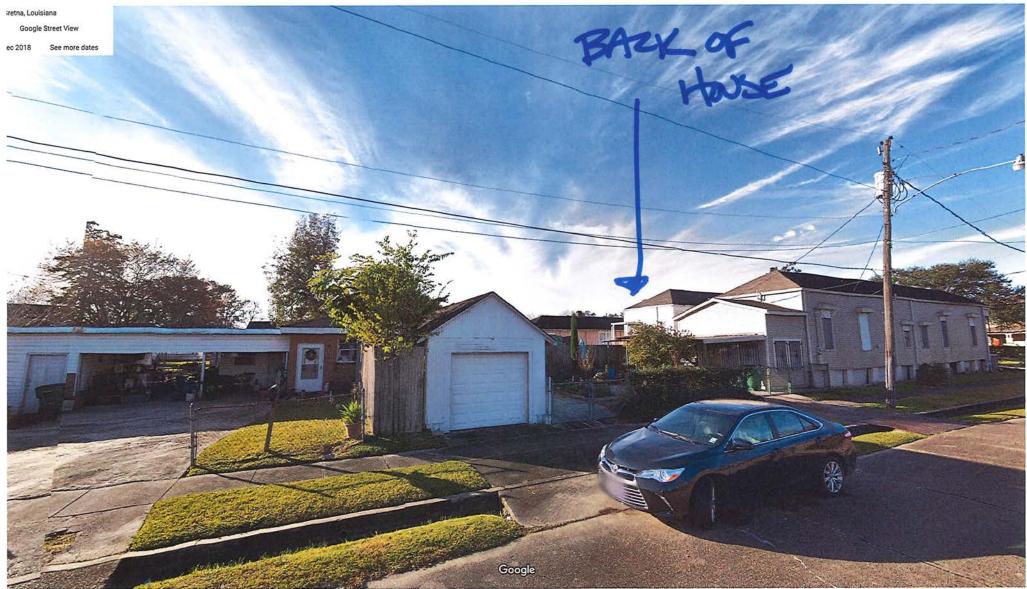


Image capture: Dec 2018 © 2023 Gc



Utility Room Addition 804 Franklin Avenue

Scairono **M**artinez **Architects**

scakonomaitinez , com

Addition enne

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Room, ranklin

Utility 804 Fi

Gretna, Louisiana 70053

804 Franklin Avenue

General Conditions:

General Conditions:

1. ALL WORK, SPALL COMPLY WITH ALL LAWS, RLES, REGULATIONS, CROBANCES AND COLES OF THE CITY OF GRETIA, THE STATE OF LOUISIANA, AND THE FEDERAL GOVERNAY MITHER PROPOSAL ON HIS OWN LETTERBEAD HOUSING AS SHORED TO SERVICE OF LOUISIANA, AND THE FEDERAL GOVERNAY MITHER PROPOSAL ON HIS OWN LETTERBEAD HOLLINGS AS SINGELE UNP SAME SIGNED TO SESSIAMITHATE HAVE BEEN LETTER SESSIAMITHAT CONTROLLING AS SINGELE UNP SAME SIGNED TO COMPLETE THE WORK THE HAME FOR FOR CONSTRUCTION OF CONSTRUCTION TO AGREEME PHALL COMPLETION AND THE EPILEST BATE WHAT HAVE READED AND A DETAILED THE PROPOSALS MIST STATE THAT THEY READEN VALID FOR 60 DAYS. PROPOSAL SHALL NOT CONTRAIN HE RECEPTION. LIBITATION PROPOSALS MIST STATE THAT THEY READEN VALID FOR 60 DAYS. PROPOSAL SHALL NOT CONTRAIN HE RECEPTION. LIBITATION PROPOSALS MIST STATE THAT THEY READEN VALID FOR 60 DAYS. PROPOSAL SHALL NOT CONTRAIN HE RECEPTION. LIBITATION OF ROCIDION, OMISSION, MODIFICATION OR COODITIONS OF ANY KIND. DURBY THE BEDDING PRITOD, AND DETAILED TO THE ANCHITECT PROPOSALS AND A SHALL BE SEARCHED TO THE ANCHITECT PROPOSALS. THE PROPOSAL SHALL BE SEARCHED TO THE ANCHITECT PROPOSALS AND A SHALL BE SEARCHED TO THE ANCHITECT PROPOSALS. THE PROPOSAL SHALL BE SEARCHED TO THE ANCHITECT PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL READER SINCE AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL RECEPTION LIBITATION PROPOSALS AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL RECEPTION LIBITATION PROPOSALS AND ALL RECEPTION LIBITATION PROPOSALS. AND ALL RECEPTION LIBITATION PROPOSALS AND ALL RECEPTION LIBITATION PROPOSALS AND ALL REC

CHANGE ORDER. ITEMS TO BE PROVIDED BY AND/OR PERFORMED BY THE OWNER.

NOTE CONTRACTOR SHALL COORDINATE WITH THE SEPARATE CONTRACTORS WORKING DESCRIP FOR THE OWNER.

THE COMBACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE, AND SCOPE OF WORK DESCREED IN THESE DOCUMENTS AND WILL COORDINATE WITH SCARCING MARTINEZ ARCHITECTS WORK SHOWN AND DESCRIED IN THESE DOCUMENTS. THE CONTRACTOR SHALL REVOIDE ALL LASCR. MATERIALS, EQUIPMENT, SENVICES, SEFEVISION, AND CALALITY CONTROL NECESSARY TO DESCRIED THE CONTRACT SHALL BE REPORTED FOR COORDINATION BY WORK WITH THAT OF A SHALL BE REPORTED FOR COORDINATION BY WORK WITH THAT OF ALL OTHER TRACES INCLUDING THOSE OFFERATING UNDER SEPARATE CONTRACTS WITH THE OWNER OF ANN ALL WORK SHALL BE REPORTED FOR CONTRACTS WITH THE OWNER OF ANN ALL WORK SHALL BE REPORTED FOR CONTRACTS WITH THE OWNER OF ANN ALL WORK SHALL BE REPORTED BY SALLED AND CUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRACES PROLIVED.

QUALIFIED WORMER IN ACCUMUNACE THIN INC. SCILL PROVIDED AND APPLY TO ALL COOLITICAS AND REQUIREMENTS DESCRIBED HEERIN SHALL APPLY TO ALL WORK HORST THE CONTRACT AND SHALL DICTION IN OF ANY OF AND STARL DICTION AND CONTRACT AND SHALL DICTION AND CONTRACT AND ANALL DICTION AND CONTRACT AND AND ACCEPTANCE.

EXTRACT CONTRACT OF THE REPORT, INSPECTION, AND ACCEPTANCE.

EXTEAS, OR ADDITIONS AGREED TO DURBNO THE COURSE OF THE WORK.

ALL WORK WILL BE SUBSECT TO THE REVIEW, PREFECTION AND ACCEPTANCE
OF THE OWNER, IPON COMPLETION OF THE WORK.

THE COMPACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT TO
PREPARE A "TANCHLIST" OF REEDED CORRECTIONS AND USANTIST-ACTION?

AND/OR TROUBLET WORK. ALL PROCESS PAYMENTS WILL HAVE A 1/2

SETAMAGE WITHELD, PROCESS PAYMENTS WILL BE MODE MICHAELY. IND
DOWN PAYMENTS OR PER AFWENTS OF AN KED WILL BE MODE
COMPACTOR SHALL SHAPT THE ACTUAL OF DETAILED MODIFILY FOR
COMPACTOR SHALL SHAPT THE PROPERTY OF THE PRO

CONTRACTOR SHALL PAY ALL APPLICABLE SALES TAXES AND ALL OTHER APPLICABLE TAXES.

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- CONTRACT.

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 THE CONTRACTOR SHALL CAREFALLY EXAMINE THE DRAWINGS AND NOTICES AND SCALE FROM THE ARCHITECT ANY ADDITIONAL INFORMATION IF INCRESSARY, THAT MAY BE REQUIRED FOR A COMMETTE, CLEAR, AND RULL ELERSTADING OF THE WORK. TO ESTABLISH THE COMPANIES CORE OF WORK AND TO ACKNER CLOSE COCOMINATION ENTERS ALL TRADES.
- INCERSIADDING OF THE WORK. TO ISTABLISH THE COMPLETE SCOPE OF WORK AND TO ACKINET CLOSE COCKINGALION RETWEEN ALL TRADES EACH TRADE SHALL COMPLETELY REVIEW ALL DRAWINGS, INDT CLLY FOR HIS RESPECTIVE TRADE BIT ALSO FOR THE WORK OF ALL OTHER TRADES AS WELL NO TRADE SHALL PROCEED WITH DISTALLATION OF ANY MATERIALS AND/OR EQUIPMENT WITHOUT IFEST COCKINGATION WITH ALL OTHER TRADES. GENERAL COMPRACTICE SHALL COCKINATION WITH ALL OTHER TRADES. GENERAL COMPRACTICE SHALL COCKINATION WITH ALL OTHER TRADES. GENERAL COMPRACTICE SHALL COCKINATION OF THE SECOND AS AS TROVEDED REGULT FOR COMPRENCE AND SHALL NOT BE CONSTRUED AS A SEGRECATION OF THE UTILS OF MATERIALS AND/OR LACK MITHOUGH SHALL PROCED.

 15. THE DRAWINGS ARE INTENED TO DEFIRE THE CHERAL DESIGN AND SCCIE OF THE WORK REQUIRED TO COMPLETE THE PROJECT. IT IS THE PITEM OF MISSED COCKINATION OF THE CONTRIBUTION OF THE CONTRIBUTION OF THE CONTRIBUTION OF THE CONTRIBUTION OF THE MISSED COCKINATION OF THE MISSED COCKINATION OF THE MISSED COCKINATION OF SIGNAL PROCESSORY OF THE MISSED COCKINATION AND OTHER INCIDENT. THE SECOND OF THE WORK COMPONENTS, PARTIS, AND FOR ACCESSORIES, MEANS OF INSTALLATION AND OTHER INCIDENTAL THE SECOND OF THE CONTRACTOR OF SIGNAL PROCESSORIES. MEANS OF SIGNAL DESCRIPTION AND OTHER CONTRACTOR OF SIGNAL SECOND OF SIGNAL SECOND OF THE WORK AND THE WORK AND COCKINED SHALL SECOND OF THE WORK ARE TO THE WORK AND THE WORK OF THE WORK ARE TO COCK REQUIRED BELLDHED. THE CONTRACTOR SHALL SECOND OF THE WORK ARE TO BE DEMONSTRATE THAT THEY POSSESS THE MONALLOSS OF PROPERSOR AND SECOND OF THE WORK ARE DEPOSITED.
- INSTALLERS WHICH CAN DEMONSTRATE THAT THEY POSSESS THE INOWILEDGE, EXPERINCE, EMERITES, FRISCHICE, AND PROVEN CAPABILITIES IN THE WORK SPECIFIED TO BLUTY PERFORM ALL ASPECTS OF THE WORK OR A SPECIFIC DESIGNATED PORTION OF THE WORK ORDER WITHOUT CHISSION OR EXCEPTION.
- EXCEPTION: ALL MATERIALS AND PRODUCTS SHALL, BE INSTALLED IN STRICT ACCORDANCE. ALL MATERIALS AND MODOCUS SHALL BE INSTALLED IN STRUCT ACCORDAN WITH THE MANAFACTIRESS REINTED DISTRICTIONS AND SECTIONATION OF CONTROL OF THE MODEST CONT
- COLPOTENTS OF WORK

 20. KROVIDE ALL TEMPORARY SECTING AND CLOSURES TO PROTECT FINSHED PORTIONS OF THE HOUSE FROM DAVAGE DIE TO CONSTRUCTION, AND WEATER.

General Notes:

- DO NOT SCALE ANY DRAWBINGS. CONSULT ARCHITECT FOR DIMENSIONS NOT SHOWN.
- ALL PRODUCTS, MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCODANCE WITH THE MALFACTURERS PRINTED INSTRUCTIONS AND SPECIFICATIONS OF COMPLIANCE WITH ALL APPLICABLE COSES, AND WITHEN THE MODEST ACCOPTED TRADE STANDARDS BY SILLED, EMPRIENCED, AND COMPETENT CRATISMER.

 REGIST TO CONSTRUCTION, THE CONTRACTOR SWALL DETERMOR THE EXACT.
- ALL SILL PLATES AND OTHER WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA											
GROUND SNOW LOAD	WIN SPEED ONFHO	TOFOGRAPHIC EFFECTS	SEISMIC DESIGN CATEGORY	SUBLECT WEATHERING	FROST LIVE DEPTH		Winter Design Temp	ICE BARRIER UNDERLAYMENT PEQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ALNUAL TEMP
0	146	N/A	Α	NEGLIGIRLE	N/A	VERY HIGH	32°	NO		18	682°F

WIND DESIGN CRITERIA

Basic Wind Speed Used in Designa

Design Criterias

IRC 2021 R301211

Southern Building Code

I, Ron Martinez, Registered Architect and Professional-of-Record for this project, have researched the International Residential Codes 2011 and related Construction Codes of the Cityl of Greins and Louisans State Union Construction Code and to the best of my smokedge and best these drawing are in completing interesting to the Code and service of the Code and the Code

Termite Treatment Notes:

TREAT FILL AND SOIL FOR TERMITES WITH TERMIDOR 2. SLEPLY OWNER WITH A STATE APPROVED GUARANTEE.

- THE FOUNDATION DESIGN IS BASED ON 2000 PSF MINIMUM THE POTRONIEN DESIGN IS BASELOW, A COLORED HANDAM CONVERSING SISHEGHI OF THE SUPPORTING SOLL THE UDGET THAN STRATA SHALL BE ALSO CAPABLE OF REPORTING SOLD OFF THE POTRONIEN STRATA SHALL BE ALSO CAPABLE OF THE SOLS TO A CEPH OF THE LOWEST EXPECTED LEVEL OF CONSISTENT, STABLE PERMARKET SOLL MOSTURE CONTRIP.
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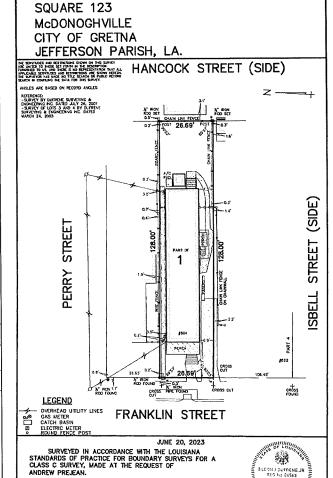
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- LIFTS PER NOTE 4-5 BELOW, ROLLER SMALL BE 3 TOTS OR HEAVER
 3. ALL FILL INTERNALS SMALL BE SELECT STRUCTION, THE ALL FILL MATERIAL SMALL BE MAYED BYOR SMALD OR BIVER BATTIME SAND, METPING THE CLASSIFICATION RECOGNERS OF A SMALL ACT OR RETURN FILE FLASTICHT DEVELOPMENT OF THE ASSIGN ACT OF THE LESS THAN THE MODEL OF THE SMALL BE STRUCTION FOR THE SMALL SMALL BE STRUCTION FOR THE ASSIGN AND ACT OF THE MATERIAL SMALL BE REPOLICIENTAL FOR SMALL BE NOTED OF THE MATERIAL SMALL BE CASED OF THE MATERIAL SMALL BE LESS THAN THE ASSIGN AND CONSIGNED SMALL BE SMALL BY THE MATERIAL BROLLED FOR THE MATERIAL SMALL BE LESS THAN THE DEPARTMENT OF THE MATERIAL SMALL BE CLEAN AND FREE OF FORGATION MATERIAL SMALL BE CLEAN AND FREE OF SCHOOL MATERIAL SMALL BE CLEAN AND FREE OF PROBLEMS OF SMALL SMALL BE CONTAIN THE CON

- FILL MATERIAL SHALL BE PLACED IN LIFTS OF 6 TO 8 FILL MATERIAL SMALL BE FLACED IN LIFTS OF 6 TO 8 INCHES LOOS MEASURE AND COMPACTED TO 76 PERCENT OF MAXIMAN DAY DEBSTY AT CPTIMAM WARE CCHIRINT IN ACCEDEDANCE WITH ASSIM D 567, MODIFIED PROCITE EACH LAYER SMALL BE CRIED OF WRITED TO ORGANIC COMPACTION AND TAMPED AND COMPACTION AND TAMPED AND COMPACTION TO ACHIEVE THE RECURRED RECENTRACE OF MAXIMAN DESITY, DESSITY SWALL BE VERHIED FOR THE FILL DEPTH OF THE FILL BY A CAULAPIDE LOCAL SOIL TESTING LAB TEST IN PLACE ORBITISS PER ASIMAD 1956.
- AUREL ENGINES PER ASIMFU 1000.

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Louisiana One Cal for Underground Utilities 1-600-272-3020

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Survey - Included for Reference Only. This survey drowing is included in this test of drowings at the instruction of the Owner, Scalaron Martinez Architeotis, A Professional Architeotrat Occipitation, did not propose this drowing and is not respectable for its content, and therefore makes no representations which loover as to the accusacy or completiness of the information conditional three or the accusacy or completiness to the information conditional three or the accusacy or completiness to the information conditional three or the accusacy or completiness to the information conditional three or the accusacy or completiness the information conditional three or the accusacy or completiness the information conditional three or the accusacy of the accusacy of the accusacy of the accusacy of the accusacy or completiness the accusacy to the accusacy or completiness the accusacy to the accusacy three accusacy to accusacy the accusacy to accusacy to accusacy the accusacy to accusacy three accusacy to accusacy three accusacy to accusacy the accusacy three accusacy accusacy three accusacy LIST OF DRAWINGS Sheet Number Sheet Title
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DUFRENE SURVEYING & ENGINEERING INC.

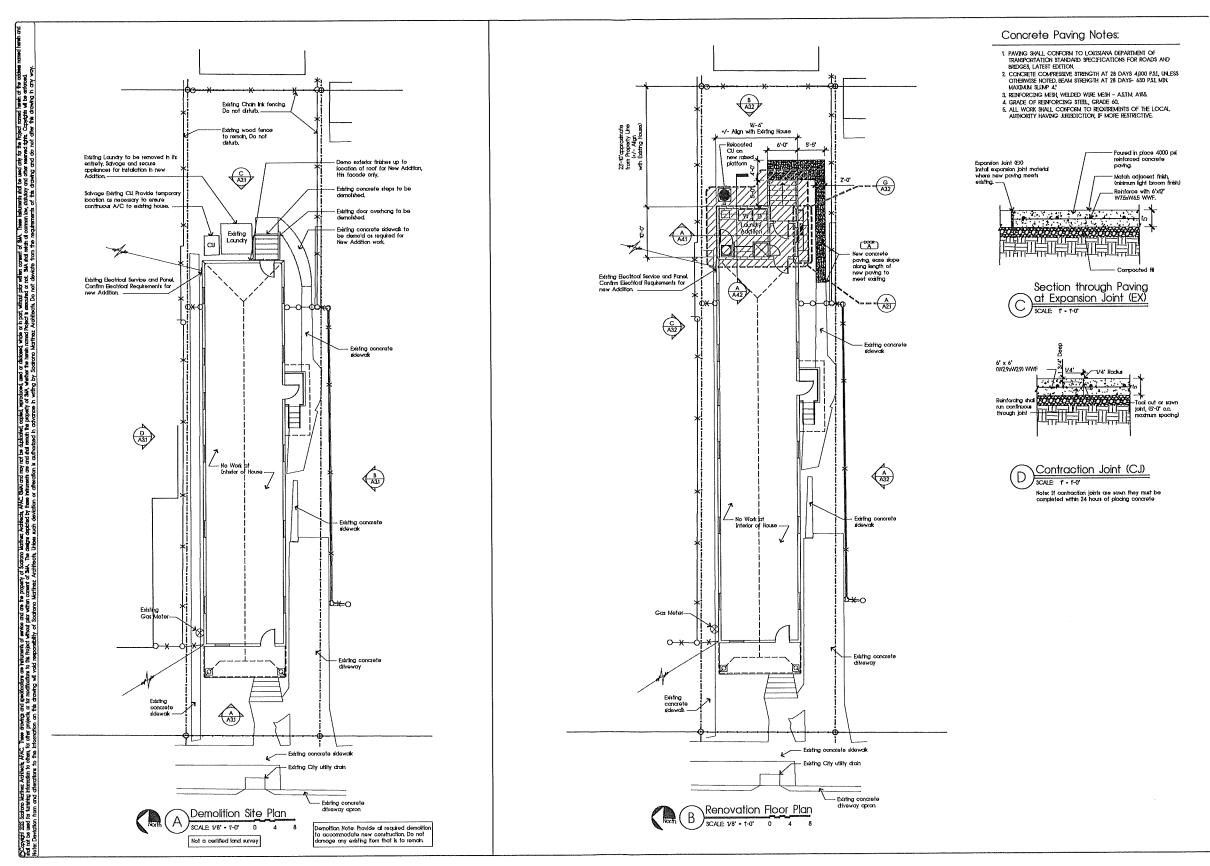
24 MANHATTAN BOULEVARD, HARVEY, LA 70093 504-369-6390 PH. 504-369-6394 FAX

308# 23-0336 SCALE: 1"= 20"

Ron Wrinez, AlA, Architect LA LICENSE NO. 4013

2317

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Scairono Martinez **Architects**

scaltonomartinez . com

Utility Room Addition 804 Franklin Avenue



SMA Project No. 2317

HVAC Notes

- 1. Al IMAC system work, equipment and materials shall comptly with all applicable codes. Al IMAC work shall be performed by a bearsald methoratical controller with the proper cradential to perform IMAC system work in the City of Gesha.
 2. All new IMAC work shall be designed and suitabled by IMAC Continates to appropriately cover new addition.
 3. All aquipment shall be traited in accordance with manufactural instructions, specifications and accommendations.
 4. All new Selfan registers and different shall be contended to align of the continued to a continued to continue the continued to the cont

- Rowte electrical took-up with protection to all MAC explanent or required by code.
 All new ducts and plenums shall be seded attifut with mastic.
 Fatter the how how had note posted of flox ducts to diffusers and ducts with myon tie ways. Note connections of right.
 Each branch duct take off which have an other entrodor.
 Each spayl at branch duct that have a manual butlenty volume damper. Provide oir bedoming with a written report.
 Colher dayer exhaust shall be ducted to the extension and have a decharge bood with a grantly damper. Colhes dayer exhaust system that comptly with a grantly damper.

Gas Notes

- All nehral gas piping and components that comply with applicable codes. All nehral gas piping and components shall be installed by a looned gas filter with proper cardenlists to perform nehral gas system work in the City of Ceitra.
 Cookinatio gas piping with all nehral gas equipment and applicates.
 Roysles start of vides and union at each new nehral gas.

- equipment and appliance.

 4. Hook up each equipment and appliance per the manufacturer's instructions, specifications, and recommendations.

Plumbing Notes

- Al pumbing piping and components shall comply with applicable codes. All pumbing piping and components shall be installed by a pumber with proper creentable to perform pumbing system work in the City of Gerbra.
 Coordinate plumbing piping with all futures and applicances.
 Roydes shall off valve and union all each new plumbing equipment.
- and appliances.

 4. Hook up each plumbing futures and appliances per the marketacturars instructions, specifications, and recommendation.

Insulation Notes

- t. All exterior walls plus interior walls indicated on the floor plan shall be insulated with R-13 Kraft faced (berglass blanket insulation
- Ceiling throughout addition shall be insulated with R-30 Kraft faced fiberglass blanket insulation.

Interior Finish Notes

- Owner shall select all paint colors.
 Owner shall select all ceramic file, follow TCNA Guidelines for the
- 3. Owner shall select all grout colors.

Scope of Electrical Includes:

- Converience outlets on 110 volt crouts as directed by Owner (not all may be shown on drawings).
- Specific purpose autlets on 110 volt circuits as directed by Owner (not all may be shown on chawings)
- GFCI circuits as shown and as required by code as directed by Owner (not all may be shown on cirawings)
- Aro Fault accults all new accults
 Ughting on 10 vot accults with switching and dimmers as directed by Owner.
 Smoke / catbon monoxide detectors / dams on 10 vot accult

Keynotes

- 1. New Exterior Door, 3-0" x 6-3" x 1-3/4" Exterior entrance, site and rot, Int gloss, christed light, with gasket and weather importing. Confirm door design with Owner. Class shall be histoffed gloss until large misses impact resistant per ASTINE EPPS and ESSEs Stack prine frame and costing prior to Institution. Set Threshold in full bed of built leaders and costing Entrance function located with decodatal lock, say to march existing.

 2. R-13 kraft faced fiberglass both histoffice of exterior was of new construction. Ensure hiergiff of insulation where new meets old, replace existing histoffice in fine-occurry.

 3. YZ Gypsam Board, Gold Bond Brand XZ Gypsum Board with Sporgad of new addition. Making resistant, making the existent, Purple footing Institution if its cleaves only in NALLS. Topp, compound, foot, and and fright to Level 4 oil gry board. Taxture per Owner's selection.

 4. Zid wood framing system, Studie 244 & 66" op. Continuous one

- 4. 2d wood froming system, Studs 2x4 @ 16" oz. Continuous one piece from pressure teached bottom plate to double for plate. Provide bridging and diagonal titrap broading Provides injust tudis at door jambs, and jambs of wall openings. Provides structural header of head of all doors and windows, Provide accountile headers of head of all doors and windows, Provide accountile headers. hown at perimeter.
- Safvaged gat water heater, verify exact location in field. Provide new waterlight citip pan and stand. Provide overflow drain piped.
- to estation.

 Notifier, as applied by the Owner, installed by the Contractor, Provide electrical receptodes as required.

 Cottee Dryer, as applied by the Owner, installed by the Contractor, Provide or and electrical receptodes as required. Provide exhaust syntem to exterior w/weather damper.

 New the footing throughout New Addition. The selection Per Owner. Fedow TOM Guidalines for the hardedition.
- Foliov TONA Guidatinas for the instruction.

 Perhithat 2910 x 3-97w x 35th protestociad base cobinet unit whoundly six bowl and faucel sized to accommodate Warth and play, as selected by the Owner, 418 Book spath and side splain at walk Sed dang top of splathes w/ middle relation secone secont. Foucel per Owner's Selection.

 M. New concrete parking, See Sheet Att for details.
- 11. Receised clothes washer plumbing rough in box for CW and HW with shut off valves and drain.
- with shall off volves and drain.

 12. Install floor drain a new waiting machine location.

 13. 25.4 wood framing prism Shutis ~ 25.6 ° 5.6° as. Continuous one piece from pressure itseded bottom pates to double top parts. Howise bridging and doppered integrating Provide Imple today and door jarby, and jarpis of wall opening. Provide Imple thus and to bed of all doors and wholeves. Provide a countin Installant and Installant
- 14. 12! Deep nominal modular prefinished prefabricated wall hung cabinet units.

- cobriet unit.

 15. Coated wire shelving system and brookelt

 16. Horistand (white) single hung vinyl, window w/ insulated glass w/ half screen. See Window Rotes.

 7. 24" Deep 25" lifty married modular prefirihed prefabricated base cabhest units wybastic taminate countertap, as selected by Owen. See all dong all edges of countertop, window resistant alloans seatant. 18. New Louvered Interior Door, 2-6" x 6'-8" x 1-3/4," Masonite, Hollow
- New Louveed Interior Door, 2-6 x 6-6 x 1-3 x 1-3/4, Maccine, Ridow Core, Canfilm door design, with Owner, factory primed and field pathol. 4-9/16 (paths, match existing costny thin, firth, as selected by the Owner. Casting and thin shall be primed and pointed. Passage function locate. Prime and path of a literative door, costing and tim. Path beth faces, louver, top edge, bottom edge and both tide edges of each door.

- both take edges of each coor.

 9. New desiring boards, prime and point.

 20. New 4sit preservative pressure freeded wood column.

 11. New partied wood handrafs of new concrete idea.

 22. AC Disconnect.

 23. Now AC platform, See Defast on Sheet A32.

 24. Ceiling Northed Fishtre per Owner's Selection.

 25. Flood Light Fishtre, Motion Activated with Photocel. A. Exhaunt Fon (exhaunt to exterior at soffit 4' diameter metal duct)
- battery bookup 28. Exterior Rated Celling Mounted Exture per Owner's Selection 29. Beatrical Outlets where directed by Owner and as required by Appliances and Code

- 30. New trin I to march existing. Prime and point.
 31. HNAC System per Owner and INVAC Contractor, Provide additional cooling for Editing bedoom and New Addition with new system. Coordinate demokras of INVAC Closest and CII platform with Architect if significant changes are never and CII platform with Architect if significant changes are never in



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scalronomartínez . com

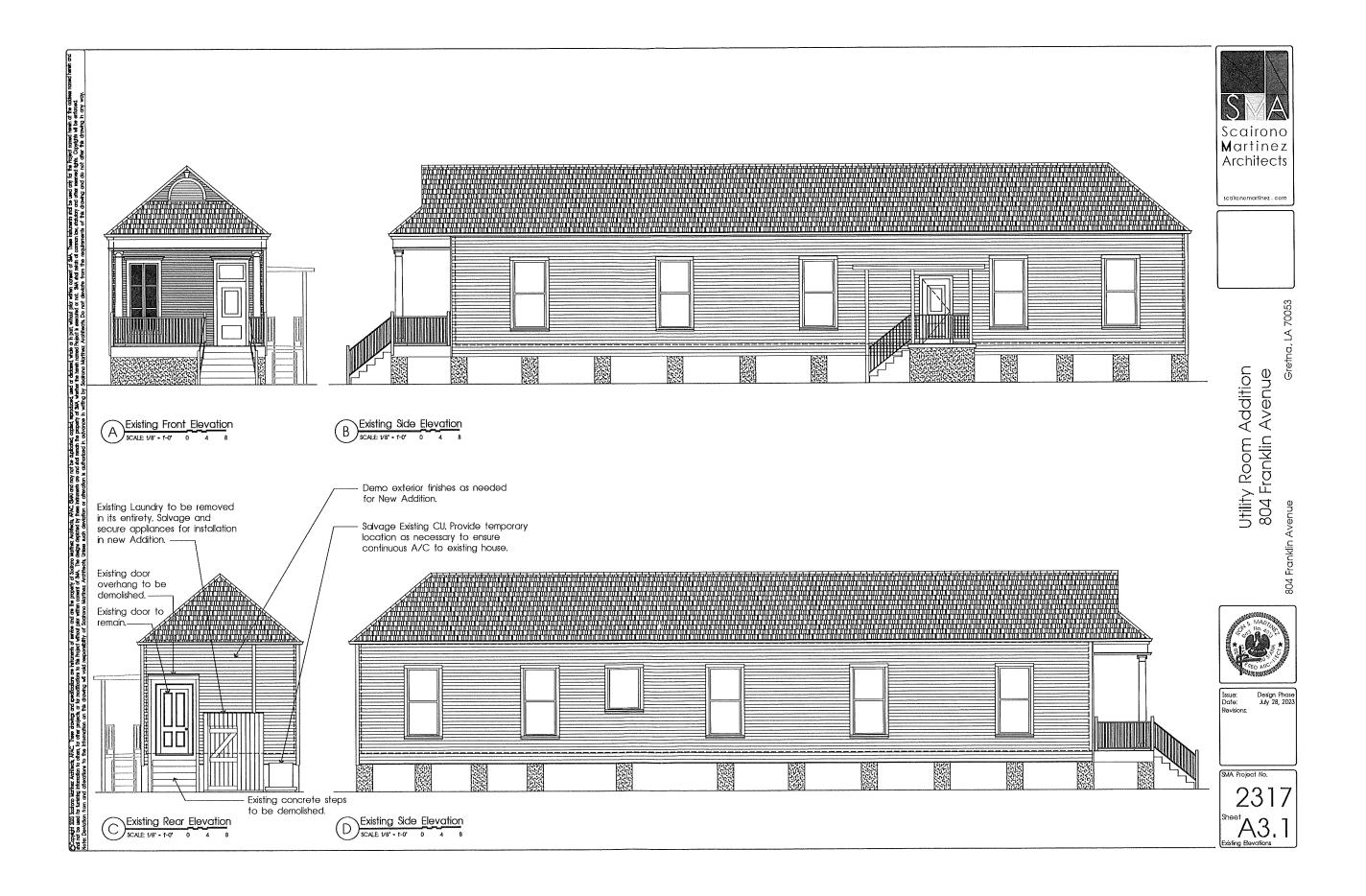
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Addition Avenue Utility Room A 804 Franklin A



SMA Project No. 231

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 32 of 138





la, LA

Utility Room Addition 804 Franklin Avenue



SMA Project No. 2317 A3.2

Window Notes

Style Iting Window - Budder Series Viryl with titing sesh system. Of 60 certified. Write coder to mother existing. Integral rad fin with 1 subbod. -23/4 from despit mode to skilling, confirm! Low-E flay tempered sclerly glass hastered double grains, had insect stores in removoible points. Sile help of window to motio oxisting. Set not fin in full bed of bullyt sectors!

Whitchen Debt in tolers per 2015 IRC 82012/2: Provide V2'
thick pre-cut early pre-differ wood the hard practic trad to
mich to the forming surrounding the opening with No. 8 x 4 hoth
long optivation wood screws at Williams of the provide the series of the
tratified and opposing ends of the wood structured parake.
Fast legant shall be located minimum 1 hash from the edge of the
provide Practic and Carterious shall be harmed over to the Owner at
whoten Monta.

dow totals.

Interior window all and stool shall be painted wood to match exiting. Sit - it, extend past each jant 2 inches and extend past wall firsh sufcose I-V2 inches. Stool - 9E profile 3-V4, each cut on angle to match exiting. Sand, prime and pash all and stool tim.

Return gypsum board wall firsh at head and Jambs of windows. Prish to match walls

Roofing Notes

3-tab asphalt fiberglass mat shingles with two sealant bands and minoral granule sufacing for hip and idage.

minord granulo sutdating for hip and folgo.

Intial shingler with 6 note per shingle for high what resistance. Note shall be 22 gauge x 1-1/4 inch hot day golverized with 3/8 inch diameter head. Do not use staples. All shingle located at the root objects with be be comented together with a 4 hoch wide x 1/1/2 inch hick uniform layer of Asphall Plastia Coment (ASTM D-4686 applied with a nothered frower). Intial roofing system as required for High Wind Warranty (US mph) in all respects. Comply with manufacturer's Application instructions dated August 2014. Provide prestriated entitle deep edge doing all earns applied deetily to the root deeding. Shingle exposure = 6 inches.

Underlayment = +30 asphalt saturated felt paper.

Valleys - Closed cut

Soil Stock Roshing - Mold Asphalt Plastic Cement around base of pipe and over flange. Reference manufacturer's Application Instructions dated August 2014.

Color shall be selected by the Owner to match existing.

Keynotes

- Bectrical Outlets where directed by Owner and as required by Appliances and Code
- Applicaces and Code

 2 R-38 bird flood therefore bright of haldron where new meets old, replace existing haldron inheren haldron where new meets old, replace existing haldron fine-scale and XP Cypsum Board with Spargard of new oddflors Mothrus resistant, mold resistant, Purple footing, Intrial with drywal cream orly + DN MBLS. Tope, compound, flootin, and and firth to Lovel 4 of lay board. Texture por Owner's selection. Pitting and part part selection.
- selection.

 2.24 wood framing system Studis = 2x4 e 15" a.e. Continuous one place from pressure Interfaced bottom plate to double top plate, howide backing and degened throp became Provide listle studis of door, jambs, and jambs of wall opening. Throwbe structural beader of lead of all doors and windows floride occurritio headers at how and speciment of See Sinchard Drawings on Sheel 35.

 5. New partial of wood handrais of new concrete steps.

 6. New this to match existing thine and position.

 7. AVC Equipment installed by MVAC Contractor.

- New the flooring throughout New Addition. The selection Per Owner. Follow TCNA Guidelines for the Installation.
- Perfished prefabricated base actions unit w/taundry sink bowl and fauces, as selected by the Owner, Bock splash and side splash at wats. Said data for port of splasher w/ midew (estrant sistone sedant, Fauce) per Owner's Selection. 10. 2x6 & 16" on center ceiling joists, , See Structural Drawings on
- Sheet St.

 11. 2x6 6' on center roof ratters, , See Structural Drawings on Sheet St.
- 12. 1/2' Zio system sheathing-entre wall
- 72. VZ 'Zp system sheather, entite vol.
 8. Zó wood farmig system shud = 25 6 6' oz. Continuous one pisce from presure hearted bottom pictie to double top plate. Provide bridging and doppend strap boden, Provide this studio of originate, and jambs of vaid openings. Provide structural header of head of all door and windows. Provide occuritie subdian or shown of permeter. See Structural Drawings on Sheet St.
 9. 12 Deep nominal modular prefinished prefabilisated wall hung actions that the seed of the control of the provided of the control of
- 15. Coaled wire shelving system and brackets
- Prefirshed (white) single hung vinyt window w/ insulated glass w/ half screen. See Window Notes.
- half screen. See Window Notes.

 1. 24' Deep x 35' High, northel modular prefixitioal prefixitioated base cathert until w/jstatio laminate countatiop, as refected by denot seed dang all edges of countatiop w/ mildew resistant storage seedant.

 13. New Lowered Interiol Door, 2-6' x 6-8' x 1-3/4', Maioritle, Hollow Care, Contin door deefin with Owner, footlary primed and field painted. 4-9/16' jants, motion estimp coping firm, first an selected by the Owner. Cating and this that be primed and pointed. Passage function locked. Prime and point of Interior doors, coping and time. Peak both faces, burver, top edge, bottom edge and both side edges of each door.

 Architectual racede laminated (beadass seditich roofing shingles).
- 21. Architectural grade laminated (berglass seatab roofing shingles system. See Roofing Notes.
- 23. New AC platform, See Details on Sheet A32.



Scairono Martinez **Architects**

caironomartinez , com

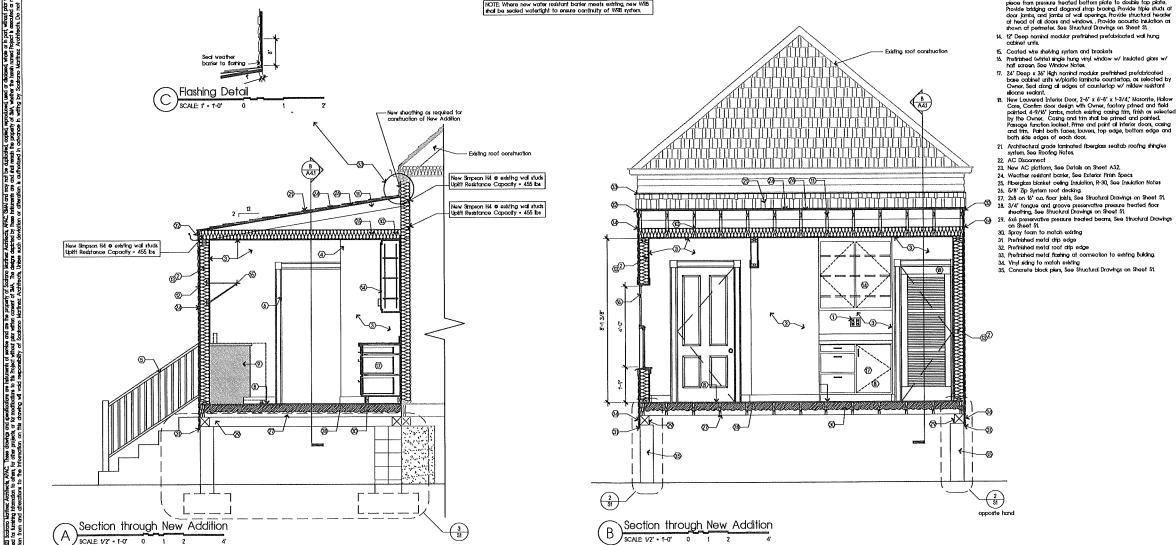
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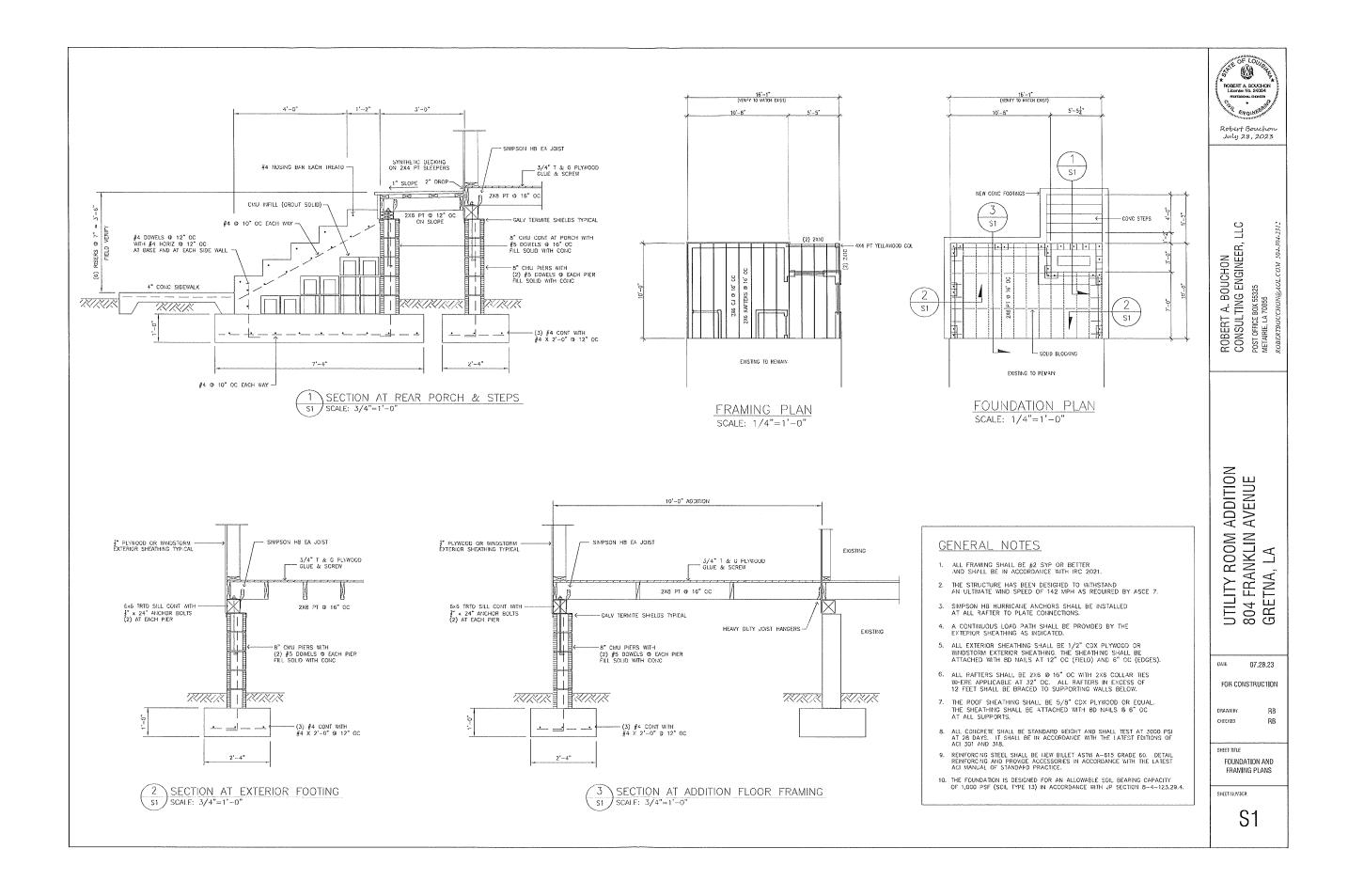
Addition Utility Room Addition 804 Franklin Avenue



evisions:

SMA Project No.









Historic District Commission Application for Certificate of Appropriateness

Permit #7

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

McDonoghville Historic District − area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are <u>required</u> for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

<u>Construction</u> – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building - a building at least fifty years-old with significant architectural value and integrity

<u>Ordinary repairs and standard maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

<u>Important criteria for new construction:</u> All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following: Re: Address: 433 4th 5+ GRETNA, 4A 70053 Renovation: New Construction: Demolition: Age of Structure: NEW **Building Type: Building Style:** Greek Revival Creole Cottage Shotgun Italianate_____ New Orleans Bracketed Bungalow Eastlake Other Colonial Revival Other **Exterior materials proposed:** Roof Soffit Fascia_____Siding____ Masonry_____ Porches____ Balconies Handrails Type of exterior lighting fixtures: Style of windows:

Type of exterior doors:

The property Doop on Plans 1983 3/4 GLASS Changes MADE to

Describe any ornamental woodwork:

Cas Shown in Pictures 3/4 Sivides Light **Elevations:** Front Space: _____ft. Side Space: _____ft.

Rear Space: ft.

This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical. mechanical and public works must be applied for separately. Applicant's Date: 12 - 14 - 23 Signature: Applicant's Name: Applicant's Address: Phone No: (5% Cell No: (For Office Use Only: Application date: Substantive Change: Yes Inventory Number: No V No 🗭 Contributing Element to Gretna National Register Historic District: Yes Historic District Commission meeting date. Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.) Architectural Description/Comments (as per Gretna National Register Historic District nomination form):

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or

other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.



City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

Mayor Belinda Cambre Constant

Council Members

Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot

Departments

District Four

Building and Regulatory Danika Gorrondona Planning and Zoning Azalea M. Roussell

> City Clerk Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology Michael Wesley

I, Ricky TALAMO the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on JANUARY 2 nd 2024 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

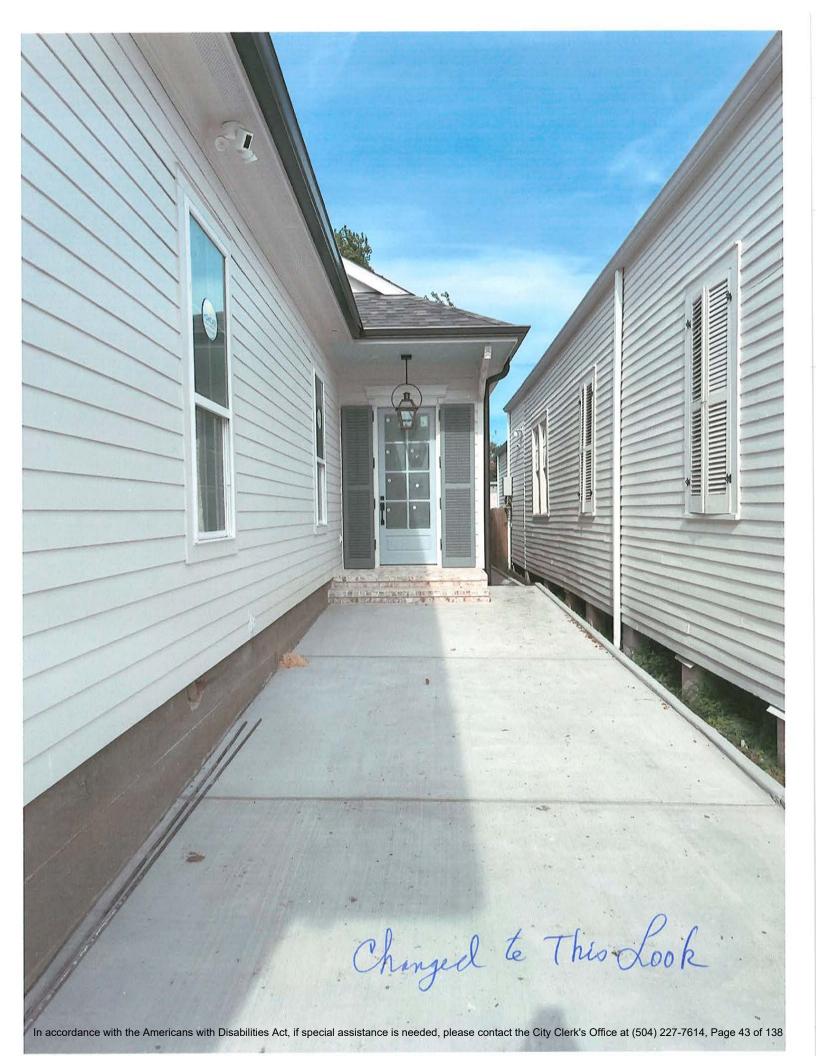
Signature of Applicant

Eh St GRETNA LA
Actual address of the property for review

Date: 12-14-2023

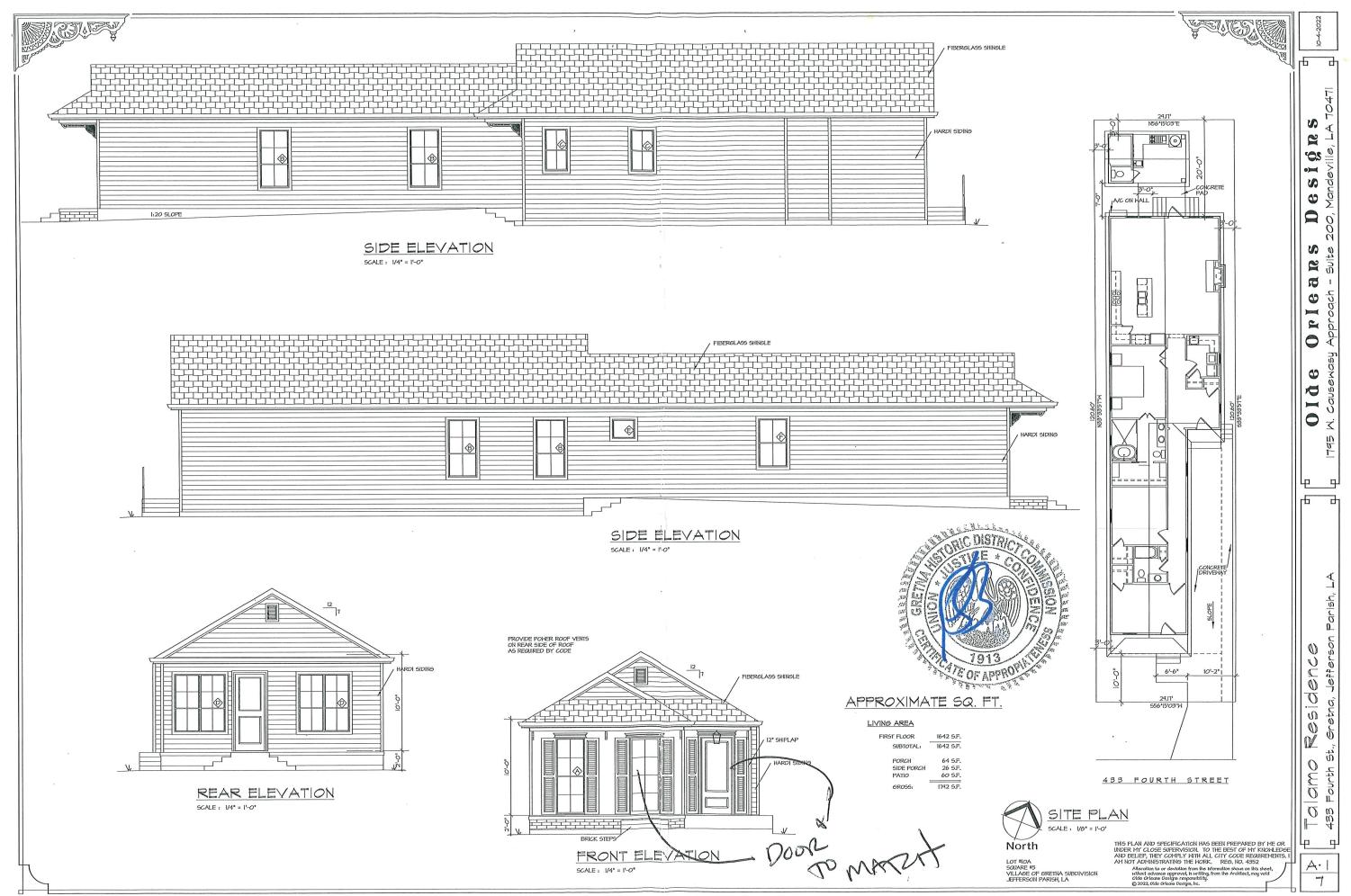


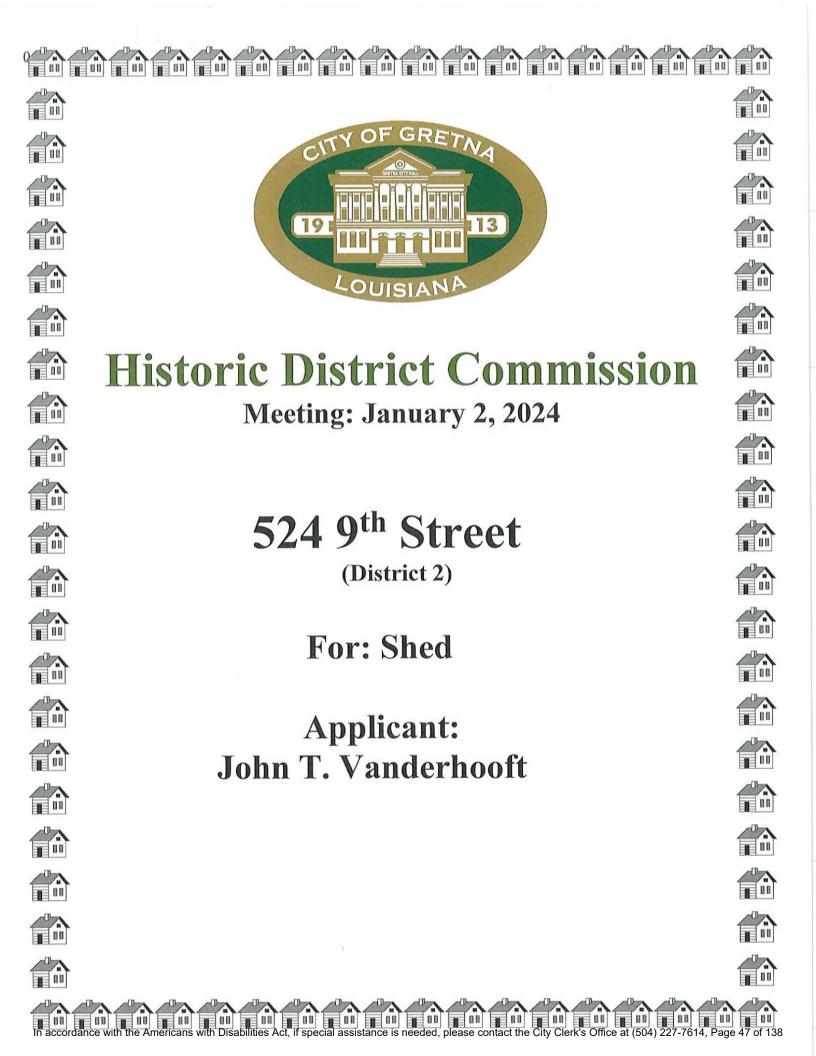
Per Plans











Permit #



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

凶	Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of
	Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South;
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	요. 요. 하나보요. 그렇게 나는 그리고 살고 있는데 그는 그는 그는 그리고 있는데 그는 그를 가는 그리고 있는데

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 524 9th St. G. Renovation:			
New Construction:	XID Tuff Shed		
CALCULATE STATE ST	Demolition:		
Age of Structure: New			
Building Type:	Building Style:		
Creole Cottage	Greek Revival		
Shotgun	Italianate		
Bungalow	New Orleans Bracketed		
Other_Shed	Eastlake		
	Colonial Revival		
	Other Ranch		
Exterior materials proposed:			
Roof Shingles	Soffit		
Fascia			
Masonry	Porches		
Balconies	Handrails		
Type of exterior lighting fixtures: NON Style of windows: Sliding wind	(1) word morson (1)		
Type of exterior doors: Double sh			
Describe any ornamental woodwork: Dia	mond trim		
Elevations: Front Space: O ft	. Side Space:ft,		
Rear Space: O fi			

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters

relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.
Applicant's Signature: Date: 12-14-23
Applicant's John T. Vanderhooft
Applicant's Address: 524 9th St. Gretna, LA 70053
Phone No: (770) 827.5642 Cell No: (770) 403-9333
For Office Use Only: Application date: 18 2023
Substantive Change: Yes \(\sum \) No \(\sum \) Inventory Number: \(\sum \sum \sum \)
Contributing Element to Gretna National Register Historic District: Yes No Phistoric District Commission meeting date: 100 No Phistoric District Commission date: 100 No Phistoric Dis
Public Hearing to be held at the Council-Regular meeting at Gretna City Hall, 740 2 nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2 nd Wednesday of every month.)
Architectural Description/Comments (as per Gretna National Register Historic District nomination
다. (form): - 사용하는 (1987년 1982년) - 1987년



City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

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Public Works

Daniel Lasvone

Parks and Recreation

Amie H. Hebert

Information Technology Michael Wesley I, John T. Vanderhooff the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on January 2, 2024 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

John T. Vanderhooft

NAME OF APPLICANT (PLEASE PRINT)

AU Oth St. Creeton I A (1) (5)

Applicant's address

524 9th St. Cretna, LA 70053

Date: 12-14-33



Build-A-Quote Number: 3184174





Customer Information

John Vanderhooft 524 9th Street Gretna, LA 70053 tana@ccsnola.com

Shipping Information

John Vanderhooft 524 9th Street Gretna, LA 70053

Description	Qty	List Price	Discount	Ext Net Price
Premier Tall Ranch 8 x 10	1/Ea	\$3864.00	\$0.00	\$3864.00
3' x 6'7" Double Shed Door (6')	1/Ea	\$529.00	\$200.00	\$329,00
Door - Decorative Double Door Trim - Diamond	1/Ea	\$59.00	\$0.00	\$59.00
Credit for Removal of Default Door	1/Ea	\$-324.00	\$0.00	\$-324.00
3'x2' Insulated Horizontal Sliding Window	1/Ea	\$229.00	\$0.00	\$229.00
Transom Window (16"x8")	5/Ea	\$69.00	\$0.00	\$345.00
Paint - Brick Dust	291/Sq Ft	\$0.00	\$0.00	\$0.00
Paint - Delicate White	1/Sq Ft	\$0.00	\$0.00	\$0.00
Full Service Paint Application	1/Ea	\$387.00	\$0.00	\$387.00
Golden Cedar 3 Tab	98/Sq Ft	\$0.00	\$0.00	\$0.00
Roof - 5/12 Roof Pitch Upgrade	98/Sq Ft	\$1.75	\$0.00	\$171.50
Ridge Vent	10/Lin Ft	\$11.00	\$0.00	\$110.00
Shed Anchor to Concrete - A24 & Wedge Anchor	4/Ea	\$30.00	\$0.00	\$120.00
Pegboard	62/Sq Ft	\$2.50	\$0.00	\$155,00
Shelving - 16" deep	24/Lin Ft	\$5.00	\$0.00	\$120.00
24" Workbench	10/Lin Ft	\$10.00	\$0.00	\$100.00
16"x8" Wall Vent - White	2/Ea	\$23.00	\$0.00	\$46.00
Flood Vents	2/Ea	\$90.00	\$0.00	\$180.00

Description	Qty	List Price	Discount	Ext Net Price
Floor Track Vent Screen	10/Ea	\$2.00	\$0.00	\$20.00
Leveling 0"-4"	1/Ea	\$0.00	\$0.00	\$0.00
Engineering Fees	80/Sq Ft	\$0.20	\$0.00	\$16.00
Delivery Fee	1/Ea	\$99.00	\$0.00	\$99.00
List Price				\$6226.50 USD
Discount				\$200.00 USD
Subtotal				\$6026.50 USD

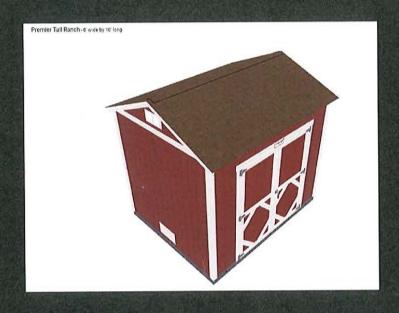
Prices shown in the online Build-A-Quote process are subject to change without notice, do not reflect custom quote selections or any local taxes, and will be verified at time of order. Online customers selecting the Buy Now option will have appropriate local taxes added to their order. While Tuff Shed makes every effort to ensure correct information is included in the online Build-A-Quote process, Tuff Shed is not responsible for technical malfunction of any telephone network, telephone or data lines, computer online systems, servers, internet providers, computer equipment, or software that may result in a pricing error or other discrepancy with the online Build-A-Quote process.

Additional delivery charges and / or sales taxes may apply for out of state customers.

Building price is based on level lot and does not include any engineering fees or building permits unless otherwise indicated on order. Customer is responsible for site preparation. Engineered plans may be required for permit application, and are not included in above prices. Engineering charges are relative to style and size of building. Cancelled orders are subject to a restocking fee.

This saved quote includes any applicable promotional discounts, which have limitations and expiration dates.

The price quoted is valid through the expiration date of the promotion. Once an order has been placed, pricing is guaranteed for up to 12 months. If the installation is not completed within 12 months for any reason, Tuff Shed has the right to modify the order pricing. You will be notified regarding any price adjustment prior to installation or incurring any additional charges.





CITY OF GRETNA HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROPRIATENESS 9th Street PROPERTY ADDRESS John Vanderhooft NAME OF APPLICANT pproved: Approval for installation of Fabricated 10x12 accessing Shed. pproved as Submitted. Work Approved: Signature of HDC Chairperson na Vanderhook Signature of Applicant By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness. Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing. NOT VALID UNLESS POSTED ON SITE Please address all questions to: **Gretna Department of Inspections**

740 2nd Street, Room 111, Gretna, LA, 70053

(504) 363-1563 - www.gretnala.com

COA-22-65







Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of
Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South;
the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

McDonoghville Historic District − area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 601 4th St. Greena, LA 70053 Renovation: Change in exterior appearance
New Construction: Demolition: Age of Structure: UNKNOWN 1920 **Building Style: Building Type:** Greek Revival Creole Cottage_____ Italianate Shotgun____ Bungalow____ New Orleans Bracketed Eastlake Other Colonial Revival Other Uhknown Exterior materials proposed: no Roof Soffit Siding Masonry_____ Porches____ Balconies_____ Handrails____ Type of exterior lighting fixtures: Style of windows: Type of exterior doors: Describe any ornamental woodwork: Elevations: no change Front Space: _____ft. Side Space: _____ft. Rear Space: ft.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately. Applicant's Signature: Date: 12/18/2023

Applicant's Tulie Hill Foster Applicant's Applicant's Address: 611 4th St, Gretna, LA 70053 Phone No: (________ Cell No: (504) 756 - 9068 Application date: Llec. 18, 2023 For Office Use Only: Inventory Number: Substantive Change: Yes No P Contributing Element to Gretna National Register Historic District: Yes Historic District Commission meeting date Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.) Architectural Description/Comments (as per Gretna National Register Historic District nomination

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City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

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Information Technology Michael Wesley

1, Julie Hill Foster			_the	under	signed,
have been informed of the Historic Dist.	rict Con	nmissio	n (Hl	OC) 1	neeting
where my application for historic district	appropr	iateness	will	be re	viewed
on Jonuary 2, 2024		p.m.,			
Gretna City Hall, 2nd floor Council Chamb	ers.				

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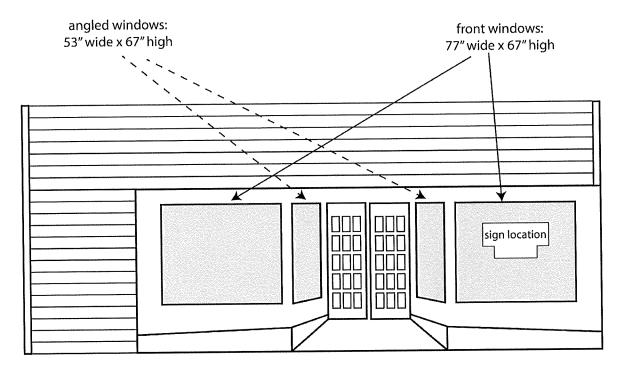
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_	Sulie Hill Jostes Signature of Applicant
_	NAME OF APPLICANT (PLEASE PRINT)
	611 4th St, Gretna, 1A 70053 Applicant's address
	Coll 4th St, Gretna, 1A 70053 Actual address of the property for review
Da	ite: 12/18/2023

Current building:



Sketch of building with proposed signage:

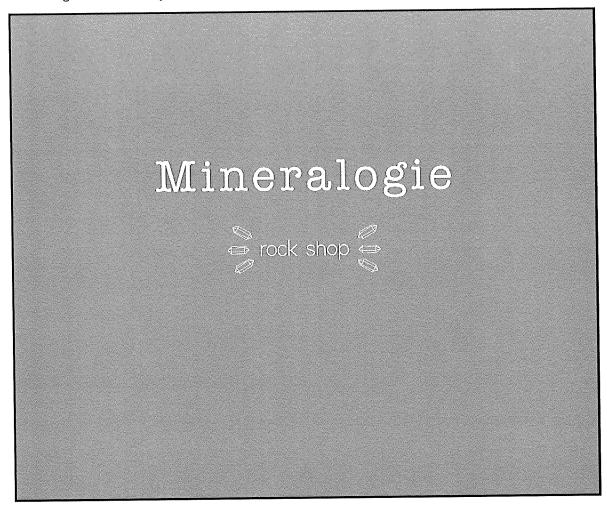


All signs are decals with transparent background mounted on the inside of the glass. Proofs are attached separately.

Mineralogie sign (white): 41.6" x 5.48" rock shop with crystals (white): 22.0" x 6.8"

NOT TO SCALE

Sketch of right window only:



Window only; to scale

Proof of main sign:

(checkered portions indicate transparent areas)

Mineralogie

Proof of smaller sign:

(checkered portions indicate transparent areas)



Julie Hill Foster 611 4th St, Gretna, LA 70053 | mineralogie.nola@gmail.com

December 18, 2023

Historic District Commission City of Gretna 740 2nd Street Gretna, LA 70053

RE:

Application for Certificate of Appropriateness

Dear Commission Members:

I am leasing ground floor commercial space at 601 4th Street with the intention of opening a small shop selling rocks, mineral specimen, and fossils. I am writing this letter to provide details of the proposed signage to obtain a Certificate of Appropriateness from the Commission.

History and Style

As a new renter of this building, I do not have information about its history, and the owner does not have historical documentation readily available. Likely built in the late 19th century, the building unfortunately does not retain many exterior elements that might indicate its architectural style, though the recessed entrance with large windows suggests this space has always been commercial.

Proposed Signage

The main proposed signage will be installed in the right storefront window on the inside of the glass. It consists of white die-cut vinyl letters spelling out "Mineralogie." The typeface is called American Typewriter ITC Pro and was chosen for its vintage style. The exact size of the sign is 41.6 inches wide by 5.58" tall.

Much smaller and below the store name will be the words "rock shop" with three crystals on each side. Like the main part of the sign, this will be white, die-cut vinyl installed on the inside of the window. The exact dimensions are 22.0" wide by 6.8" high.

Respectfully submitted,

Sulle Hill Suster





Historic District Commission Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15



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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 726-728 Madison St Gretna, LA 70053 Renovation Front doors & Scrun doors New Construction: Demolition: Age of Structure: | OO Yrs **Building Style: Building Type:** Greek Revival Creole Cottage Shotgun (double) Italianate New Orleans Bracketed Bungalow Eastlake Other Colonial Revival Other ____ Exterior materials proposed: Roof____ Soffit Fascia____ Siding Masonry_____Porches____ Balconies_____ Handrails_____ Type of exterior lighting fixtures: Style of windows: Type of exterior doors: Describe any ornamental woodwork: **Elevations:** Front Space: ft. Side Space: ____ft. Rear Space: ft.

relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately. Applicant's Date: 12/5/23 Signature: Applicant's Name: Applicant's Numet St New Orleans, LA 70114 Address: Cell No: (504) 458-9112 Phone No: () For Office Use Only: Application date: Inventory Number: 26 - 010 Substantive Change: Yes No P Contributing Element to Gretna National Register Historic District: Yes Historic District Commission meeting date: Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.) Architectural Description/Comments (as per Gretna National Register Historic District nomination form):

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or

This information is for the purpose of Historic District Commission review only. Matters

other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.



City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

Mayor **Belinda Cambre Constant**

Council Members

Wayne A. Rau Councilman-at-Large

> Milton L. Crosby District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning and Zonina

> Azalea M. Roussell City Clerk Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I Clair Brass the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed Dan- 2, 2024 (2) 4:00 p.m., 740 2nd Street, Greena City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

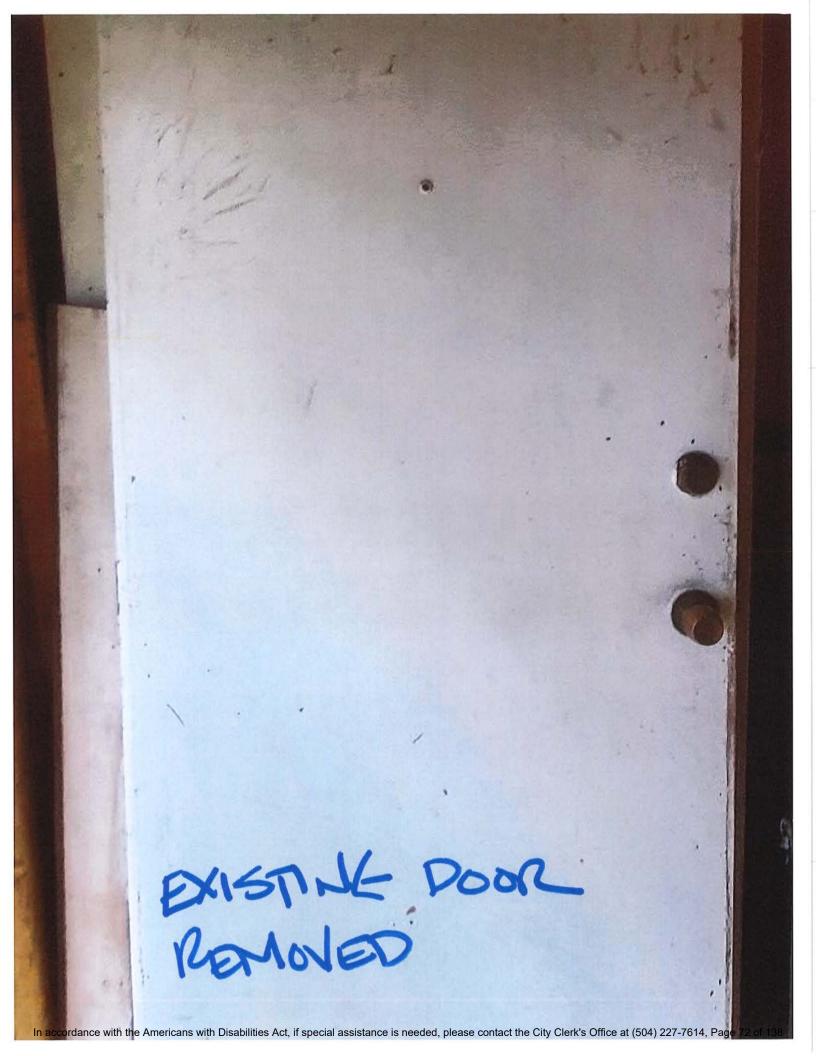
Signature of Applicant Applicant's address

726-728 Ma Oson St Crefna, LA 70053

Actual address of the property for review

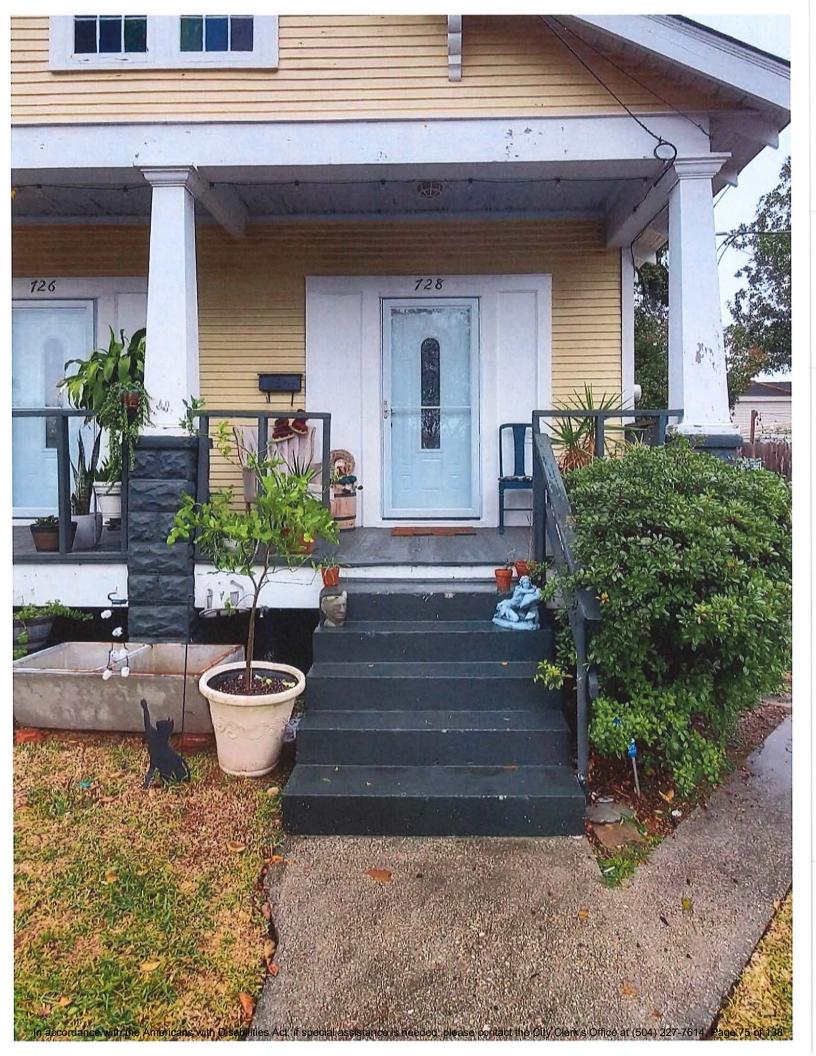
Date: 121-1-

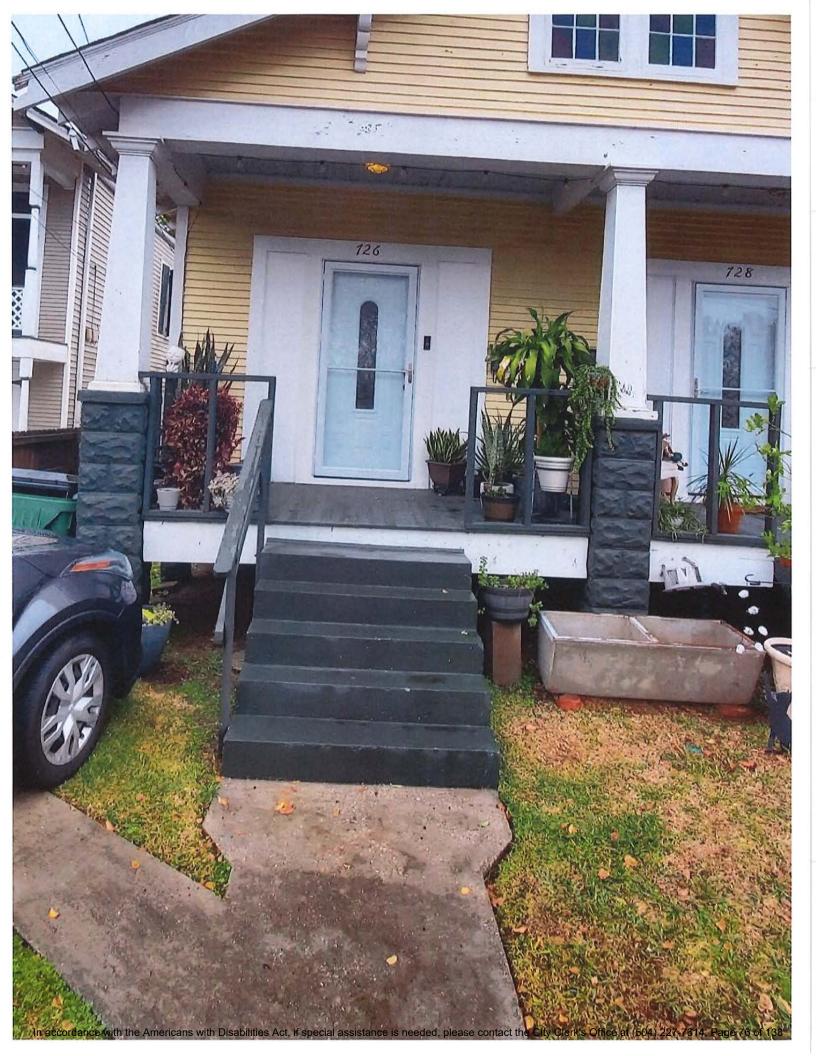
Date: 12/5/23

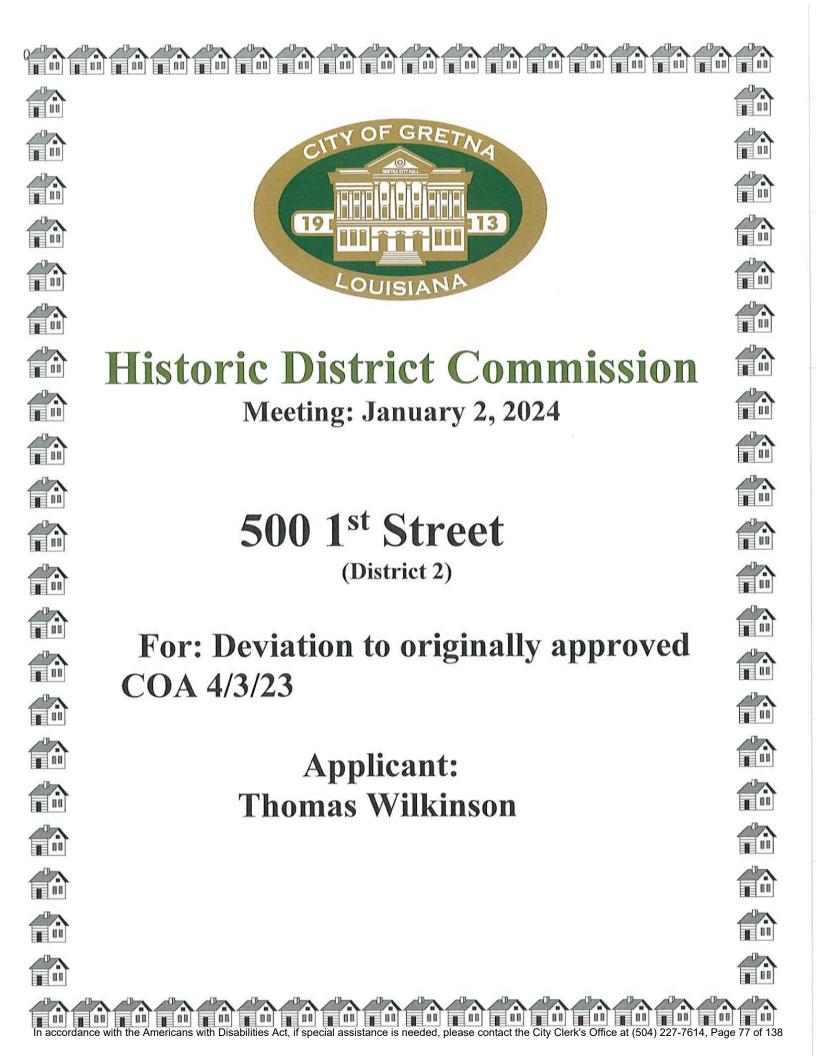
















Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

2	Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of
	Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South;
	the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna
	National Register Historic District is included within the Mechanickham – Gretna Historic District.

Ш	McDonogh	ville 1	Historic Distr	ict –	area b	ounded	l by tl	ne eas	t side	of	Ocea	n Aven	ue fron	the	rive	r to
	the Fourth S	Street	right-of-way	to th	e west	t side o	f Han	cock	Street	to	the (Orleans	Parish	line	and	the
	Mississippi	River	•0													

Historic District permits are <u>required</u> for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

<u>Ordinary repairs and standard maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 501 1st Stra	ut
Renovation:	
New Construction:	D. Belle
Age of Structure: 7 yeas	Demolition:
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other	Eastlake
	Colonial Revival
	Other
Exterior materials proposed:	
Roof	Soffit
Fascia	Siding
Masonry	Porches
Balconies	Handrails
Type of exterior lighting fixtures:	
Style of windows:	
Type of exterior doors:	
Elevations: Front Space:ft.	Side Space:ft.
Rear Space: ft.	

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical,

mechanical and public works must be applied for separately.
Applicant's Signature: Date: 12-15-23
Applicant's Tom AS G. WILKINSON
Applicant's 500 1st St.
Phone No: (504) 364-1892 Cell No: (504) 439-6088
For Office Use Only: Application date: Lec. 14 2023
Substantive Change: Yes No No Inventory Number: M/A
Contributing Element to Gretna National Register-Historic District: Yes No
Historic District Commission meeting date: Jan. 2 2024 2 4:00
Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2 nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2 nd Wednesday of every month.)
Architectural Description/Comments (as per Gretna National Register Historic District nomination
form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

Mayor Belinda Cambre Constant

Council Members

Wayne A. Rau Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub District Two

Mark K. Miller

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Jackie J. Berthelot District Four

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> City Clerk Norma J. Cruz

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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation Amie H. Hebert

Information Technology Michael Wesley

Thomas G. WILKINSON have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed 1-2-24 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

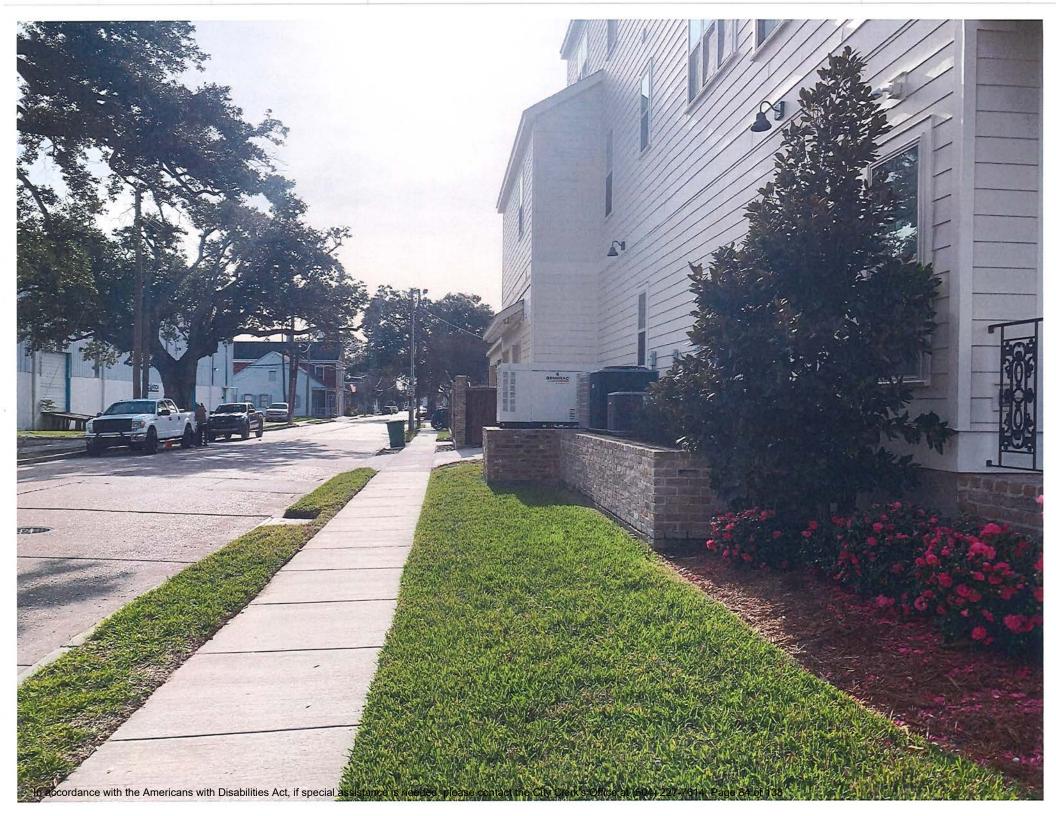
I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of App s not gua ause, whi urrent Bui

le a proj	proval of the Zoning and/or Building Departments beceet may be historically appropriate, it may not meet con Zoning Code requirements.
	0
	Signature of Applicant
	Thomas G. WICKINSON
	NAME OF APPLICANT (PLEASE PRINT)
	500 1st Street
	Applicant's address
	Actual address of the property for review
Date:	12-14-23









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a r c h i t e c t s

A PROFESSIONAL CORPORATION

STATE LOBING ANNUAL LOBBING ANNUAL LOBBING ANNUAL LOBING AN



PROJECT

PROJECT

Wilkinson Residence Patio Addition

Left Side Elevations

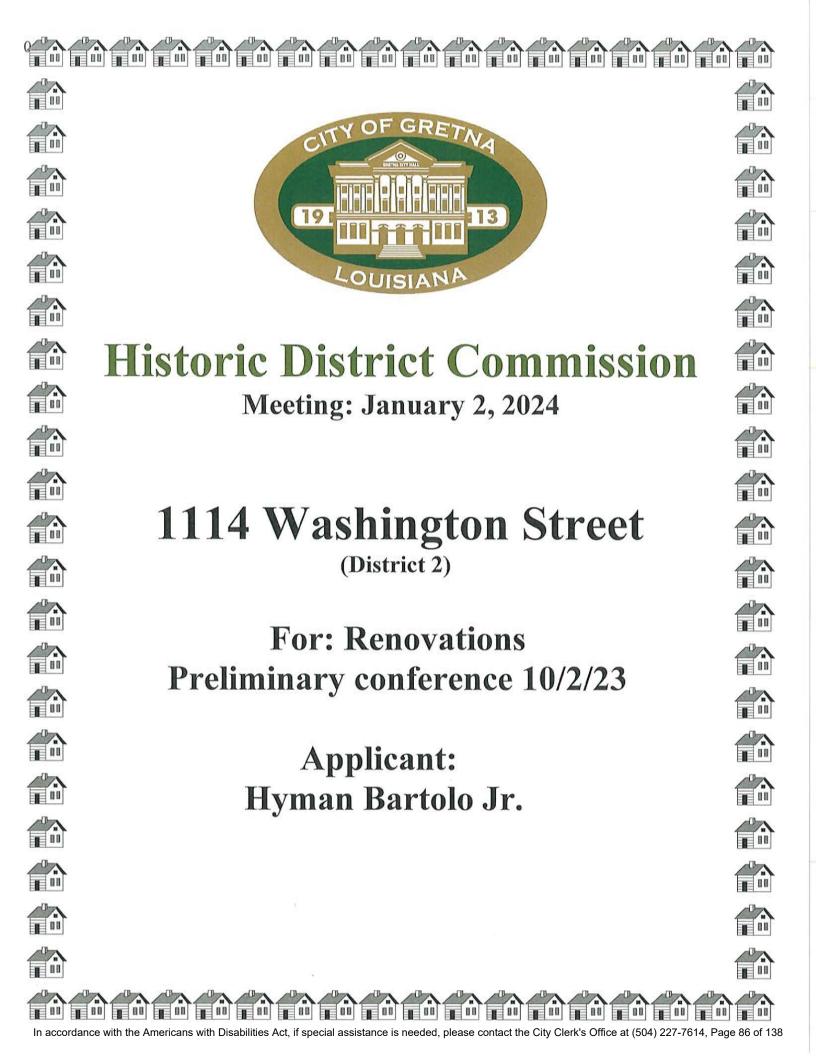
REVISIONS

PATE

03.22.2023

PROJECT NUMBER 15103

A-201



Gernit # 7133



Historic District Commission Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are *required* for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1114 Washington Street Renovation: and addition New Construction: Demolition: Age of Structure: **Building Type: Building Style:** Creole Cottage ✓ modified Greek Revival_____ Shotgun____ Italianate Bungalow____ New Orleans Bracketed_____ Eastlake_____ Other _____ Colonial Revival Other Modified Creole Cottage Exterior materials proposed: Soffit Hardie Roof shingles-fiberglass Fascia hardie Siding Hardie Masonry______ Porches concrete & wood Balconies 5/4 decking material Handrails metal Type of exterior lighting fixtures: metal Style of windows: vinvl Type of exterior doors: fiberglass Describe any ornamental woodwork: none **Elevations:** Front Space: _____ft. Side Space: _____ft. Rear Space: 43 ft.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately. Applicant's 12/14/2023 Date: Signature: Applicant's Hyman L. Bartolo Jr. Name: Applicant's 1100 MacArthur Ave., Harvey, LA 70058 Address: Phone No: (504) 328-1381 Cell No: (504) 415-4622 For Office Use Only: Application date: Inventory Number: 26 Substantive Change: Yes No 🗷 Contributing Element to Gretna National Register Historic District: Yes Historic District Commission meeting date: Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.) Architectural Description/Comments (as per Gretna National Register Historic District nomination form):

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or

other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.



City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

*Mayor*Belinda Cambre Constant

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Wayne A. Rau Councilman-at-Large Milton L. Crosby

> District One Michael Hinyub

District Two

Mark K. Miller District Three

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Finance & Tax Departments Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation Amie H. Hebert

Information Technology Michael Wesley

	Ι,	Hyman L	. Bartol	o Jr.				_the	unde	rsigned,
have	been	informed	of the	Histori	c Dist	rict Co	mmissio	n (H	DC)	meeting
where	e my	application	n for his	storic d	listrict	approp	riateness	will	be r	eviewed
on	12/1	8/2023				4:00	p.m.,	740	2^{nd}	Street,
Gretn	a City	Hall, 2nd	l floor C	ouncil	Chaml	oers.				

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Hyman L. Bartolo Jr.

NAME OF APPLICANT (PLEASE PRINT)

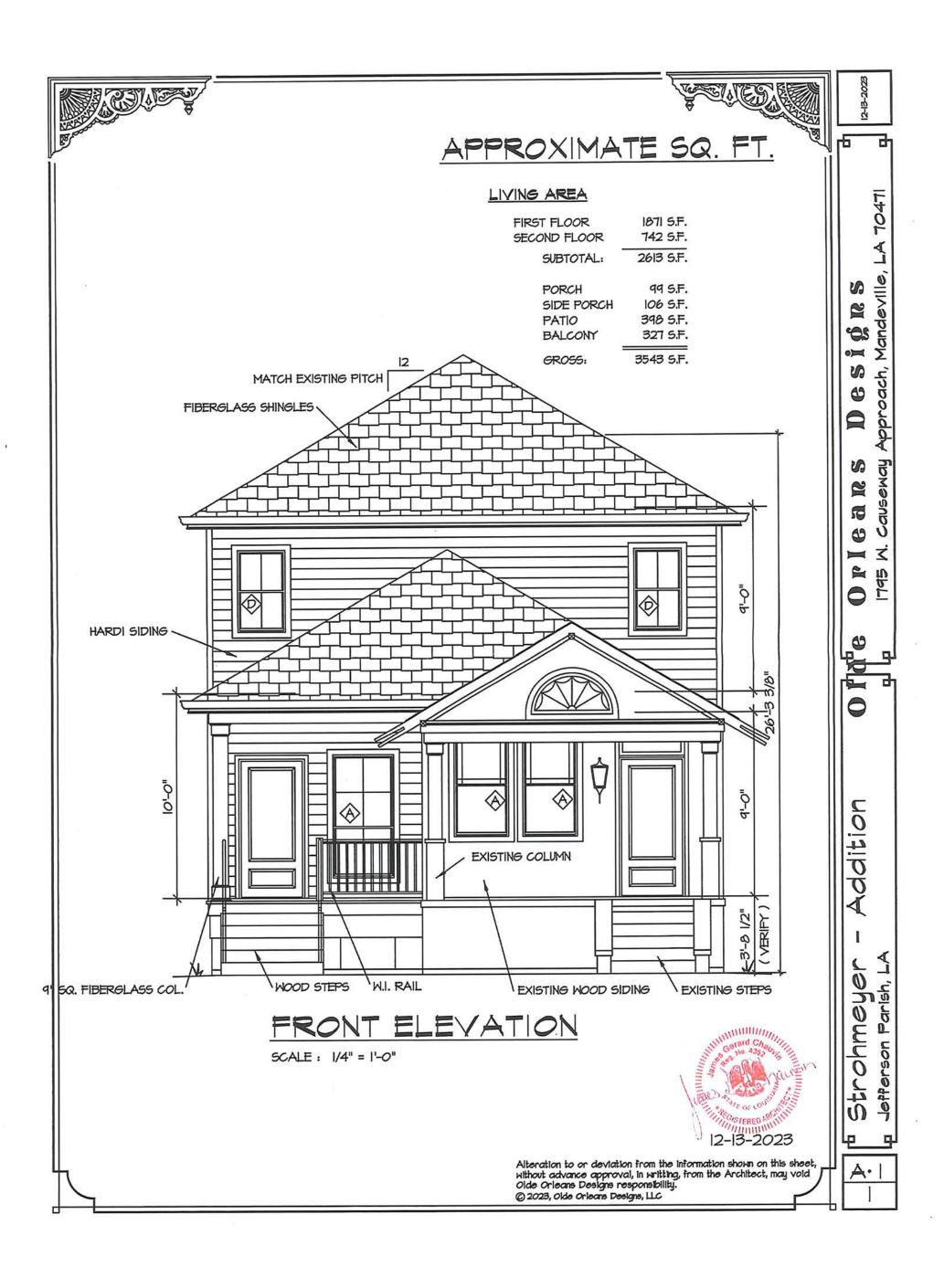
1100 MacArthur ave., Harvey, LA 70058

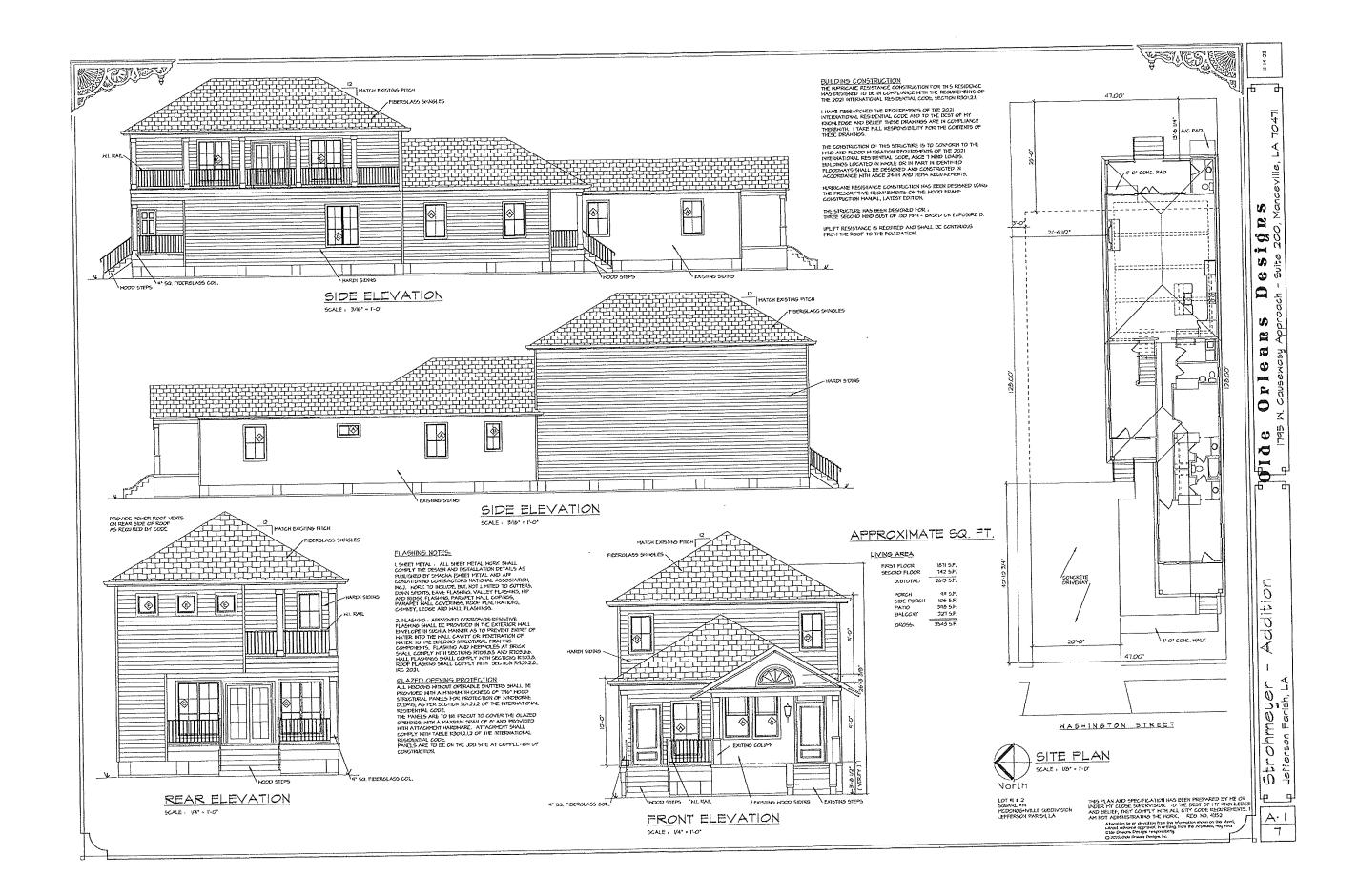
Applicant's address

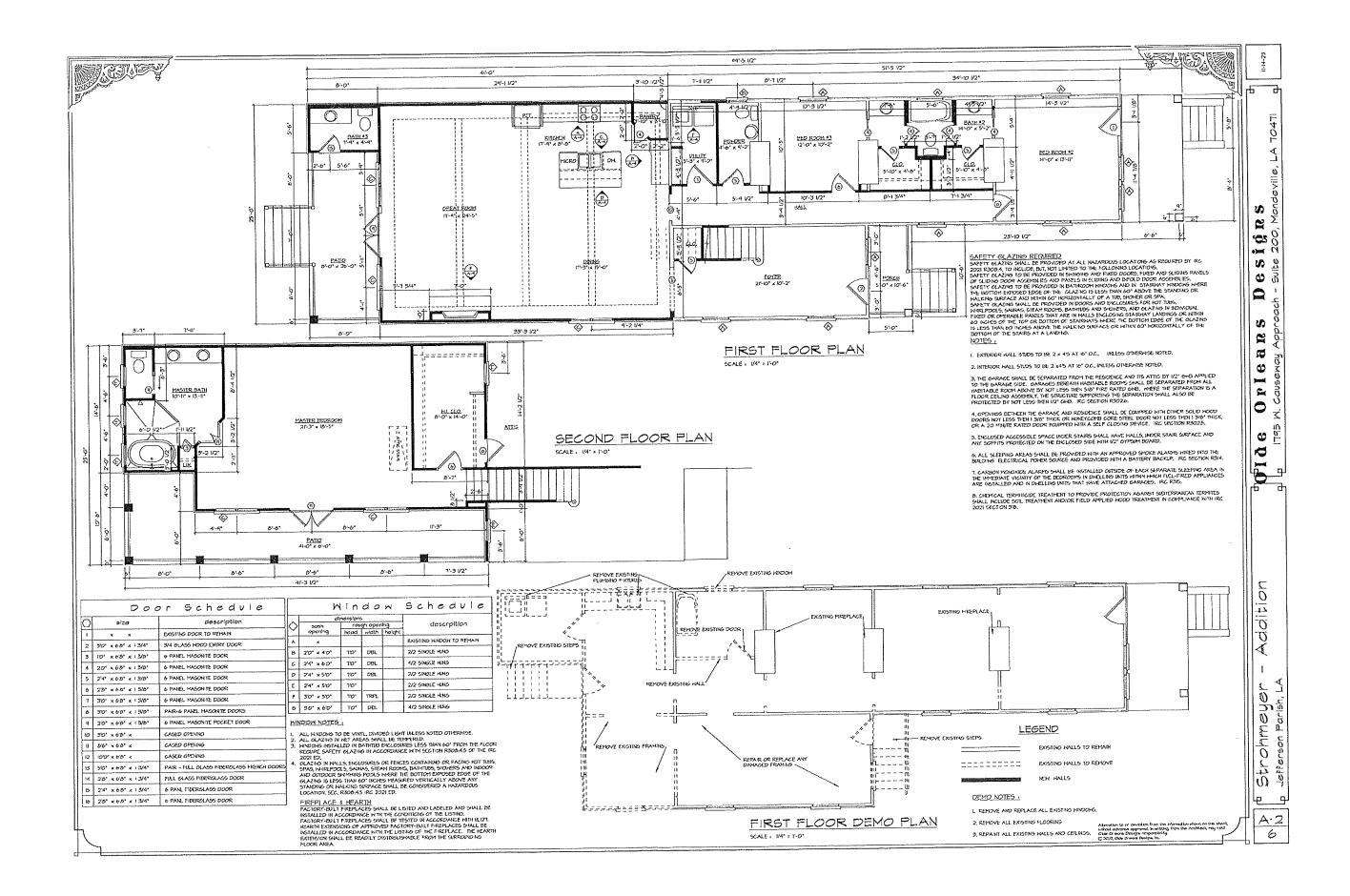
1114 Washington Street, Gretna

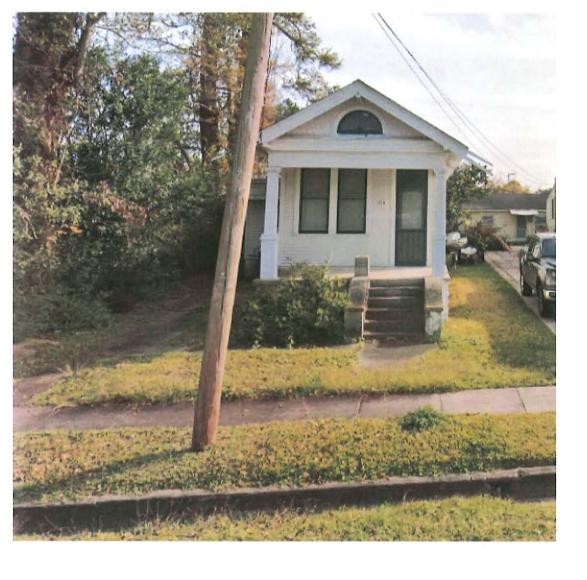
Actual address of the property for review

Date: 12/14/2023













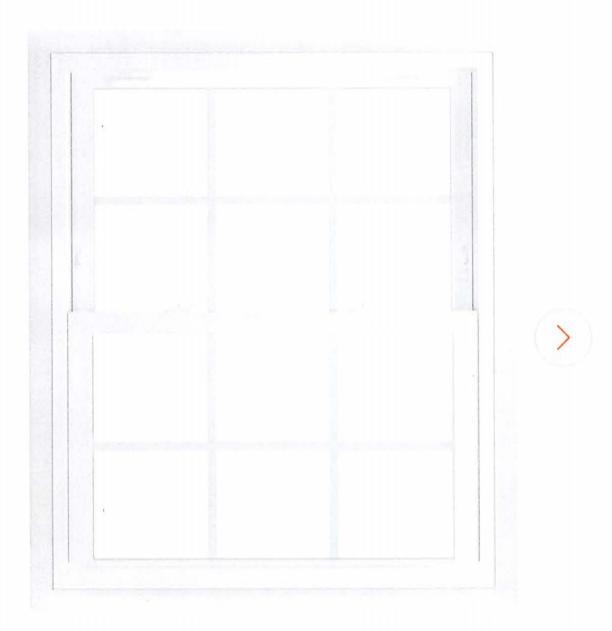


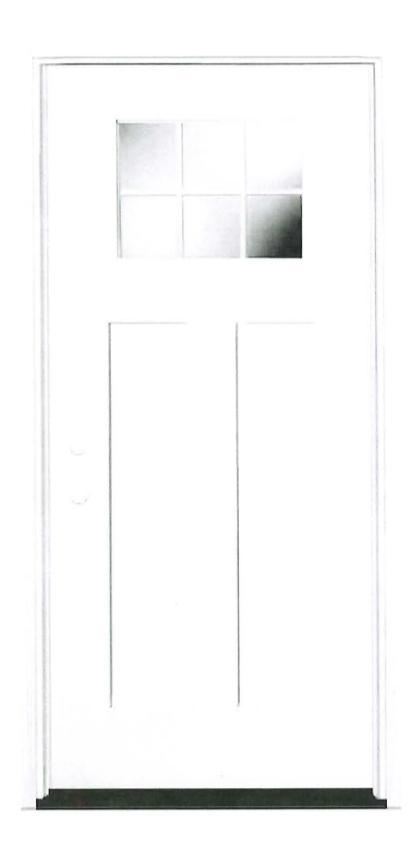


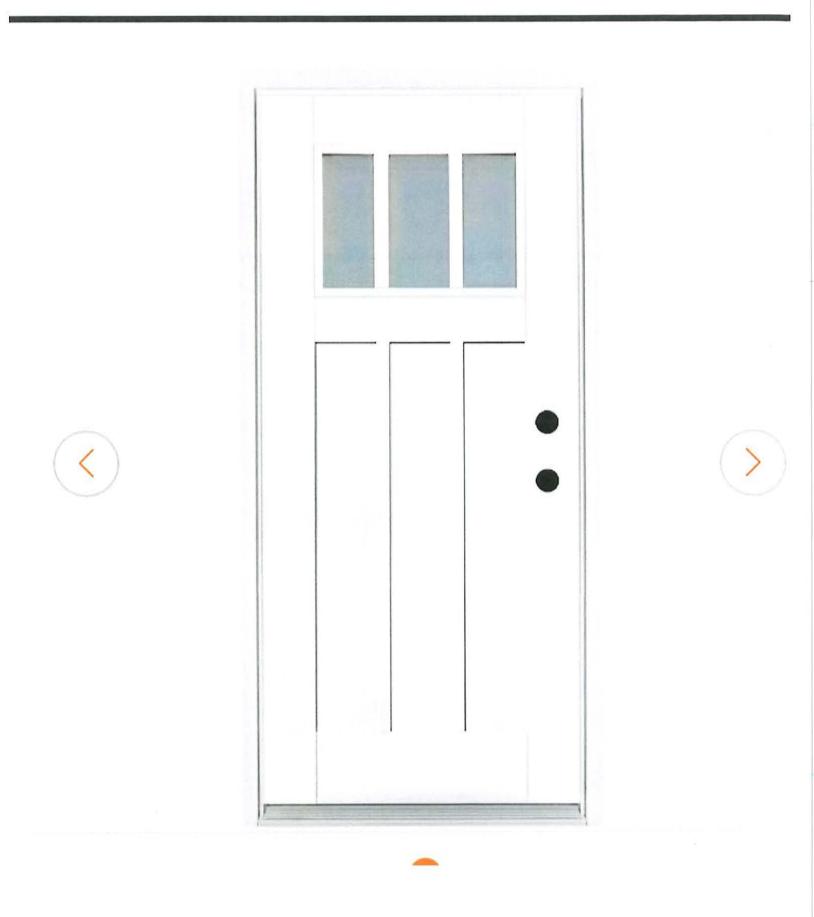
American Craftsman

33.75 in. x 40.75 in. 70 Series Low-E Argon Glass Double Hung White Vinyl Fin with J Window with Grids, Screen Incl







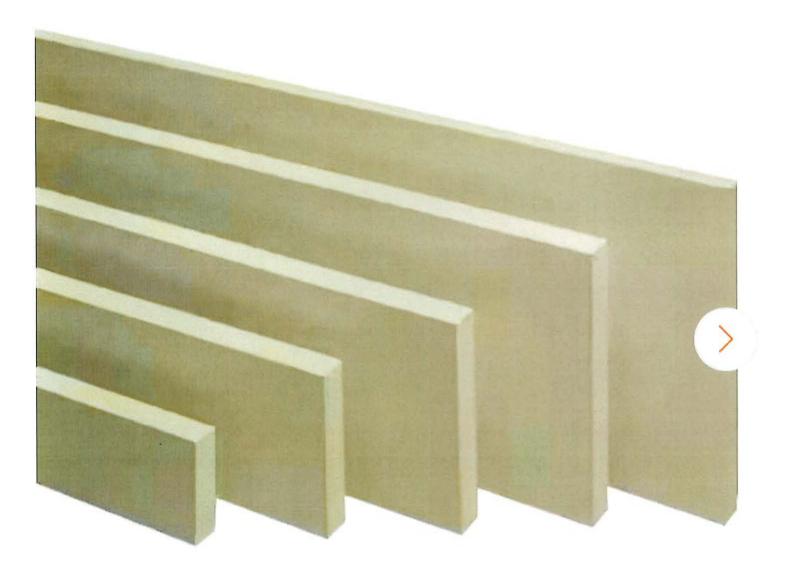




James Hardie

Hardie Trim HZ10 3/4 in. x 3.5 in. x 144 in. Primed Fiber Cement Smooth Trim Board



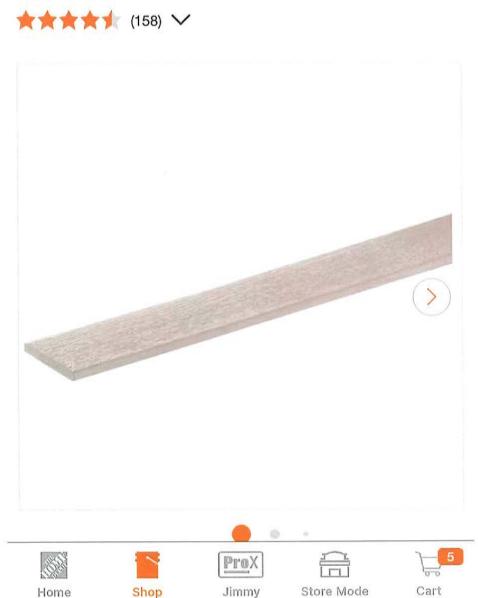




Home / Building Materials / Siding / Siding Trim

LP SmartSide

SmartSide 440 Series Cedar Texture Trim Engineered Treated Wood Siding, Application As 4 in. x 8 ft.



Weatherables

Riviera 3 ft. H x 4 ft. W White Vinyl Railing Kit







Home / Railing / Railing Systems / Vinyl Railing / Durables Harrington Vinyl Railing / Durables Harrington Vinyl Stair Rail Kit

The Harrington Vinyl Stair Railing Kit by Durables

★★★★★ 23 Reviews

11 Questions \ 11 Answers













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GENERAL NOTES / SPECIFICATIONS:

1. ALL WORKS AND MATERIALS SHALL COMPLY WITH RESIDENTIAL INTERNATIONAL CODE, 2021,

 DESIGN CRITERIA ASCE-7, DESIGN WIND LOAD: 140 MPH , ROOF LOAD: 20 PSF AND OTHER CITY OF GRETNA ZONING / BUILDING CODES / REGULATIONS

WORK SCOPE:

GENERAL REPAIR , RENOVATION , ADDITION, CONVERT EXIST. DUPLEX INTO \$/F RESIDENCE INCLUDE / PLUMBING/ ELECTRICAL/ AC'S AND PER PLAN.

WIND BORNE / DEBRIS PROTECTION:
ALL 'GLASS OPENINGS" SHALL BE PROVIDED WITH PRECUT MINIMUM 5/8" (FIVE/EIGHTH INCH) THICK O.S.B. (OR APPROVED EQUAL) WITH INSTALLATION CLIPS OR SCREWS.

HURRICANE RESISTANT NOTES:

ALL WORK SHALL MEET APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE 2021.

THE DESIGN CRITERIA USED IS PER ASCE-7.

THE WIND SPEED DESIGN IS 140 MPH.

PROVIDE "RAFTER COLLARS" AT EVERY RAFTER.

PROVIDE 5/8"DIA X 9" ANCHOR BOLTS WITH 31/2" X 31/2" WASHERS @ 30" O.C.

PROVIDE NOMINAL SIZE ½" (ONE/HALF INCH) O.S.B. (PLYWOOD) SHEATHING ON ENTIRE HOUSE FRAMING FOR CONTINUOUS LOAD PATH CONNECTIONS.

PROVIDE "BRACING" FOR ALL ROOF PURLINS.

PROVIDE "SIMPSON H15" DOUBLE WRAPS STRAP: RAFTER TO STUD THRU TOP PLATES.

PROVIDE "SIMPSON HPAHD" TO HOLD DOWN ANCHORS AT THE ENDS OF ALL SHEAR PANELS/WALLS.

ALL "ROOF SHEATHING" SHALL BE MINIMUM 5/8" (ONE HALF INCH) THICK O.S.B. (PLYWOOD)

* PEC STATE RED FECTION AND A 22

LOUIS KONG ARCHITECTURE, LLC

(504) 912-8403 louisk499@gmail.com

5726 ST. CHARLES AVE.

NEW ORLEANS, LA 70115

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER OUR CLOSE PERSONAL SUPERVISION AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF THESE PLANS ARE IN COMPLIANCE WITH ALL CITY/PARISH REQUIREMENTS
WE ARE NOT OBSERVING THE WORK

ANCHORED WITH 8 (EIGHT) PENNY COMMON NAÎL 6" (SIX INCH) ÓN CENTER SPÀCING.

PARISI
WE AF

RUFF ST.

7 13'

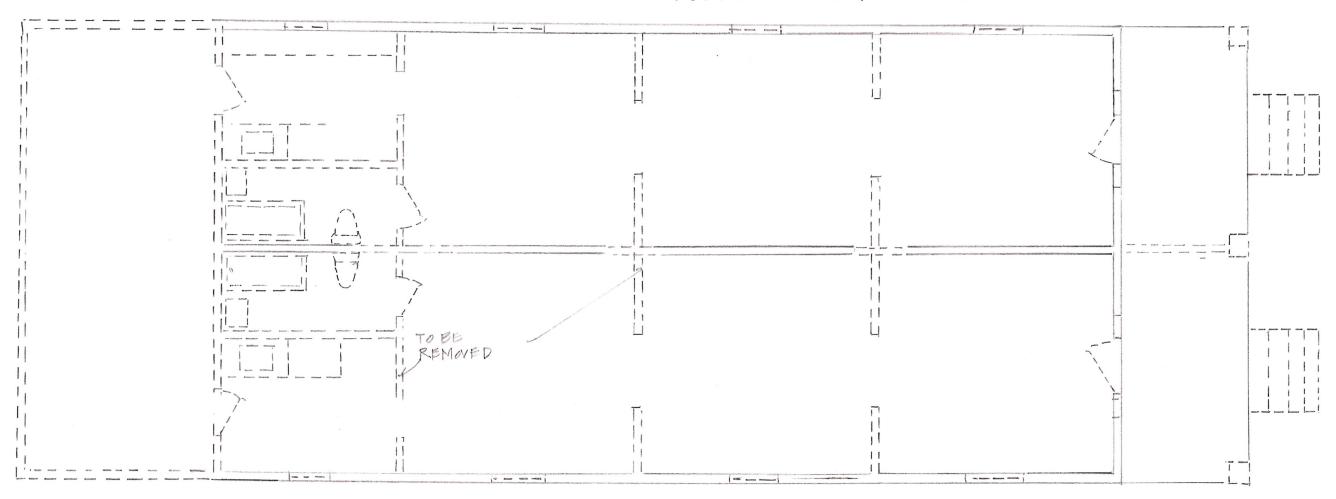
50'

EXMIT A TEXT OF THE TOTAL TOTAL

PERRY ST. (SIDE)

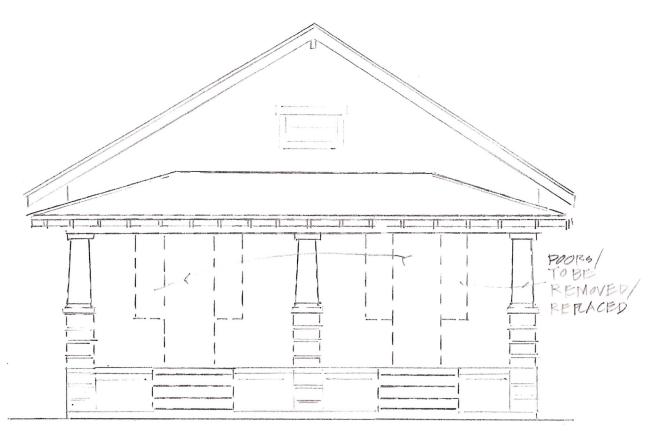
SITE PLAN 3/32"=1'-0"

> AUGUST 1 OF 9



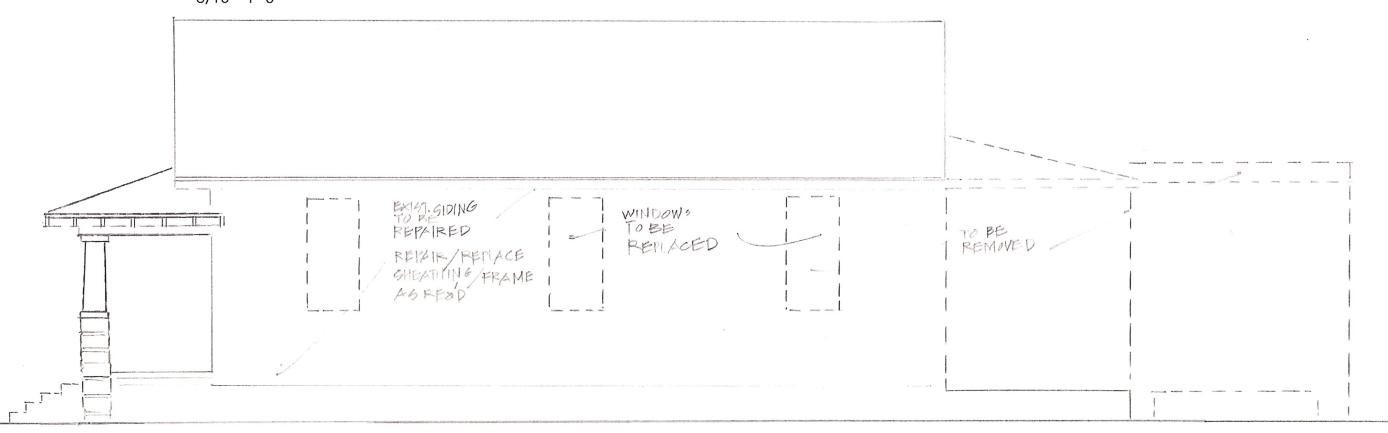
EXIST. / DEMO FLOOR PLAN 3/16"=1'-0"







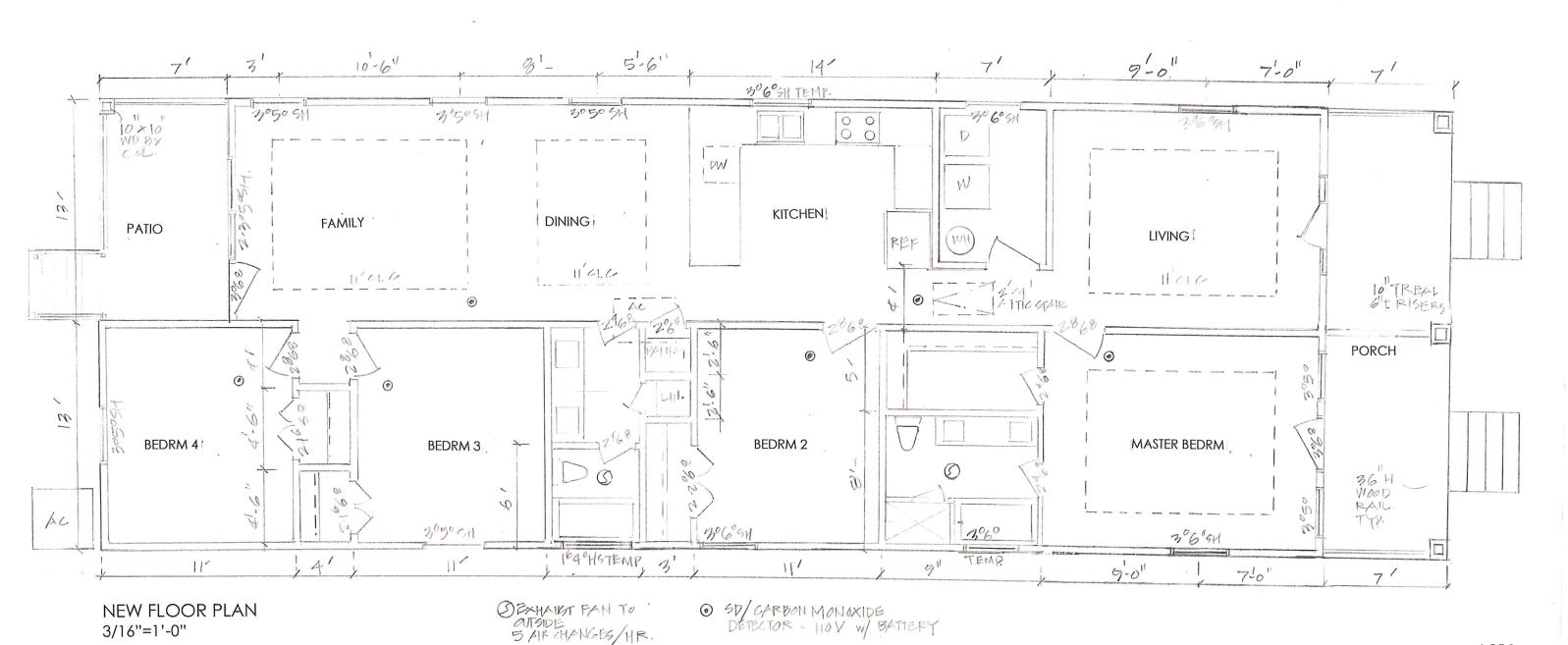
EXIST. / DEMO FRONT ELEVATION 3/16"=1'-0"

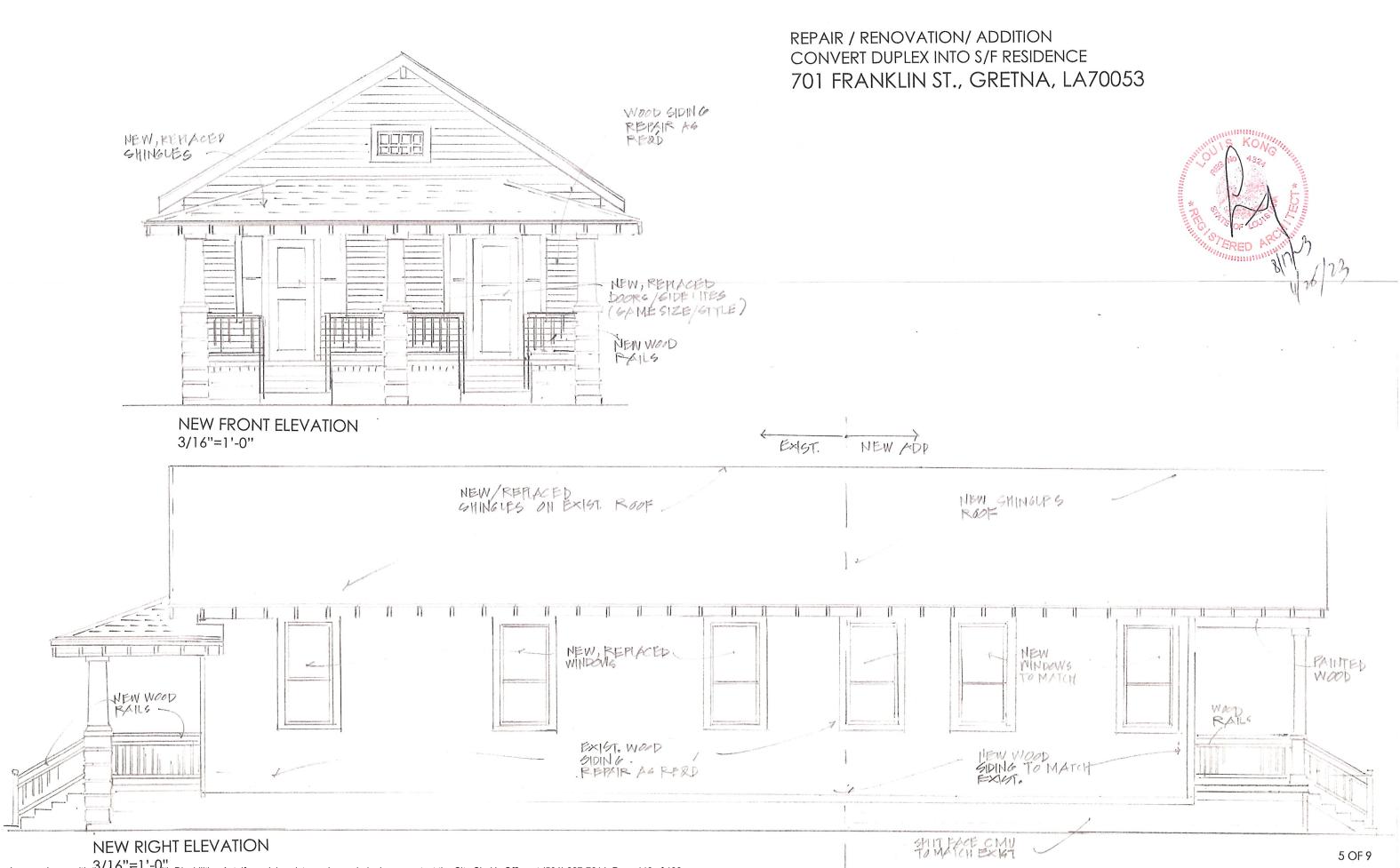


EXIST./ DEMO RIGHT ELEVATION 3/16"=1'-0"

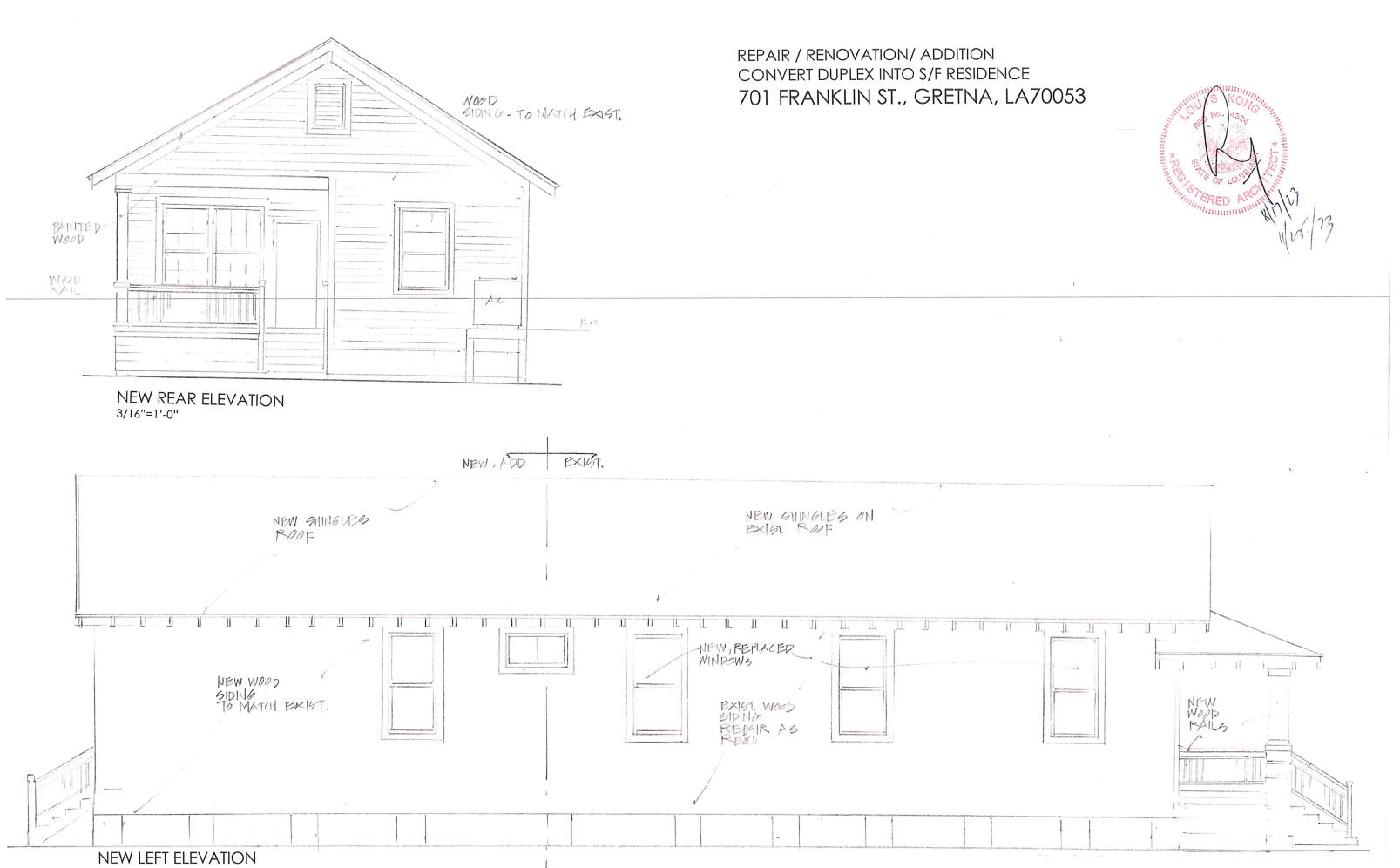
3 OF 9





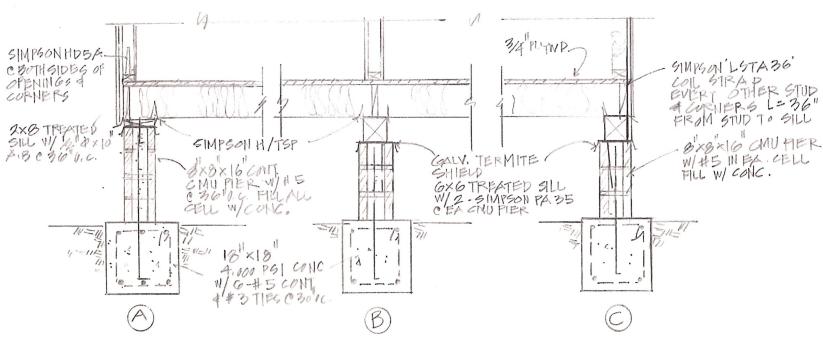


In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 113 of 138

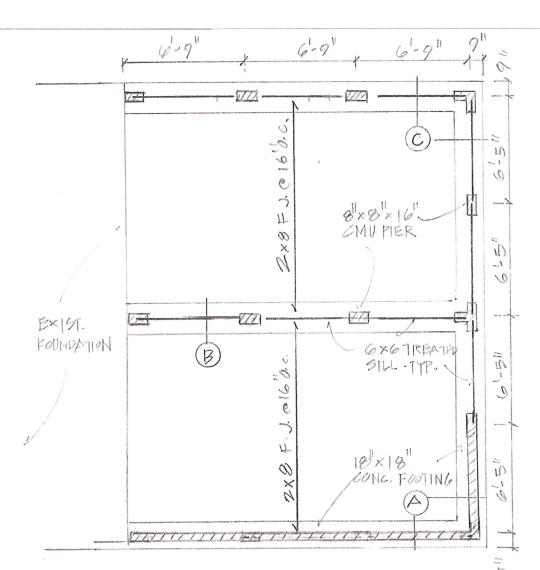


FOUNDATION/ CONCRETE NOTES:

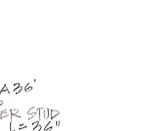
- 1. BAR REINFORCEMENT SHALL COMPLY WITH ASTM A615.
- 2. ALL CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION AND CURED FOR A MINIMUM PERIOD OF SEVEN (7) DAYS AFTER PLACEMENT.
- 3. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE 3" UNLESS NOTED
- 4. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A185.
- BAR SPLICES SHALL LAP A SUFFICIENT LENGTH TO DEVELOP THE FULL STRENGTH OF THE BARS, BUT IN NO EVENT SHALL THE LAP BE LESS THAN 40 TIMES THE BAR DIAMETER OR 12" WHICHEVER IS GREATER.
- 6. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 WITH NUTS AND WASHERS.
- 7. PRE-LOADING OF THE SITE WILL BE REQUIRED IF THE FILL DEPTH EXCEEDS TWO (2) FEET.
- 8. ALL WIRE MESH SHALL BE LAPPED AND TIED A MINIMUM OF 1 1/2 SPACES ON ALL SIDES AND SUPPORTED IN THE CENTER OF THE SLAB BY USING CONCRETE BRICKETTS BEFORE CONCRETE IS POURED.
- 9. BRICKBATTS OR OTHER POROUS MATERIALS ARE NOT ALLOWED TO SUPPORT MESH
- 10. SOME SETTLEMENT SHOULD BE EXPECTED FOR NON-PILE SUPPORTED SLABS, WALKS, DRIVES AND PARKING AREAS.
- 11. FLOOR SLAB SHALL BE POURED ON 6 MIL VISQUEEN MEMBRANE OVER CONPACTED FILL
- 12. ALL REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60, AND LAPPED 36
- 13. CORNER BARS SHALL BE PROVIDED FOR ALL EXTERIOR REINFORCING BARS (TOP TO BOTTOM) AT BUILDING CORNERS.
- 14. CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM OF 5.2 SACKS OF CEMENT PER CUBIC YARD AND A MAXIMUM OF 30 GALLONS OF FREE AND ADDED WATER PER CUBIC YAR







FOUNDATION / FLOOR FRAMINGPLAN 3/16"=1'-0"





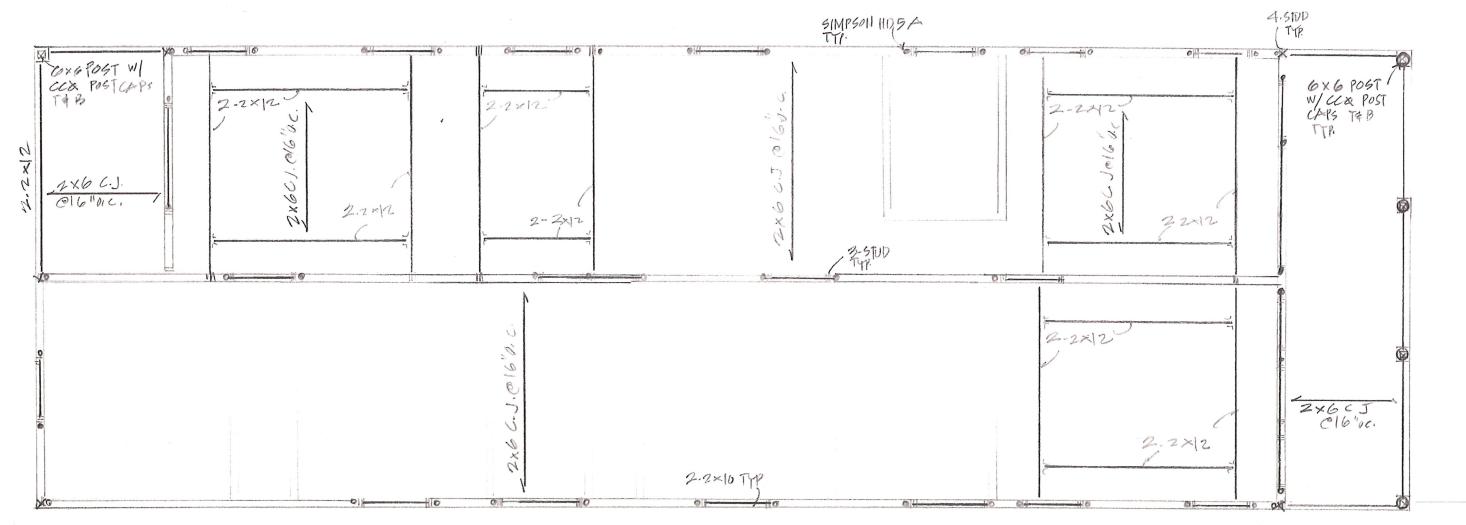
FRAMING NOTES:

- 1. ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS BELOW. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE Irc 2009 BUILDING CODE (APPLICABLE EDITION). ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED WITH A WATER BOURN PRESERVATIVE.
- 2. ALL FRAMING LUMBER SHALL BE SOUTHER YELLOW PINE NO. 2 EQUAL GRADE WITH A MAXIMUM MOISTURE CONTENT OF 15%.
- 3. LOCATE FOUR (4) STUDS AT BEAM BEARING POINTS BELOW DOUBLE TOP PLATE. NAIL EACH STUD TO ADJACENT STUD IN THE POST WITH 16D NAILS AT 12" O. C. AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING TOP AND BOTTOM.
- 4. USE 2 X 6 STUDS AT ALL PLUMBING WALLS.
- PLYWOOD ROOFING APA RATED 24/0, 5/8" THICK NAILED WITH 8D NAILS SPACED AT 6"
 O.C. AT PANEL EDGES AD 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLYCLIPS AT
 UNSUPPORTED EDGES BETWEEN ROOF JOISTS.
- 6. WIND BRACING PROVIDE APA RATED 4X8X½" PLYWOOD ON ALL EXTERIOR WALL CORNERS AND A MAXIMUM OF TWENTY (20) FEET ON CENTER ALONG EXTERIOR WALLS FROM SLAB TO UNDERSIDE OF RAFTERS. NAIL PLYWOOD EDGES WITH 8D NAILS AT 6" O.C. AT PANEL EDGES. AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES.

- 7. BORED HOLES PROVIDE CLEAR FROM TOP OR BOTTOM EDGE OF JOIST, NOT LARGER THAN 1¼" IN DIAMETER AND NOT IN THE MIDDLE OF THE SPAN.
- B. COORDINATE FRAMING WITH HVAC, ELECTRICAL AND PLUMBING REQUIREMENTS.
- 9. THE VERTICAL CUT FOR NOTCHES OR BLOCKING AT ENDS OF HORIZONTAL FRAMING MEMBERS SHALL NOT BE GREATER THAN 25% OF THE MEMBER DEPTH. IN ADDITION, STEEL SADDLE IS REQUIRED AT ALL BUTT JOINTS OF FRAMING MEMBERS
- 10. BLOCK ALL STUDS WHERE RQUIRED FOR SHEETING OR FIXTURES.
- 11. ALL RAFTERS SHALL BE NOTCHED TO PROVIDE FULL BEARING AT SUPPORTS.
- 12. PROVIDE DOUBLE FRAMING AT ALL ROOF PENETRATIONS.
- 13. JOIST HANGERS SHALL BE AS MANUFACTURER'S SPECIFICATIONS. USE HAGERS FOR BEAMS AND JOIST WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE THE SAME SIZE AS MEMBERS BEING SUPPORTED.
- 14. STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1/12" WIDE X 24 GAUGE GALVANIZED STRAPS 18" LONG BOTH SIDES OF WALL.
- 15. PROVIDE AT LEAST ONE ROW OF HORIZONTAL BLOCKING IN ALL BEARING STUD WALLS UNDER 8' AND 2 ROWS IN STUD WALLS OVER 8'. PROVIDE 1 ROW OF HORIZONTAL BLOCKING IN NON-BEARING WALLS OVER 8'.
- 16. PROVIDE AT LEAST ONE ROW OF BRIDGING OR BLOCKING AT ALL JOISTS SPANNING OVER 8'. PROVIDE A LEAST 2 ROWS OF BRIDGING OR BLOCKING FOR JOISTS SPANNING OVER 14'
- 17. THE VERTICAL CUT FOR NOTCHES OR BLOCKING AT ENDS OF HORIZONTAL FRAMING-MEMBERS SHALL NOT BE GREATER THAN 25% OF THE MEMBER DEPTH. IN ADDITION, STEEL SADDLE IS REQUIRED AT ALL BUTT JOINTS OF FRAMING MEMBERS.
- 18. USE 2 X 6 STUDS AT ALL PLUMBING WALLS.

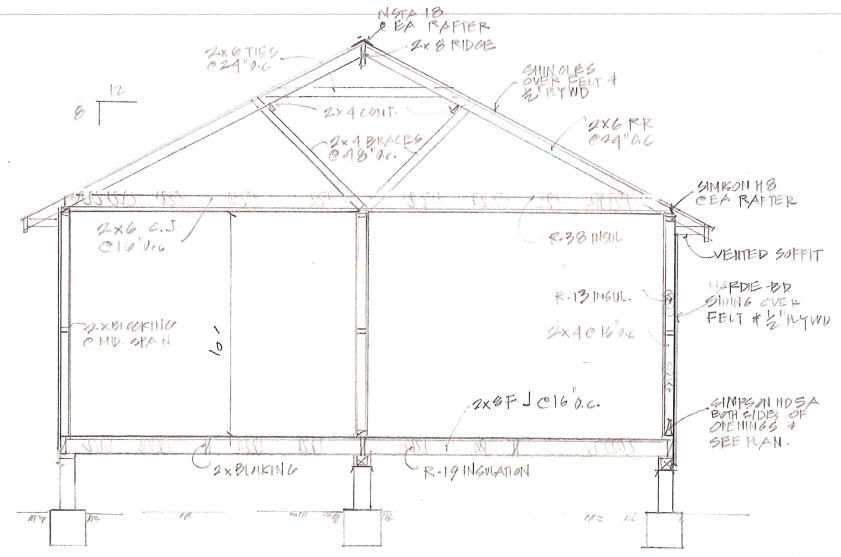
REPAIR / RENOVATION/ ADDITION CONVERT DUPLEX INTO S/F RESIDENCE 701 FRANKLIN ST., GRETNA, LA70053



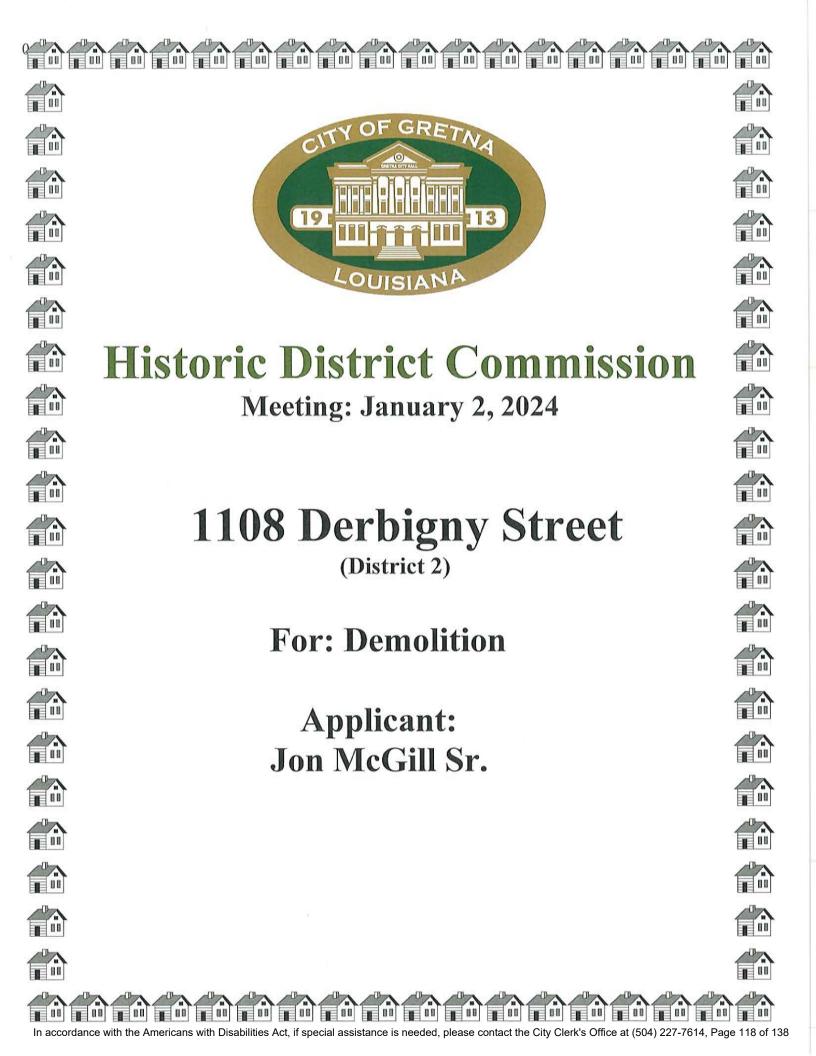


CEILING FRAMING PLAN 3/16"=1'-0"





NEW BUILDING SECTION A-A 1/4"=1'-0"



HISTORIC DISTRICT PERMIT APPLICATION FOR DEMOLITION

Section 52-9 of the Gretna Municipal Code lists the guidelines to be applied in evaluating applications for demolition of a building or landmark within the historic district. In considering the application for the demolition of a building or a landmark in the historic district the following shall be considered:

- The historic or architectural significance of the building.
- b. The importance of the building to the historic character of the district.
- The special character and aesthetic interest that the building adds to the district.
- d. The difficulty or impossibility of reproducing such a building because of the design, texture, material or detail.
- e. The future use of the site. Cost considerations in restoration. Whenever a property owner shows that a building classified as historic is incapable of earning any economic return on its value, as appraised by a qualified real estate appraiser, or if new construction can be demonstrated by a property owner to be the highest and best use of the building site, such building may be demolished provided, however, that before a demolition permit is issued, notice of proposed demolition shall be given three times during a period of 30 days to afford interested persons the opportunity to acquire or to arrange for the preservation of such buildings.

Sec. 52-9(4)

The Historic District Advisory Committee (HDAC) shall review all applications for demolition and report its recommendations to the Gretna City Council. As part of its monthly meeting the City Council shall hold a public hearing on each application.

Please provide the following information:

Address of building: 1108 Derbigny Street.	Gretna, LA
Name of applicant: Jon S. McGill, Sr., Attor	ney for Applicant Chris Cuccia
Address of applicant: 922 Dolhonde Street	
Gretna, LA	
Phone number: <u>504-453-3808</u>	
Signature:	Date: 12/1/2023

Reason for permit for demolition: Mr. Cuccia purchased this property with the intention of restoring it to its original look and feel and converting to a two-unit residential rental. Mr. Cuccia submitted his plans and request for limited demolition of the interior walls, flooring, and roof decking based on rot and termite damage. The plans submitted were crafted in a way that maintains the 1940's design. Unfortunately, the full scope of termite damage and rot was unknown, as it was hidden under sheetrock, behind walls and ceilings, and underneath the flooring. Most of the rafters suffered damage beyond repair along with the roof decking and studs. The structural integrity was undermined and unlikely salvageable based on the amount of damage. Mr. Cuccia stabilized the front wall and the roof structure in an effort to keep the façade of the home in its original condition. However, the cost to remove and replace the remainder of the damage is more than 4 times the cost of a full demolition. Further, attempting to do such a surgical demolition is significantly more dangerous and there are no guarantees that it can be done in a structurally sound manner. Based on the structure's previous and current condition, the best use of the land is to remove the structure in its entirety. With the approval of this demolition request, the new structure will be built to current code but with the aesthetics of a 1940's home, resulting in a safe and efficient 2-unit residential rental. Further, the economic return to both its owner and to the City of Gretna will be greatly increased.

Please see the attached evaluation prepared by local General Contractor, Kerry O'Connor for further information. Additionally, photos of the structure have been previously submitted or produced by Gretna Building and Code Enforcement Departments.

Age of structure: Approximately 80 years old

Future use of site: 2-Unit Residential Rental

Regarding the costs of restoration it is recommended that the applicant attach the following items: an appraisal of the structure, photographs of exterior and interior, engineering or structural reports, written repair/renovation estimates with detailed costs, termite inspection reports, and any other documents related to the costs of restoration.

FOR OFFICE USE ONLY:
CONTRIBUTING ELEMENT TO GRETNA NATIONAL REGISTER HISTORIC DISTRICT: (YES/NO) INVENTORY NUMBER: ARCHITECTURAL DESCRIPTION/COMMENTS:
DATE OF APPLICATION: December 1, 2023
HDAC MEETING DATE: December 2023
PUBLIC HEARING AT CITY COUNCIL DATE:

P.O.Box 2084 Grema, LA 70054-2084

Jon McGill 500 Lafayette St Gretna, LA 70053 November 30, 2023

Re: 1108 Derbigny St

Dear Jon,

At Owner's request, I have visited the site in order to evaluate the existing condition of the roof structure.

Although I am not a structural engineer, it was perfectly obvious that all but a few rafters have either termite damage or water rot. (Most have at least rotted off rafter tails) The ceiling joists are in slightly better but similar poor condition. The 1x roof decking has sections that show water rot. The front wall, which was painstakingly salvaged, has termite damage or water rot on all 4x4 vertical supports. The sills under the wall were completely rotten.

In my opinion (keeping in mind this property is in the Historical District) the roof structure should be completely demolished and rebuilt using 2021 code as a guideline and the front wall rebuilt. Re-furbishing the 2 front door units is the plan. Siding to be changed to Hardi board. I am told these changes to the front wall have already been approved by the HDAC.

Bottom line is to demo the remaining structure and rebuild the roof and front stud wall would be the safest and more economical solution than piecemealing the roof structure rafter by rafter, joist by joist. Repairing the 1x roof decking then covering with plywood would be extremely labor intensive.

Demo and rebuild roof structure (new) \$14,000.00

Demo each rafter, joist and decking and studs individually approx. \$60,000-70,000.00 (30 day/ 4-5 man crew)

Also, this type of work is more dangerous than new construction, as you can imagine. Once Hardi board siding and front porch is restored, it can look 80 years old but meet the 2021 IRBC standards.

If you have any questions, or require any additional information, please do not hesitate to call me.

Respectfully submitted,

Kerry O'Connor General Contractor, Inc.

2 como

La. State Contr. Lic. # 82239

ROBERT B. ANDERSON CONSULTING ENGINEERS, LLC.

SUITE 306 432 N. ANTHONY STREET NEW ORLEANS, LOUISIANA 70119 PHONE:

(504) 488-7797

(800) 476-0963

FAX: E-MAIL: (504) 488-7846

rbaeng@andersonengineers.com

December 18, 2023

Chris Cuccia 922 Dolhonde Street New Orleans, LA 70053

cucciachris63@gmail.com

RE:

1108 Derbigny Street

Gretna, LA

Dear Mr. Cuccia:

At your request, on December 18th, we made observations of the above residence for the purpose of evaluating its stability for preservation and have found that the current support condition of the roof is a serious concern and dangerous for construction personnel working under the structure. In addition, the existing remaining structure would be deficient in meeting code requirements.

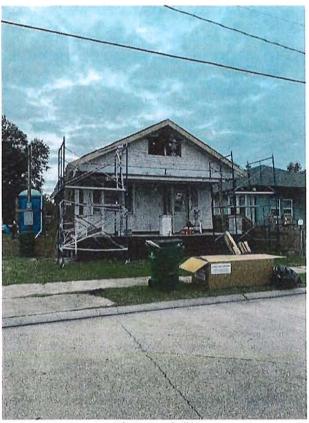
We hope the information provided meets your needs. Should you have any further questions, please do not hesitate to contact us. We thank you for this opportunity of being of service to you.

Respectfully submitted,

Robert B. Anderson, P.E., FACI No. 11473

LA Reg. #11473

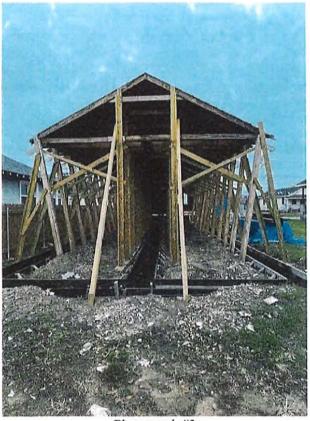
RBA:ss



Photograph #1 Front of Residence



Photograph #2 Side view of Roof and Support



Photograph #3 Lateral Stability Unsafe for Construction Personnel



Photograph #4 Collar Braces and Rafters in Poor Condition



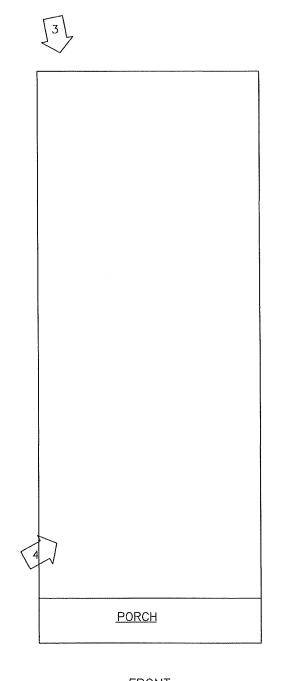
ROBERT B. ANDERSON CONSULTING ENGINEERS, LLC.

432 North Anthony Street New Orleans, Louisiana 70119 (504) 488-7797

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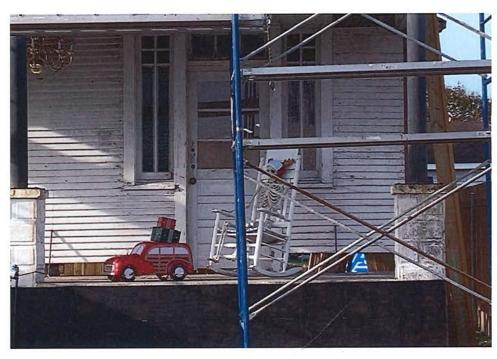
PREPARED BY R.B.A. CHECKED BY	SHEET NO	,1
1108 DERBIGNY	OF	1
1" = 10' (approx)	OATE	12/18/23

FOOT PRINT OF RESIDENCE



FRONT

















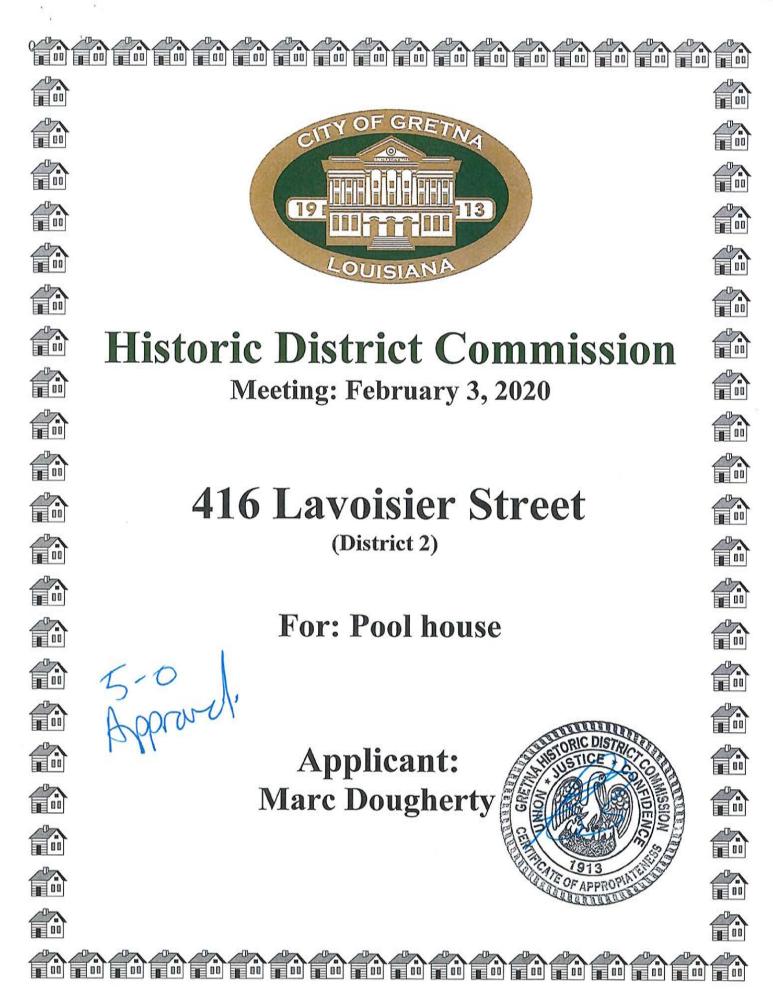
CITY OF GRETNA HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROPRIATENESS 416 Lavoisier PROPERTY ADDRESS Marc Dougherty NAME OF APPLICANT Work Approved: Approved for Construction of
Freestading Pool house to match detailing
of existing residence with Schbacks as
Provided. Prior COA-20-0004. as submitted. of HDC Chairperson Signature of Applicant By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness. Any deviation or failure to comply with this certification as

confered with the American with this prince was the particle and associated the particle of the property of th

stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all auestions to: Gretna Department of Inspections 740 2nd Street, Room 111, Gretna, LA, 70053 (504) 363-1563 - www.gretnala.com



Permit #3132



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

L	Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of
	Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South;
	the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna
	National Register Historic District is included within the Mechanickham – Gretna Historic District.

McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to
the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the
Mississippi River.

Historic District permits are <u>required</u> for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

<u>Construction</u> – the erection of any on site improvements on any parcel of ground

<u>Demolition</u> – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

<u>Ordinary repairs and standard maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually construction with the buildings and the environment with which it is related. The general design, seed construction arrangement, site, plan, texture, material and exterior architectural features of the construction and be in harmony with its surroundings and shall not impair the historic character of the petablock and

<u>Substantive change</u> – changes, which alter the historical or architectural columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic Distri

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 4/6 Lavoisier street, GretNA LA 70053 **Building Type: Building Style:** Greek Revival Creole Cottage Shotgun ~ Italianate New Orleans Bracketed Bungalow Other__ Eastlake Colonial Revival Other Exterior materials proposed: Roof architectural shingle Soffit

Fascia Hardi Board Siding Hardi board Masonry Porches Handrails Balconies Type of exterior lighting fixtures: gas a electric

Style of windows: See Orawing & Attach Type of exterior doors: Describe any ornamental woodwork: **Elevations:** Front Space: ft. Side Space: Rear Space: ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters

relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrica mechanical and public works must be applied for separately.
Applicant's Signature: Date: 4/21/20
Applicant's Name: More + Heather Dougherty Applicant's
Applicant's Address: 416 Layoisier St. GretNA, LA 70653 Phone No: () N/A Cell No: (594 - 415 - 2866
Phone No: () N/4 Cell No: (594 - 415 - 2866
For Office Use Only: Application date: 1/23/20
Substantive Change: Yes No Vo Inventory Number:
Contributing Element to Gretna National Register Historic District: Yes No Phistoric District Commission meeting date: Seb. B. O. O. H. O.
Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2 nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2 nd Wednesday of every month.)
Architectural Description/Comments (as per Gretna National Register Historic District nomination
form):





City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

Mayor Belinda Cambre Constant

Council Members Wayne A. Rau Councilman-at-Large

> Milton L. Crosby District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning and Zoning Azalea M. Roussell

> City Clerk Norma J. Cruz

Finance & Tax Departments Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Marc Doughorty the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed _4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If m

unable to attend, review may be deferred until the following month HDC neeting.	
I further understand and acknowledge that the "Certificate of ppropriateness", issued by the Historic District Commission, does not	
uarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current uilding and Zoning Code requirements.	
Signature of Applicant	
NAME OF APPLICANT (PLEASE PRINT)	
4f6 Laroisier St. Gretwa LA Applicant's address	70053
Same as above Actual address of the property for review	

FLIRH BW. Column 0 1 SOMELINE RICHMI RONT ELBY

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 136 of 138

FLOOD REQUIREMENTS

 $\ensuremath{\mathsf{AW}}$ and all luyber daterials installed below minimum floor elevation shall be pressure treated lumber.

WHERE GARAGE FLOOR ELEVATION IS BELOW IMMUNUM FLOOD ELEVATION, FLOOD VEMIS SIVILE DE INSTALLED. THESE VENTS SIVILE COVER THE SPECIFIC AREA ACCORDING TO IMPROFACTURES SPECIFICATIONS.

OWNER/CONTRACTOR SHALL YERFY AND COORDINATE WITH REQUIRED BUILDING FINISH FLOOR ELEVATION IN ACCORDANCE WITH REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL (FEMA) AND INSURANCE AGENCY (INSURER) PRIOR TO CONVENCEMENT OF WORK.

OWNER/CONTRACTOR SHALL PROVIDE AN ELEVATION CERTIFICATE PREPARED BY A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF LOUISIANA.

REFER TO FEMA REQUIREMENTS FOR BFE FOR RAISED STRUCTURES AND ELEVATION OF PRIMARY STRUCTURAL SUPPORTS.

3.5×16 PARALAM BEAM 3' × COVERED PATIO ∠ B -5'-10"-POOL STORAGE -17'--10 GARAGE B'x8' GARAGE DOOR ROOF OVERHANG **FLOOR PLAN**

SITE GENERAL NOTES

- 1. SITE PREPARATION BENEATH THE FOUNDATION SHALL BE IN ACCORDANCE THE FEDICANCAL REPORT RECONVENDATIONS AND SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
- A. STRP ALL VEGETATION DOWN TO NATURAL SOIL REMOVE ALL TREES WITHIN CLOSE PROXIMITY TO THE FOUNDATION.
- B. PROOF ROLL EXPOSED SUB-GRADE BACK FILL AND COMPACT THE TREE HOLES OR SOFT POCKETS WITH MATERIAL SAMILAR TO SITE MATERIALS.
- C. BRING SUB-GRADE TO REQUIRED ELEVATION WITH SELECT FILL MATERIAL, SELECT FILL SHALL BE SANDY CLAY OR CLAYEY-SAND, FREE FROM ORGANIC MATERIAL, HAMING A PLASTICITY INDEX OF GREATER THAN 7, BUT NOT NORE THAN 20.
- D. STRUCTURAL FILL SHALL BE PLACED IN MAXMUM LIFTS OF 8" AND COMPACTED TO 95% OF ITS DRY DENSITY AS DETERMINED BY ASTM DOSANCE OF SAME OF THE SECOND DETAILS OF THE OCCUR, THERE LARGE DEPTHS OF THE OCCUR, THE DELAY OF THE SECOND THE BOTTOM OF THE FOUNDATION.
- THE LEVELING BED SHALL BE FIRM, STABLE BANK SAND OR OTHER CLEAN GRANULAR MATERIAL.
- 3. SITE WORK SHALL BE IN ACCORDANCE WITH 2015 IRC APPENDIX 'J'.
- 4. CONTRACTOR SHALL GRADE LOT NOT TO SLOPE ONTO ADJACENT PROPERTIES; SLOPE LOT TO STREET AND SLOPE GRADE AWAY FROM HOUSE FOR PROPER DRAINAGE BY PROMOTING SWALES SLOPED TOWARDS
- CONTRACTOR SHALL COMPLY WITH ALL FILL REQUIREMENTS, INCLUDING PERCENTAGE OF COMPACTION OF LOCAL AUTHORITIES. FILL SHALL BE COMPACTED IN 6° LIFTS TO 95% OF STANDARD PROCTOR DENSITY.
- 6. INITIAL SITE CRUDNIC SHALL BE COMPLETED PRIOR TO SETTING FORMS.
 FINAL GRADNIC SHALL DE SLOPED AWAY FRON THE FORMONDON 1
 INCH PER 1 FOOT FOR THE FIRST 5 FEET SUCH THAT POSITIVE DRAINAGE
 AWAY FROM THE FORMONDON IS ASSURED BEFORE, DURING, AND
 AFTER CONSTRUCTION.
- DURING CONSTRUCTION, A DRAWAGE TRENCH SHALL BE FORMED SUCH THAT ANY WATER THAT INTRODES INTO THE FOUNDATION WAKE-UP WILL IMMEDIATELY DRAWN OUT OF THE BOTTOM OF THE BEAVS.
- 8. Trees or other vegetation taller than 6 ft. or of the type that requires excessive amounts of water should not be planted within 20 ft. of the foundation.
- 9. EXISTING TREES WITHIN 20'-0" OF THE FOUNDATION MUST UTILIZE A PROVEN ROOT CONTROL METHOD SUCH AS A ROOT BARRIER.
- 10. EXCAYATIONS FOR SYMMING POOLS SHALL NOT BE PLACED CLOSER THAN 10FT. FROM THE FOUNDATION WITHOUT APPROVAL FROM THE ENGINEER.
- 11. LANDSCAPING SHOULD BE PLANNED SUCH THAT ADEQUATE MOISTURE CAN REACH AND BE DRAINED FROM AROUND THE FOUNDATION.
- 12. THE OWNER SHALL PROMOE GEOTECHNICAL REPORT CONTAINING FOUNDATION DESIGN RECOVERDATIONS FOR THE PROJECT, THESE RECOVERDATIONS SHALL CONTROL FOUNDATION DESIGN IF A CONFLICT SHALL ARISE DETIFIED THESE INITIALIZE REQUEE
- 13. CONTRACTION JOINTS SHALL BE PLACED TO PRODUCE PANELS THAT ARE SQUARE AND NEVER EXCEED 1.5 TO 1 RATION LENGTH TO MIDTH, JOINTS SHALL BE PLACED AT DISTANCES 24 TO 30 TIMES THE SLAB THICKNESS.
- 14. CONTRACTION / CONTROL JOINTS SHALL BE AT A 1/4" DEPTH, MINIMUM.



PROPERTY LOCATION --- 416 LAVOISIER ST. GRETIA, LA 70057 JEFFERSON PARSH, LOUISIANA

AREA CALCULATIONS

PROJECT INFORMATION

197 339 221

339 SQ. FT. 197 SQ. FT. 221 SQ. FT. 757 SQ. FT.

DESIGN CRITERIA

TOTAL LIMNG FRONT PORCH STORAGE TOTAL AREA

LOUISAVA STATE UNFORM CONSTRUCTION CODE

2015 INTERNATIONAL RESIDENTIAL CODE

AMERICAN SODETY OF CIVIL ENGINEERS - MINNAM DESIGN LOADS FOR

BUILDINGS AND OTHER STRUCTURES, ASCE/SEI 7-10; ASCE/SEI 7-65

2015 YOOO FRAME CONSTRUCTION MANAGE

AVERCAL CONCRETE INSTITUTE: ACI 318-11

NATIONAL DESIGN SPECIFICATIONS FOR YOOD CONSTRUCTION BY THE NFPA

NATIONAL FIRE PROTECTION INFPA

FEMA P-550, SECOND EDITION / DECEMBER 2009 OR LATEST EDITION.

NOTE: ENTRONMENTAL PROJECTIS OF THE BULDING CODE REQUIREMENTS ARE INTERPORTED TO INSURE UPE SAFETY, NOT PREVENT STRUCTURAL DAMCE.

- . These construction documents have been designed in accordance with the 2015 international resolution, code, the averacy forest & paper association wood frave construction waitual for one and tho family direllings.
- WIND LOAD DESIGN: 140 MPH
- 3. MINOOWS SHALL HAVE GLAZED OPENING PROTECTION FOR WAND BORNE DEBRIS IN ACCORDANCE WITH ASTM-E 1996 AND ASTM-E 1886 FOR LARGE MISSALE TEST AS REFERENCED THEREIN.
- THE OWNER MAY ELECT TO PROVIDE ALTERNATE PROTECTION AS LISTED:
- A) WOOD STRUCTURAL PANELS WITH A MINNUM OF 7/16' AND A MAXIMUM SPAIL OF 8' SHALL BE PERINTED FOR OPDINING PROTECTION IN ONE AND TWO STORY BULDINGS. PAYELS SHALL BE PRECUT SO THAT THEY SHALL BE ATTACHED TO FRANKING SURROUNDING AS LISTED IN IRC 2015 TABLE
 - o.) Fasteners shall be installed at opposing ends of the wood structural panels. Fasteners shall be located a manusum of 1 inch from edge of the panel.
 - b.) FASTENERS SHALL BE LONG ENOUGH TO PENETRATE THROUGH THE EXTERIOR WALL COVERING AND A MINIMUM OF 1-1/4" INTO WOOD WALL FRANKIC, A MINIMUM OF 3 EXPOSED THREADS. FASTERIES RULL BE LOCATED A MINIMUM OF 2 1/2" FROM EDGE OF CONCRETE BLOCK OR CONCRETE.
 - c.) Where screys are attached to Masonry or Masonry / Stucco, screws shall be attached using vibration resistant Anchors Hawing a minahun ultimate withdrawal of 490
- B) INSTALLATION OF PERMANENTLY INSTALLED ALUXINUM ROLL DOWN SHUTTERS (POWERED OR MANUAL).
- C) INSTALLATION OF OPERABLE SHUTTERS.

SHEET INDEX

CO.O SURVEY, SITE PLAY, PROJECT IDENTIFICATION,
S1.O FOUNDATION PLAY FOR PROPOSED AND CARA A1.0 ELEVATIONS, ELECTRICAL, SECTION R1.0 CENERAL NOTES

SHEET # DESCRIPTION

R1.1 GENERAL NOTES R1.2 RESOURCE STANDARD DETAILS
R1.3 RESOURCE STANDARD DETAILS

R1.4 RESOURCE STANDARD DETAILS

- D) PRE-CUT INSTALLABLE CORRUGATED STEEL PANELS WITH MOUNTING
- 5. ATTACKMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE 2015 INTERNATINAL RESIDENTIAL CODE. PANELS ARE JOB SITE AT COMPLETION OF CONSTRUCTION.

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		CT NO. 6		
		9/14/20		,
	MARK	DESCRI	PTION	DATE
DESIGN CRITERIA, GENERAL NOTES				
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SHEET 1 OF 8

HESE PL BEEN PRE SUPERVISI BUILDING OF JEFFE STATE UN KNOWLEDG KRESPONS. PLANS.

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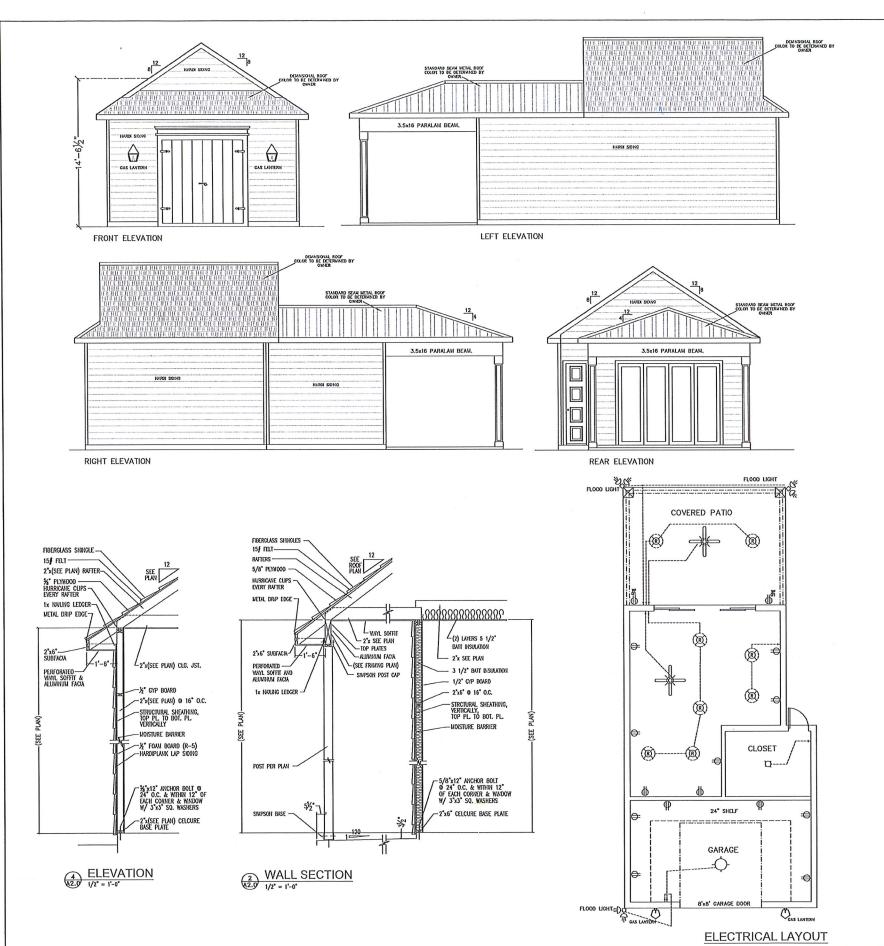
Drawn MICHAEL 504-738-

C

LEGEND BRICK BORDERING EXPLASION JOINT (TREATED 1"x4") VVV EXPANSION JOINT (4" NATERIAL) CONTROL JOINT (SCORED) CONCRETE (FLATWORK) -x- FENCINO

NOO POST

LOT LAYOUT



ELECTRICAL - GENERAL NOTES

- ELECTRICAL WORK SHALL COMPLY WITH THE 2015 HEPA 70, NATIONAL ELECTRICAL CODE FOR THE STATE OF LOUISMA, THE RITERIATIONAL BUILDING CODE, AND ANY LOCAL, STATE AND FEDERAL CODES.
- PROVIDE SERVICE EQUIPMENT, PANELS, CIRCUIT BREAKERS AND FUSES WITH ADEQUATE RITERRUPTING AND CAPACITY RATING IN ACCORDANCE WITH MEPA 70:110-9.
- SERVICE EQUIPMENT GROUNDING AND BONDING IS TO BE IN ACCORDANCE WITH NFPA 70:230-63; 250-23; AND 250-72.
- THE CROUND NEUTRAL CONDUCTOR SHALL BE RUN TO EACH SERVICE DISCONNECTING MEANS AND SHALL BE BONDED TO EACH SERVICE IN ACCORDANCE WITH NEPA 70:250-230.
- PROMDE ELECTRICAL EQUIPMENT GROUND CONDUCTOR IN ACCORDANCE WITH NFPA 70:250-918 AND NFPA 70:250-95.
- NO CONDUCTOR SHALL BE USED HI SUCH A WAIRIER THAT ITS OPERATING TEMPERATURE WILL EXCEED THAT DESIGNATION FOR THE TYPE OF HISULATED CONDUCTOR INNOLVED HI ACCORDANCE WITH 18FPA 70:310—10.
- Interor Netal Water Pipung Systems and exposed Structural Steel That is likely to becone energized shall be bonded to the Seryce Equipment Enclosure in accordince with NFPA 70:250–80.
- ALL ELECTRICAL OUTLETS LOCATED WITHIN SIX FEET OF ANY WATER HOLDING CONTAINERS MUST HAVE GROUND FAULT CIRCUIT RITERRUPT PROTECTION.
- 9. INSTALL SYSTEM BURGLAR AND FIRE MARKL SYSTEM THROUGHOUT THE BURKE RESIDENCE, INCLUDING THE CARACE, LOCATE DETECTORS AS SHOWN ON THE PLANS, COORDINATE LOCATION OF THE CONTROL PAYELS WITH THE DIMER.
- 10, ANY CELING OUTLET BOX INSTALLED FOR USE AS A LIGHTING FIXTURE COLLET IN A FURRIABLE ROOM OR RIGHERI AND LOCALED WHERE A CELING FAIR COULD BE INSTALLED SMULL BE A TYPE LISTED FOR CELING FAIR SUPPORT. THE WALL SWITCH TO THE LIGHTING FIXTURE SHALL BE RISTALLED.
- THE LISTED ARC-FAULT CIRCUIT-INTERRUPTER (AFC) DEVICES INSTALL PER NEC 210.12 SWILL BE OF THE COMBINATION TYPE. ALL AFC'S SHALL BE OF THE BREAKER STALE.
- THE ELECTRICAL CONTRACTOR SHALL PROMDE A COMPLETE AS-BUILT DRAWING OF THE INSTALLED ELECTRICAL DISTRIBUTION.
- 3. ALL CABLES SHALL BE INSTALLED PER MANUFACTURE'S INSTRUCTIONS
- CONTRACTOR/BULDER SHALL COORDINATE LOCATION OF ALL APPLIANCES, SMITCHES, OUTLETS, THERMOSTATS, CIRCUIT BREAKER BOX, TELEPHONE, CATY, CATSE/CAT6, ETC... WITH OWNER. A MINNUM OF TWO (2) JACKS PER ROOM.
- CONTRACTOR SHALL INSTALL SHOKE DETECTION AND NOTIFICATION SYSTEMS IN ACCORDANCE WITH THE 2015 INTERPLATIONAL RESIDENTIAL CODE SECTION 314.
- 16, ALL SMOKE ALPANS SHALL BE USTED AND LABELED RI ACCORDANCE WITH LL 217 AND RISTALLED IN ACCORDANCE WITH THE PROMSONS OF THE 2015 RITERATIONAL RESOURCE WARNING EQUIPMENT PROVISIONS OF RIPA 72.
- THE SNOKE DETECTION AND NOTIFICATION SYSTEM SHALL BE MONITORED BY AN APPROVED SUPERMSING STATION AND BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH NFPA 72.
- 18. SMOKE DETECTORS SIMLL BE INSTALLED WITHOUT EACH SLEEPING ROOM, OF THE BERNAME SLEEPING AREA IN THE INHEDITE WORDS. OF THE DETECTION OF
- A SNOKE DETECTION SYSTEM INSTALLED ON THE UPPER LEYEL SHULL SUFFICE FOR THE ADJUGENT LOWER LEYEL PROYDED THAT THE LOWER LEYEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEYEL.
- 20. THE SHOKE DETECTION AND NOTIFICATION SYSTEM SHALL RECEIVE THEIR PROMATY POWER FROM THE BUILDING WIRING WHEN SUCH MIRING IS SERVED FROM A COMMERCUL SOURCE, MOW THEM PROMATY POWER IS INTERMITED, SHALL RECEIVE POWER FROM A BATTERY, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OMERCULARD FROTECTION.
- 21. THO TY, CB OR HAM RADIO ANTERNAS SHALL BE INSTALLED.
- 22. NO SATELLITE DISHES OVER 24" ALLOWED. NO SATELLITE DISHES CAN BE VISIBLE FROM STREET.
- 23. NO OBTRUSIVE LICHTING, NO VERCURY VAPOR LICHTING SHULL BE INSTALLED.
- 4. ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.

LOADS

ATIKS, UNINFRITALE W/O STUVLE:	THE TON	= 10 P
	DEYO LOYO	= 5 PS
ATTICS, UNINVETVELE W/LIMITED STORVOE	DEYO FOAD FVE FOAD	= 20 P = 10 P
ROOF RATIERS:	DEVO LOVO	= 20 P = 10 P
FLOOR JOSTS SPANS: RESIDENTIAL SLEEPING AREAS:	DENO FOAD TWE FOAD	= 30 P = 20 P
resobital tank areas:	DENO FOAD	= 40 P = 20 P
NAMES DELEGA AND SOLES TOO ESTABLES TOO COLUMN	MISTS ATTUCKET	00

NOTE: REFER TO 2015 IRC TABLES FOR COUNG JOISTS ATTACHED OR NOT ATTACHED TO ROOF RAFTERS AND DEAD LOVD OF 20 PSF.

WAD LOVOS: BUSC WAD SPEED, V = 143 MPH
RSX CATEGORY = 11
EXPOSINE B
ENCLOSED BUILDING
WITERAUL FRESSURE COEFFORMT, CAF = ± 0.18

GENERAL NOTES

- 1. USE MOST CURRENT ADOPTED CODE RECULATIONS.
- EIMRONINEIRIAL PROVISIONS OF THE BUILDING CODE REQUIREMENTS ARE IMMOUN REQUIREMENTS AND ARE INTENDED TO DISURE LIFE SAFETY AND NOT PREVENT STRUCTURAL DAVAGE.
- 3. NO SUPERMSION PROVIDED UNDER THIS SEAL.
- 4. NO CONSTRUCTION ADVINISTRATION PROVIDED UNDER THIS SEAL.
- 5. ALL WORK/MATERIALS SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES

 6. REMAIN AND SEAL OF PLANS BY THE ARCHITECT IS FOR THE INJECT OF
- 6. REMEW AND SEAL OF PLANS BY THE ARCHITECT IS FOR THE BITEIT OF OBTANNIC BUILDING PERVIT. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL APPLICABLE CODES.
- NOT ALL SPECIFICATIONS ARE EXPRESSLY LISTED ON THE PLANS; THEREFORE, IT IS THE RESPONSIBILITY OF INDIMOVAL BUILDERS AND/OR CONTRACTORS TO COMPLY WILL APPLICABLE CODES.
- IN THE EVENT OF ANY DISCREPANCES BETWEEN THESE NOTES AND THE ARCHITECTURAL DRAWNGS, THESE NOTES GOVERN.
- MY ADDITIONAL WORK REQUIRED BY THE ARCHITECT/ENGINEER ASSOCIATED WITH A SITE VISIT OR LETTERS TO REGULATORY AERICES DUE TO OMNER, BUILDER AND/OR CONTRACTOR CHANGING THE DESIGN INTENT SIMIL BE CHARGED BASED ON BERIDDEX ARCHITECTS, LLC HOURLY PAIES.
- 10. REPORT MY AND ALL DISCREPANCES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF MY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
- 11. ALL DIMENSIONS TO BE VERTIED AT JOBSTE.
- 12. ALL HEADER HEIGHTS TO BE 7'-0" UNLESS NOTED OTHERWISE.
- 13. ALL EXTERIOR WALLS TO BE 2x4 STUDS UNLESS NOTED OTHERWISE.
- 14. ALL INTERIOR WALLS TO BE 2x4 STUDS UNLESS NOTED OTHERWISE.
- 15. INTERIOR WALL ABOVE 12' TALL MUST BE 2x6.
- 16. A/C UNITS TO BE MOUNTED IN ATTIC SPACE.
- 17. SUCHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1°, SHALL BE HADE IN GROER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFTECT THE FUNCTION OF FLOOR, OR ROOF STRUCTURE; HOREYER, THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- 18. Under no circulstances shall any divension be scaled from these drawnics. Any critical divensions not given shall be brought to the attention of the bulder/architect prior to construction.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR. WINDOW, AND TRANSOM TRAIN IS ALIGNED, UNLESS OTHERMISE NOTED.
- 20. WINDOW SIZES GWEN ARE APPROXIVATE UNIT SIZES. VERBY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
- 21. ALL ANGLED WALLS TO BE 45' UNLESS NOTED OTHERWISE.
- 22. FRAVE ALL DOORS 3* FROM CORNERS WHERE POSSIBLE UNLESS NOTED OTHERMISE.
- 23. "CORNERS" AND "I's" SHALL BE TRUE, NOT CAUFORNA STYLE.
- 24. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE NOIST—STOP RAY VERTICALLY UNDER THE SHEATHING.
- PROMDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
- 26. FIRE BLOCKING REQUIRED IN WALLS ABOVE 8'.
- 27. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION
- 28. UNLESS NOTED OTHERWISE, FIREPLACE BOX TO BE SET ON 8° CONCRETE ELOCK WITH A 20° DEEP FLUSH HEARTH THAT EXTENDS AT LEAST 12° DEYOND THE OPENING ON EITHER SDE AS REQUIRED BY CODE.
- 29. PROMDE ATTIC ACCESS IN ATTIC SPACES THAT EXCEED 30 SQ./FT. & HAVE A VERTICAL HEIGHT OF 30 INCHES OR MORE.
- ALL WORK AND MATERIALS MUST BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE, THE REQUIREMENTS OF THE LATEST ACJ. AND P.T.I. CODES AND ALL LOCAL BUILDING CODES.
- ALL DIVENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS INDICATED ON DRAWINGS.
- 32. ALL INTERIOR WALLS AND CEILINGS SHALL RECEIVE GYPSUM BOARD.
- 33. THIS PLAN IS TO BE USED ONLY FOR THE LOCATION INDICATED ON THE TITLE FLOCK.
- 34. BEAM DIMENSIONS SHOWN ARE MAINTUM REQUIRED AND MAY NOT BE REDUCED, NOR EMLARGED WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
- 35. NO FIELD SUPERMSON IS PROVIDED UNDER THIS SEAL UNLESS OTHERMISE MOTED IN WATUNG ON THIS PLAN. SLAB WISPECTIONS AFTER CONSTRUCTION WILL BE BILLED AT HOURLY RATES IF REQUESTED.
- 36. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS.
- 37, ALL FEDERAL, STATE & LOCAL CODES, ORDXANICES, REGULATIONS, ETC.. SHALL EE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PREFERENCE OWER MYTHING SHOWN, DESCREED, OR TAYLIED WHERE SAVE ARE AT VARIANCE.



THESE PLANS AND/OR SPECIFICATIONS HAVE REER PREDAKED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESERVEDED THE BUILDING AND SELVED CONSTRUCTION ODDS OF LEFTESON PARSH AND THE LOUISIANA STATE UNDERGAN CONSTRUCTION ODD CAS AND THE BEST OF MY CONSTRUCTION OF AND THE BEST OF MY CONSTRUCTION OF AND THE SESPONSIBILITY FOR THE CONTENTS OF THE PLANE OF THE PROPERTY OF THE PR

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PROJECT NO. 11920
DATE: 8/14/2023
MARK DESCRIPTION DATE

SHEET TITLE

ELEVATIONS /
ELECTRICAL /
SECTION

SHEET IDENTIFICATION

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SHEET 3 OF 8