

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 Second Street, Gretna, LA 70053
Council Chambers, 2nd floor**

January 2, 2024 - 4:00 PM

AGENDA

AGENDA ITEM(S):

1. Call to Order/Roll Call

2. Discussion:

- (1) Window shutters discussion.

3. CONSENT AGENDA for Certificate of Appropriateness:

- (2) 539 Lafayette Street
Commercial sign - Jennifer Joubert, Applicant (District 2)
- (3) 904 9th Street
Changes from approved COA 12/4/23 -Sal Gagliano, Applicant (District 2)
- (4) 804 Franklin Street
Laundry room addition - Andrew Prejean, Applicant (District 1)
- (5) 433 4th Street
Front door change from original approved COA 11/1/22 - Ricky Talamo, Applicant (District 2)
- (6) 524 9th Street
Shed - John T. Vanderhooft, Applicant (District 2)
- (7) 601 4th Street
Commercial sign - Julie Hill Foster, Applicant (District 2)

4. Properties with request for Certificate of Appropriateness:

- (1) 726-728 Madison Street
Front door and screen door - Clair Brown, Applicant (District 1)
- (2) 500 1st Street
Deviation from original approved COA 4/3/23 -Thomas Wilkinson, Applicant (District 2)
- (3) 1114 Washington Street
Renovations, preliminary conference10/2/23 -Hyman Bartolo Jr., Applicant (District 2)

- (4) 701 Franklin Street
Residential renovations, preliminary conference 10/30/23.
Jimmy Cao, Applicant (District 1)
- (5) 1108 Derbigny Street
Demolition - Jon McGill Sr., Applicant (District 2)
- (6) 416 Lavoisier Street
Deviation from original approved COA 10/30/23, Ref.: COA 20-0004 - Marc Dougherty,
Applicant (District 2)

5. Other Matters:

6. Adjournment.



Historic District Commission

Meeting: January 2, 2024

539 Lafayette Street
(District 2)

For: Commercial sign

Applicant:
Jennifer Joubert



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 539 Lafayette Street

Renovation: Replace existing sign on building - at later date reface hanging sign

New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: _____ Date: 11/29/2023

Applicant's
Name: Jennifer Soubert

Applicant's
Address: 2538 Poydras St., New Orleans, LA 70119

Phone No: (504) 734-6201 Cell No: ()

For Office Use Only:

Application date: Dec. 14, 2023

Substantive Change: Yes ☐ No ☒

Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Jan 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory
Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Jennifer Joubert the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Jan. 2, 2024 @ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Jennifer Joubert

NAME OF APPLICANT (PLEASE PRINT)

2538 Poydras St, New Orleans, LA 70119

Applicant's address

539 Lafayette St, Gretna, LA 70053

Actual address of the property for review

Date:

11/29/2023



EXISTING





Westbank
Pregnancy
& family care center

504-227-9090



Westbank
Pregnancy
& family care center
504-227-9090







Historic District Commission

Meeting: January 2, 2024

904 9th Street
(District 2)

**For: Changes from originally approved
COA 12/4/23**

**Applicant:
Sal Gagliano**



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 904 9th Street

Renovation: _____

New Construction: ☒ _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed ☒ _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof Asphalt Shingle Soffit Hardie

Fascia Hardie Board Siding Hardie

Masonry _____ Porches Concrete

Balconies _____ Handrails _____

Type of exterior lighting fixtures: Electric

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

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Applicant's Signature: *Sal* Date: 12/15/23
Applicant's Name: 391 Ceglieano
Applicant's Address: 200 Theta St. Belle Chasse LA 70037
Phone No: (504) 782-7593 Cell No: ()

For Office Use Only:

Application date: Dec. 15, 2023

Substantive Change: Yes ☐ No ☒ Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

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Human Resources

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Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Sgt. Casigliano the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Jan. 2 2024 at 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

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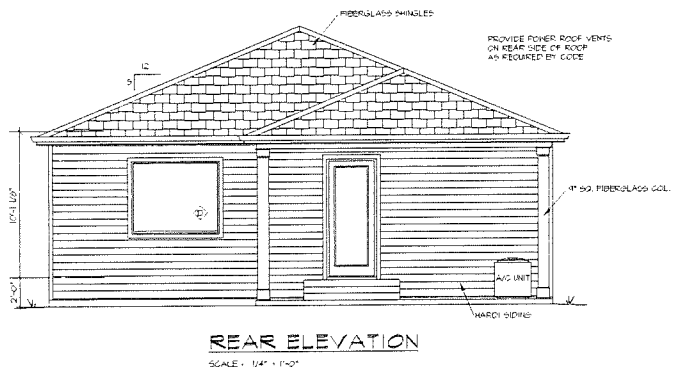
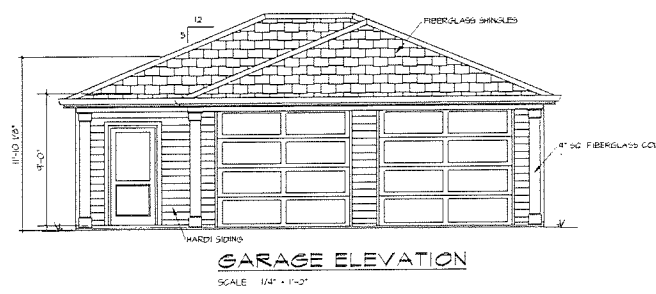
[Signature]
Signature of Applicant

Sgt. Casigliano
NAME OF APPLICANT (PLEASE PRINT)

200 Thetg St. Belle Chasse LA 70037
Applicant's address

904 9th Street Gretna LA
Actual address of the property for review

Date: 12/15/23



FLASHING NOTES:
1. SHEET METAL - ALL SHEET METAL WORK SHALL COMPLY WITH THE DESIGN AND INSTALLATION DETAILS AS FURNISHED BY SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (N.A.), WORK TO INCLUDE BUT NOT LIMITED TO: GUTTERS, DOWNSPUTS, DAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL CORNICE, PARAPET WALL CORNICE, ROOF PENETRATIONS, GABLET, LEDGE AND WALL FLASHINGS.
2. FLASHING - APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. FLASHING AND MEMPHOLES AT BRICK SHALL COMPLY WITH SECTION R202.0.3 AND R202.0.4. WALL FLASHINGS SHALL COMPLY WITH SECTION R202.0.4. ROOF FLASHING SHALL COMPLY WITH SECTION R202.0.3 - IRC 2021.

GLAZED OPENING PROTECTION
ALL WINDOWS WITHOUT OPERABLE SHUTTERS SHALL BE PROVIDED WITH A MINIMUM THICKNESS OF 1/4" WOOD STRUCTURAL PANELS FOR PROTECTION OF WINDBORNE DEBRIS, AS PER SECTION R202.12.2 OF THE INTERNATIONAL RESIDENTIAL CODE.
THE PANELS ARE TO BE DESIGNED TO COVER THE GLAZED OPENINGS WITH A MAXIMUM SPAN OF 8' AND PROVIDED WITH ATTACHMENT HARDWARE. ATTACHMENT SHALL COMPLY WITH TABLE R202.12.2 OF THE INTERNATIONAL RESIDENTIAL CODE.
PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.

BUILDING CONSTRUCTION
THE HURRICANE RESISTANCE CONSTRUCTION FOR THIS RESIDENCE WAS DESIGNED TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, SECTION R202.1.1, AS MANDATED BY THE EMERGENCY PROVISIONS OF LOUISIANA ACT 12 (2004).
I HAVE RESEARCHED THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE DRAWINGS.
THE CONSTRUCTION OF THIS STRUCTURE IS TO CONFORM TO THE HURRICANE AND FLOOD MITIGATION REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, WIND TYPICAL LOADS, AS WELL AS THOSE REQUIRED BY FEMA.
HURRICANE RESISTANCE CONSTRUCTION HAS BEEN DESIGNED USING THE PRESCRIPTIVE REQUIREMENTS OF THE WOOD FRAME CONSTRUCTION MANUAL, LATEST EDITION.
THE STRUCTURE HAS BEEN DESIGNED FOR:
THREE SECOND WIND OUT OF 130 MPH - BASED ON EXPOSURE B
WIND RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION.
THE 2021 INTERNATIONAL RESIDENTIAL CODE APPLIES TO ONE AND TWO-FAMILY DWELLINGS NOT MORE THAN THREE STORIES ABOVE GRADE PLANE, AND THEIR ACCESSORY BUILDINGS, UNLESS NOTED OTHERWISE. ALL REVISION COMMENTS AND CITATIONS REFERENCE THE 2021 IRC, INCLUDING ALL RELEVANT ADDENDUMS.

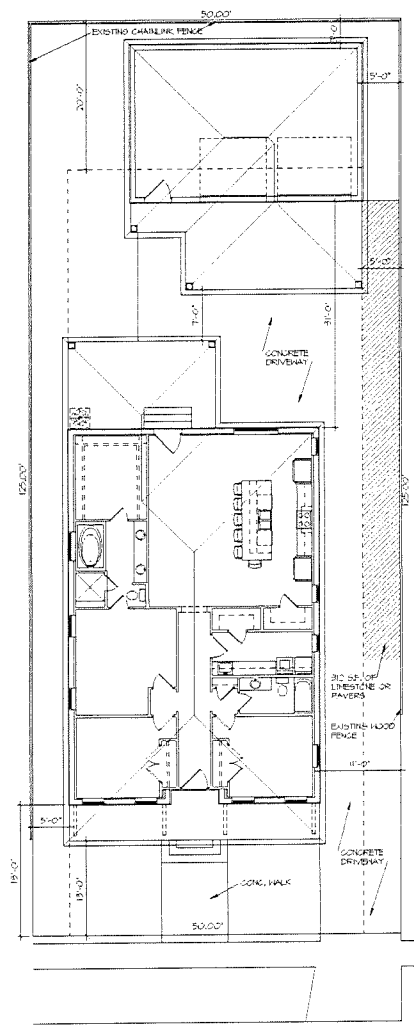
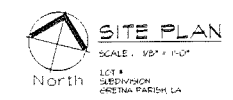
REAR YARD AREA

OPEN AREA (60.00')	1761 SF
ACCESSORY BUILDING AREA	1001 SF
TOTAL REAR YARD	2762 SF

APPROXIMATE SQ. FT.

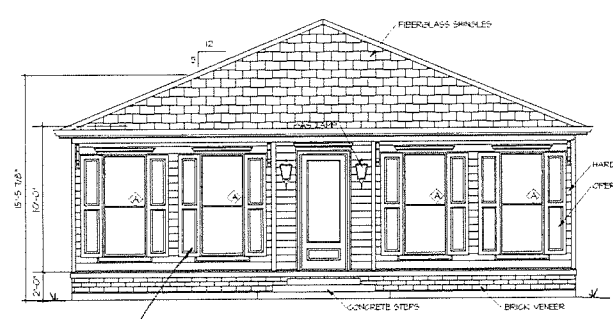
LIVING AREA

FIRST FLOOR	1754 SF
SUBTOTAL	1754 SF
PORCH	102 SF
PATIO	231 SF
GARAGE	687 SF
CARPORT	54 SF
TOTAL	3174 SF

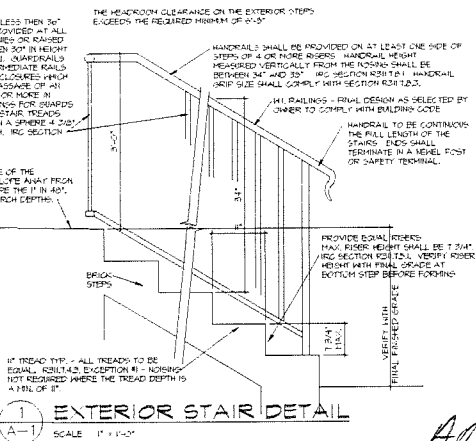


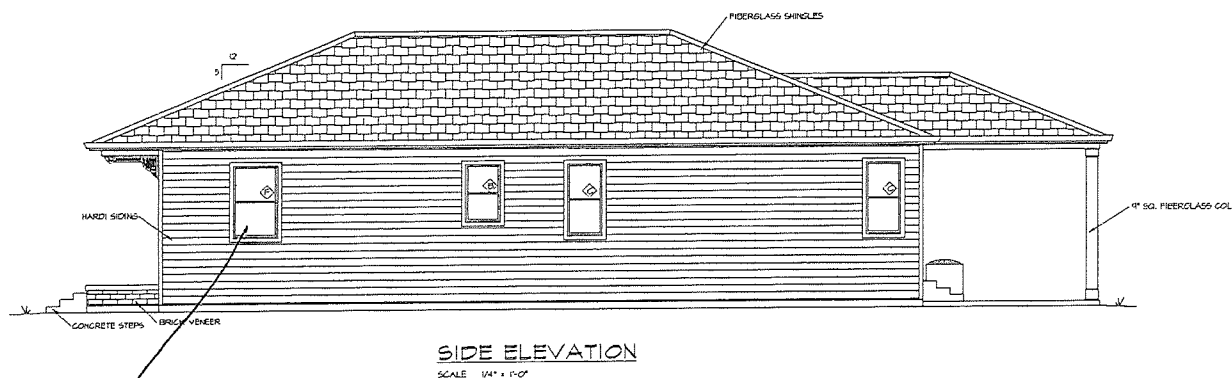
SITE PLAN NOTE
CONTRACTOR WILL MAINTAIN THAT POST DEVELOPMENT GRADING AND RUNOFF CONDITIONS WILL NOT HAVE AN ADVERSE IMPACT ON NEIGHBORING PROPERTIES.

THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION, TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK. REG. NO. 4252
Attention to or deviation from the information shown on the sheet without written approval in writing by me or the architect may void the contract.
© 2023 Old Orleans Designs, Inc.



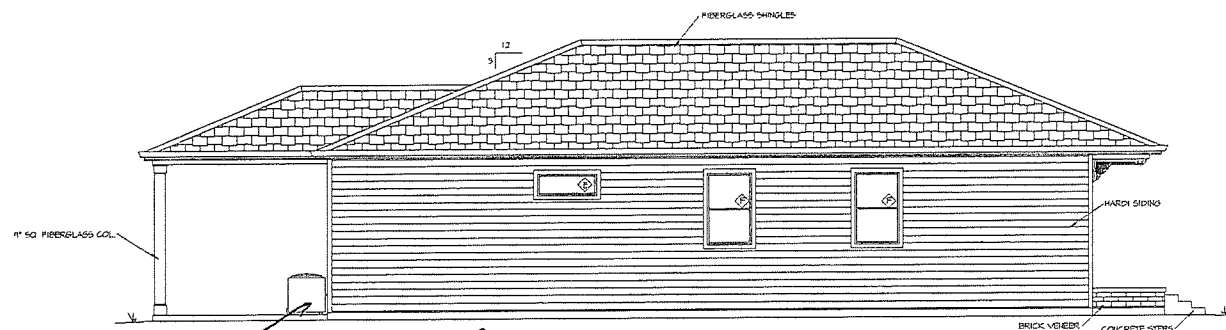
*Shyft
Apr 12 5:24 of window*





SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Added window



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

moved the front roof

ENERGY EFFICIENCY CERTIFICATE:
A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING, ROOF, WALLS, CRAWLSPACE WALL AND OR FLOOR AND DIGITS OUTSIDE CONDITIONED SPACES, U FACTORS FOR PENETRATION, AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF PENETRATION. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

HEATING & COOLING EQUIPMENT:
HEATING AND COOLING EQUIPMENT SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ASHRAE HANDBOOK, 1 OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES.

GLAZING ENERGY EFFICIENCY:
ALL PENETRATION PRODUCTS (WINDOWS, DOORS, & SKYLIGHTS) SHALL BEAR A LABEL FROM THE MANUFACTURER CERTIFYING THE U-FACTOR AND SHGC (SOLAR HEAT GAIN COEFFICIENT) FOR THE GLAZING. (AC 19002)

Attention to or deviation from the information shown on this sheet, without express approval in writing from the architect, may void Old Orleans Designs responsibility.
© 2022 Old Orleans Designs, Inc.

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

Sal Gagliano

PROPERTY ADDRESS

904 9th Street

NAME OF APPLICANT

Work Approved: Approval for new single family home
Construction. As submitted provided shutters meet
1/2 width of window sizes. Window to be added
to front right bathroom.

Signature of HDC Chairperson

Signature of Applicant

12/4/23

Date

12/5/23

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com

COA-23-110



Historic District Commission

Meeting: January 2, 2024

804 Franklin Street

(District 1)

For: Laundry room addition

Applicant:

Andrew Prejean



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 804 Franklin St., Gretna, LA 70053

Renovation: Laundry Room addition to back of house

New Construction: _____ Demolition: Back concrete steps

Age of Structure: 15 years old (2008)

Building Type:

Creole Cottage _____

Shotgun X _____

Bungalow _____

Other _____

Building Style:

Greek Revival X _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof asphalt shingles Soffit Vinyl

Fascia PPT wood painted to match vinyl siding Siding Vinyl

Masonry CMU Porches Painted PPT (treated) wood

Balconies none Handrails Painted PPT wood

Type of exterior lighting fixtures: LED flood light and Outdoor rated LED ceiling light

Style of windows: Single hung vinyl

Type of exterior doors: Full insulated glass, divided lite, painted impact resistant exterior door

Describe any ornamental woodwork: None

Elevations:

Front Space: 5.9 ft. Side Space: 5.9 ft.

Rear Space: 5.9 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Andrew Prejean Date: 12/6/2023

Applicant's Name: Andrew Prejean

Applicant's Address: Andrew Prejean

Phone No: () Cell No: (504) 390-3880

For Office Use Only:

Application date: Dec. 15, 2023

Substantive Change: Yes ☐ No ☒

Inventory Number: 26-01736

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
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Departments

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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Andrew Prejean the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on January 2, 2023 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Andrew Prejean

NAME OF APPLICANT (PLEASE PRINT)

804 Franklin St., Gretna, LA 70053

Applicant's address

804 Franklin Ave., Gretna, LA 70053

Actual address of the property for review

Date: 12/6/2023

iretna, Louisiana
Google Street View
lar 2023 See more dates



Image capture: Mar 2023 © 2023 Google



iretna, Louisiana
Google Street View
Mar 2023 See more dates



Image capture: Mar 2023 © 2023 Google



iretna, Louisiana
Google Street View
ec 2018 See more dates

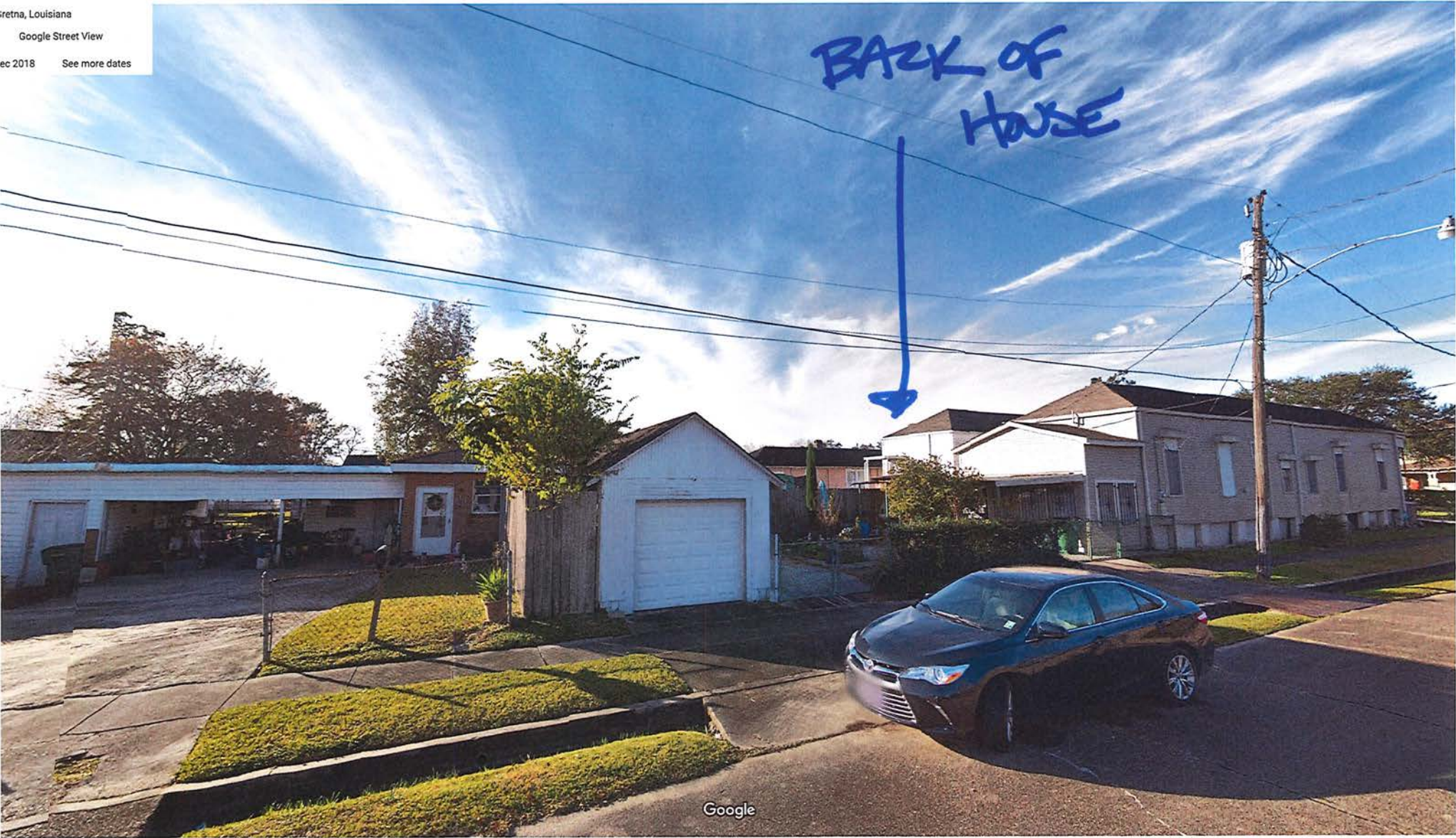
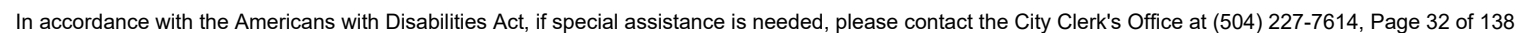
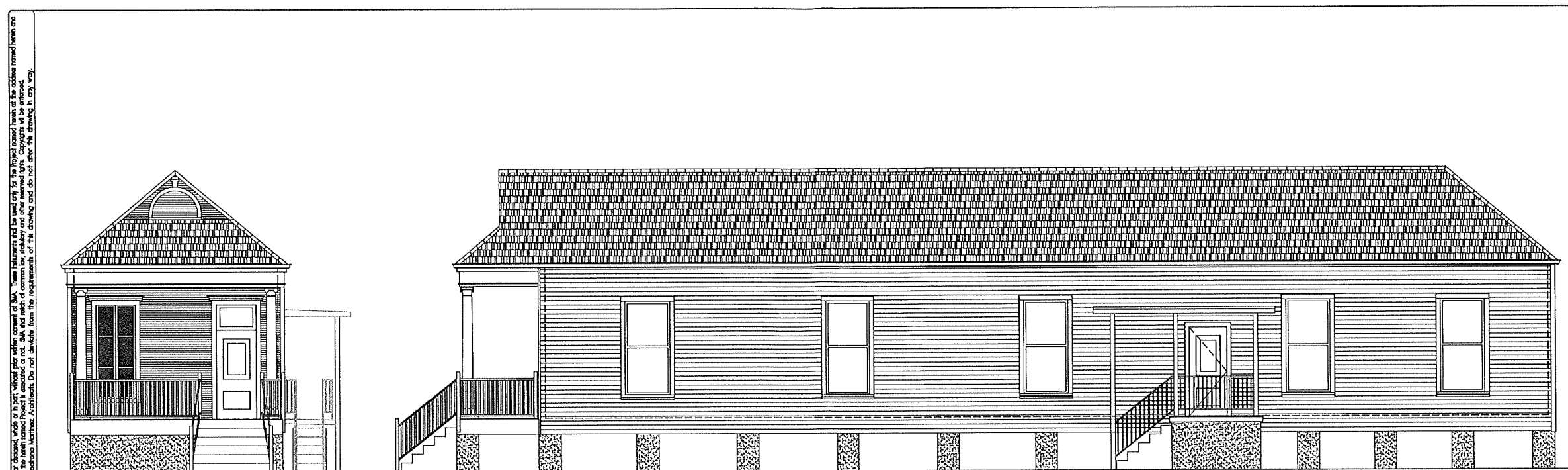


Image capture: Dec 2018 © 2023 Google





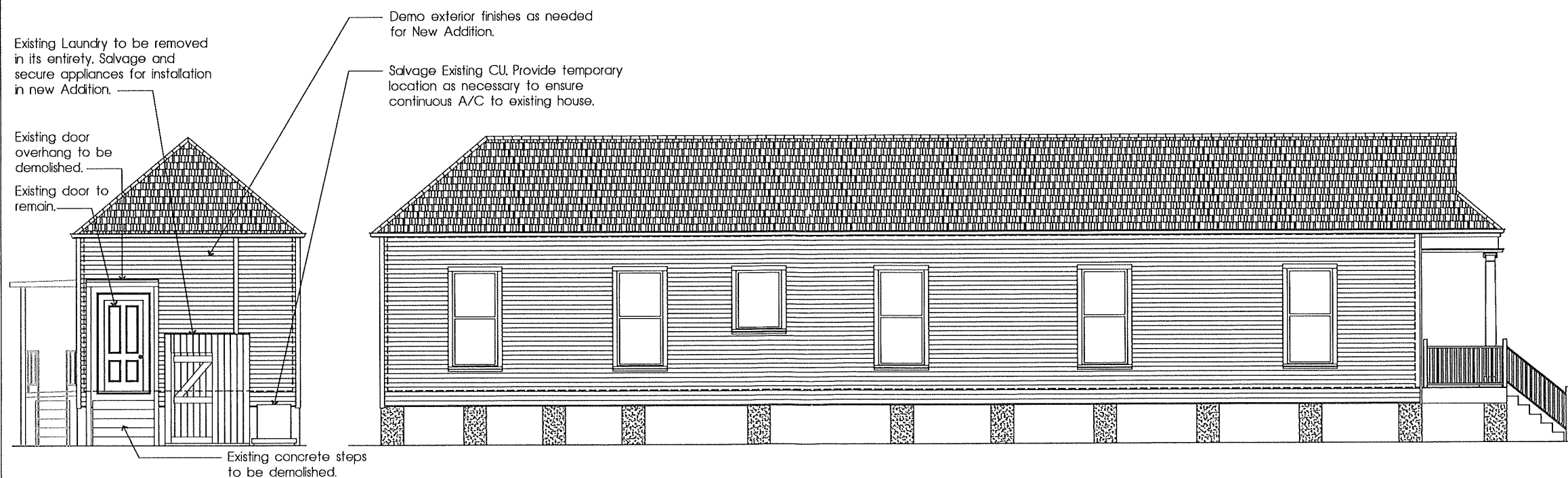


(A) Existing Front Elevation

(B) Existing Side Elevation

SCALE: 1/8" = 1'-0"

0 4 8



Existing Rear Elevation

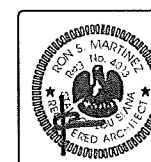
(D) Existing Side Elevation



Utility Room Addition
804 Franklin Avenue

Gretna, LA 70053

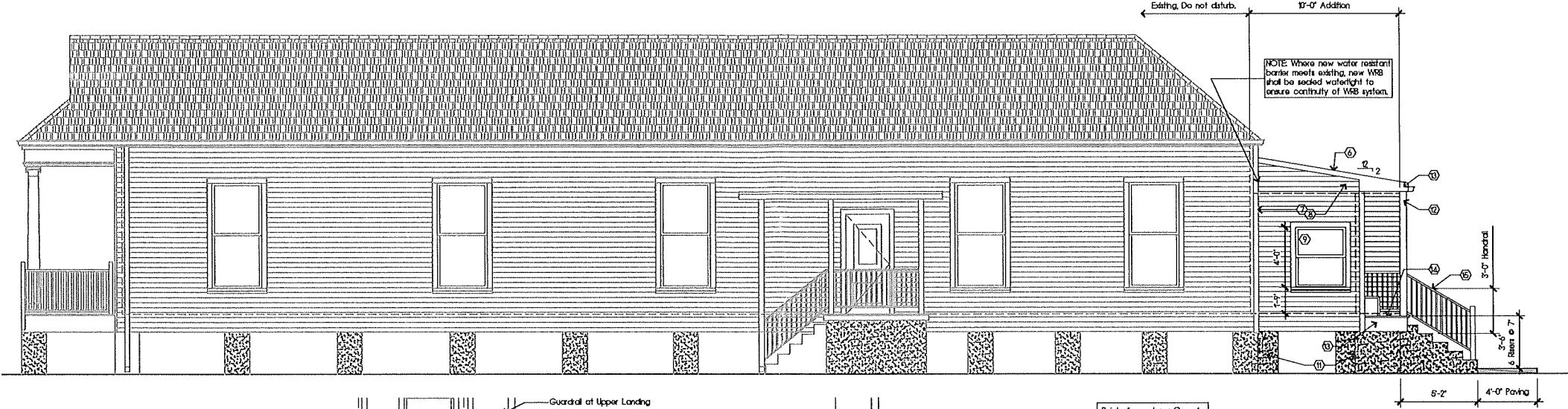
804 Franklin Avenue



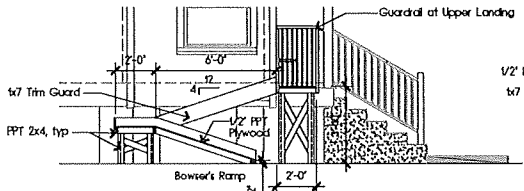
Issue:	Design Phase
Date:	July 28, 2023
Revisions:	

SMA Project No.
2317
 Sheet
A3.1
 Existing Elevations

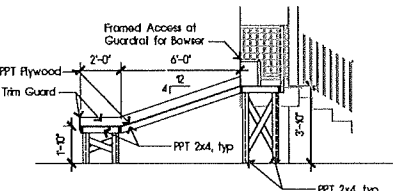
Copyright 2023 Scairono Martinez Architects, PLLC. All drawings and specifications are the property of Scairono Martinez Architects, PLLC. SCA and may not be reproduced, copied, reprinted, used or otherwise used in any form without the written consent of SCA. These drawings and specifications are to be used only for the project and location shown. Any other use without the written consent of SCA is prohibited. SCA and its representatives shall not be held responsible for any errors or omissions in this drawing and do not offer this drawing in any way.



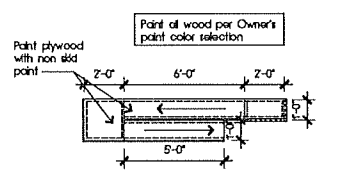
A Renovation Side Elevation
SCALE: 1/4" = 1'-0" 0 2 4 8'



E Bowser's Ramp Section
SCALE: 1/4" = 1'-0" 0 2 4 8'

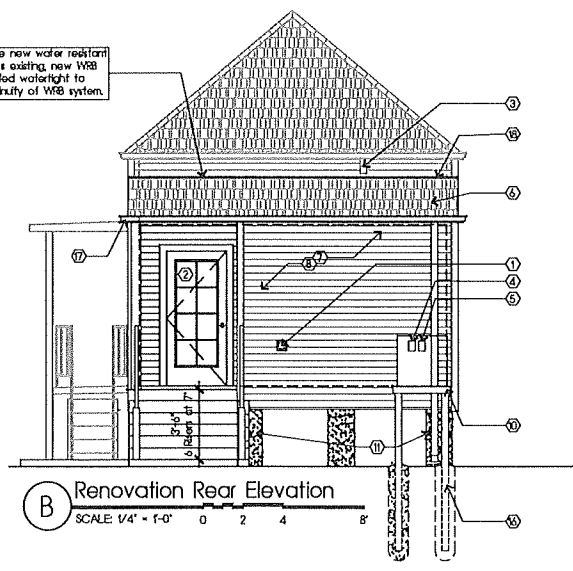


F Bowser's Ramp Section
SCALE: 1/4" = 1'-0" 0 2 4 8'

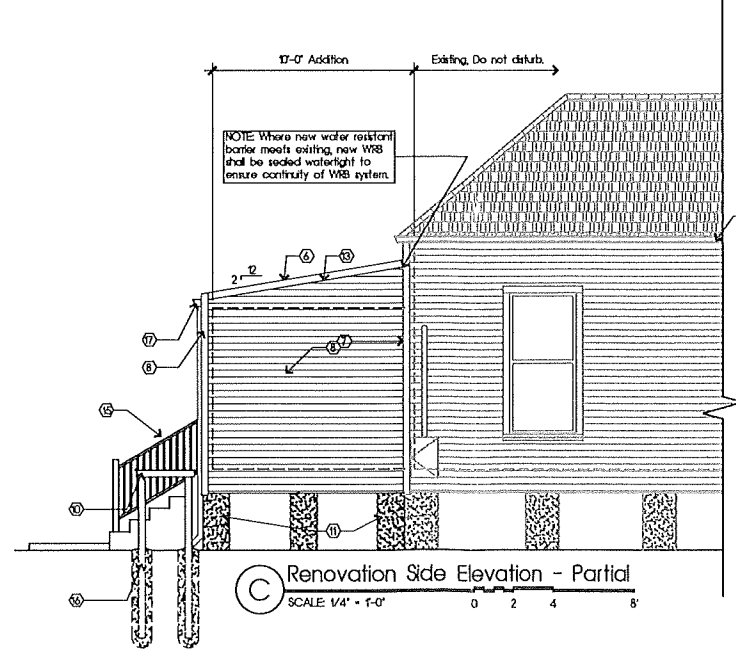


G Plan at Bowser's Ramp
SCALE: 1/4" = 1'-0" 0 2 4 8'

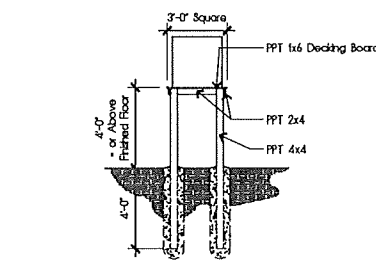
- Keynotes**
1. New Clothes Dryer exhaust w/weather damper, seal, weatherlight.
 2. New Exterior Door, 3'-0" x 6'-8" x 1-3/4" Exterior entrance, tile and rail, full glass, divided light, with gasket and weather stripping. Confirm door design with Owner. Glass shall be insulated glass unit, large make impact resistant per ASTM E996 and E888. Back prime frame and casing prior to installation. Set threshold in full bed of butyl sealant and anchor securely to concrete slab. Paint door and casing. Entrance function lockset with deadbolt lock, key to match existing.
 3. Existing gutter and downspout system to remain.
 4. New GFCI outlet with weatherlight cover.
 5. New disconnect with weatherlight cover at CU location.
 6. New asphalt shingles to match existing.
 7. Remove existing siding, weather barrier, and wall sheathing as required for new addition. This area. Provide new wall and roof system for new addition. Do not damage or disturb existing adjacent finishes.
 8. New vinyl siding and trim, match existing.
 9. New single hung window.
 10. New preservative pressure treated CU stand at or above floor height.
 11. New concrete foundation and stairs. See Structural Sheet ST.
 12. New preservative pressure treated column. Prime and paint per Owner's color selection.
 13. New preservative pressure treated trim board. Prime and paint per Owner's color selection.
 14. New preservative pressure treated decking. Prime and paint per Owner's color selection.
 15. New preservative pressure treated railing. Prime and paint per Owner's color selection.
 16. Install CU stand posts into ground, 4'-0", encased in concrete, slope top of concrete away from posts.
 17. Install new gutter and downspout system at New Addition.
 18. Install new metal flashing under existing vinyl siding.



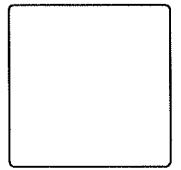
B Renovation Rear Elevation
SCALE: 1/4" = 1'-0" 0 2 4 8'



C Renovation Side Elevation - Partial
SCALE: 1/4" = 1'-0" 0 2 4 8'



D CU Platform
SCALE: 1/4" = 1'-0" 0 2 4 8'



Utility Room Addition
804 Franklin Avenue
Gretna, LA 70053
804 Franklin Avenue



Issue: Design Phase
Date: July 28, 2023
Revisions:

SMA Project No.
2317
Sheet
A3.2
Exterior Elevations

[illegible]

Window Notes

SP 6 Ung Window – Builder Series Vinyl with Hinging zips. Integral pad DP 60 certified. White color to match existing. System not fit with 1 setback, 2-3/4" frame depth (framing existing, confirm). Low-VE fully tempered acrylic double glazing double glazing, half screen hinged in removable panel. SE sight of window to match existing. Set not fit in full bed of bulky panel.

Whomobile Debris Protection per 2015 RC R3012: Provide 1/2" thick pre-cut and pre-fabricated wood structural panels, fixed to exterior wall framing, according to the spacing with R, it is 4 x 4 inch galvanized wood screws at 16" spacing. Fasteners shall be installed at opposing ends of the wood structural panel. Fasteners shall be located minimum 1 inch from the edge of the panel. Panels and fasteners shall be turned over to the Owner at substantial completion.

Window Notes

1. Window sill and stool and be painted wood to match existing. Sill to be, extend past each jamb 2 inches and extend past wall finish surface 1-1/2 inches. Stool = 9E profile 2-1/4", end cut on to match existing. Sand, prime and paint all stool trim.

2. Return gypsum board wall finish at head and jamb of window. Finish to match walls

Roofing Notes

Hurricane resistant laminate asphalt fiberglass mat shingles with two sediment bands and mineral granule surfacing. Use matching starter strip shingles at eaves.

3-lb asphalt fiberglass mat shingles with two sediment bands and mineral granule surfacing for hips and ridges.

Initial shingles with 6 nails per shingle for high wind resistance. Nails shall be 2 gauge x 1-1/4 inch hot dip galvanized with 3/8 inch diameter heads. Do not use staples. All shingle located at the roof edges shall be cemented together with a 4 inch wide x 1/8 inch thick 15 lb per sq. ft. layer asphalt Bitum Cement (ASTM D-4588) applied with a notched trowel. Initial roofing system as required for Wind Warrantly US3 mph in all respects. Comply with manufacturer's Application Instructions dated August 2014. Provide prefinished metal drip edges along all eaves applied directly to the roof decking. Shingle exposure = 6 inches.

Underlayment = #30 asphalt saturated felt paper.

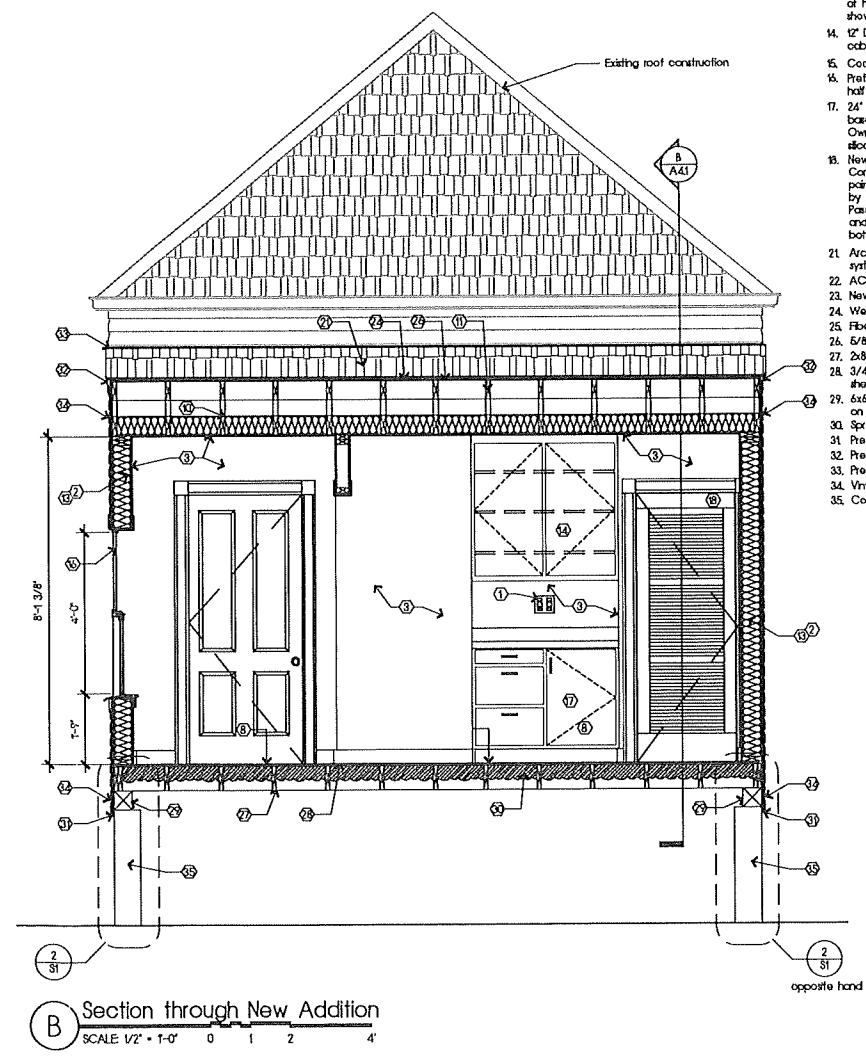
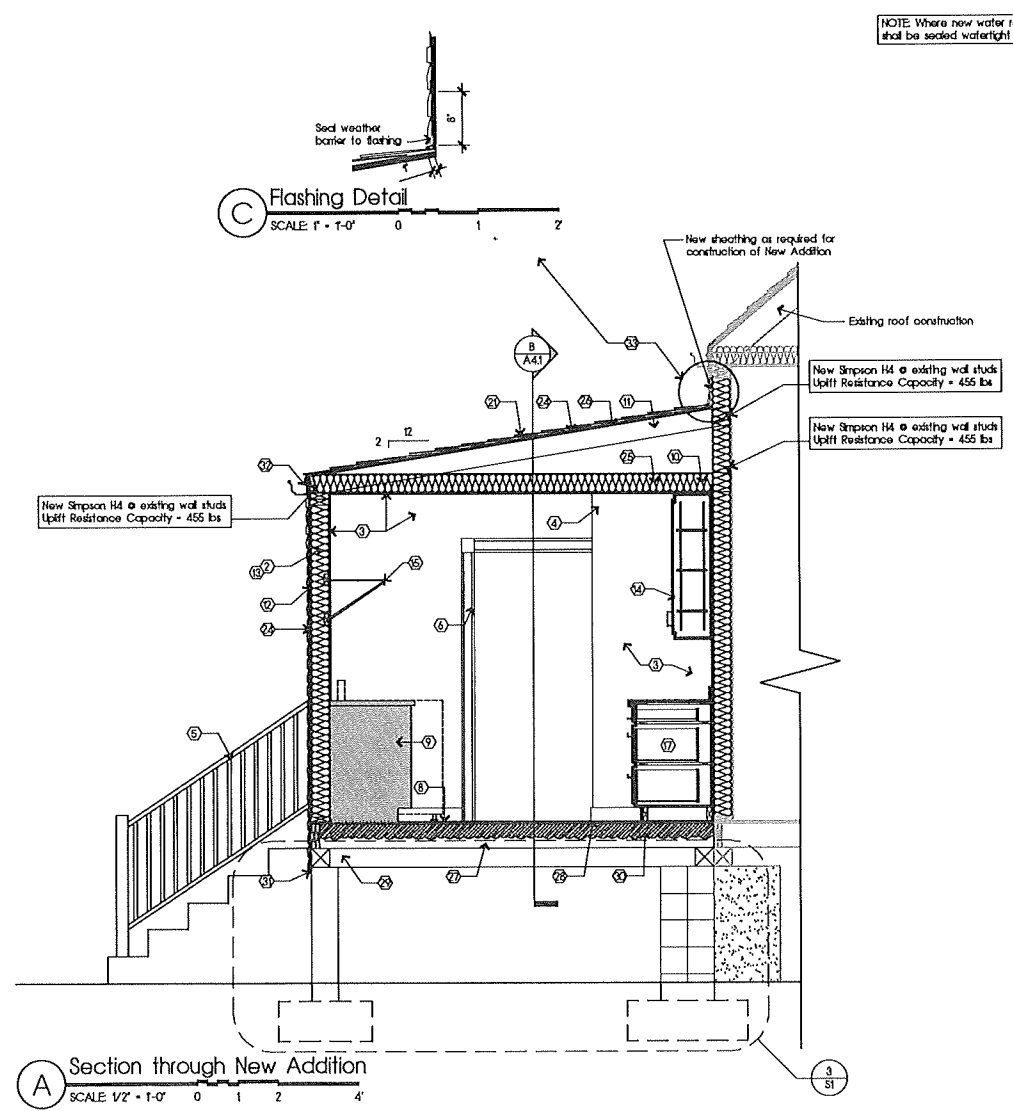
Valleys = Closed cut

Sol Black Flashing = Mold Asphalt Plastic Cement around base of pipe and over flashing. Reference manufacturer's Application Instructions dated August 2014.

Color shall be selected by the Owner to match existing.

Keynotes

1. Electrical Outlets where directed by Owner and as required by Appliances and Code
2. R-13 Insuff blown fiberglass batt insulation of exterior walls of new construction. Ensure integrity of insulation where new meets old, replace existing insulation if necessary.
3. 1/2" Gypsum Board, Gold Bond Brand XP Gypsum Board with Sengco's new adhesive, 10 mils. resistant, mold resistant, Purple foaming Insulation with drywall screws only - NO NAILS. Tape, compound, float, sand and finish to Level 4 of dry board. Textured per Owner's selection. Prime and paint per Owner's select
4. 2x4 wood framing system, Studs = 2x4 @ 16" on. Continuous one piece from pressure treated bottom plate to double top plate. Provide bracing and diagonal strap bracing. Provide tie studs at door jamba, and jamba of wall openings. Provide structural header at head of all doors and wall openings. Provide acoustic insulation at shown at perimeter. See Structural Drawings on Sheet S1.
5. New painted wood handrails of new concrete steps
6. New trim to match existing. Prime and paint.
7. A/C Equipment installed by HVAC Contractor
8. New the flooring throughout New Addition. The selection Per Owner. Follow TCNA Guidelines for the installation.
9. Prefinished prefabricated base cabinet unit w/handy sink bowl and faucet, as selected by Owner. Block splash and side splash at ends. Siding along top of splash w/ midrow (resistant) alcove treated. Faucet per Owner's Selection.
10. 2x6 @ 16" on center ceiling joists, See Structural Drawings on Sheet S1.
11. 2x6 @ 16" on center roof rafters, See Structural Drawings on Sheet S1.
12. 1/2" Zip system sheathing-eave end
13. 2x4 wood framing system, Studs = 2x4 @ 16" on. Continuous one piece from pressure treated bottom plate to double top plate. Provide bracing and diagonal strap bracing. Provide tie studs at door jamba, and jamba of wall openings. Provide structural header at head of all doors and wall openings. Provide acoustic insulation at shown at perimeter. See Structural Drawings on Sheet S1.
14. 2" Deep nominal modular prefinished prefabricated wall hung cabinet units.
15. Coated wye shving system and brackets
16. Prefinished (white) single hung vinyl window w/ insulated glass w/ half screen. See Window Notes.
17. 2x4 Deep x 8-1/8" light nominal modular prefinished prefabricated wall hung cabinet units with 1/2" thick laminate countertop, as selected by Owner. Sand along all edges of countertop w/ midrow resistant alcove treated.
18. New Louvered Interior Door, 2-6" x 6-8" x 1-3/4", Masonite, Hollow Core. Interior door design with Owner, factory primed and field painted. 4-9/16" Jamb, match existing casing trim, finish as selected by the Owner. Coating and trim shall be primed and painted. Passage function localist. Prime and paint of interior door, casing and jamb both top, door jamba, top edge, bottom edge and both side edges of each door.
19. Architectural grade laminated fiberglass soffit/batt roofing shingles system. See Roofing Notes.
20. AC Disconnect
21. New AC platform. See Details on Sheet A32.
22. Weather resistant barrier, See Exterior Finish Specs
23. Fiberglass blanket ceiling insulation, R-30, See Insulation Notes
24. 5/8" Zip System roof decking
25. 2x8 @ 16" on center roof joists. See Structural Drawings on Sheet S1.
26. 3/4" tongue and groove preservative pressure treated floor sheathing. See Structural Drawings on Sheet S1.
27. 6x6 preservative pressure treated beams. See Structural Drawings on Sheet S1.
28. Spray foam to match existing
29. Prefinished metal rafter edge
30. Prefinished metal roof clip edge
31. Prefinished metal flashing at connection to existing Building
32. Vinyl siding to match existing
33. Concrete block piers. See Structural Drawings on Sheet S1.



Utility Room Addition
804 Franklin Avenue

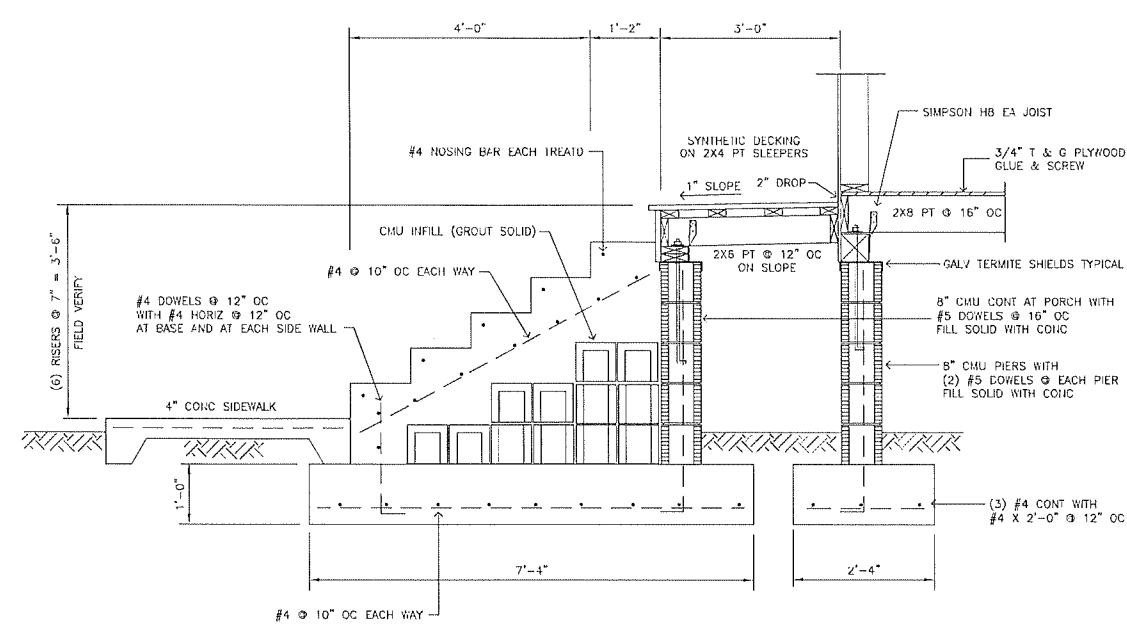
Gretna, LA 70053

804 Franklin Avenue

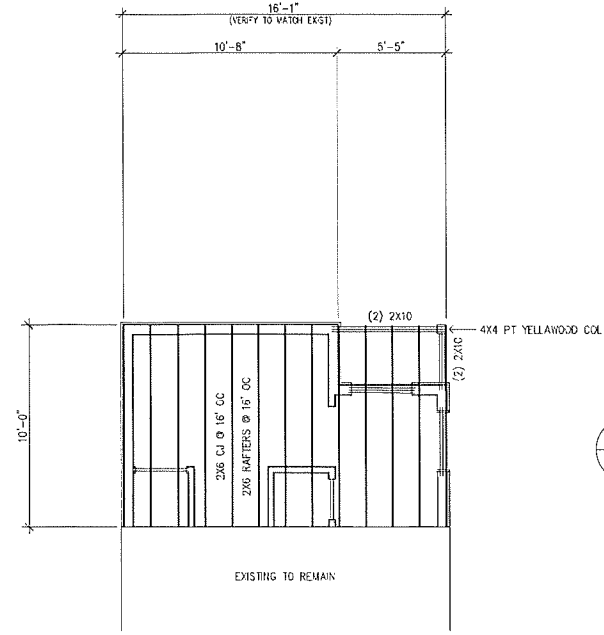


Issue:	Design Phase
Date:	July 28, 2023
Revisions:	

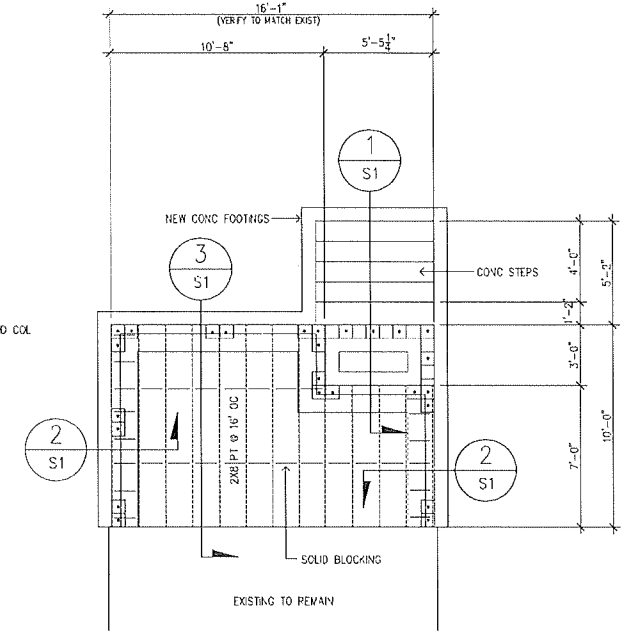
SMA Project No.
2317
 Sheet
A4.1
 Building Sections



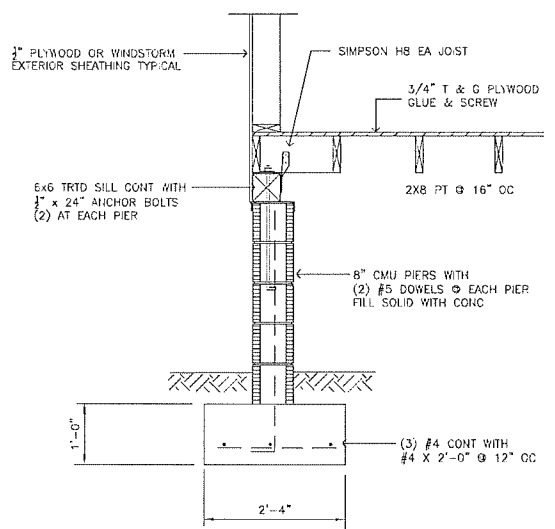
1 SECTION AT REAR PORCH & STEPS
S1 SCALE: 3/4"=1'-0"



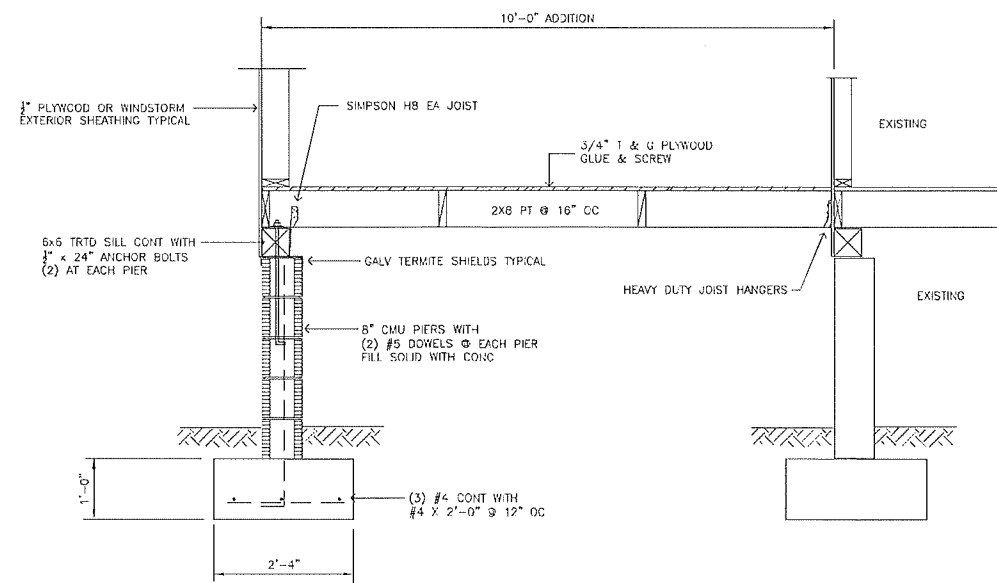
FRAMING PLAN
SCALE: 1/4"=1'-0"



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

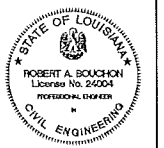


2 SECTION AT EXTERIOR FOOTING
S1 SCALE: 3/4"=1'-0"



3 SECTION AT ADDITION FLOOR FRAMING
S1 SCALE: 3/4"=1'-0"

- GENERAL NOTES**
1. ALL FRAMING SHALL BE #2 SYP OR BETTER AND SHALL BE IN ACCORDANCE WITH IRC 2021.
 2. THE STRUCTURE HAS BEEN DESIGNED TO WITHSTAND AN ULTIMATE WIND SPEED OF 142 MPH AS REQUIRED BY ASCE 7.
 3. SIMPSON HB HURRICANE ANCHORS SHALL BE INSTALLED AT ALL RAFTER TO PLATE CONNECTIONS.
 4. A CONTINUOUS LOAD PATH SHALL BE PROVIDED BY THE EXTERIOR SHEATHING AS INDICATED.
 5. ALL EXTERIOR SHEATHING SHALL BE 1/2" CDX PLYWOOD OR WINDSTORM EXTERIOR SHEATHING. THE SHEATHING SHALL BE ATTACHED WITH BD NAILS AT 12" OC (FIELD) AND 6" OC (EDGES).
 6. ALL RAFTERS SHALL BE 2x8 @ 16" OC WITH 2x6 COLLAR TIES WHERE APPLICABLE AT 32" OC. ALL RAFTERS IN EXCESS OF 12 FEET SHALL BE BRACED TO SUPPORTING WALLS BELOW.
 7. THE ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD OR EQUAL. THE SHEATHING SHALL BE ATTACHED WITH BD NAILS @ 6" OC AT ALL SUPPORTS.
 8. ALL CONCRETE SHALL BE STANDARD WEIGHT AND SHALL TEST AT 3000 PSI AT 28 DAYS. IT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 301 AND 318.
 9. REINFORCING STEEL SHALL BE NEW BILLET ASTM A-615 GRADE 60. DETAIL REINFORCING AND PROVIDE ACCESSORIES IN ACCORDANCE WITH THE LATEST ACI MANUAL OF STANDARD PRACTICE.
 10. THE FOUNDATION IS DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 1,000 PSF (SOIL TYPE 13) IN ACCORDANCE WITH JP SECTION 8-4-123.29.4.



Robert Bouchon
July 28, 2023

ROBERT A. BOUCHON
CONSULTING ENGINEER, LLC
POST OFFICE BOX 55325
METairie, LA 70055
ROBERTBOUCHON@AOL.COM 504-304-2312

UTILITY ROOM ADDITION
804 FRANKLIN AVENUE
GRETN, LA

DATE 07.28.23

FOR CONSTRUCTION

DRAWN BY RB
CHECKED RB

SHEET TITLE
FOUNDATION AND
FRAMING PLANS

SHEET NUMBER

S1



Historic District Commission

Meeting: January 2, 2024

433 4th Street
(District 2)

**For: Front door change from originally
approved COA 11/1/22**

Applicant:
Ricky Talamo



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit #
6167

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 433 4th St GRETN, LA 70053

Renovation: _____

New Construction: ☒ _____

Demolition: _____

Age of Structure: NEW

Building Type:

Creole Cottage _____
Shotgun ☒ _____
Bungalow _____
Other _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed ☒ _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof _____	Soffit _____
Fascia _____	Siding _____
Masonry _____	Porches _____
Balconies _____	Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: From Front Door on Plans being 3/4 GLASS / CHANGES MADE TO 3/4 DIVIDED LIGHT
Describe any ornamental woodwork: (AS SHOWN IN PICTURES)

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 12-14-23
Applicant's Name: Ricky TALAMO
Applicant's Address: 433 4th St GRETN, LA 70053
Phone No: (504) 415-6955 Cell No: () SAME

For Office Use Only:
Application date: Dec. 15, 2023
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



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740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

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Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

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have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on JANUARY 2nd 2024 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

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A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
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[Signature]
Signature of Applicant

Ricky TALAMO
NAME OF APPLICANT (PLEASE PRINT)

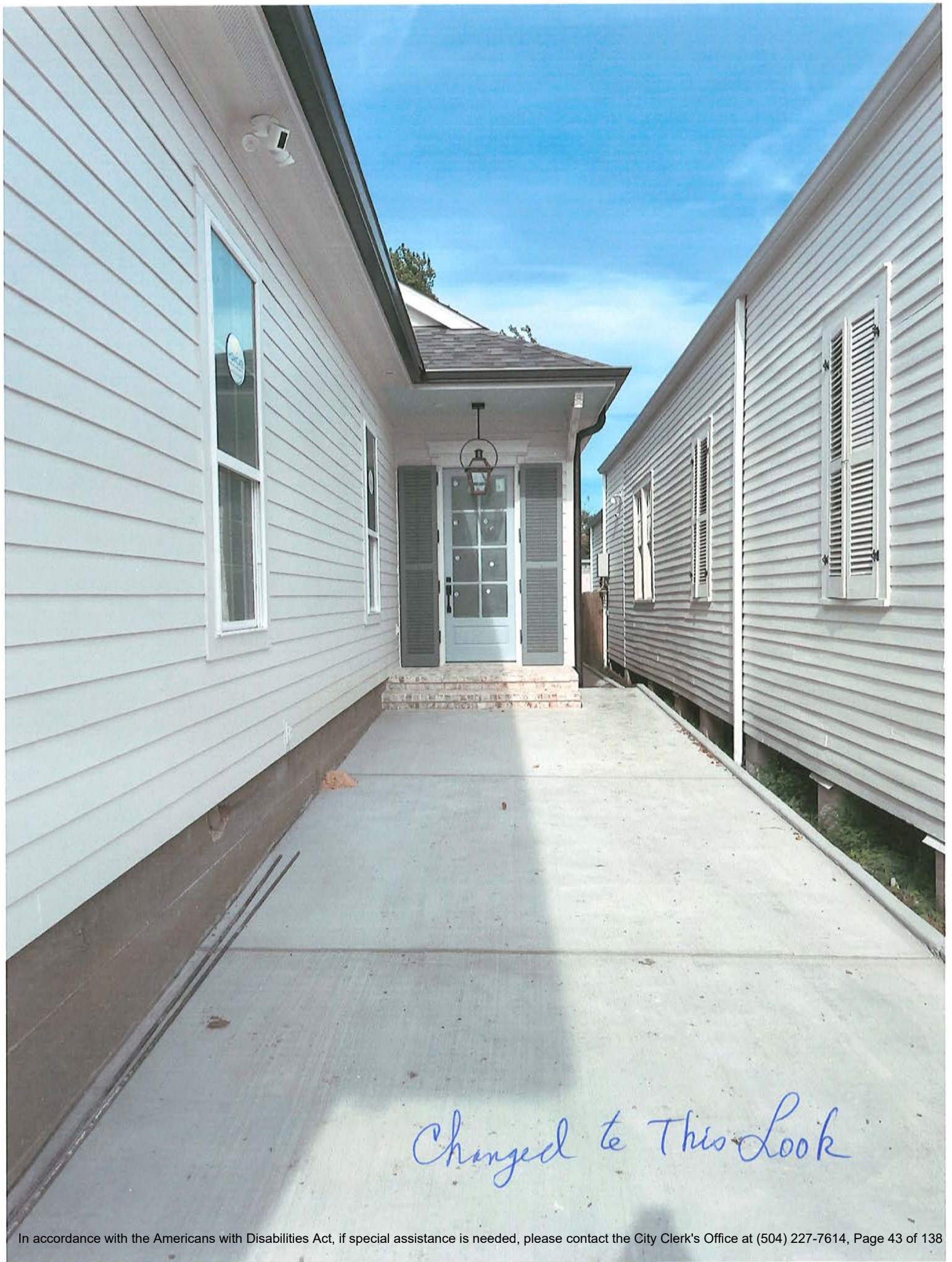
58 ASPHODEL DR. MARREPO, LA 70072
Applicant's address

433 4th St GRETN, LA 70053
Actual address of the property for review

Date: 12-14-2023

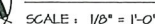
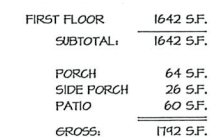
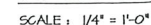
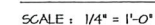
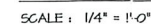
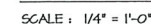


Per Plans









THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK. REG. NO. 4352

Alteration to or deviation from the information shown on this sheet, without advance approval, in writing from the Architect, may void Oldo Orleans Designs responsibility.
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Historic District Commission

Meeting: January 2, 2024

524 9th Street
(District 2)

For: Shed

Applicant:
John T. Vanderhooft



Historic District Commission
Application for Certificate of Appropriateness
 Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 524 9th St. Gretna, LA 70053

Renovation: _____

New Construction: 8x10 Tuff Shed

Demolition: _____

Age of Structure: New

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other Shed

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Ranch

Exterior materials proposed:

Roof Shingles Soffit _____

Fascia _____ Siding Wood

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: NONE

Style of windows: Sliding window (1), Transom Window (1)

Type of exterior doors: Double shed door

Describe any ornamental woodwork: Diamond trim

Elevations:

Front Space: 0 ft. Side Space: 0 ft.

Rear Space: 0 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: [Signature] Date: 12-14-23

Applicant's
Name: John T. Vanderhoof

Applicant's
Address: 524 9th St. Gretna, LA 70053

Phone No: (770) 827-5642 Cell No: 770 403-9323

For Office Use Only:

Application date: Dec. 18, 2023

Substantive Change: Yes ☐ No ☒ Inventory Number: n/a

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby
District One

Michael Hinyub
District Two

Mark K. Miller
District Three

Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Boudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, John T. Vanderhoof the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on January 2, 2024 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

John T. Vanderhoof
Signature of Applicant

John T. Vanderhoof
NAME OF APPLICANT (PLEASE PRINT)

524 9th St. Gretna, LA 70053
Applicant's address

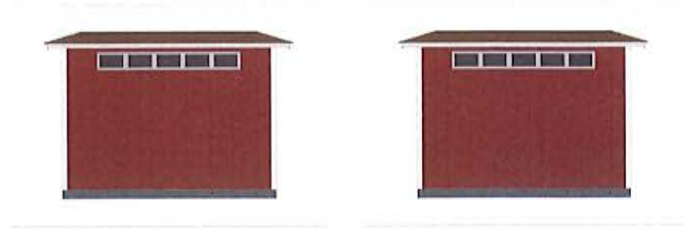
524 9th St. Gretna, LA 70053
Actual address of the property for review

Date: 12-14-23



Build-A-Quote Number: 3184174

Created: Dec 11, 2023 12:18:52 PM



Customer Information

John Vanderhooft
524 9th Street
Gretna, LA 70053
tana@ccsnola.com

Shipping Information

John Vanderhooft
524 9th Street
Gretna, LA 70053

Description	Qty	List Price	Discount	Ext Net Price
Premier Tall Ranch 8 x 10	1/Ea	\$3864.00	\$0.00	\$3864.00
3' x 6'7" Double Shed Door (6')	1/Ea	\$529.00	\$200.00	\$329.00
Door - Decorative Double Door Trim - Diamond	1/Ea	\$59.00	\$0.00	\$59.00
Credit for Removal of Default Door	1/Ea	-\$324.00	\$0.00	-\$324.00
3'x2' Insulated Horizontal Sliding Window	1/Ea	\$229.00	\$0.00	\$229.00
Transom Window (16"x8")	5/Ea	\$69.00	\$0.00	\$345.00
Paint - Brick Dust	291/Sq Ft	\$0.00	\$0.00	\$0.00
Paint - Delicate White	1/Sq Ft	\$0.00	\$0.00	\$0.00
Full Service Paint Application	1/Ea	\$387.00	\$0.00	\$387.00
Golden Cedar 3 Tab	98/Sq Ft	\$0.00	\$0.00	\$0.00
Roof - 5/12 Roof Pitch Upgrade	98/Sq Ft	\$1.75	\$0.00	\$171.50
Ridge Vent	10/Lin Ft	\$11.00	\$0.00	\$110.00
Shed Anchor to Concrete - A24 & Wedge Anchor	4/Ea	\$30.00	\$0.00	\$120.00
Pegboard	62/Sq Ft	\$2.50	\$0.00	\$155.00
Shelving - 16" deep	24/Lin Ft	\$5.00	\$0.00	\$120.00
24" Workbench	10/Lin Ft	\$10.00	\$0.00	\$100.00
16"x8" Wall Vent - White	2/Ea	\$23.00	\$0.00	\$46.00
Flood Vents	2/Ea	\$90.00	\$0.00	\$180.00

Description	Qty	List Price	Discount	Ext Net Price
Floor Track Vent Screen	10/Ea	\$2.00	\$0.00	\$20.00
Leveling 0"-4"	1/Ea	\$0.00	\$0.00	\$0.00
Engineering Fees	80/Sq Ft	\$0.20	\$0.00	\$16.00
Delivery Fee	1/Ea	\$99.00	\$0.00	\$99.00
List Price				\$6226.50 USD
Discount				\$200.00 USD
Subtotal				\$6026.50 USD

Prices shown in the online Build-A-Quote process are subject to change without notice, do not reflect custom quote selections or any local taxes, and will be verified at time of order. Online customers selecting the Buy Now option will have appropriate local taxes added to their order. While Tuff Shed makes every effort to ensure correct information is included in the online Build-A-Quote process, Tuff Shed is not responsible for technical malfunction of any telephone network, telephone or data lines, computer online systems, servers, internet providers, computer equipment, or software that may result in a pricing error or other discrepancy with the online Build-A-Quote process.

Additional delivery charges and / or sales taxes may apply for out of state customers.

Building price is based on level lot and does not include any engineering fees or building permits unless otherwise indicated on order. Customer is responsible for site preparation. Engineered plans may be required for permit application, and are not included in above prices. Engineering charges are relative to style and size of building. Cancelled orders are subject to a restocking fee.

This saved quote includes any applicable promotional discounts, which have limitations and expiration dates.

The price quoted is valid through the expiration date of the promotion. Once an order has been placed, pricing is guaranteed for up to 12 months. If the installation is not completed within 12 months for any reason, Tuff Shed has the right to modify the order pricing. You will be notified regarding any price adjustment prior to installation or incurring any additional charges.

Premier Tail Ranch-6 wide by 16' long





**CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

524 9th Street

PROPERTY ADDRESS

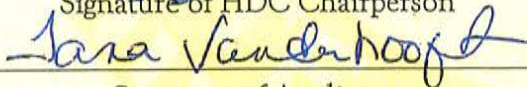
John Vanderhoof

NAME OF APPLICANT

Work Approved: Approval for installation of
pre-fabricated 10x12 accessory shed.
Approved as submitted.



Signature of HDC Chairperson



Signature of Applicant

7/5/2022

Date

7-18-22

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

**Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com**

COA-22-65



Historic District Commission

Meeting: January 2, 2024

601 4th Street
(District 2)

For: Commercial sign

Applicant:
Julie Hill Foster



Permit #
7335

Historic District Commission
Application for Certificate of Appropriateness

Governing by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
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Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 601 4th St, Gretna, LA 70053

Renovation: Change in exterior appearance

New Construction: _____

Demolition: _____

Age of Structure: Unknown 1920

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ✓

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Unknown

Exterior materials proposed: no change

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations: no change

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Julie Hill Foster Date: 12/18/2023

Applicant's
Name: Julie Hill Foster

Applicant's
Address: 611 4th St, Gretna, LA 70053

Phone No: () Cell No: (504) 756-9068

For Office Use Only:

Application date: Dec. 18, 2023

Substantive Change: Yes ☐ No ☒ Inventory Number: 393

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

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Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Julie Hill Foster the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on January 2, 2024 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Julie Hill Foster

Signature of Applicant

Julie Hill Foster

NAME OF APPLICANT (PLEASE PRINT)

611 4th St, Gretna, LA 70053

Applicant's address

601 4th St, Gretna, LA 70053

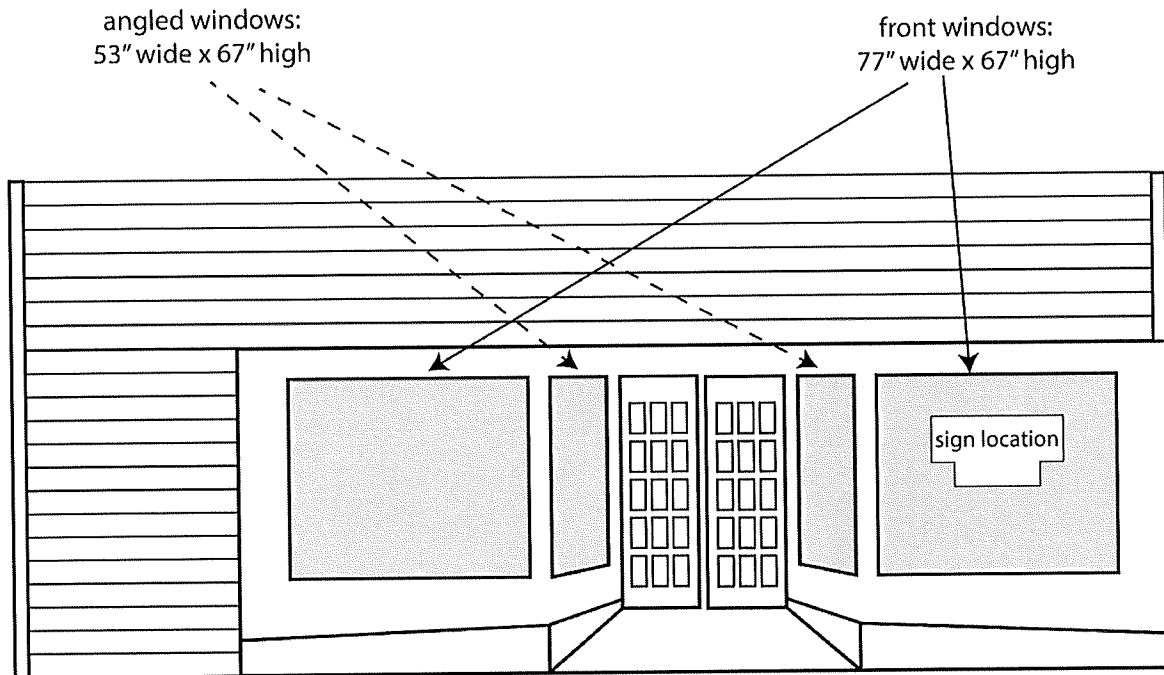
Actual address of the property for review

Date: 12/18/2023

Current building:



Sketch of building with proposed signage:

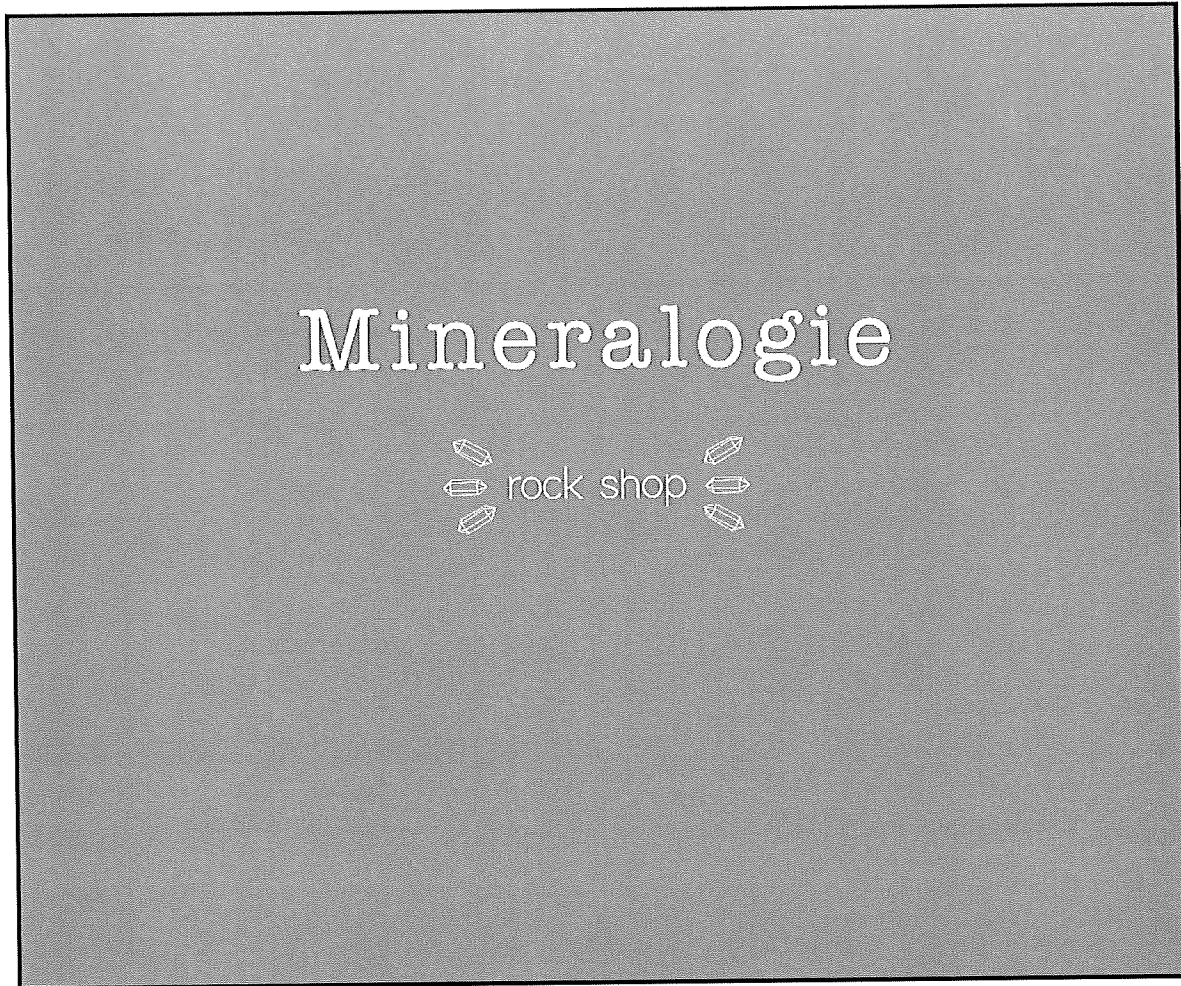


All signs are decals with transparent background mounted on the inside of the glass. Proofs are attached separately.

Mineralogie sign (white): 41.6" x 5.48"
rock shop with crystals (white): 22.0" x 6.8"

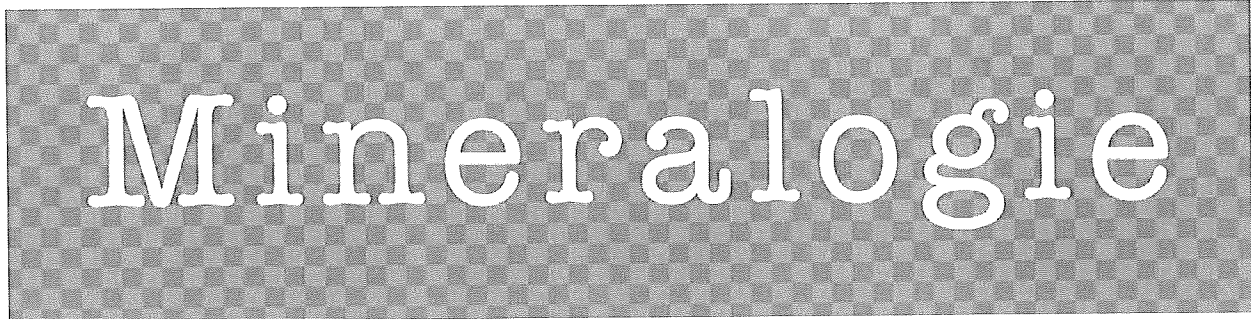
NOT TO SCALE

Sketch of right window only:



Window only; to scale

Proof of main sign:
(checkered portions indicate transparent areas)



Proof of smaller sign:
(checkered portions indicate transparent areas)



Julie Hill Foster
611 4th St, Gretna, LA 70053 | mineralogie.nola@gmail.com

December 18, 2023

Historic District Commission
City of Gretna
740 2nd Street
Gretna, LA 70053

RE: Application for Certificate of Appropriateness

Dear Commission Members:

I am leasing ground floor commercial space at 601 4th Street with the intention of opening a small shop selling rocks, mineral specimen, and fossils. I am writing this letter to provide details of the proposed signage to obtain a Certificate of Appropriateness from the Commission.

History and Style

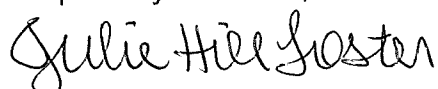
As a new renter of this building, I do not have information about its history, and the owner does not have historical documentation readily available. Likely built in the late 19th century, the building unfortunately does not retain many exterior elements that might indicate its architectural style, though the recessed entrance with large windows suggests this space has always been commercial.

Proposed Signage

The main proposed signage will be installed in the right storefront window on the inside of the glass. It consists of white die-cut vinyl letters spelling out "Mineralogie." The typeface is called American Typewriter ITC Pro and was chosen for its vintage style. The exact size of the sign is 41.6 inches wide by 5.58" tall.

Much smaller and below the store name will be the words "rock shop" with three crystals on each side. Like the main part of the sign, this will be white, die-cut vinyl installed on the inside of the window. The exact dimensions are 22.0" wide by 6.8" high.

Respectfully submitted,


Julie Hill Foster



Historic District Commission

Meeting: January 2, 2024

726-728 Madison Street

(District 1)

For: Front door and screen door

**Applicant:
Clair Brown**



Permit # 7308

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 726 - 728 Madison St Gretna, LA 70053

Renovation: Front doors & screen doors

New Construction: _____

Demolition: _____

Age of Structure: 100 yrs

Building Type:

Creole Cottage _____

Shotgun (double) _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Ch D Date: 12/5/23
Applicant's
Name: Clair Brown
Applicant's
Address: 1400 Nmezt St New Orleans, LA 70114
Phone No: () Cell No: (504) 458-9112

For Office Use Only:

Application date: Dec. 5 2023
Substantive Change: Yes ☐ No ☒ Inventory Number: 26-01962
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorron dona

Planning and Zoning

Azalea M. Roussel

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Clair Brown the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Jan. 2, 2024 @ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Clair Brown

NAME OF APPLICANT (PLEASE PRINT)

1400 Nunez St New Orleans, LA 70114

Applicant's address

726-728 Madison St Gretna, LA 70053

Actual address of the property for review

Date:

12/5/23

EXISTING DOOR
REMOVED

EXISTING
SURFACE
REMOVED









Historic District Commission

Meeting: January 2, 2024

500 1st Street
(District 2)

**For: Deviation to originally approved
COA 4/3/23**

Applicant:
Thomas Wilkinson

Permit # 6590



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 501 1st Street

Renovation: _____
New Construction: ✓ Demolition: _____

Age of Structure: 7 years

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other P

Building Style:

Greek Revival _____
Italianate P
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof _____	Soffit _____
Fascia _____	Siding _____
Masonry _____	Porches _____
Balconies _____	Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *ju* Date: 12-15-23

Applicant's Name: THOMAS G. WILKINSON

Applicant's Address: 500 1st St.

Phone No: (504) 364-1892 Cell No: (504) 439-6088

For Office Use Only:

Application date: Dec. 14 2023

Substantive Change: Yes ☐ No ☒ Inventory Number: n/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829

P. O. Box 404 Gretna, LA 70054-0404

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Belinda Cambre Constant

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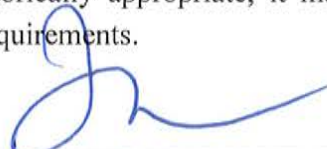
Information Technology

Michael Wesley

I, Thomas G. Wilkinson the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 1-2-24 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.


Signature of Applicant

Thomas G. WILKINSON
NAME OF APPLICANT (PLEASE PRINT)

500 1st Street
Applicant's address

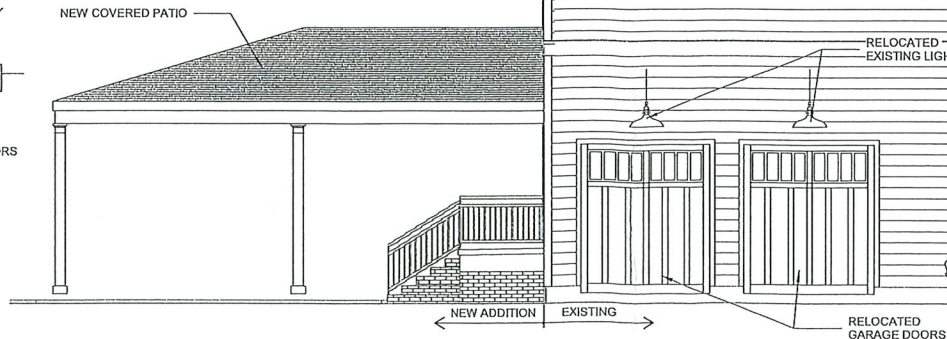
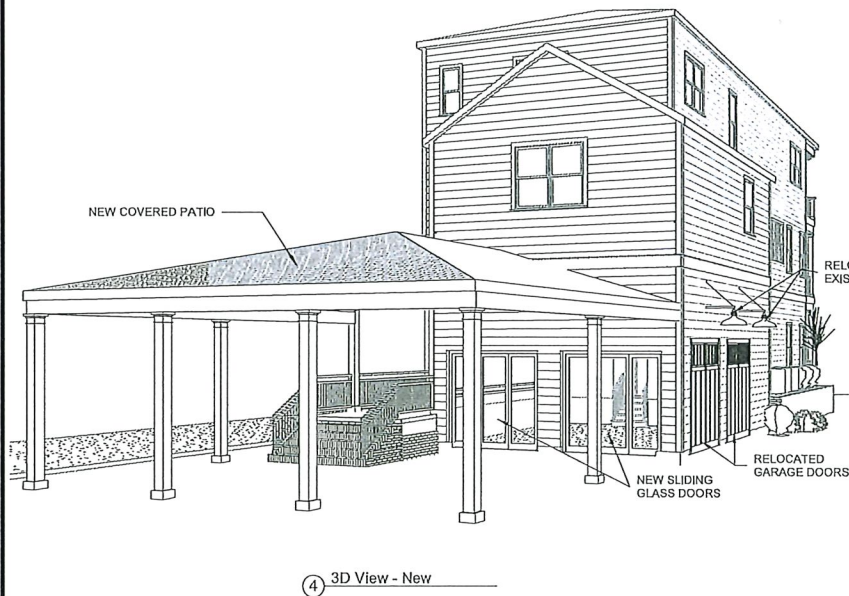
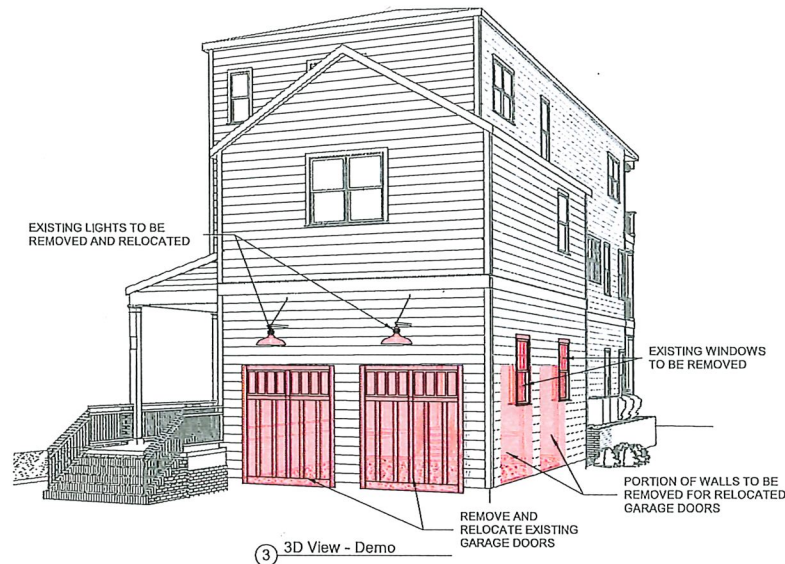
Actual address of the property for review

Date: 12-14-23











Historic District Commission

Meeting: January 2, 2024

1114 Washington Street
(District 2)

For: Renovations
Preliminary conference 10/2/23

Applicant:
Hyman Bartolo Jr.



Historic District Commission
Application for Certificate of Appropriateness
 Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
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- Demolition of a historical building
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- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

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Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1114 Washington Street

Renovation: and addition

New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage ☒ modified _____

Shotgun _____

Bungalow ☒ _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Modified Creole Cottage

Exterior materials proposed:

Roof shingles-fiberglass Soffit Hardie

Fascia hardie Siding Hardie

Masonry _____ Porches concrete & wood

Balconies 5/4 decking material Handrails metal

Type of exterior lighting fixtures: metal

Style of windows: vinyl

Type of exterior doors: fiberglass

Describe any ornamental woodwork: none

Elevations:

Front Space: 43 ft. Side Space: 84'5 1/2" ft.

Rear Space: 43 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 12/14/2023

Applicant's Name: Hyman L. Bartolo Jr.

Applicant's Address: 1100 MacArthur Ave., Harvey, LA 70058

Phone No: (504) 328-1381 Cell No: (504) 415-4622

For Office Use Only:

Application date: Dec. 14, 2023

Substantive Change: Yes ☐ No ☒

Inventory Number: 26-02295

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



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740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

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Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Hyman L. Bartolo Jr. the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 12/18/2023 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

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Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.


Signature of Applicant

Hyman L. Bartolo Jr.

NAME OF APPLICANT (PLEASE PRINT)

1100 MacArthur ave., Harvey, LA 70058

Applicant's address

1114 Washington Street, Gretna

Actual address of the property for review

Date: 12/14/2023

APPROXIMATE SQ. FT.

LIVING AREA

FIRST FLOOR	1871 S.F.
SECOND FLOOR	742 S.F.
SUBTOTAL:	2613 S.F.
PORCH	99 S.F.
SIDE PORCH	106 S.F.
PATIO	398 S.F.
BALCONY	327 S.F.
GROSS:	3543 S.F.



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

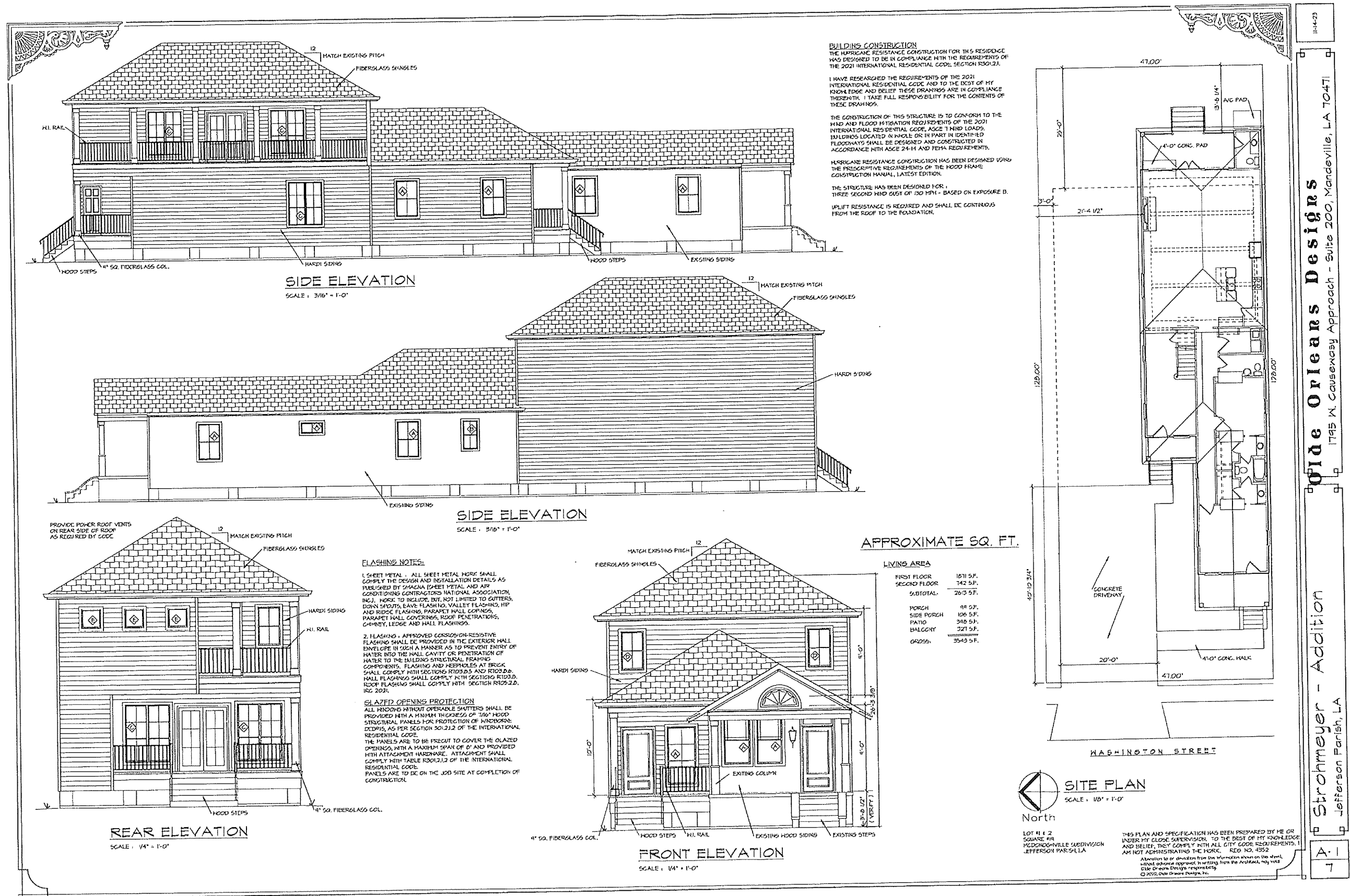


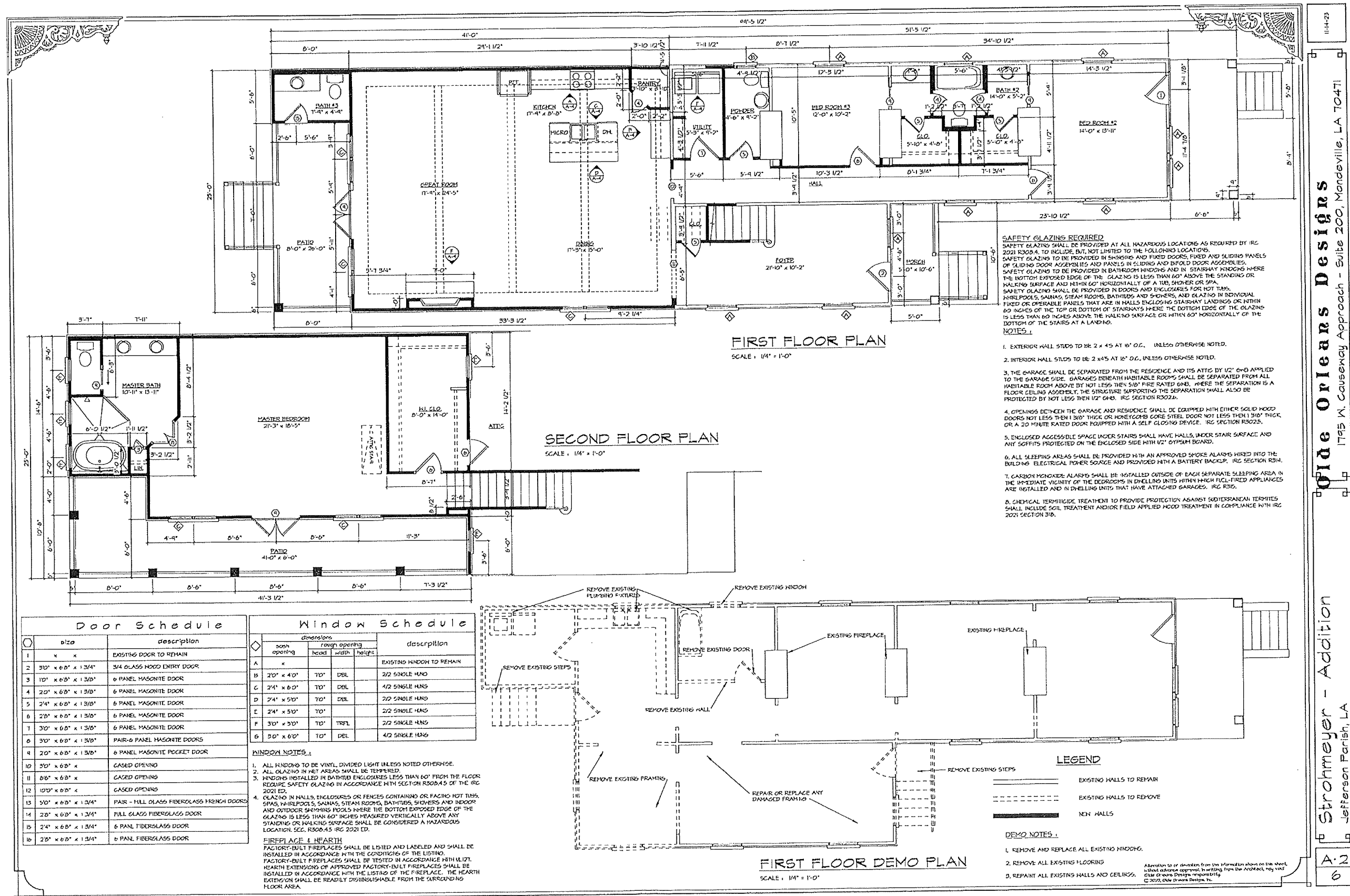
12-13-2023

Alteration to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Olde Orleans Designs responsibility.
© 2023, Olde Orleans Designs, LLC

Strohmeier - Addition
1795 W. Causeway Approach, Mandeville, LA 70471
Jefferson Parish, LA

A. 1













Historic District Commission

Meeting: January 2, 2024

701 Franklin Street

(District 1)

**For: Residential renovations
Preliminary conference 10/30/23**

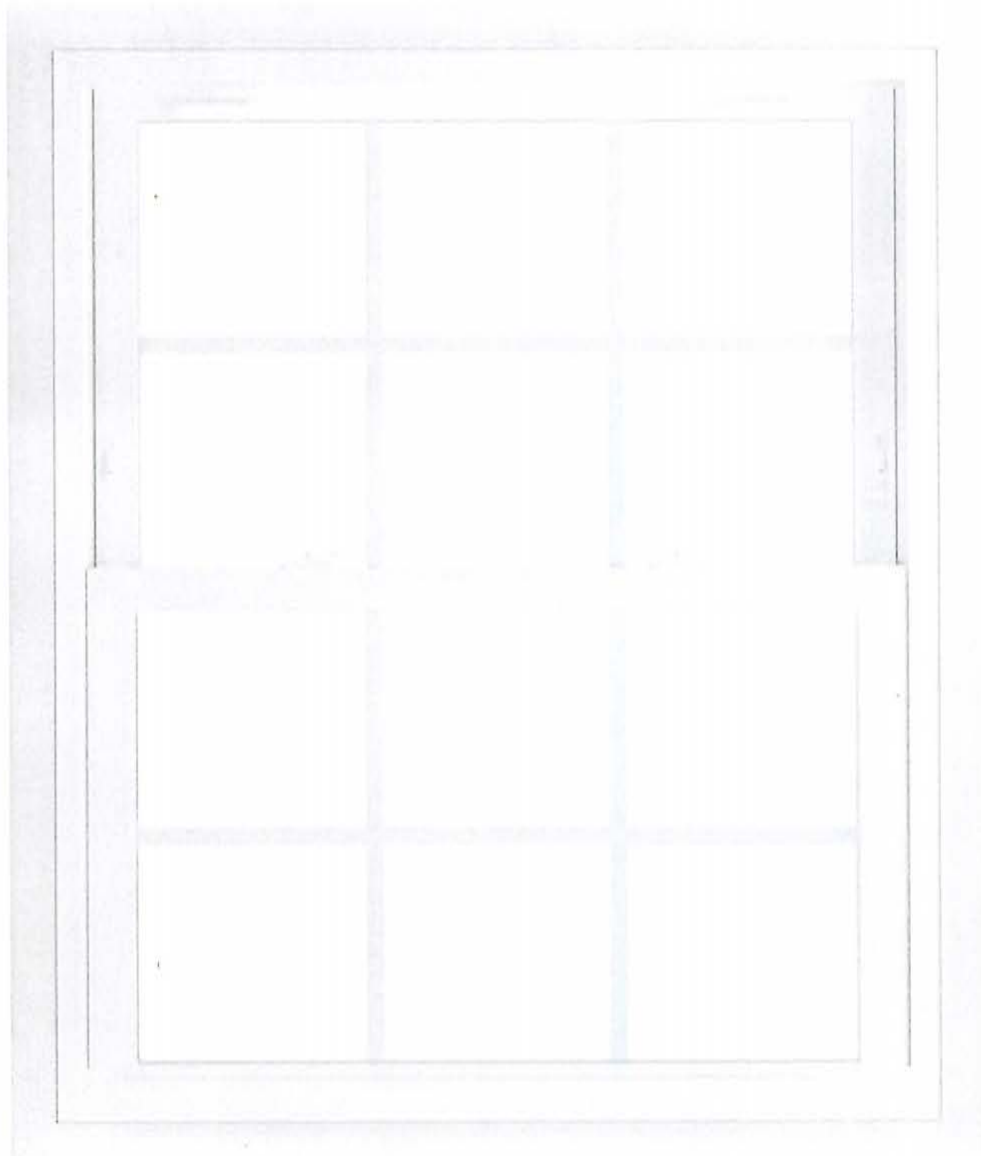
**Applicant:
Jimmy Cao**

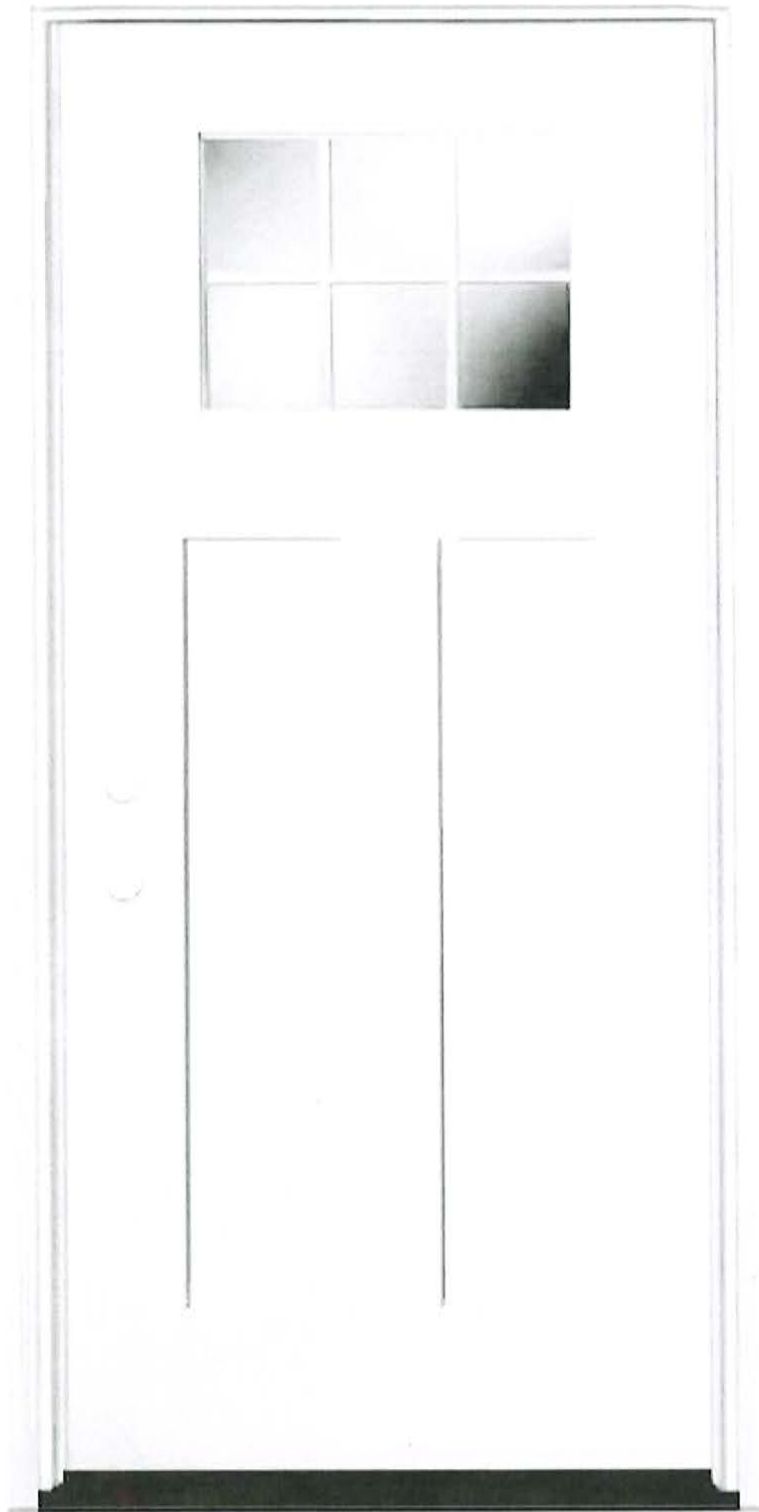


American Craftsman

**33.75 in. x 40.75 in. 70 Series Low-E
Argon Glass Double Hung White Vinyl
Fin with J Window with Grids, Screen
Incl**

★★★★★ (226) ✓





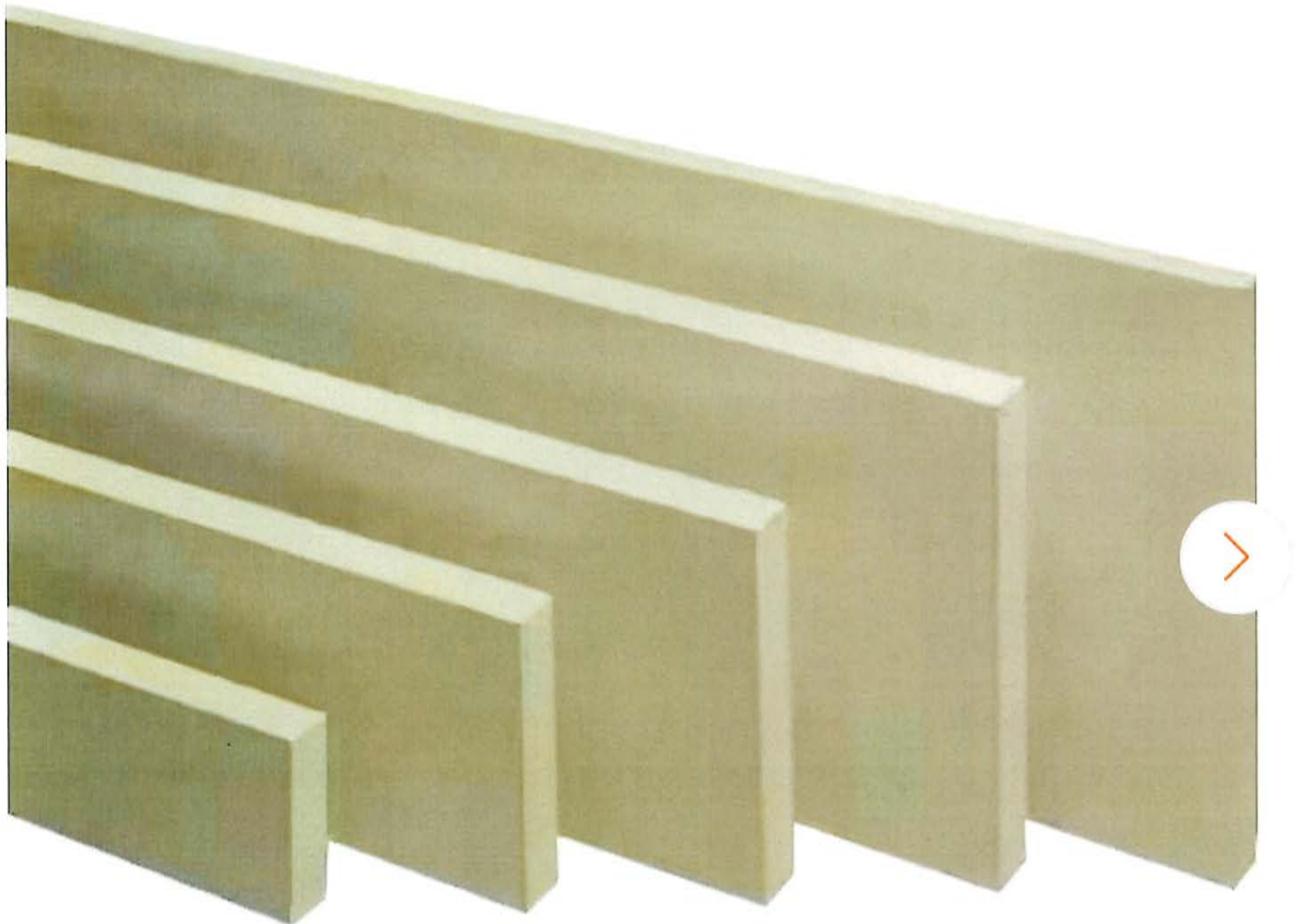




James Hardie

Hardie Trim HZ10 3/4 in. x 3.5 in. x 144 in. Primed Fiber Cement Smooth Trim Board

★★★★★ (52) ✓





[Home](#) / [Building Materials](#) / [Siding](#) / [Siding Trim](#)

LP SmartSide

SmartSide 440 Series Cedar Texture Trim Engineered Treated Wood Siding, Application As 4 in. x 8 ft.

★★★★★ (158) ▼



Weatherables

Riviera 3 ft. H x 4 ft. W White Vinyl Railing Kit

★★★★★ (110) ✓



Home / Railing / Railing Systems / Vinyl Railing
/ Durables Harrington Vinyl Railing
/ Durables Harrington Vinyl Stair Rail Kit

The Harrington Vinyl Stair Railing Kit by Durables

★★★★★ 23 Reviews

11 Questions \ 11 Answers







REPAIR / RENOVATION/ ADDITION CONVERT DUPLEX INTO S/F RESIDENCE 701 FRANKLIN ST., GRETNA, LA70053

LOUIS KONG ARCHITECTURE, LLC
 5726 ST. CHARLES AVE.
 NEW ORLEANS, LA 70115
 (504) 912-8403 louis499@gmail.com

GENERAL NOTES / SPECIFICATIONS:

1. ALL WORKS AND MATERIALS SHALL COMPLY WITH RESIDENTIAL INTERNATIONAL CODE, 2021 ,
2. DESIGN CRITERIA ASCE-7, DESIGN WIND LOAD: 140 MPH , ROOF LOAD: 20 PSF AND OTHER CITY OF GRETNA ZONING / BUILDING CODES / REGULATIONS

WORK SCOPE:

GENERAL REPAIR , RENOVATION , ADDITION, CONVERT EXIST. DUPLEX INTO S/F RESIDENCE
 INCLUDE / PLUMBING/ ELECTRICAL/ AC'S AND PER PLAN.

WIND BORNE / DEBRIS PROTECTION:

ALL "GLASS OPENINGS" SHALL BE PROVIDED WITH PRECUT MINIMUM 5/8" (FIVE/EIGHTH INCH) THICK O.S.B. (OR APPROVED EQUAL) WITH INSTALLATION CLIPS OR SCREWS.

HURRICANE RESISTANT NOTES:

ALL WORK SHALL MEET APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE 2021.

THE DESIGN CRITERIA USED IS PER ASCE-7.

THE WIND SPEED DESIGN IS 140 MPH.

PROVIDE "RAFTER COLLARS" AT EVERY RAFTER.

PROVIDE 5/8"DIA X 9" ANCHOR BOLTS WITH 31/2" X 31/2" WASHERS @ 30" O.C.

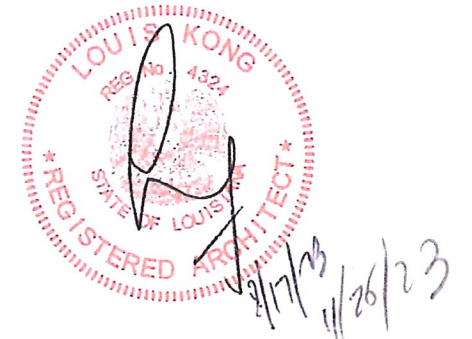
PROVIDE NOMINAL SIZE 1/2" (ONE/HALF INCH) O.S.B. (PLYWOOD) SHEATHING ON ENTIRE HOUSE FRAMING FOR CONTINUOUS LOAD PATH CONNECTIONS.

PROVIDE "BRACING" FOR ALL ROOF PURLINS.

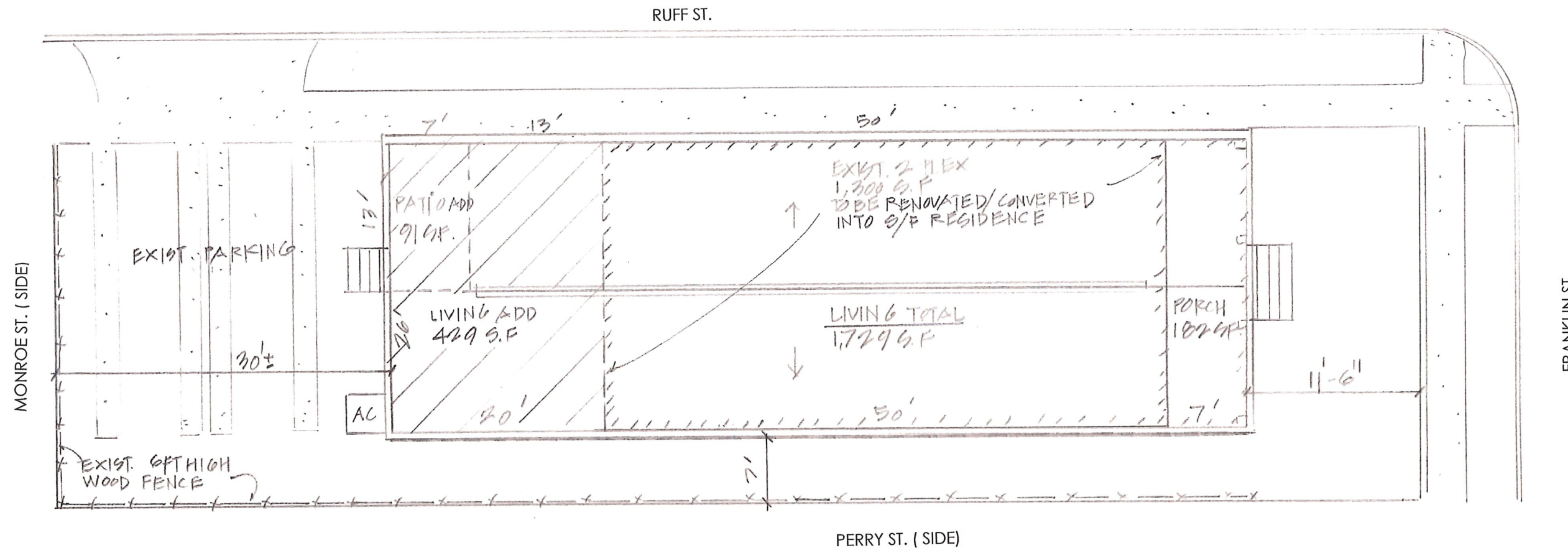
PROVIDE "SIMPSON H15" DOUBLE WRAPS STRAP: RAFTER TO STUD THRU TOP PLATES.

PROVIDE "SIMPSON HPAHD" TO HOLD DOWN ANCHORS AT THE ENDS OF ALL SHEAR PANELS/WALLS.

ALL "ROOF SHEATHING" SHALL BE MINIMUM 5/8" (ONE HALF INCH) THICK O.S.B. (PLYWOOD) ANCHORED WITH 8 (EIGHT) PENNY COMMON NAIL 6" (SIX INCH) ON CENTER SPACING.



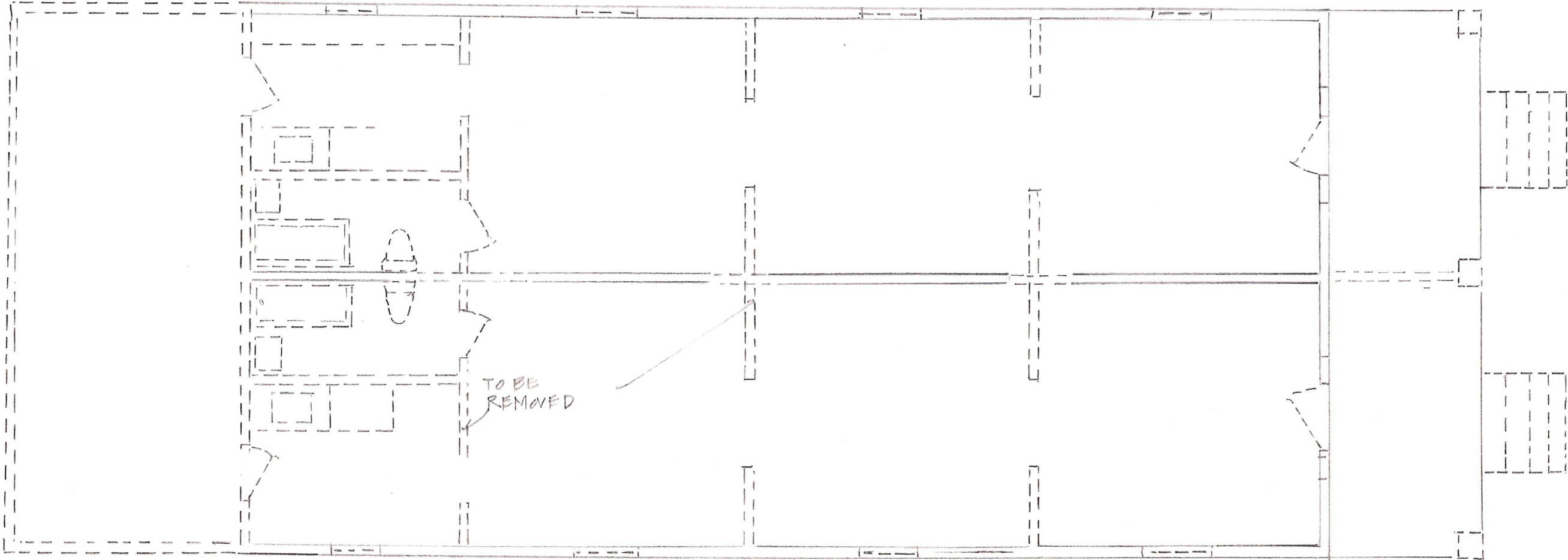
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED
 BY OR UNDER OUR CLOSE PERSONAL SUPERVISION
 AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF
 THESE PLANS ARE IN COMPLIANCE WITH ALL CITY/
 PARISH REQUIREMENTS
 WE ARE NOT OBSERVING THE WORK



SITE PLAN
 3/32"=1'-0"

AUGUST
 1 OF 9

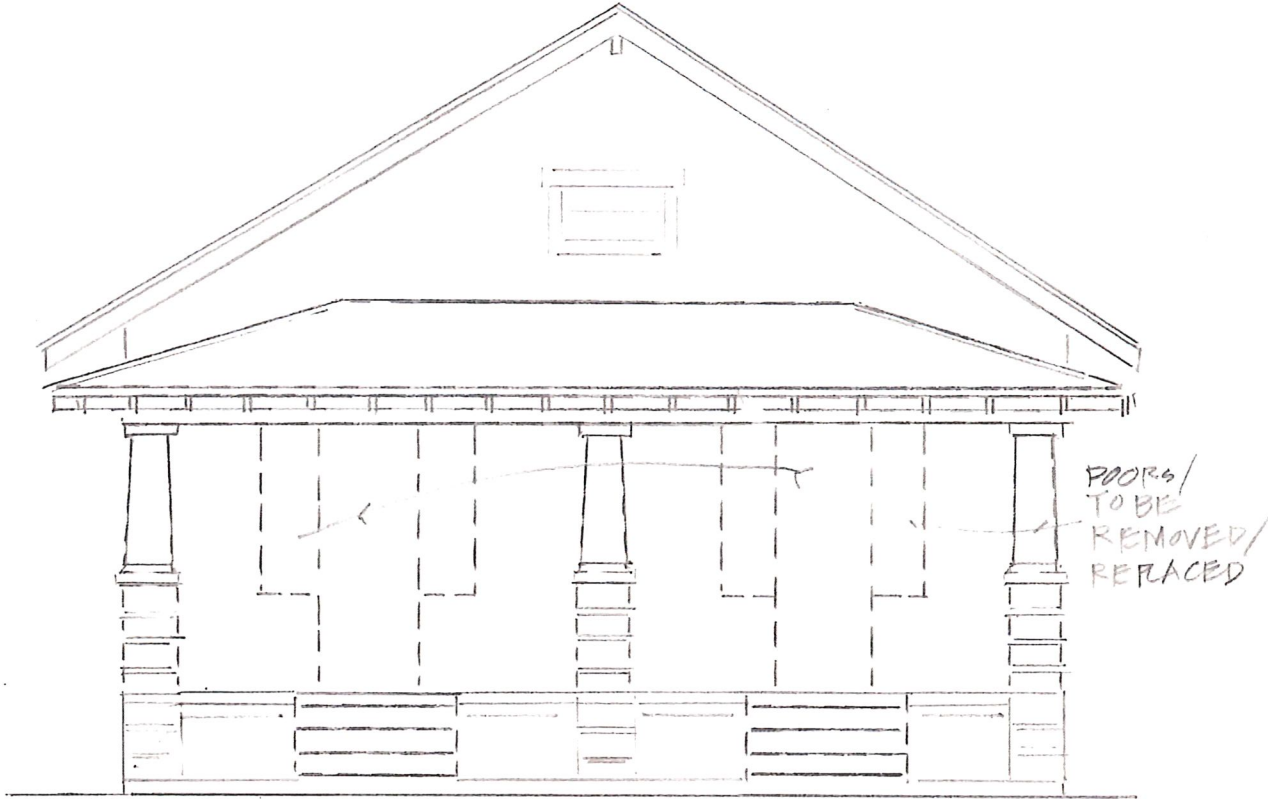
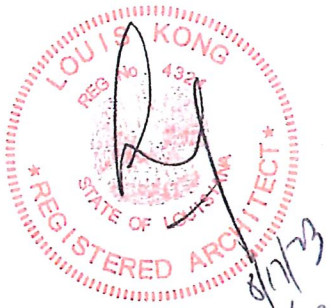
REPAIR / RENOVATION/ ADDITION
 CONVERT DUPLEX INTO S/F RESIDENCE
 701 FRANKLIN ST., GRETNA, LA70053



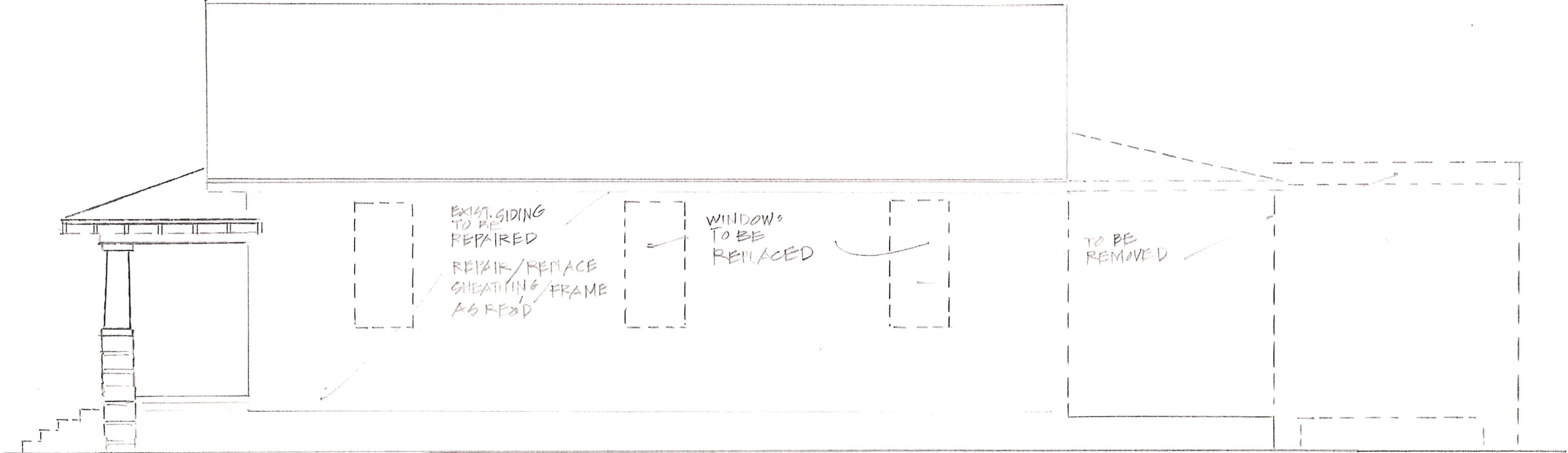
EXIST. / DEMO FLOOR PLAN
 3/16"=1'-0"



REPAIR / RENOVATION/ ADDITION
 CONVERT DUPLEX INTO S/F RESIDENCE
 701 FRANKLIN ST., GRETNA, LA70053

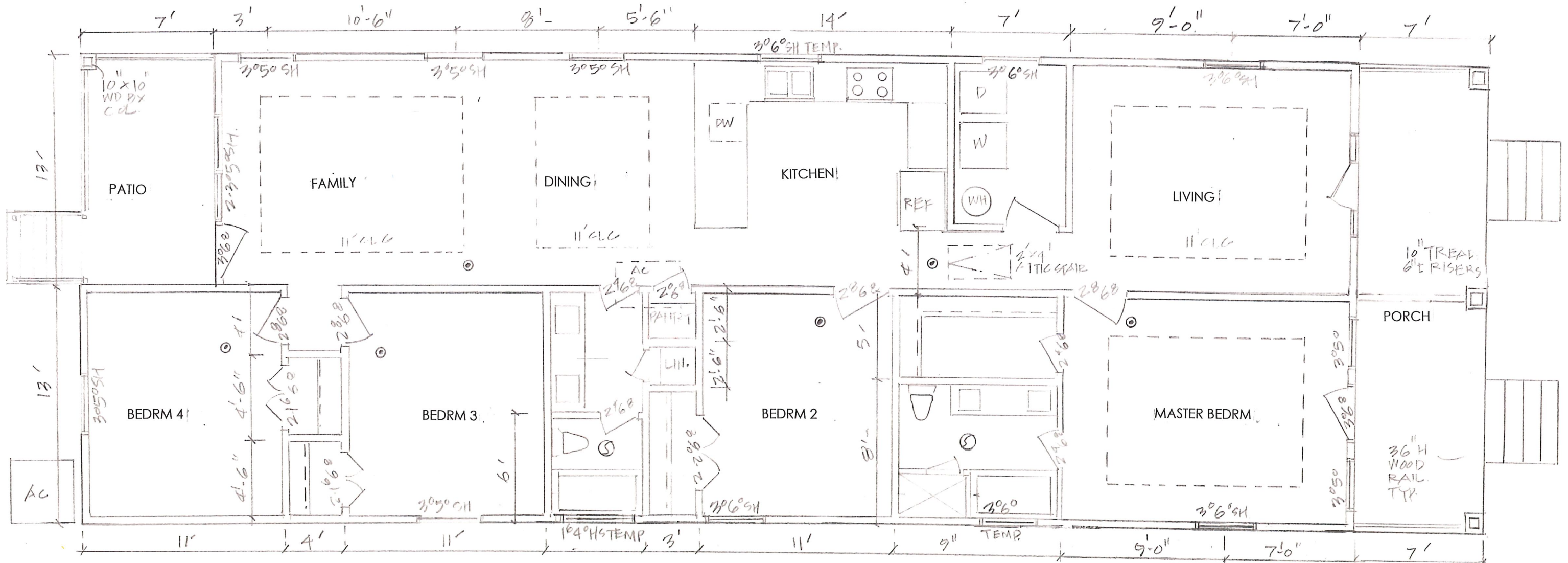


EXIST. / DEMO FRONT ELEVATION
 3/16"=1'-0"



EXIST./ DEMO RIGHT ELEVATION
 3/16"=1'-0"

REPAIR / RENOVATION/ ADDITION
 CONVERT DUPLEX INTO S/F RESIDENCE
 701 FRANKLIN ST., GRETNA, LA70053



NEW FLOOR PLAN
 3/16"=1'-0"

- ⊗ EXHAUST FAN TO OUTSIDE 5 AIR CHANGES/HR.
- ⊙ SD/CARBON MONOXIDE DETECTOR - 110V W/ BATTERY

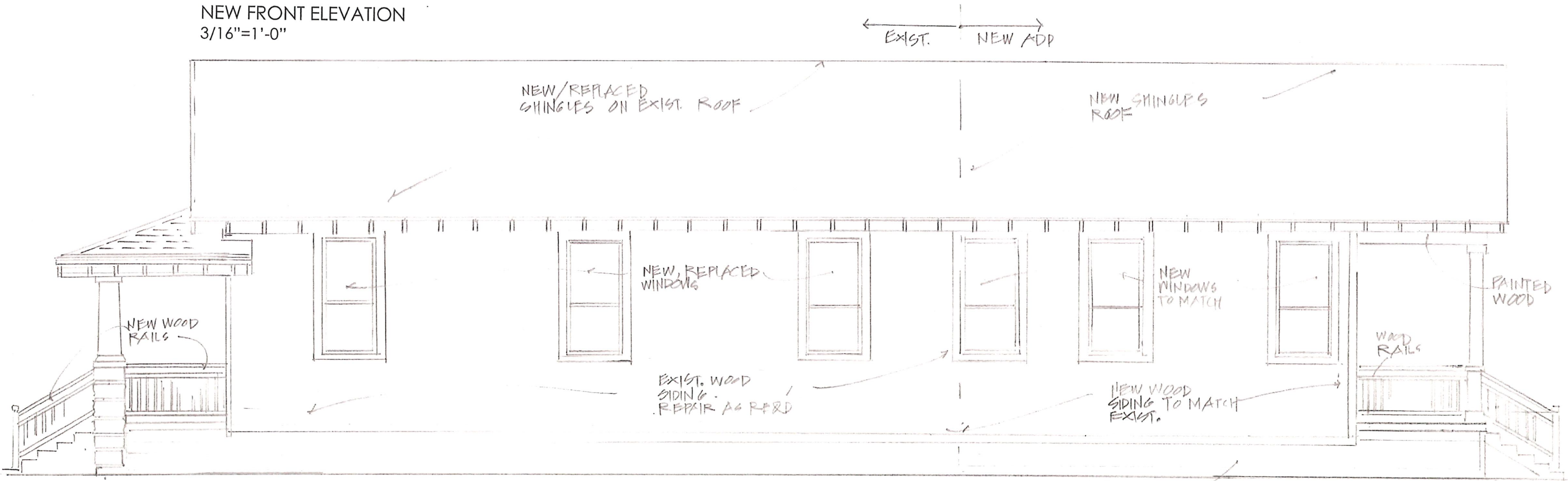
REPAIR / RENOVATION/ ADDITION
 CONVERT DUPLEX INTO S/F RESIDENCE
 701 FRANKLIN ST., GRETN, LA70053



8/17/23
4/26/23



NEW FRONT ELEVATION
 3/16"=1'-0"



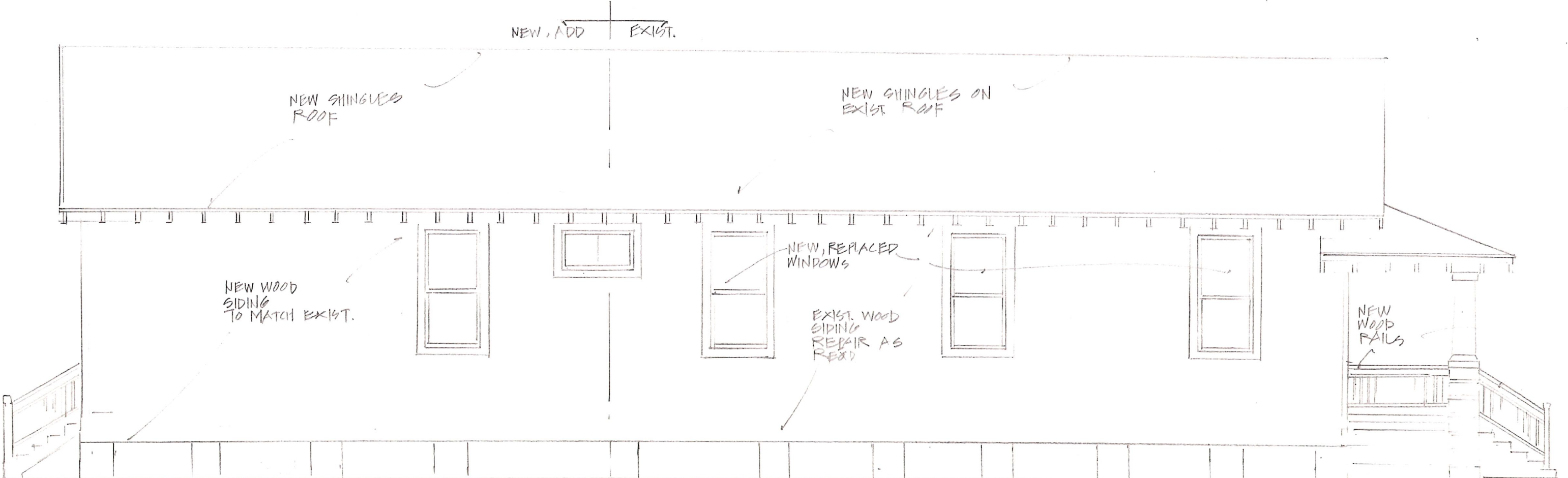
NEW RIGHT ELEVATION
 3/16"=1'-0"

SPILT FACE CMU
 TO MATCH EXIST.

REPAIR / RENOVATION/ ADDITION
 CONVERT DUPLEX INTO S/F RESIDENCE
 701 FRANKLIN ST., GRETNA, LA70053



NEW REAR ELEVATION
 3/16"=1'-0"



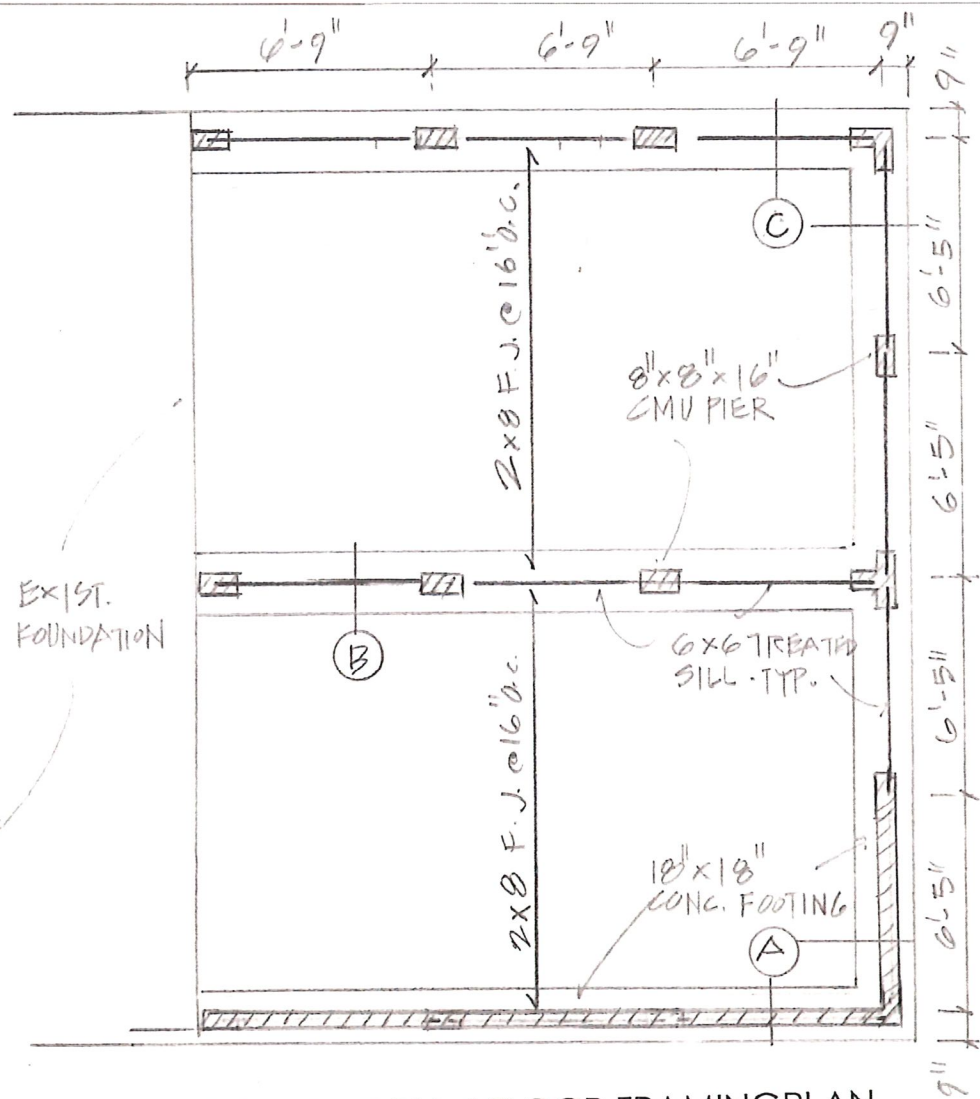
NEW LEFT ELEVATION

REPAIR / RENOVATION/ ADDITION
 CONVERT DUPLEX INTO S/F RESIDENCE
 701 FRANKLIN ST., GRETNA, LA70053

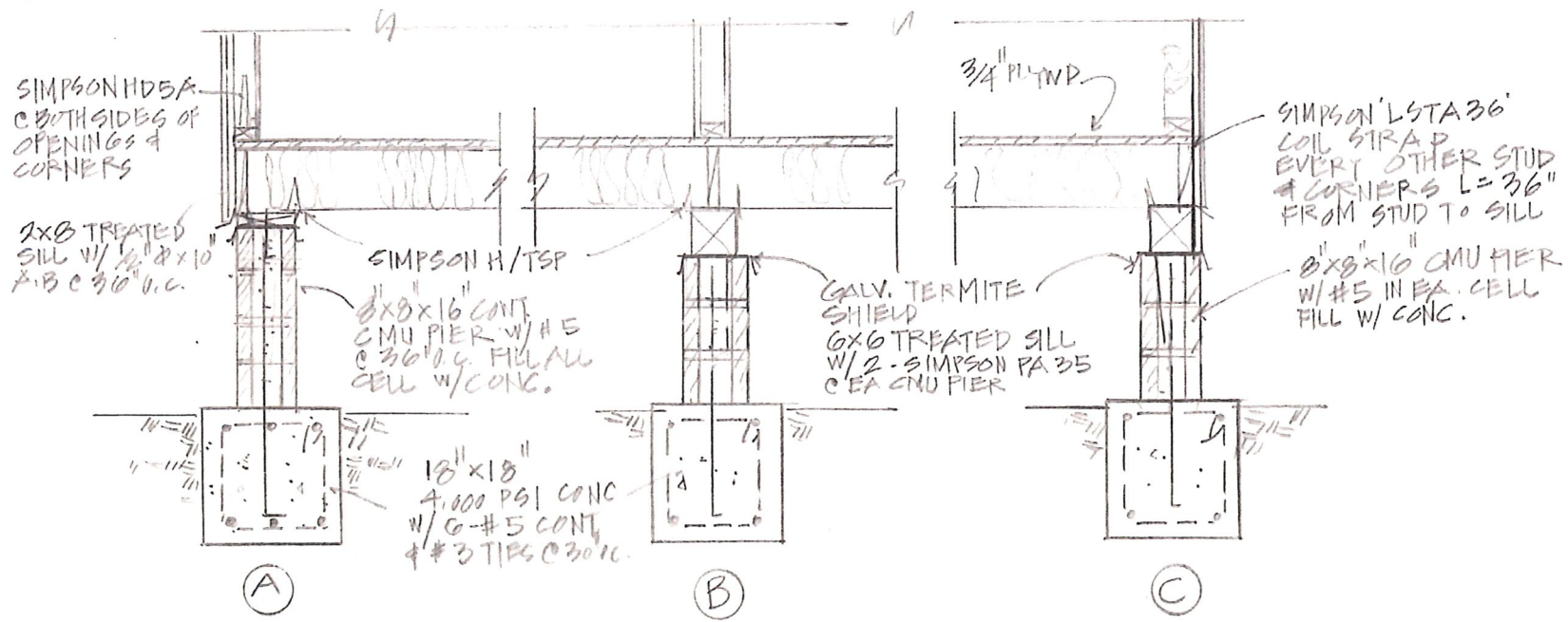


FOUNDATION/ CONCRETE NOTES:

1. BAR REINFORCEMENT SHALL COMPLY WITH ASTM A615.
2. ALL CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION AND CURED FOR A MINIMUM PERIOD OF SEVEN (7) DAYS AFTER PLACEMENT.
3. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE 3" UNLESS NOTED OTHERWISE.
4. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A185.
5. BAR SPLICES SHALL LAP A SUFFICIENT LENGTH TO DEVELOP THE FULL STRENGTH OF THE BARS, BUT IN NO EVENT SHALL THE LAP BE LESS THAN 40 TIMES THE BAR DIAMETER OR 12" WHICHEVER IS GREATER.
6. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 WITH NUTS AND WASHERS.
7. PRE-LOADING OF THE SITE WILL BE REQUIRED IF THE FILL DEPTH EXCEEDS TWO (2) FEET.
8. ALL WIRE MESH SHALL BE LAPPED AND TIED A MINIMUM OF 1 1/2 SPACES ON ALL SIDES AND SUPPORTED IN THE CENTER OF THE SLAB BY USING CONCRETE BRICKETTS BEFORE CONCRETE IS POURED.
9. BRICKBATTS OR OTHER POROUS MATERIALS ARE NOT ALLOWED TO SUPPORT MESH
10. SOME SETTLEMENT SHOULD BE EXPECTED FOR NON-PILE SUPPORTED SLABS, WALKS, DRIVES AND PARKING AREAS.
11. FLOOR SLAB SHALL BE POURED ON 6 MIL VISQUEEN MEMBRANE OVER COMPACTED FILL
12. ALL REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60, AND LAPPED 36 DIAMETERS.
13. CORNER BARS SHALL BE PROVIDED FOR ALL EXTERIOR REINFORCING BARS (TOP TO BOTTOM) AT BUILDING CORNERS.
14. CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM OF 5.2 SACKS OF CEMENT PER CUBIC YARD AND A MAXIMUM OF 30 GALLONS OF FREE AND ADDED WATER PER CUBIC YAR



FOUNDATION / FLOOR FRAMING PLAN
 3/16"=1'-0"



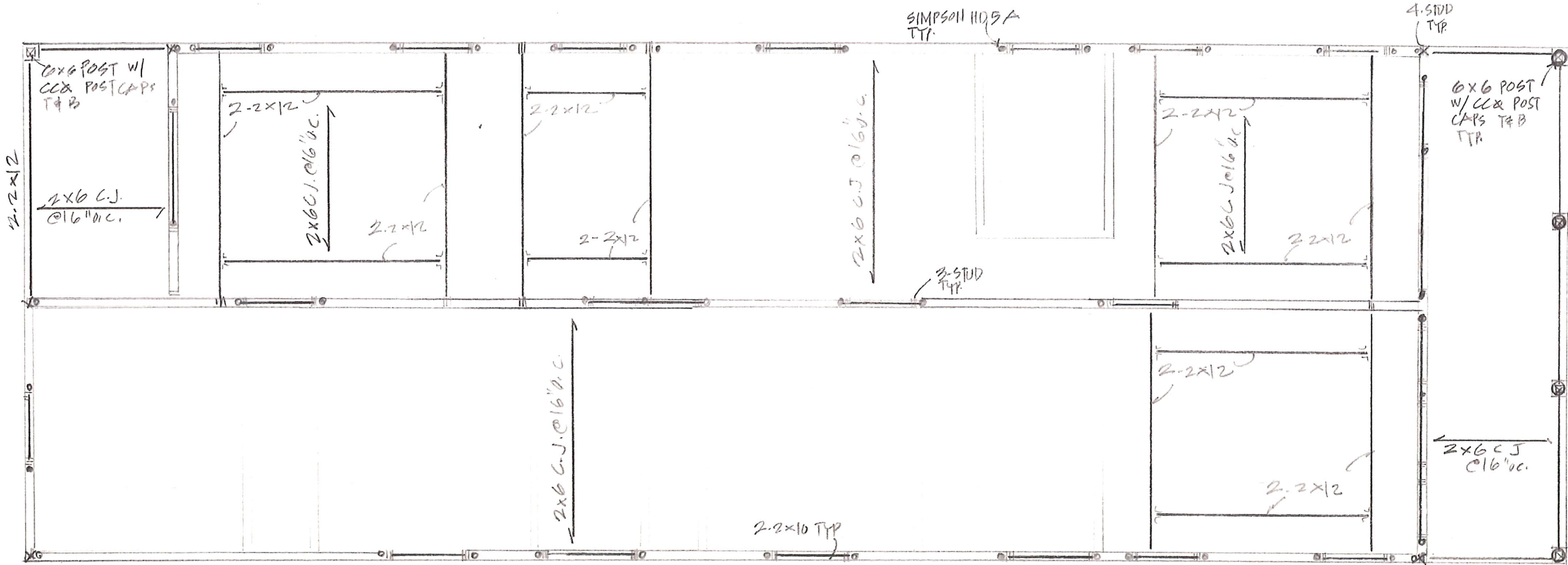
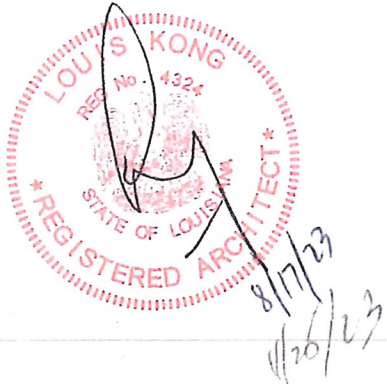
FOUNDATION SECTION DETAILS
 1/2"=1'-0"

FRAMING NOTES:

1. ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS BELOW. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE IRC 2009 BUILDING CODE (APPLICABLE EDITION). ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED WITH A WATER BOURN PRESERVATIVE.
2. ALL FRAMING LUMBER SHALL BE SOUTHER YELLOW PINE NO. 2 EQUAL GRADE WITH A MAXIMUM MOISTURE CONTENT OF 15%.
3. LOCATE FOUR (4) STUDS AT BEAM BEARING POINTS BELOW DOUBLE TOP PLATE. NAIL EACH STUD TO ADJACENT STUD IN THE POST WITH 16D NAILS AT 12" O. C. AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING TOP AND BOTTOM.
4. USE 2 X 6 STUDS AT ALL PLUMBING WALLS.
5. PLYWOOD ROOFING – APA RATED 24/0, 5/8" THICK NAILED WITH 8D NAILS SPACED AT 6" O.C. AT PANEL EDGES AD 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLYCLIPS AT UNSUPPORTED EDGES BETWEEN ROOF JOISTS.
6. WIND BRACING – PROVIDE APA RATED 4X8X1/2" PLYWOOD ON ALL EXTERIOR WALL CORNERS AND A MAXIMUM OF TWENTY (20) FEET ON CENTER ALONG EXTERIOR WALLS FROM SLAB TO UNDERSIDE OF RAFTERS. NAIL PLYWOOD EDGES WITH 8D NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES.

7. BORED HOLES – PROVIDE CLEAR FROM TOP OR BOTTOM EDGE OF JOIST, NOT LARGER THAN 1 1/4" IN DIAMETER AND NOT IN THE MIDDLE OF THE SPAN.
8. COORDINATE FRAMING WITH HVAC, ELECTRICAL AND PLUMBING REQUIREMENTS.
9. THE VERTICAL CUT FOR NOTCHES OR BLOCKING AT ENDS OF HORIZONTAL FRAMING MEMBERS SHALL NOT BE GREATER THAN 25% OF THE MEMBER DEPTH. IN ADDITION, STEEL SADDLE IS REQUIRED AT ALL BUTT JOINTS OF FRAMING MEMBERS
10. BLOCK ALL STUDS WHERE RQUIRED FOR SHEETING OR FIXTURES.
11. ALL RAFTERS SHALL BE NOTCHED TO PROVIDE FULL BEARING AT SUPPORTS.
12. PROVIDE DOUBLE FRAMING AT ALL ROOF PENETRATIONS.
13. JOIST HANGERS SHALL BE AS MANUFACTURER'S SPECIFICATIONS. USE HAGERS FOR BEAMS AND JOIST WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE THE SAME SIZE AS MEMBERS BEING SUPPORTED.
14. STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1/12" WIDE X 24 GAUGE GALVANIZED STRAPS 18" LONG BOTH SIDES OF WALL.
15. PROVIDE AT LEAST ONE ROW OF HORIZONTAL BLOCKING IN ALL BEARING STUD WALLS UNDER 8' AND 2 ROWS IN STUD WALLS OVER 8'. PROVIDE 1 ROW OF HORIZONTAL BLOCKING IN NON-BEARING WALLS OVER 8'.
16. PROVIDE AT LEAST ONE ROW OF BRIDGING OR BLOCKING AT ALL JOISTS SPANNING OVER 8'. PROVIDE A LEAST 2 ROWS OF BRIDGING OR BLOCKING FOR JOISTS SPANNING OVER 14'.
17. THE VERTICAL CUT FOR NOTCHES OR BLOCKING AT ENDS OF HORIZONTAL FRAMING MEMBERS SHALL NOT BE GREATER THAN 25% OF THE MEMBER DEPTH. IN ADDITION, STEEL SADDLE IS REQUIRED AT ALL BUTT JOINTS OF FRAMING MEMBERS.
18. USE 2 X 6 STUDS AT ALL PLUMBING WALLS.

REPAIR / RENOVATION/ ADDITION
CONVERT DUPLEX INTO S/F RESIDENCE
701 FRANKLIN ST., GRETN, LA70053

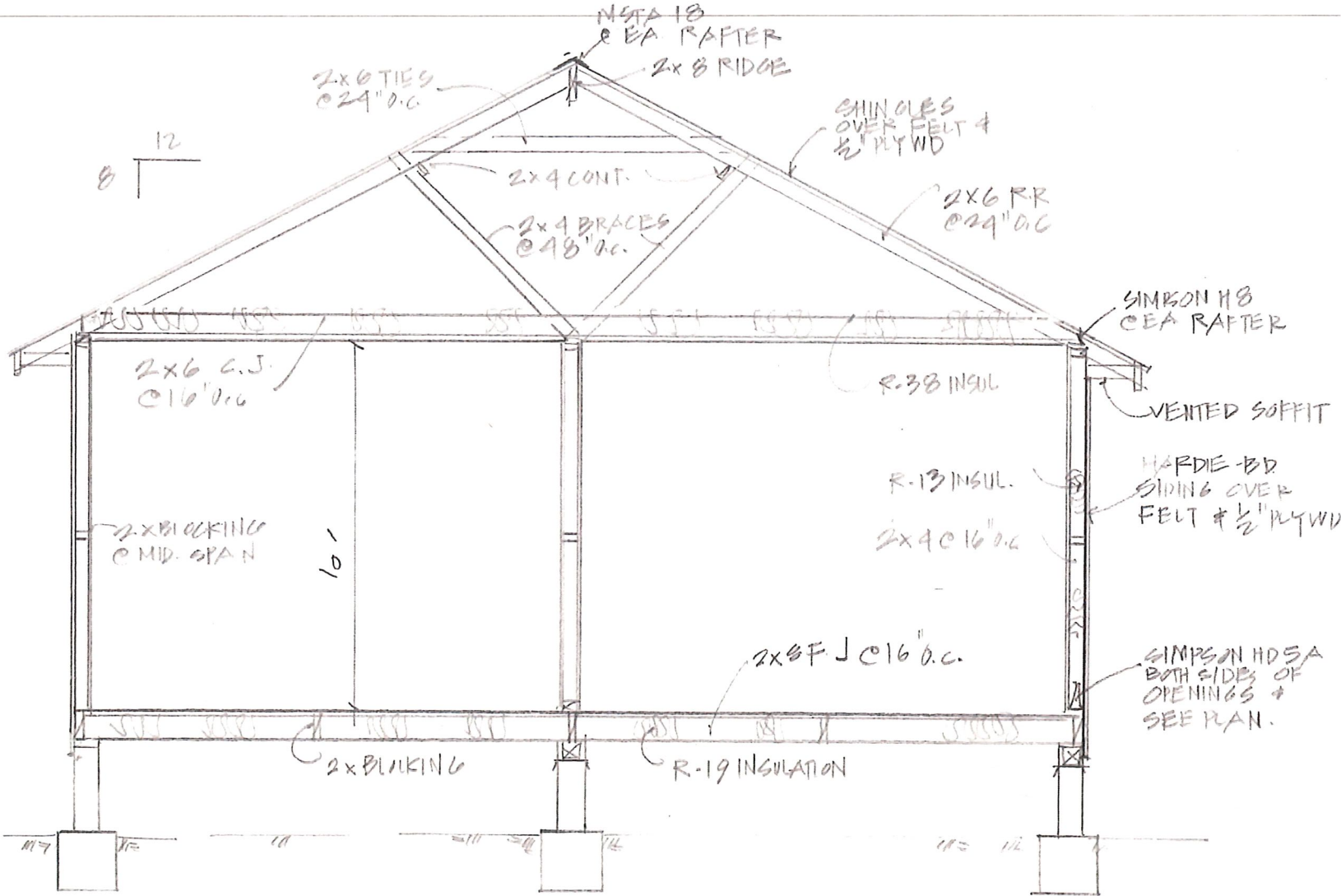


CEILING FRAMING PLAN
3/16"=1'-0"

REPAIR / RENOVATION/ ADDITION
 CONVERT DUPLEX INTO S/F RESIDENCE
 701 FRANKLIN ST., GRETNA, LA70053



8/17/23
11/16/23



NEW BUILDING SECTION A-A
 1/4"=1'-0"



Historic District Commission

Meeting: January 2, 2024

1108 Derbigny Street
(District 2)

For: Demolition

Applicant:
Jon McGill Sr.

HISTORIC DISTRICT PERMIT
APPLICATION FOR DEMOLITION

Section 52-9 of the Gretna Municipal Code lists the guidelines to be applied in evaluating applications for demolition of a building or landmark within the historic district. In considering the application for the demolition of a building or a landmark in the historic district the following shall be considered:

- a. The historic or architectural significance of the building.
- b. The importance of the building to the historic character of the district.
- c. The special character and aesthetic interest that the building adds to the district.
- d. The difficulty or impossibility of reproducing such a building because of the design, texture, material or detail.
- e. The future use of the site. Cost considerations in restoration. Whenever a property owner shows that a building classified as historic is incapable of earning any economic return on its value, as appraised by a qualified real estate appraiser, or if new construction can be demonstrated by a property owner to be the highest and best use of the building site, such building may be demolished provided, however, that before a demolition permit is issued, notice of proposed demolition shall be given three times during a period of 30 days to afford interested persons the opportunity to acquire or to arrange for the preservation of such buildings.

Sec. 52-9(4)

The Historic District Advisory Committee (HDAC) shall review all applications for demolition and report its recommendations to the Gretna City Council. As part of its monthly meeting the City Council shall hold a public hearing on each application.

Please provide the following information:

Address of building: 1108 Derbigny Street, Gretna, LA

Name of applicant: Jon S. McGill, Sr., Attorney for Applicant Chris Cuccia

Address of applicant: 922 Dolhonde Street

Gretna, LA

Phone number: 504-453-3808

Signature:  Date: 12/1/2023

Reason for permit for demolition: Mr. Cuccia purchased this property with the intention of restoring it to its original look and feel and converting to a two-unit residential rental. Mr. Cuccia submitted his plans and request for limited demolition of the interior walls, flooring, and roof decking based on rot and termite damage. The plans submitted were crafted in a way that maintains the 1940's design. Unfortunately, the full scope of termite damage and rot was unknown, as it was hidden under sheetrock, behind walls and ceilings, and underneath the flooring. Most of the rafters suffered damage beyond repair along with the roof decking and studs. The structural integrity was undermined and unlikely salvageable based on the amount of damage. Mr. Cuccia stabilized the front wall and the roof structure in an effort to keep the façade of the home in its original condition. However, the cost to remove and replace the remainder of the damage is more than 4 times the cost of a full demolition. Further, attempting to do such a surgical demolition is significantly more dangerous and there are no guarantees that it can be done in a structurally sound manner. Based on the structure's previous and current condition, the best use of the land is to remove the structure in its entirety. With the approval of this demolition request, the new structure will be built to current code but with the aesthetics of a 1940's home, resulting in a safe and efficient 2-unit residential rental. Further, the economic return to both its owner and to the City of Gretna will be greatly increased.

Please see the attached evaluation prepared by local General Contractor, Kerry O'Connor for further information. Additionally, photos of the structure have been previously submitted or produced by Gretna Building and Code Enforcement Departments.

Age of structure: Approximately 80 years old

Future use of site: 2-Unit Residential Rental

Regarding the costs of restoration it is recommended that the applicant attach the following items: an appraisal of the structure, photographs of exterior and interior, engineering or structural reports, written repair/renovation estimates with detailed costs, termite inspection reports, and any other documents related to the costs of restoration.

FOR OFFICE USE ONLY:

CONTRIBUTING ELEMENT TO GRETNA NATIONAL REGISTER HISTORIC
DISTRICT: (YES/NO) _____
INVENTORY NUMBER: _____
ARCHITECTURAL DESCRIPTION/COMMENTS: _____

DATE OF APPLICATION: December 1, 2023

HDAC MEETING DATE: December 2023

PUBLIC HEARING AT CITY COUNCIL DATE: _____

Jon McGill
500 Lafayette St
Gretna, LA 70053

November 30, 2023

Re: 1108 Derbigny St

Dear Jon,

At Owner's request, I have visited the site in order to evaluate the existing condition of the roof structure.

Although I am not a structural engineer, it was perfectly obvious that all but a few rafters have either termite damage or water rot. (Most have at least rotted off rafter tails) The ceiling joists are in slightly better but similar poor condition. The 1x roof decking has sections that show water rot. The front wall, which was painstakingly salvaged, has termite damage or water rot on all 4x4 vertical supports. The sills under the wall were completely rotten.

In my opinion (keeping in mind this property is in the Historical District) the roof structure should be completely demolished and rebuilt using 2021 code as a guideline and the front wall rebuilt. Re-furbishing the 2 front door units is the plan. Siding to be changed to Hardi board. I am told these changes to the front wall have already been approved by the HDAC.

Bottom line is to demo the remaining structure and rebuild the roof and front stud wall would be the safest and more economical solution than piecemealing the roof structure rafter by rafter, joist by joist. Repairing the 1x roof decking then covering with plywood would be extremely labor intensive.

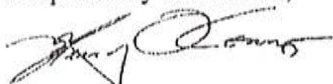
Demo and rebuild roof structure (new) \$14,000.00

Demo each rafter, joist and decking and studs individually approx. \$60,000-70,000.00
(30 day/ 4-5 man crew)

Also, this type of work is more dangerous than new construction, as you can imagine. Once Hardi board siding and front porch is restored, it can look 80 years old but meet the 2021 IRBC standards.

If you have any questions, or require any additional information, please do not hesitate to call me.

Respectfully submitted,



Kerry O'Connor General Contractor, Inc.
La. State Contr. Lic. # 82239

ROBERT B. ANDERSON
CONSULTING ENGINEERS, LLC.

SUITE 306
432 N. ANTHONY STREET
NEW ORLEANS, LOUISIANA 70119

PHONE: (504) 488-7797
(800) 476-0963
FAX: (504) 488-7846
E-MAIL: rbaeng@andersonengineers.com

December 18, 2023

Chris Cuccia
922 Dolhonde Street
New Orleans, LA 70053

cucciachris63@gmail.com

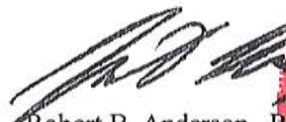
RE: 1108 Derbigny Street
Gretna, LA

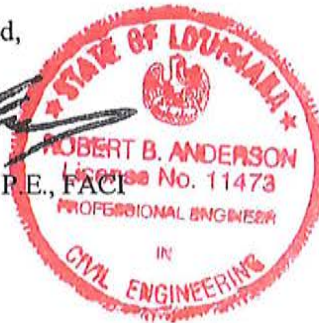
Dear Mr. Cuccia:

At your request, on December 18th, we made observations of the above residence for the purpose of evaluating its stability for preservation and have found that the current support condition of the roof is a serious concern and dangerous for construction personnel working under the structure. In addition, the existing remaining structure would be deficient in meeting code requirements.

We hope the information provided meets your needs. Should you have any further questions, please do not hesitate to contact us. We thank you for this opportunity of being of service to you.

Respectfully submitted,


Robert B. Anderson, P.E., F.A.C.E.
LA Reg. #11473



RBA:ss



Photograph #1
Front of Residence



Photograph #2
Side view of Roof and Support



Photograph #3
Lateral Stability Unsafe for Construction Personnel



Photograph #4
Collar Braces and Rafters in Poor Condition



**ROBERT B. ANDERSON
CONSULTING ENGINEERS, LLC.**

432 North Anthony Street
New Orleans, Louisiana 70119
(504) 488-7797

JOB 1108 DERBIGNY

PREPARED BY R.B.A.

CHECKED BY _____

SHEET NO. 1

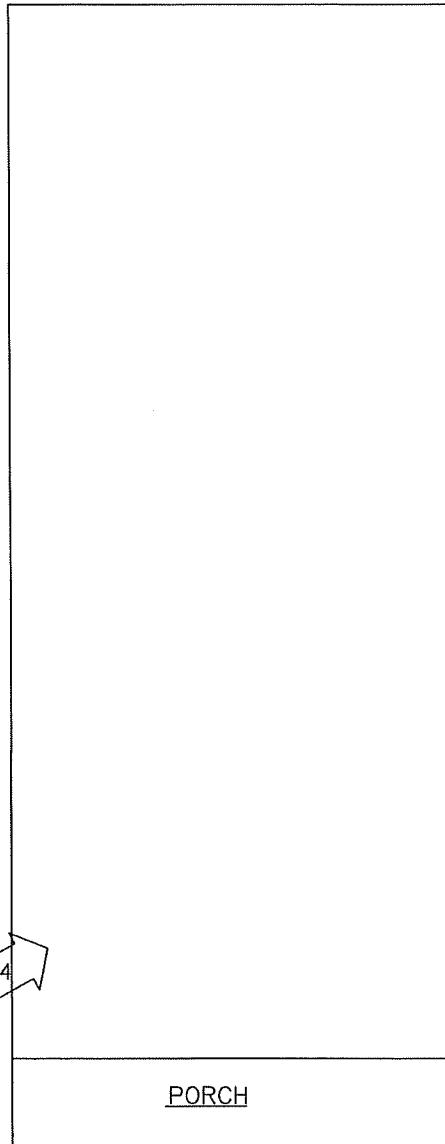
FILE 1108 DERBIGNY

OF 1

SCALE 1" = 10' (approx)

DATE 12/18/23

FOOT PRINT OF RESIDENCE



PORCH

FRONT









Historic District Commission

Meeting: January 2, 2024

416 Lavoisier Street
(District 2)

**For: Deviation from originally approved
COA 10/30/23, reference COA 20-0004**

**Applicant:
Marc Dougherty**

**CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

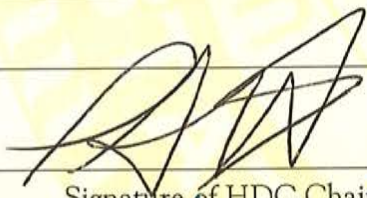
416 Lavoisier

PROPERTY ADDRESS

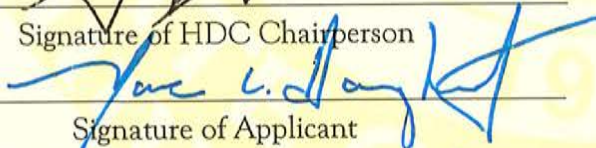
Marc Dougherty

NAME OF APPLICANT

Work Approved: Approval for Construction of
freestanding pool house to match detailing
of existing residence with setbacks as
provided. Prior COA-20-0004.
Approved as submitted.



Signature of HDC Chairperson



Signature of Applicant

10/30/2023

Date

10/31/23

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

**Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com**



COA-23-101



Historic District Commission

Meeting: February 3, 2020

416 Lavoisier Street
(District 2)

For: Pool house

5-0
Approval

Applicant:
Marc Dougherty



Permit # 3732



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, siting, floor arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character, such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 416 Lavoisier Street, Gretna LA 70053

Renovation: _____

New Construction: ✓ pool & poolhouse

Demolition: _____

Age of Structure: 1920 - renovated in 2001

Building Type:

Creole Cottage _____

Shotgun ✓ _____

Bungalow ✓ _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof architectural shingle Soffit _____

Fascia Hardi Board Siding Hardi board

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: gas & electric

Style of windows: See Drawings attach

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____

Rear Space: _____ ft.



Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: _____ Date: 1/21/20

Applicant's Name: Marc + Heather Dougherty

Applicant's Address: 416 Lavoisier St. Gretna, LA 70053

Phone No: () N/A Cell No: (504) 415-2866

For Office Use Only:

Application date: 1/23/20

Substantive Change: Yes ☐ No ☒ Inventory Number: 410

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Feb. 3, 20 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____





City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Marc Dougherty the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Feb 3, 2020 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

[Signature]
Signature of Applicant

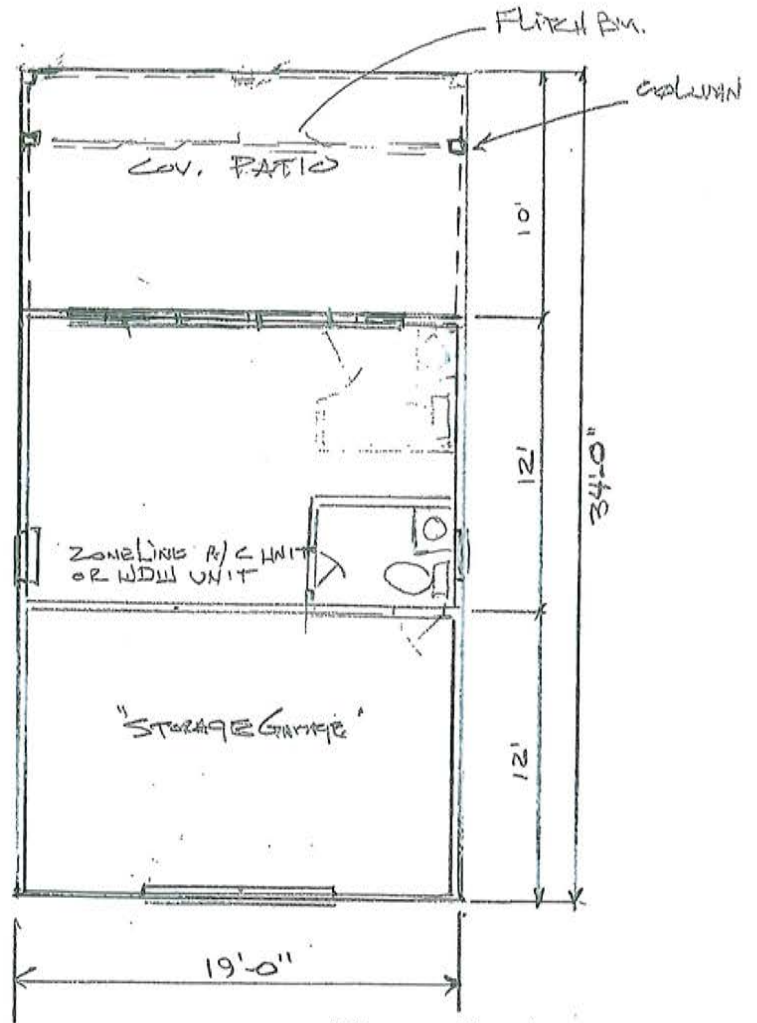
Marc Dougherty
NAME OF APPLICANT (PLEASE PRINT)

416 Lavoisier St. Gretna LA 70053
Applicant's address

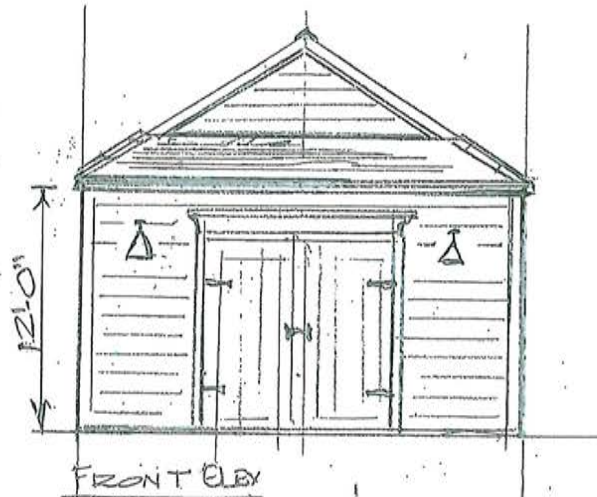
Same as above
Actual address of the property for review

Date: 1/21/20





FLOOR PLAN
1/8" = 1'-0"










PROPOSED GARAGE
416 LAYOISIER ST

REFER TO FEMA REQUIREMENTS FOR BFE FOR RAISED STRUCTURES AND
ELEVATION OF PRIMARY STRUCTURAL SUPPORTS.

14. CONTRACTION / CONTROL JOINTS SHALL BE AT A 1/4" DEPTH, MINIMUM

LEGEND

	PROPERTY LINE
	BRICK BORDERING
	EXPANSION JOINT (TREATED 1"x4")
	EXPANSION JOINT (4" MATERIAL)
	CONTROL JOINT (SCORED)
	CONCRETE (FLATWORK)
	FENCING

FEMA P-550, SECOND EDITION / DECEMBER 2009 OR LATEST EDITION.

4. THE OWNER MAY ELECT TO PROVIDE ALTERNATE PROTECTION AS LISTED:

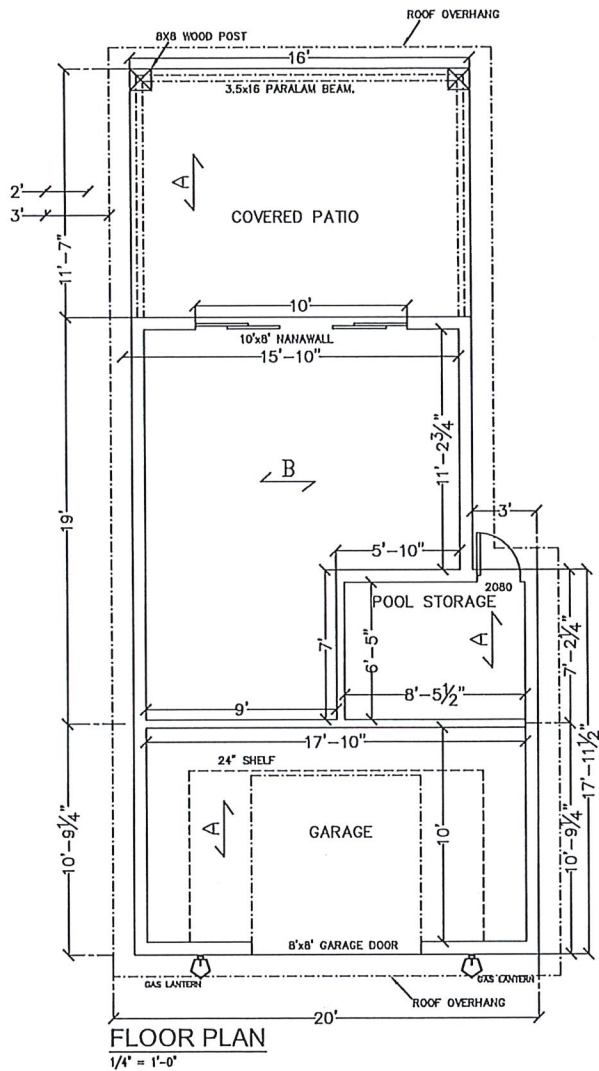
D) PRE-CUT INSTALLABLE CORRUGATED STEEL PANELS WITH MOUNTING BOLTS.

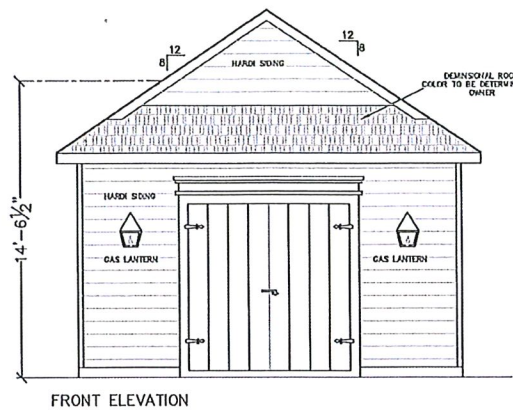
5. ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.

SHEET	DESCRIPTION
0.0	SURVEY, SITE PLAN, PROJECT IDENTIFICATION, DESIGN CRITERIA, GENERAL NOTES
S1.0	FOUNDATION PLAN FOR PROPOSED AND GARAGE, DETAILS & NOTES
A1.0	ELEVATIONS, ELECTRICAL, SECTION
R1.0	GENERAL NOTES
R1.1	GENERAL NOTES
R1.2	RESOURCE STANDARD DETAILS
R1.3	RESOURCE STANDARD DETAILS
R1.4	RESOURCE STANDARD DETAILS

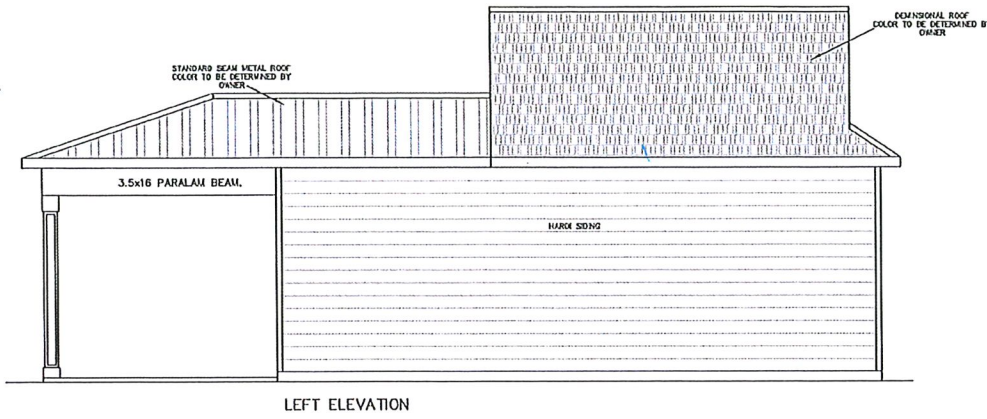
SHEET IDENTIFICATION

SHEET 1 OF 8

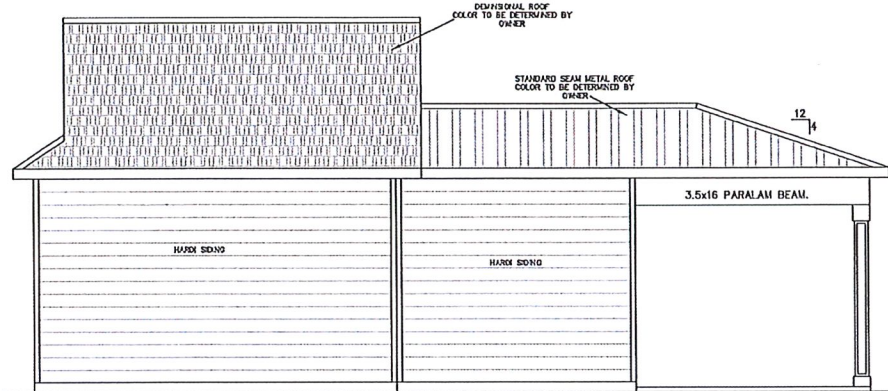




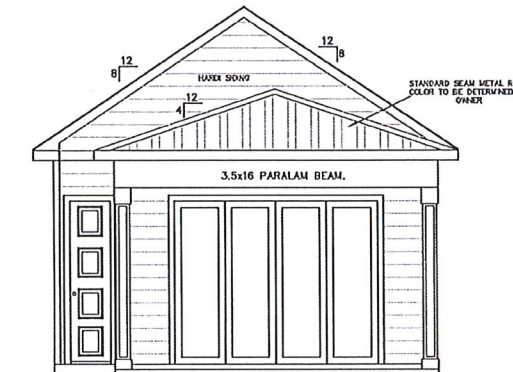
FRONT ELEVATION



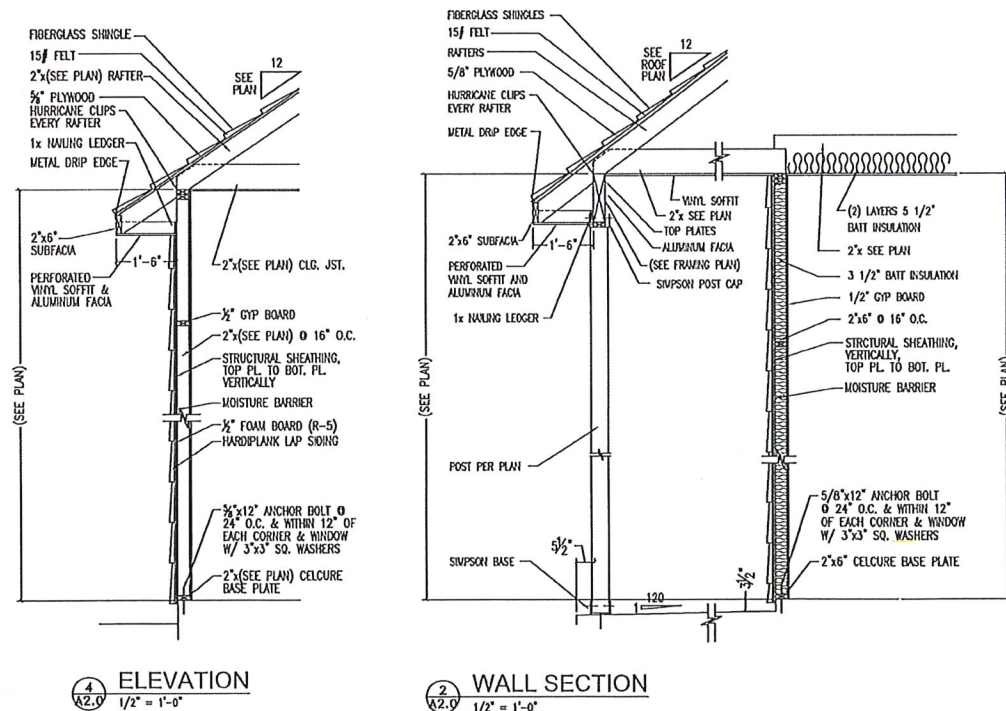
LEFT ELEVATION



RIGHT ELEVATION

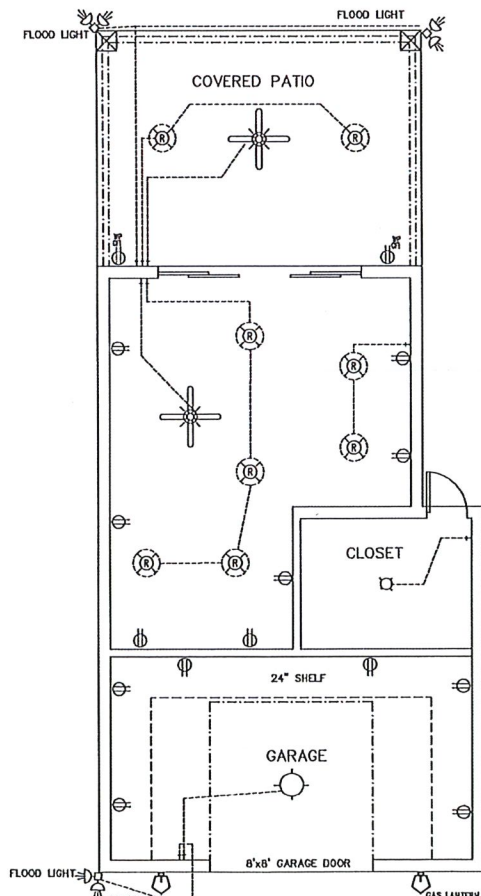


REAR ELEVATION



4 ELEVATION
1/2\"/>

2 WALL SECTION
1/2\"/>



ELECTRICAL LAYOUT

ELECTRICAL - GENERAL NOTES

- ELECTRICAL WORK SHALL COMPLY WITH THE 2015 NFPA 70, NATIONAL ELECTRICAL CODE FOR THE STATE OF LOUISIANA, THE INTERNATIONAL BUILDING CODE, AND ANY LOCAL, STATE AND FEDERAL CODES.
- PROVIDE SERVICE EQUIPMENT, PANELS, CIRCUIT BREAKERS AND FUSES WITH ADEQUATE INTERRUPTING AMP CAPACITY RATING IN ACCORDANCE WITH NFPA 70:110-9.
- SERVICE EQUIPMENT GROUNDING AND BONDING IS TO BE IN ACCORDANCE WITH NFPA 70:230-63; 250-23; AND 250-72.
- THE GROUND NEUTRAL CONDUCTOR SHALL BE RUN TO EACH SERVICE DISCONNECTING MEANS AND SHALL BE BONDED TO EACH SERVICE IN ACCORDANCE WITH NFPA 70:250-230.
- PROVIDE ELECTRICAL EQUIPMENT GROUND CONDUCTOR IN ACCORDANCE WITH NFPA 70:250-91B AND NFPA 70:250-95.
- NO CONDUCTOR SHALL BE USED IN SUCH A MANNER THAT ITS OPERATING TEMPERATURE WILL EXCEED THAT DESIGNATION FOR THE TYPE OF INSULATED CONDUCTOR INVOLVED IN ACCORDANCE WITH NFPA 70:310-10.
- INTERIOR METAL WATER PIPING SYSTEMS AND EXPOSED STRUCTURAL STEEL THAT IS LIKELY TO BECOME ENERGIZED SHALL BE BONDED TO THE SERVICE EQUIPMENT ENCLOSURE IN ACCORDANCE WITH NFPA 70:250-80.
- ALL ELECTRICAL OUTLETS LOCATED WITHIN SIX FEET OF ANY WATER HOLDING CONTAINERS MUST HAVE GROUND FAULT CIRCUIT INTERRUPT PROTECTION.
- INSTALL SYSTEM BURGLAR AND FIRE ALARM SYSTEM THROUGHOUT THE ENTIRE RESIDENCE, INCLUDING THE GARAGE. LOCATE DETECTORS AS SHOWN ON THE PLANS. COORDINATE LOCATION OF THE CONTROL PANELS WITH THE OWNER.
- ANY CEILING OUTLET BOX INSTALLED FOR USE AS A LIGHTING FIXTURE OUTLET IN A HABITABLE ROOM OR KITCHEN AND LOCATED WHERE A CEILING FAN COULD BE INSTALLED SHALL BE A TYPE LISTED FOR CEILING FAN SUPPORT. THE WALL SWITCH TO THE LIGHTING FIXTURE SHALL BE INSTALLED.
- THE LISTED ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) DEVICES INSTALL PER NEC 210.12 SHALL BE OF THE COMBINATION TYPE. ALL AFCI'S SHALL BE OF THE BREAKER STYLE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE AS-BUILT DRAWING OF THE INSTALLED ELECTRICAL DISTRIBUTION.
- ALL CABLES SHALL BE INSTALLED PER MANUFACTURE'S INSTRUCTIONS.
- CONTRACTOR/BUILDER SHALL COORDINATE LOCATION OF ALL APPLIANCES, SWITCHES, OUTLETS, THERMOSTATS, CIRCUIT BREAKER BOX, TELEPHONE, CATV, CATSE/CATS, ETC... WITH OWNER. A MAXIMUM OF TWO (2) JACKS PER ROOM.
- CONTRACTOR SHALL INSTALL SMOKE DETECTION AND NOTIFICATION SYSTEMS IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE SECTION 314.
- ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
- THE SMOKE DETECTION AND NOTIFICATION SYSTEM SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION AND BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH NFPA 72.
- SMOKE DETECTORS SHALL BE INSTALLED WITHIN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS, HABITABLE ATTICS AND DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS.
- A SMOKE DETECTION SYSTEM INSTALLED ON THE UPPER LEVEL SHALL SURFACE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- THE SMOKE DETECTION AND NOTIFICATION SYSTEM SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
- TWO TV, CB OR HAM RADIO ANTENNAS SHALL BE INSTALLED.
- NO SATELLITE DISHES OVER 24\"/>
- NO OBTRUSIVE LIGHTING, NO MERCURY VAPOR LIGHTING SHALL BE INSTALLED.
- ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.

LOADS

ATTICS, UNINHABITABLE w/o STORAGE:	LIVE LOAD = 10 PSF
	DEAD LOAD = 5 PSF
ATTICS, UNINHABITABLE w/LIMITED STORAGE:	LIVE LOAD = 20 PSF
	DEAD LOAD = 10 PSF
ROOF RAFTERS:	LIVE LOAD = 20 PSF
	DEAD LOAD = 10 PSF
FLOOR JOISTS SPANS:	
RESIDENTIAL SLEEPING AREAS:	LIVE LOAD = 30 PSF
	DEAD LOAD = 20 PSF
RESIDENTIAL LIVING AREAS:	LIVE LOAD = 40 PSF
	DEAD LOAD = 20 PSF

NOTE: REFER TO 2015 IRC TABLES FOR CEILING JOISTS ATTACHED OR NOT ATTACHED TO ROOF RAFTERS AND DEAD LOAD OF 20 PSF.

WIND LOADS: BASIC WIND SPEED, V = 143 MPH
RISK CATEGORY = II
EXPOSURE = D
ENCLOSED BUILDING
INTERNAL PRESSURE COEFFICIENT, C_{pi} = ± 0.18

GENERAL NOTES

- USE MOST CURRENT ADOPTED CODE REGULATIONS.
- ENVIRONMENTAL PROVISIONS OF THE BUILDING CODE REQUIREMENTS ARE MAXIMUM REQUIREMENTS AND ARE INTENDED TO INSURE LIFE SAFETY AND NOT PREVENT STRUCTURAL DAMAGE.
- NO SUPERVISION PROVIDED UNDER THIS SEAL.
- NO CONSTRUCTION ADMINISTRATION PROVIDED UNDER THIS SEAL.
- ALL WORK/MATERIALS SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES.
- REVIEW AND SEAL OF PLANS BY THE ARCHITECT IS FOR THE INTENT OF OBTAINING BUILDING PERMIT. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL APPLICABLE CODES.
- NOT ALL SPECIFICATIONS ARE EXPRESSLY LISTED ON THE PLANS; THEREFORE, IT IS THE RESPONSIBILITY OF INDIVIDUAL BUILDERS AND/OR CONTRACTORS TO COMPLY WITH APPLICABLE CODES.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THESE NOTES AND THE ARCHITECTURAL DRAWINGS, THESE NOTES GOVERN.
- ANY ADDITIONAL WORK REQUIRED BY THE ARCHITECT/ENGINEER ASSOCIATED WITH A SITE VISIT OR LETTERS TO REGULATORY AGENCIES DUE TO OWNER, BUILDER AND/OR CONTRACTOR CHANGING THE DESIGN INTENT SHALL BE CHARGED BASED ON BENECK ARCHITECTS, LLC HOURLY RATES.
- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- ALL HEADER HEIGHTS TO BE 7'-0\"/>
- ALL EXTERIOR WALLS TO BE 2x4 STUDS UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS TO BE 2x4 STUDS UNLESS NOTED OTHERWISE.
- INTERIOR WALL ABOVE 12' TALL MUST BE 2x6.
- A/C UNITS TO BE MOUNTED IN ATTIC SPACE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1\", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF STRUCTURE; HOWEVER, THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
- ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
- FRAME ALL DOORS 3\"/>
- "CORNERS" AND "T's" SHALL BE TRUE, NOT CALIFORNIA STYLE.
- ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAIN VERTICALLY UNDER THE SHEATHING.
- PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
- FIRE BLOCKING REQUIRED IN WALLS ABOVE 8\"/>
- SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- UNLESS NOTED OTHERWISE, FIREPLACE BOX TO BE SET ON 8\"/>
- BEYOND THE OPENING ON EITHER SIDE AS REQUIRED BY CODE.
- PROVIDE ATTIC ACCESS IN ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HEIGHT OF 30 INCHES OR MORE.
- ALL WORK AND MATERIALS MUST BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE, THE REQUIREMENTS OF THE LATEST A.C.I. AND P.T.I. CODES AND ALL LOCAL BUILDING CODES.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS INDICATED ON DRAWINGS.
- ALL INTERIOR WALLS AND CEILINGS SHALL RECEIVE GYPSUM BOARD.
- THIS PLAN IS TO BE USED ONLY FOR THE LOCATION INDICATED ON THE TITLE BLOCK.
- BEAM DIMENSIONS SHOWN ARE MINIMUM REQUIRED AND MAY NOT BE REDUCED, NOR ENLARGED WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
- NO FIELD SUPERVISION IS PROVIDED UNDER THIS SEAL UNLESS OTHERWISE NOTED IN WRITING ON THIS PLAN. SLAB INSPECTIONS AFTER CONSTRUCTION WILL BE BILLED AT HOURLY RATES IF REQUESTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS.
- ALL FEDERAL, STATE & LOCAL CODES, ORDINANCES, REGULATIONS, ETC., SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAVE ARE AT VARIANCE.



THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES OF JEFFERSON PARISH AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY ARE IN COMPLIANCE THEREIN. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS, AND THAT I AM NOT ADMINISTERING THE WORK.

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PROJECT NO. 11920
DATE: 9/14/2023

MARK	DESCRIPTION	DATE

SHEET TITLE
ELEVATIONS /
ELECTRICAL /
SECTION

SHEET IDENTIFICATION

A1.0

SHEET 3 OF 8