

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 Second Street, Gretna, LA 70053
Council Chamber, 2nd floor.**

February 5, 2024 - 4:00 PM

AGENDA

AGENDA ITEM(S):

1. Call to Order/Roll Call

2. CONSENT AGENDA for Certificate of Appropriateness:

- (1) 726-728 Madison Street
Front door and screen door Preliminary Conference - Clair Brown, Applicant (District 1)
- (2) 928 Newton Street
Patio Cover - Trevor Fouquet, Applicant (District 2)
- (3) 401 Lafayette Street
Commercial Sign - Lauren Fink, Applicant (District 2)

3. Properties with request for Certificate of Appropriateness:

- (1) 829 Derbigny Street
Handrails, "Stop Work Order" Donald Cheramie, Applicant (District 2)
- (2) 827 Derbigny Street
Handrails "Stop Work Order" Donald Cheramie, Applicant (District 2)
- (3) 341 Ocean Avenue
Decking on side of house and handrails - Aaron Mercadel, Applicant (District 1)
- (4) 716 Amelia Street
Windows - Ken Boudreaux, Applicant (District 1)
- (5) 700 Monroe Street
New Construction - Accessory structure -John Cody Stringer, Applicant (District 1)
- (6) 1010 5th Street
Residential addition - Eder Sosa, Applicant (District 2)
- (7) 213 Weidman Street
Handrails - Mike Hinyub, Applicant (District 2)

4. Adjournment.



Historic District Commission

Meeting: February 05, 2024

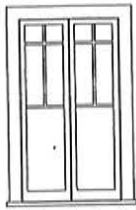
726-728 Madison Street
(District 1)

**For: Front Door and Screen Door
Preliminary Conference**

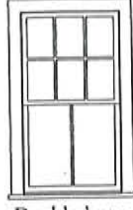
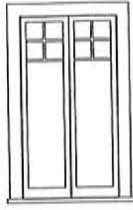
Applicant: Clair Brown

CRAFTSMAN: TYPICAL ARCHITECTURAL DETAILS

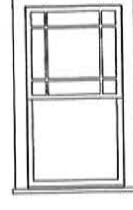
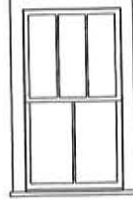
Windows



Casements

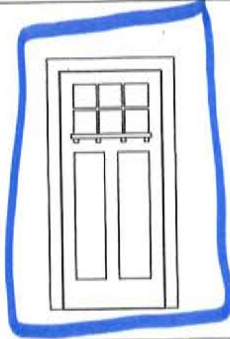
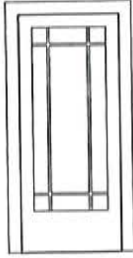
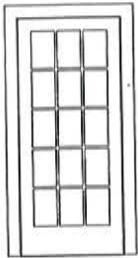


Double-hung

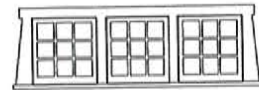
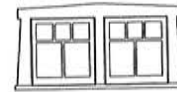


Window assembly

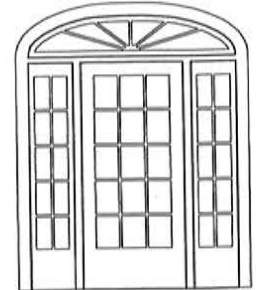
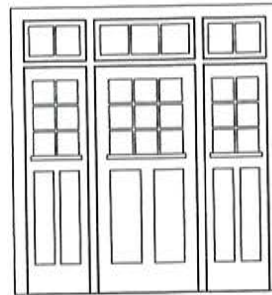
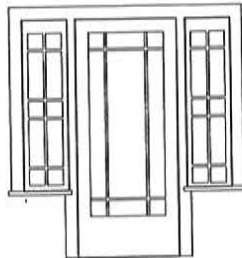
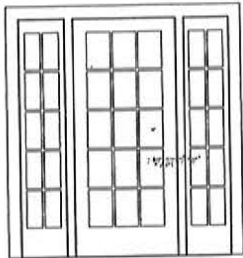
Doors



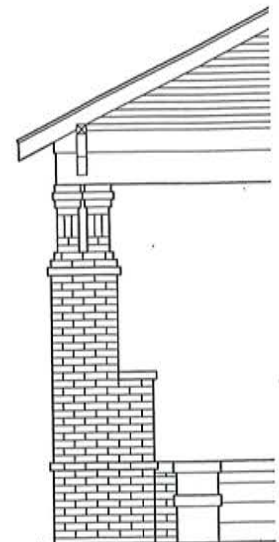
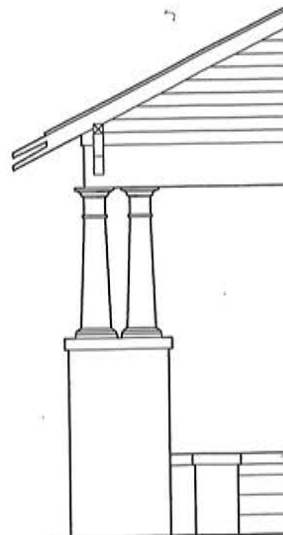
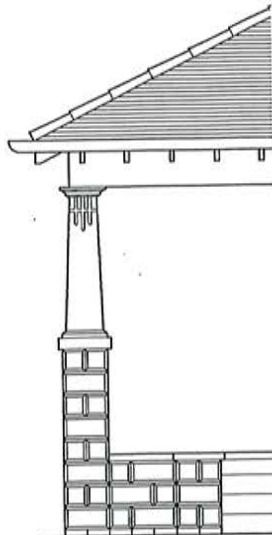
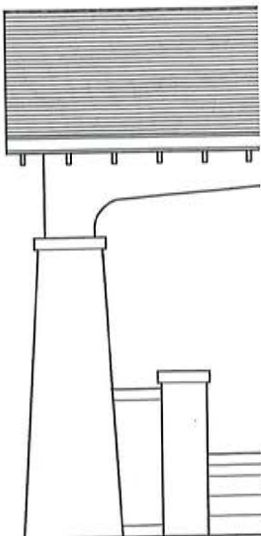
Attic lights



Door assemblies



Porch details

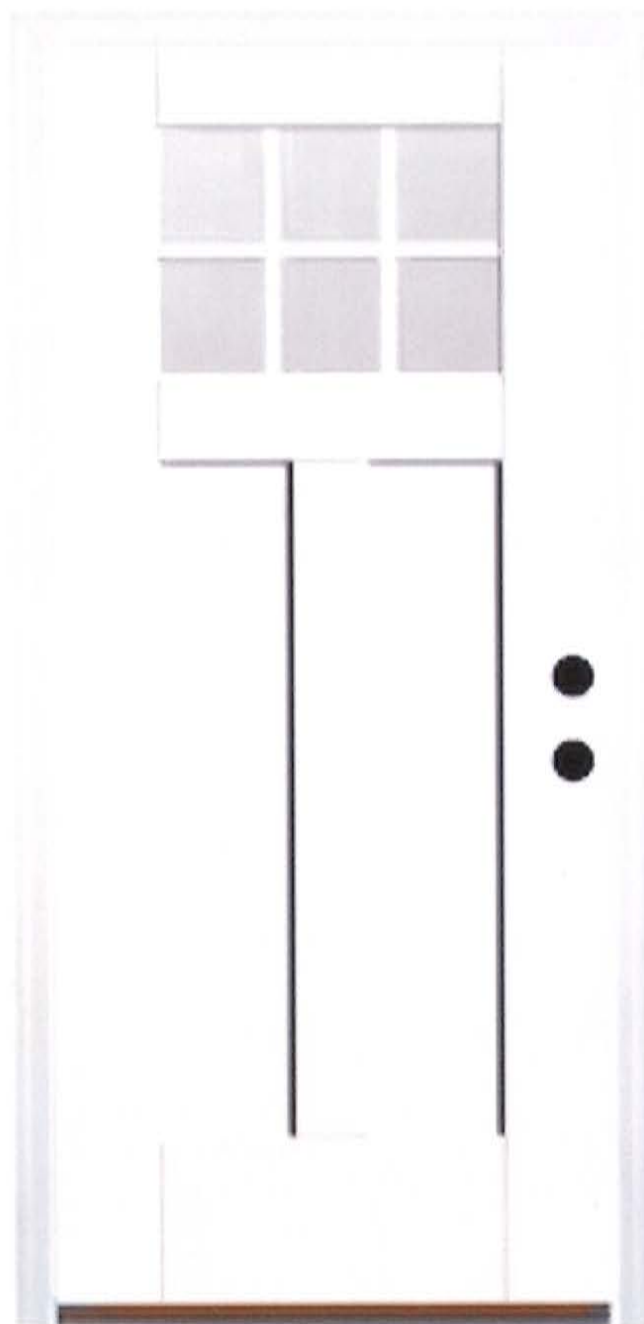


Maria Caulking

From: Cc Falcon <ccfalcon@rocketmail.com>
Sent: Wednesday, January 3, 2024 3:43 PM
To: Maria Caulking
Subject: [External Sender] 726-728 Madison St

Windows & Doors / Exterior Doors / Froi

BESTSELLER



Maria,

This is the door I have chosen for front door approval in craftsman style.

Thanks,
Clair Brown

[Sent from Yahoo Mail on Android](#)

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

726-728 Madison Street

PROPERTY ADDRESS

Clair Brown

NAME OF APPLICANT

Work Approved: Approval for installation of
Storm doors without obtaining COA.
Front doors installed without COA Not
approved.



Signature of HDC Chairperson



Signature of Applicant

1/2/2024

Date

1/3/2024

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com

COA-24-007



CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
DENIAL

726-728 Madison Street

PROPERTY ADDRESS

Clair Brown

NAME OF APPLICANT

Work Denied: Two inappropriate styled front
doors installed without COA.

Signature of HDC Chairperson

1/2/2024

Date

City Ordinance Sec. 32-11 Appeals

Any person or persons aggrieved by any decision, act or proceedings of the Historic District Commission shall have a right to an appeal before the City Council for reversal or modification thereof; such appeal shall be lodged with the City Clerk, and the Mayor, or presiding officer of the City Council, shall have the right to stay all further action until the City Council shall have had an opportunity to rule thereon. Any such appeal shall be taken within 5 days, exclusive of holidays and week-ends from date of the written decision, and the City Council may consider said appeal at its next general or special meeting, but, in any event, not more than forty-five days thereafter. The City Council may affirm a decision of the Historic District Commission by majority vote of all its members. The City Council shall have the right to reverse, change or modify any decision of the Historic District Commission by majority vote of all its members.

Please address all questions to:

Gretna Department of Inspections

740 2nd Street, Room 113, Gretna, LA, 70053

(504) 363-1563 - www.gretnala.com

COD-24-001



Historic District Commission

Meeting: January 2, 2024

726-728 Madison Street

(District 1)

For: Front door and screen door

Applicant:
Clair Brown

20/SB - STORM DOORS - 1111 5-0 APPROVED.

20/SB TO RENT - 1111 - 5-0

20/PD Preliminary Conference - 1111 5-0.
P. 50 -



Permit # 7308

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 726 - 728 Madison St Gretna, LA 70053

Renovation: Front doors & screen doors

New Construction: _____

Demolition: _____

Age of Structure: 100 yrs

Building Type:

Creole Cottage _____

Shotgun (double)

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Ch D Date: 12/5/23
Applicant's Name: Clair Brown
Applicant's Address: 1400 Nmezt St New Orleans, LA 70114
Phone No: () Cell No: (504) 458-9112

For Office Use Only:

Application date: Dec. 5 2023
Substantive Change: Yes ☐ No ☒ Inventory Number: 26-01962
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: Jan. 2, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

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Jackie J. Berthelot

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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Clair Brown the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Jan. 2, 2024 @ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Clair Brown

NAME OF APPLICANT (PLEASE PRINT)

1400 Nunez St New Orleans, LA 70114

Applicant's address

726-728 Madison St Gretna, LA 70053

Actual address of the property for review

Date: 12/5/23

EXISTING DOOR
REMOVED

EXISTING
SURFACE
REMOVED









CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #:	135159	EXPIRATION DATE:	1/03/2024
JOB ADDRESS:	726 MADISON ST	LOT #:	
PARCEL ID:		SQUARE #:	
SUBDIVISION:		ZONING:	
OWNER:	CLAIR BROWN	CONTRACTOR:	CLAIR BROWN
ADDRESS:	726-728 MADISON STREET	ADDRESS:	726-728 MADISON STREET
CITY, STATE ZIP:	GRETN LA 70053	CITY, STATE ZIP:	GRETN LA 70053
PHONE:		PHONE:	
PROP. USE:		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ FT:	0.00	FIRE SPRINKLERS:	
OCCP TYPE:		OCCUPANT LOAD:	
CNST TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

NOTES: Conditions: PLEASE NOTE THIS IS NOT A PERMIT. HDC MEETING SCHEDULED FOR JANUARY 2, 2024 @ 4:00

NOTICE

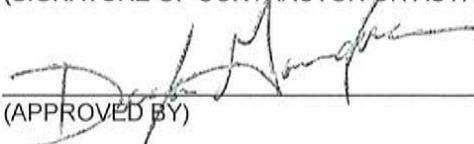
SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY


(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)


(APPROVED BY)

12/5/23
DATE

12/5/23
DATE



Historic District Commission

Meeting: February 05, 2024

928 Newton Street
(District 2)

For: Patio Cover

Applicant: Trevor Fouquet



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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Historic building – a building at least fifty years-old with significant architectural value and integrity

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 928 Newton St

Renovation: ☒ Patio Cover

New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ☒ _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: [Signature] Date: 1-12-24
Applicant's
Name: Trevor Fouquet
Applicant's
Address: 914 6th St Gretna
Phone No: (504) 270-7392 Cell No: (504) 270-7392

For Office Use Only:

Application date: Jan 24, 2024
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☐
Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

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Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Trevor Fauguet the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 2-5-24 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

[Signature]
Signature of Applicant

Trevor Fauguet
NAME OF APPLICANT (PLEASE PRINT)

914 6th St Gretna
Applicant's address

928 NewTop St
Actual address of the property for review

Date: 1-12-24

Google Maps 928 Newton St

Gretna, Louisiana
Google Street View
Mar 2022 See more dates

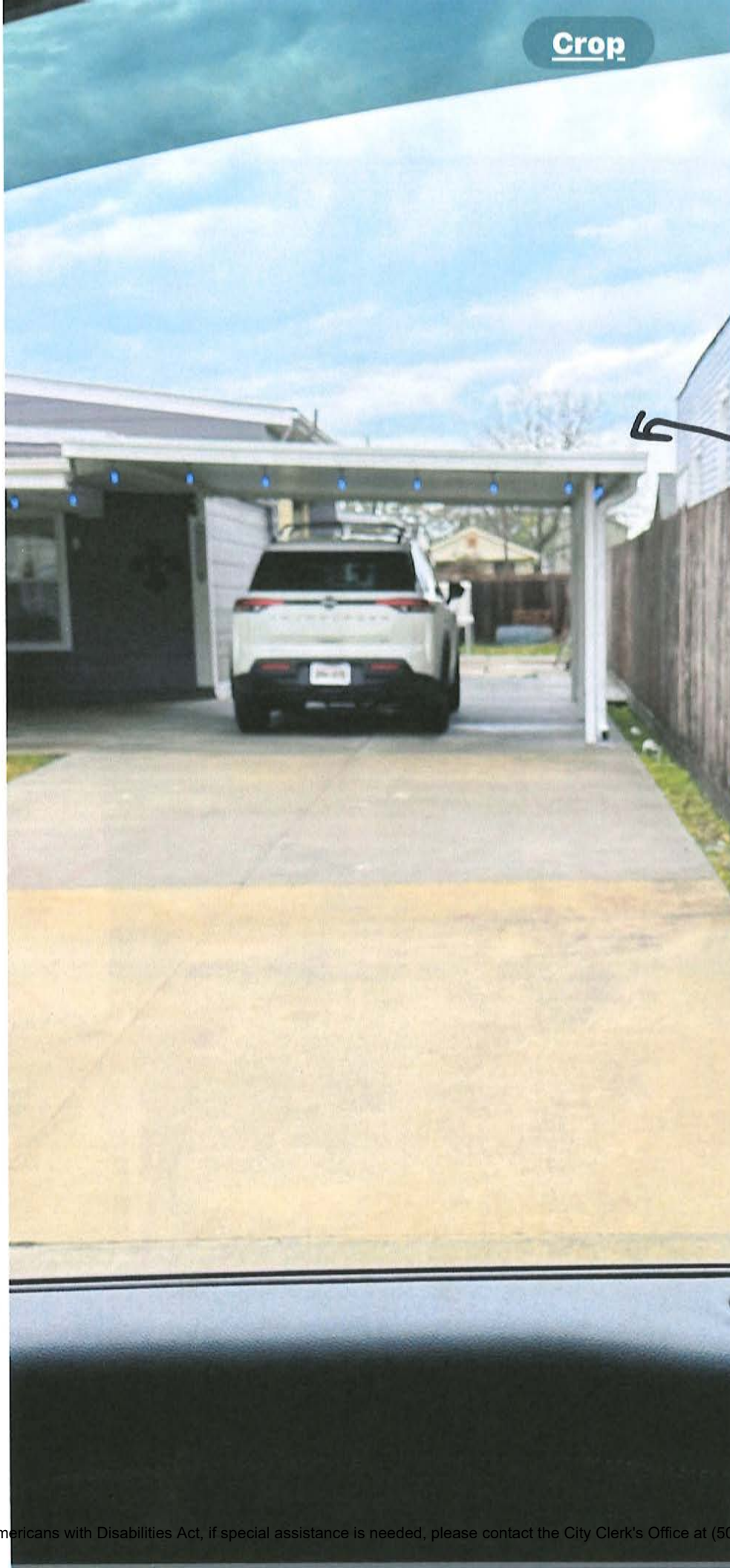


Image capture: Mar 2022 © 2024 Google





Crop



← DAY @ TOP

- 6TH
WOOD FENCE

EXAMPLE
OF
CARPORT



Fence Affidavit

From: Darlene Ford (dford@gretnala.com)

To: trevorfouquetllc@gmail.com

Cc: dgorrondona@gretnala.com; mcaulking@gretnala.com

Date: Friday, January 12, 2024 at 10:44 AM CST

Enclosed please see the fence affidavit that needs to be signed and returned. I am also attaching an HDC packet that needs to be filled out and returned before 01/29/2024. You will need to bring in a \$50.00 processing fee to go before the HDC. The meeting is scheduled for 02/05/2024 at 4:00 p.m. in council chambers.

Darlene Ford

City of Gretna

City Development – Building Section

504-363-1563

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.



Fence Affidavit of Responsibility Indemnification.docx

13.5kB



HDC Application and Waiver.pdf

178.7kB

AFFIDAVIT OF RESPONSIBILITY AND INDEMNIFICATION

STATE OF LOUISIANA

CITY OF GRETNA

The affiant, Tresor Fouquet LLC ^{owned (JACQUE ARNOUDIN)} has been issued a permit
(PRINT NAME)

to construct a fence by the City of Gretna. The permit limits height that the fence may be constructed and requires that the fence be constructed within the property lines of the affiant's property.

Application for and acceptance of the fence permit by the affiant is an acknowledgement by the affiant that a fence constructed either too high in the wrong location shall be the sole responsibility of the affiant.

AFFIANT ACKNOWLEDGES THAT HE OR SHE SHALL BE SOLELY RESPONSIBLE FOR THE IMMEDIATE REMOVAL OR MODIFICATION OF A FENCE THAT DOES NOT MEET THE RESTRICTIONS SET FORTH IN THE PERMIT.

AFFIANT FURTHER ACKNOWLEDGES AND AGREES TO INDEMNIFY AND HOLD THE CITY OF GRETNA HARMLESS FOR ANY AND ALL COST THAT THE CITY MAY INCUR RELATIVE TO THE AFFIANT'S CONSTRUCTION OF A FENCE THAT DOES NOT MEET THE RESTRICTIONS SET FORTH IN THE PERMIT, INCLUDING BUT NOT LIMITED TO DAMAGES TO THE CITY, DAMAGES TO THIRD PARTIES, AND ATTORNEY'S FEES.

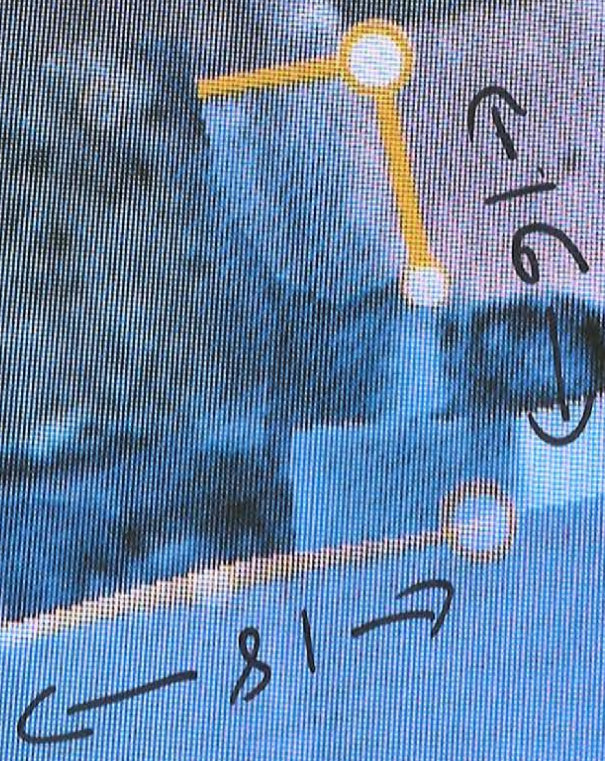


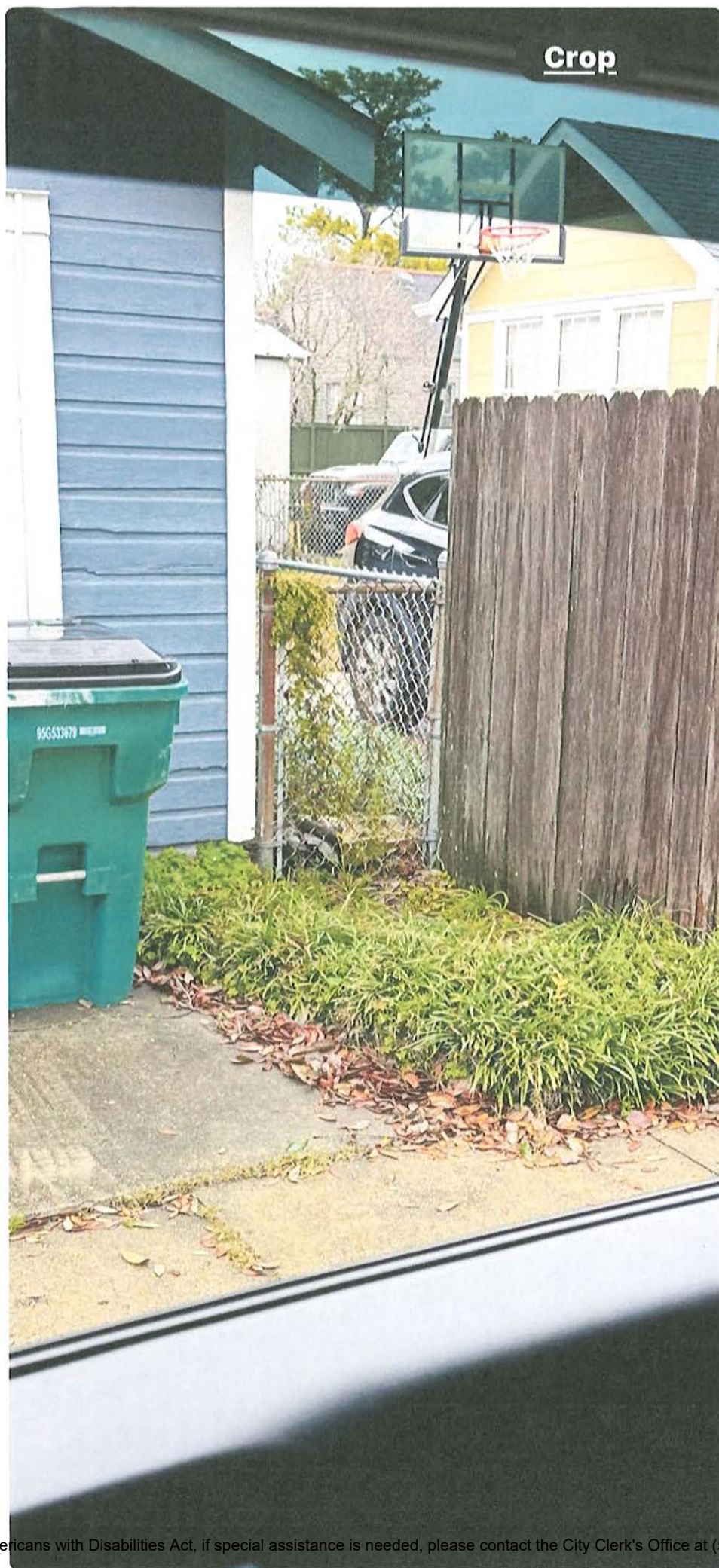
AFFIANT SIGNATURE

Save ☐

Area
279 ft²

Perimeter
67 ft





Crop



Dark
Wood
Fence

patio
top →



6 ft
Fence →



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #: **135176**

EXPIRATION DATE: **2/06/2024**

JOB ADDRESS: 928 NEWTON ST
PARCEL ID:
SUBDIVISION:

LOT #:
SQUARE #:
ZONING:

OWNER: TREVOR FOUQUET
ADDRESS: 928 NEWTON ST
CITY, STATE ZIP: GRETN LA 70053-6248
PHONE:

CONTRACTOR: TREVOR FOUQUET
ADDRESS: 928 NEWTON ST
CITY, STATE ZIP: GRETN LA 70053-6248
PHONE:

PROP. USE
VALUATION: \$ 0.00
SQ FT 0.00
OCCP TYPE:
CNST TYPE:

STORIES:
UNITS:
FIRE SPRINKLERS:
OCCUPANT LOAD:
FLOOD ZONE:

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS SCHEDULED FOR 02/05/2024 AT 4:00 P.M. IN COUNCIL CHAMBERS

NOTICE

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(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: February 05, 2024

401 Lafayette Street
(District 2)

For: Commercial Sign
Applicant: Lauren Fink



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
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Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 401 LAFAYETTE ST

Renovation: _____
New Construction: Commercial Sign 36X18
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other Modern _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Brick frame _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Lauren Fink Date: 1/26/24

Applicant's Name: LAUREN FINK

Applicant's Address: 2210 CAMP ST APT B NEW ORLEANS, LA

Phone No: (414) 687-7444 Cell No: () SAME

For Office Use Only:
Application date: Jan. 24, 2024
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

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Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, LAUREN FINK the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 2/5/24 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Lauren Fink
Signature of Applicant

LAUREN FINK

NAME OF APPLICANT (PLEASE PRINT)

2210 CAMP ST APT B NOVA 70130

Applicant's address

401 LAFAYETTE ST GRETNAL, LA 70053

Actual address of the property for review

Date:

1/26/24

Google Maps 401 Lafayette St

Genoa, Louisiana
Google Street View
Mar 2022 See more dates



Image capture: Mar 2022 © 2024 Google



← LOCATION
OF
EXISTING
SIGN FRAME



36X18



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #:	135177	EXPIRATION DATE:	2/06/2024
JOB ADDRESS:	401 LAFAYETTE ST	LOT #:	
PARCEL ID:		SQUARE #:	
SUBDIVISION:		ZONING:	
OWNER:	LAUREN FINK	CONTRACTOR:	LAUREN FINK
ADDRESS:	401 LAFAYETTE ST	ADDRESS:	401 LAFAYETTE ST
CITY, STATE ZIP:	GRETN LA 70053-5933	CITY, STATE ZIP:	GRETN LA 70053-5933
PHONE:		PHONE:	
PROP. USE:		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ FT:	0.00	FIRE SPRINKLERS:	
OCCP TYPE:		OCCUPANT LOAD:	
CNST TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

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(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: February 05, 2024

829 Derbigny Street
(District 2)

For: Handrails and Stop Work Order

Applicant: Donald Cheramie

Permit # 7150



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

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Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

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The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 829 Derbigny St Gretna, LA

Renovation: Exterior

New Construction: _____

Demolition: _____

Age of Structure: 100 years

Building Type:

Creole Cottage _____

Shotgun Double

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding Went Hard Siding

Masonry _____ Porches _____

Balconies _____ Handrails rebuild

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: change rear Doors and potential Frame work

Describe any ornamental woodwork: Handrails rebuild

Elevations:

Front Space: 32'x10' ft. Side Space: 54'x10' ft.

Rear Space: 32'x10' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature:  Date: 8/8/23

Applicant's
Name: Donald Cheramie

Applicant's
Address: 829 Derbigny St. Gretna, LA 70053

Phone No: (504) 416-7886 Cell No: (504) 416-7886

For Office Use Only:

Application date: Dec. 20, 2023

Substantive Change: Yes ☐ No ☒ Inventory Number: _____

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



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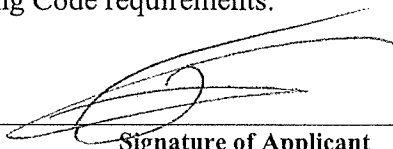
Information Technology

Michael Wesley

I, Donald Cheramie the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Feb 5, 2024 @ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
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Appropriateness", issued by the Historic District Commission, does not
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while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.


Signature of Applicant

Donald Cheramie
NAME OF APPLICANT (PLEASE PRINT)

829 Derbigny St. Gretna, LA 70053
Applicant's address

829 Derbigny St. Gretna, LA 70053
Actual address of the property for review

Date: 8/8/23

Gretna, Louisiana
Google Street View
Mar 2022 See more dates



Image capture: Mar 2022 © 2024 Google

















CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #:	135171	EXPIRATION DATE:	2/06/2024
JOB ADDRESS:	829 DERBIGNY ST	LOT #:	
PARCEL ID:		SQUARE #:	
SUBDIVISION:		ZONING:	
OWNER:	DONALD CHERAMIE	CONTRACTOR:	DONALD CHERAMIE
ADDRESS:	829 DERBIGNY ST	ADDRESS:	829 DERBIGNY ST
CITY, STATE ZIP:	GRETN LA 70053-6119	CITY, STATE ZIP:	GRETN LA 70053-6119
PHONE:		PHONE:	
PROP. USE		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ FT	0.00	FIRE SPRINKLERS:	
OCCP TYPE:		OCCUPANT LOAD:	
CNST TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

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(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: February 05, 2024

827 Derbigny Street
(District 2)

For: Handrails and Stop Work Order

Applicant: Donald Cheramie



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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Renovation: Exterior

New Construction: _____

Demolition: _____

Age of Structure: 100 years

Building Type:

Creole Cottage _____

Shotgun Double

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding Went Hardi Siding

Masonry _____ Porches _____

Balconies _____ Handrails rebuild

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: Change rear Doors and potential Frame work

Describe any ornamental woodwork: Handrails rebuild

Elevations:

Front Space: 32' x 10' ft. Side Space: 54' x 10' ft.

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Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Donald Cheramie Date: 8/8/23

Applicant's
Name: Donald Cheramie

Applicant's
Address: 827 Derbigny St. Gretna, LA 70053

Phone No: (504) 416-7886 Cell No: (504) 416-7886

For Office Use Only:

Application date: Dec. 20, 2023

Substantive Change: Yes ☐ No ☒ Inventory Number: _____

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorron dona

Planning and Zoning

Azalea M. Roussel

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

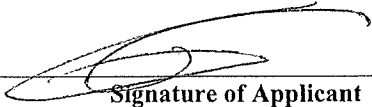
Information Technology

Michael Wesley

I, Donald Cheramie the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Feb. 5, 2024 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.


Signature of Applicant

Donald Cheramie

NAME OF APPLICANT (PLEASE PRINT)

827 Derbigny St. Gretna, LA 70053

Applicant's address

827 Derbigny St. Gretna, LA 70053

Actual address of the property for review

Date:

8/8/23















Darlene Ford

From: Darlene Ford
Sent: Monday, September 18, 2023 8:48 AM
To: cclark@gulfcoastservicegroup.com
Cc: Danika Gorrondona; Maria Caulking
Subject: 827 & 829 Derbigny
Attachments: HDC Application and Waiver.pdf

Good Morning Mr. Clark,

I received your application for the above address. Both of these will need to go before the HDC. I am attaching an application and you can just print and copy. The deadline to get all paperwork and processing fee for each property is 09/25/2023. We need signed contracts, scopes of work, and pictures of what you want to do. The fee is \$50.00 per property. Please make the check out to the City Of Gretna. If all paperwork is in the office before 3:00 p.m. on 09/25/2023 then you will be on the agenda for the meeting 10/02/2023 at 4:00p.m. in council chambers. You or your contractor will need to be present for the meeting.

If there is anything further I can help you with please let me know.

Darlene Ford
City of Gretna
City Development – Building Section
504-363-1563

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.

Darlene Ford

From: Darlene Ford
Sent: Tuesday, September 26, 2023 1:42 PM
To: cclark@gulfcoastservicegroup.com
Subject: FW: 827 & 829 Derbigny
Attachments: HDC Application and Waiver.pdf

Good Afternoon Mr. Clark,

I have attached an HDC application for the next meeting. Please fill this out for both addresses. The deadline to have this into my office is 10/23/2023. The meeting is for 10/30/2023 at 4:00 p.m. in council chambers.

If there is anything further I can help you with please let me know.

Darlene R Ford

From: Darlene Ford
Sent: Monday, September 18, 2023 8:48 AM
To: cclark@gulfcoastservicegroup.com
Cc: Danika Gorrondona <dgorrondona@gretnala.com>; Maria Caulking <mcaulking@gretnala.com>
Subject: 827 & 829 Derbigny

Good Morning Mr. Clark,

I received your application for the above address. Both of these will need to go before the HDC. I am attaching an application and you can just print and copy. The deadline to get all paperwork and processing fee for each property is 09/25/2023. We need signed contracts, scopes of work, and pictures of what you want to do. The fee is \$50.00 per property. Please make the check out to the City Of Gretna. If all paperwork is in the office before 3:00 p.m. on 09/25/2023 then you will be on the agenda for the meeting 10/02/2023 at 4:00p.m. in council chambers. You or your contractor will need to be present for the meeting.

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Darlene Ford
City of Gretna
City Development – Building Section
504-363-1563

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Maria Caulking

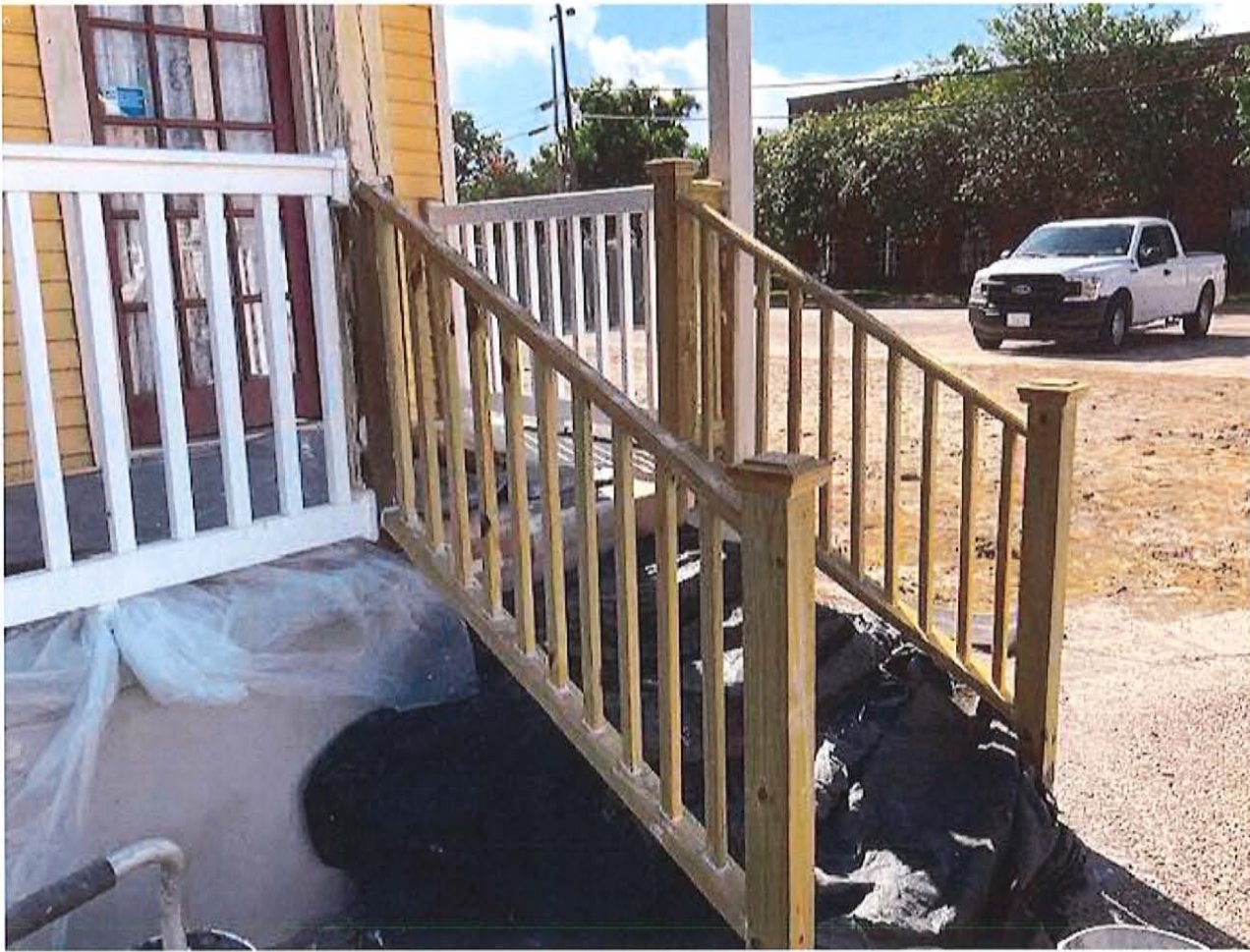
From: Gene Lewis
Sent: Monday, July 24, 2023 11:55 AM
To: BuildingAdmin
Subject: 827-829 Derbigny























Sent from my iPad

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.



Image capture: Mar 2022 © 2023 Google



ish



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #:	135172	EXPIRATION DATE:	8/06/2024
JOB ADDRESS:	827 DERBIGNY ST	LOT #:	3
PARCEL ID:	0100004881	SQUARE #:	T
SUBDIVISION:	ROSE PARK ADDITION #2	ZONING:	C-1
OWNER:	DONALD CHERAMIE	CONTRACTOR:	DONALD CHERAMIE
ADDRESS:	827 DERBIGNY ST	ADDRESS:	827 DERBIGNY ST
CITY, STATE ZIP:	GRETN LA 70053-6119	CITY, STATE ZIP:	GRETN LA 70053-6119
PHONE:		PHONE:	
PROP. USE		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ FT	0.00	FIRE SPRINKLERS:	
OCCP TYPE:		OCCUPANT LOAD:	
CNST TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS SCHEDULED FOR 02/05/2024 AT 4:00 P.M. IN COUNCIL CHAMBERS

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.
THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

____/____/____
DATE

(APPROVED BY)

____/____/____
DATE



Historic District Commission

Meeting: February 05, 2024

341 Ocean Avenue
(District 1)

**For: Decking on side of house
and Handrails**

Applicant: Aaron Mercadel



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 341. DEAN AVE.

Renovation: ✓ licking side of house with handrail
New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun ✓ _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Craftsman _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 1-10-24

Applicant's Name: _____

Applicant's Address: _____

Phone No: (____) _____ Cell No: (504) 610-7666

For Office Use Only:

Application date: Jan. 10, 2024

Substantive Change: Yes ☐ No ☒ Inventory Number: 26-02185

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



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Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, AARON Mercapel the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Feb. 5, 2024 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

[Signature]
Signature of Applicant

AARON MERCAPEL
NAME OF APPLICANT (PLEASE PRINT)

1737 LAMANCHE ST.
Applicant's address

341 OCEAN AVE
Actual address of the property for review

Date: 1-10-24

Gretna, Louisiana
Google Street View
Jan 2022 See more dates

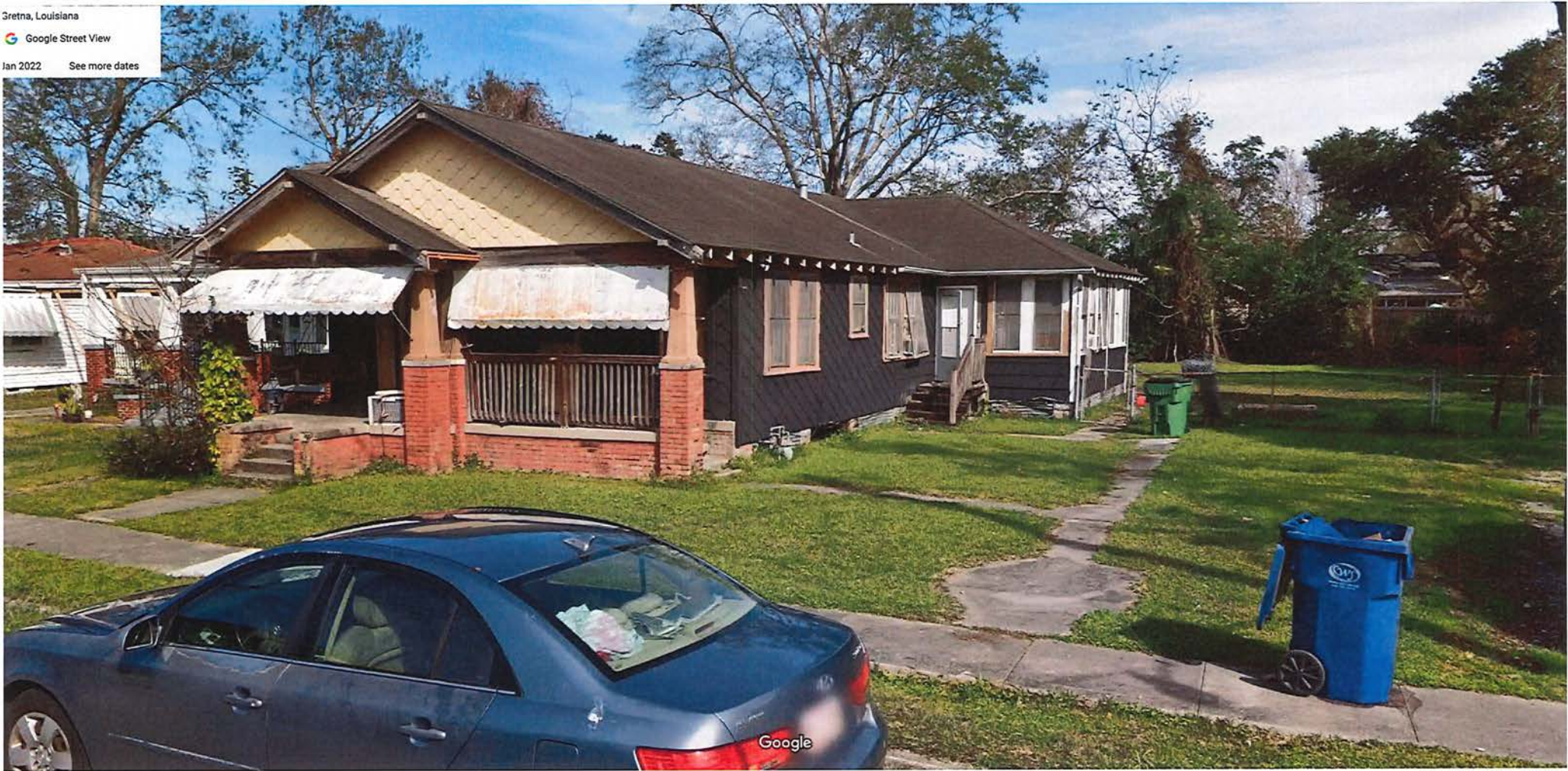


Image capture: Jan 2022 © 2024 Google



AARON MERCADEL
D.B.A
AARON MERCADEL LLC
1737 LAMAR BLVD ST.
N.O. LA. 70117

OCC. Lic # 2101790
504) 610-7660

Proposal

PROPOSAL NO.

SHEET NO.

DATE

1-10-24

PROPOSAL SUBMITTED TO:

WORK TO BE PERFORMED AT:

NAME STEVEN CHAN	ADDRESS 341 OCEAN AVE, GRETNA, LA. 70053
ADDRESS 341 OCEAN AVE, GRETNA, LA 70053	DATE OF PLANS 1-10-24
PHONE NO. 504) 920-4447	ARCHITECT

We hereby propose to furnish the materials and perform the labor necessary for the completion of Remove OLD STEPS AND DECK ON SIDE OF HOUSE, Replece WITH NEW TREATED WOOD.

REMOVE BACK OF HOUSE, DECK AND STEPS, AND Replece WITH NEW STEP. WITH NEW TREATED WOOD.

PAINT OUT SIDE OF HOUSE, REPAIR SOME SCREEN WHERE NEEDED.

Replece SOME SHEET IN SIDE OF HOUSE. PAINT IN SIDE OF HOUSE.

INSTALL SOME CABINET IN KITCHEN, AND IN BATHROOM.

TO TOTAL COST \$ 7,000.00

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of SEVEN THOUSAND

Dollars (\$ 7,000.00) with payments to be made as follows.

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

1-10-24

Respectfully
submitted

Per

Note — this proposal may be withdrawn by us if not accepted within _____ days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature

Signature

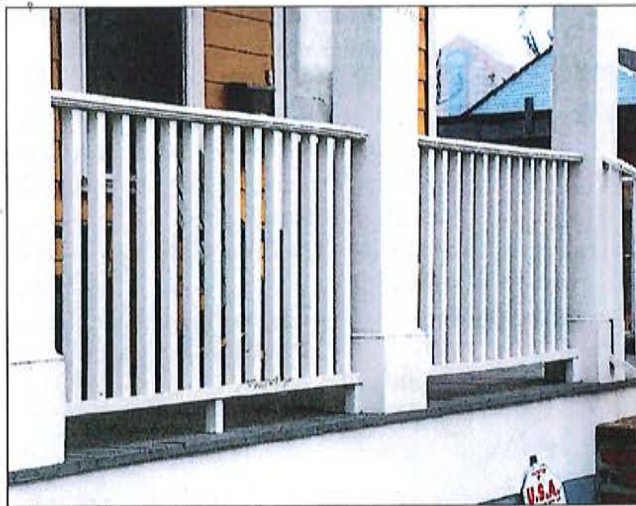
Date

DESIGN CONSIDERATIONS

DO



This wooden balustrade is compatible with the ornate Eastlake style of the porch.



This simple wood balustrade is an appropriate option when it is necessary to replace a non-historic railing or add a new porch railing.



Particularly on porches that never had balustrades, metal guardrails and handrails are sometimes installed to meet building code or insurance requirements. Such railings should be kept simple in design.

DON'T



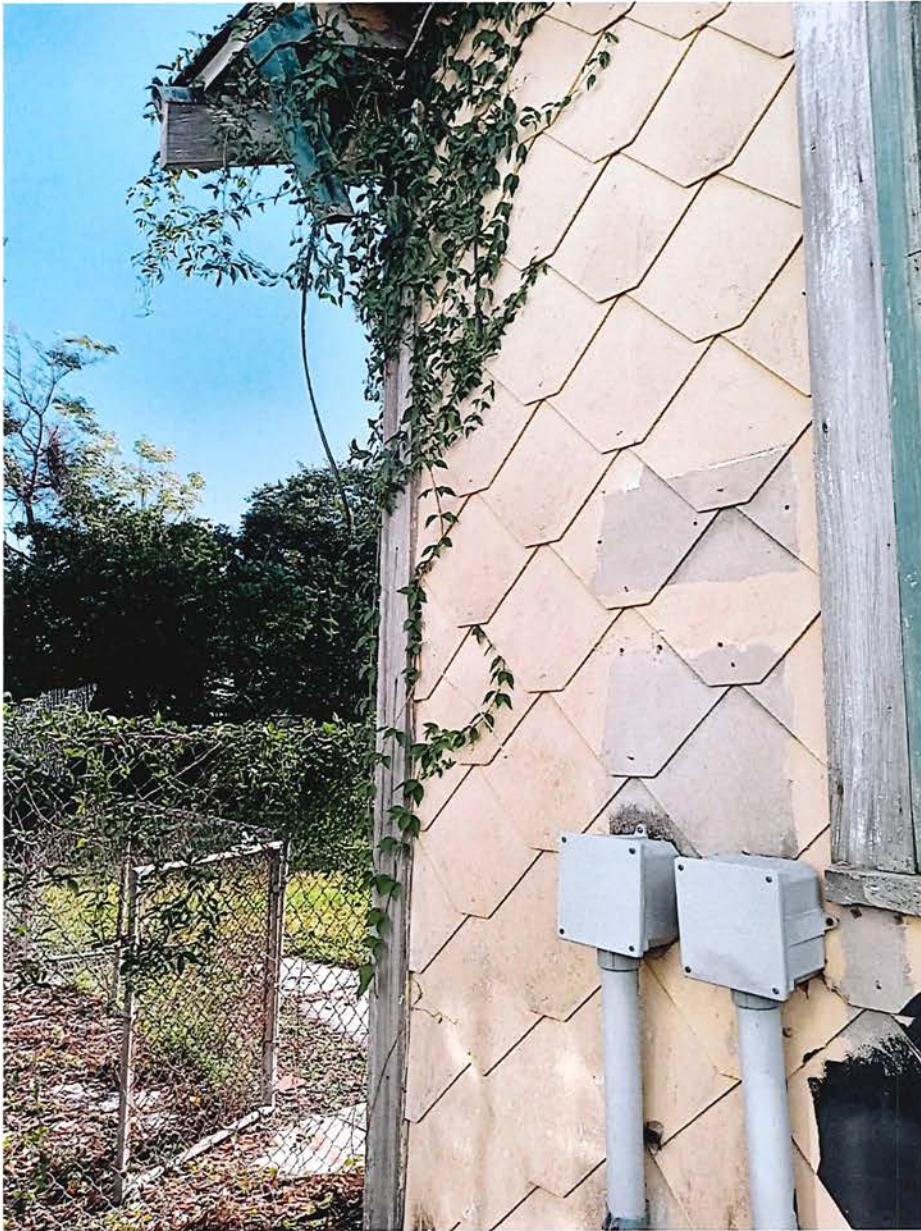
Deck railings are generally considered to be inappropriate for historic buildings.



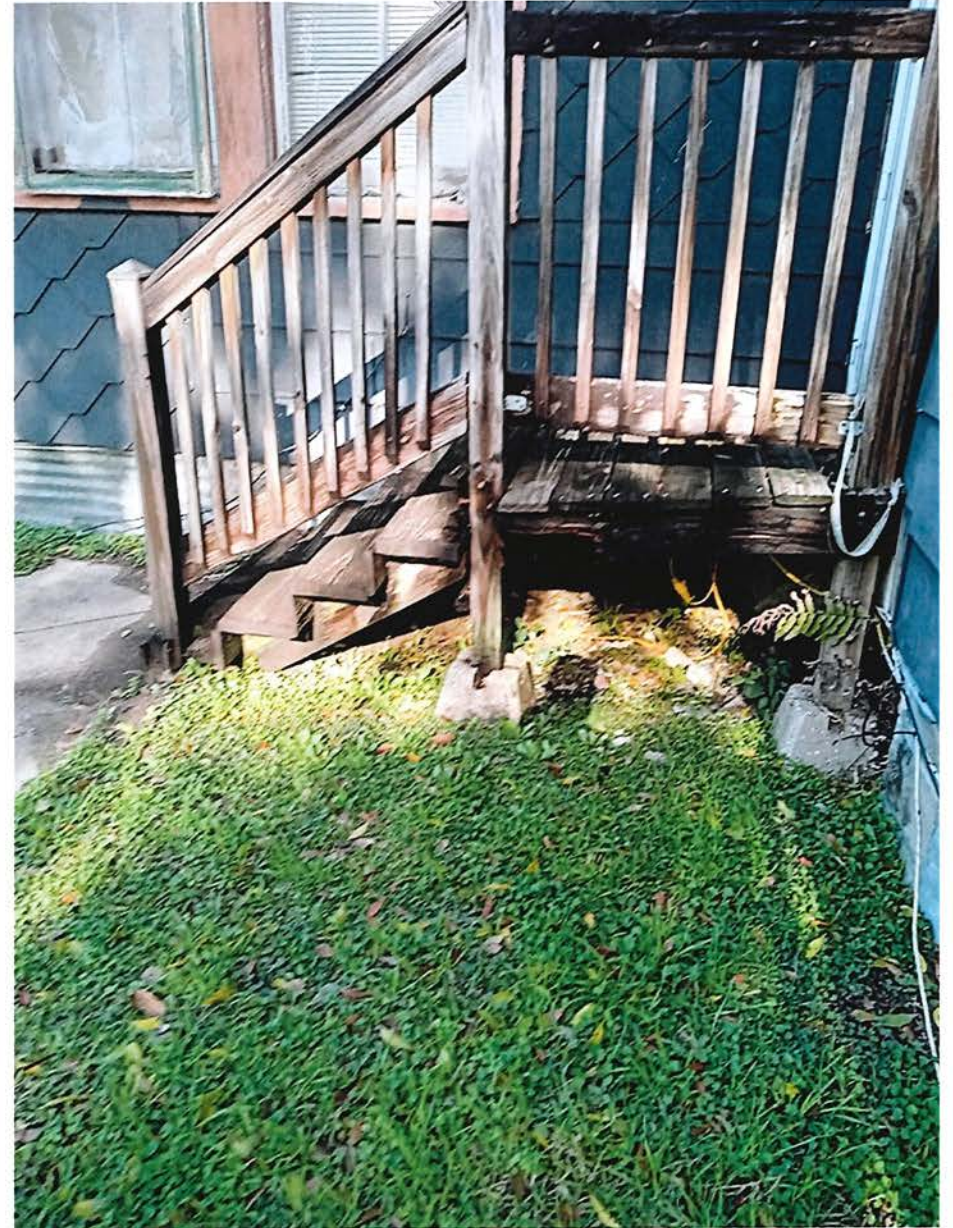
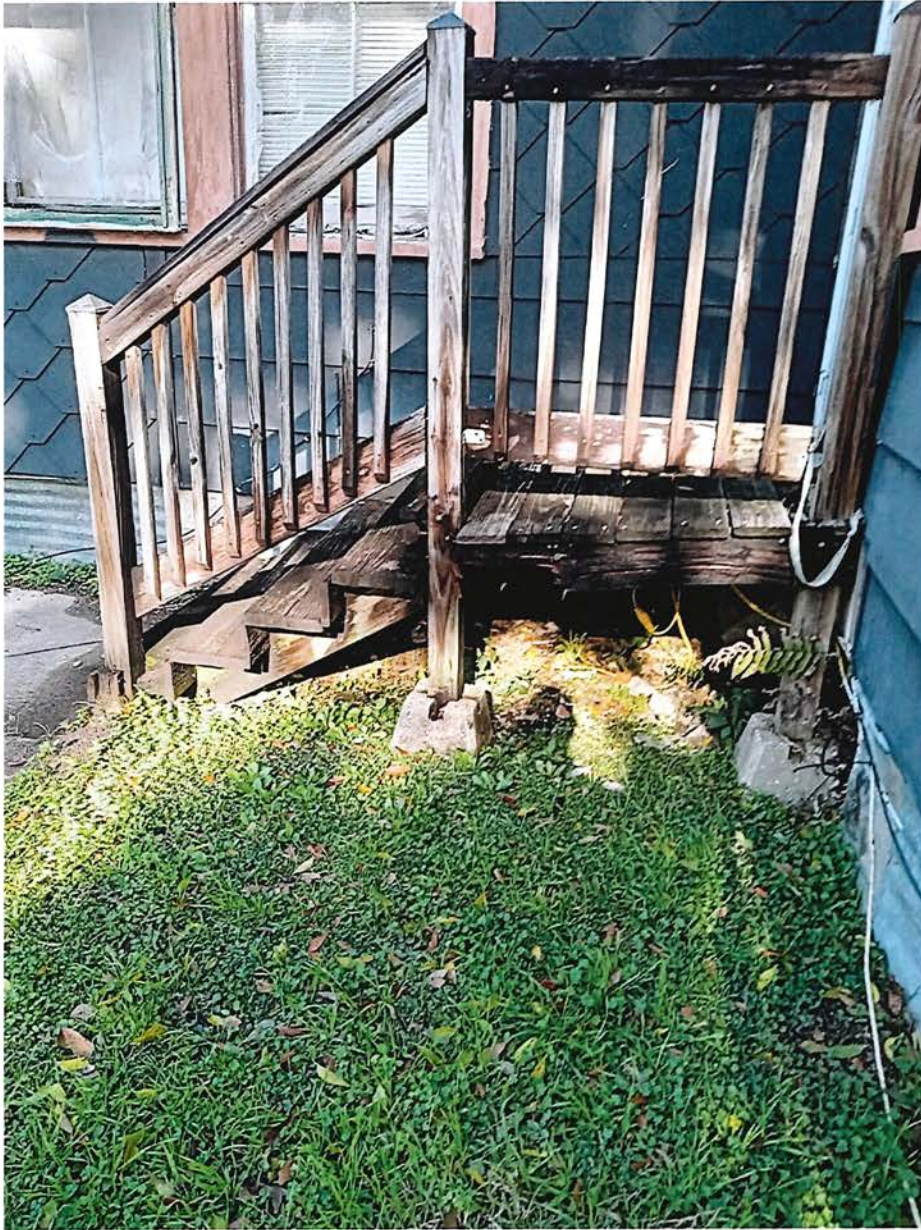
Metal pipe rails are considered to be inappropriate for historic buildings.



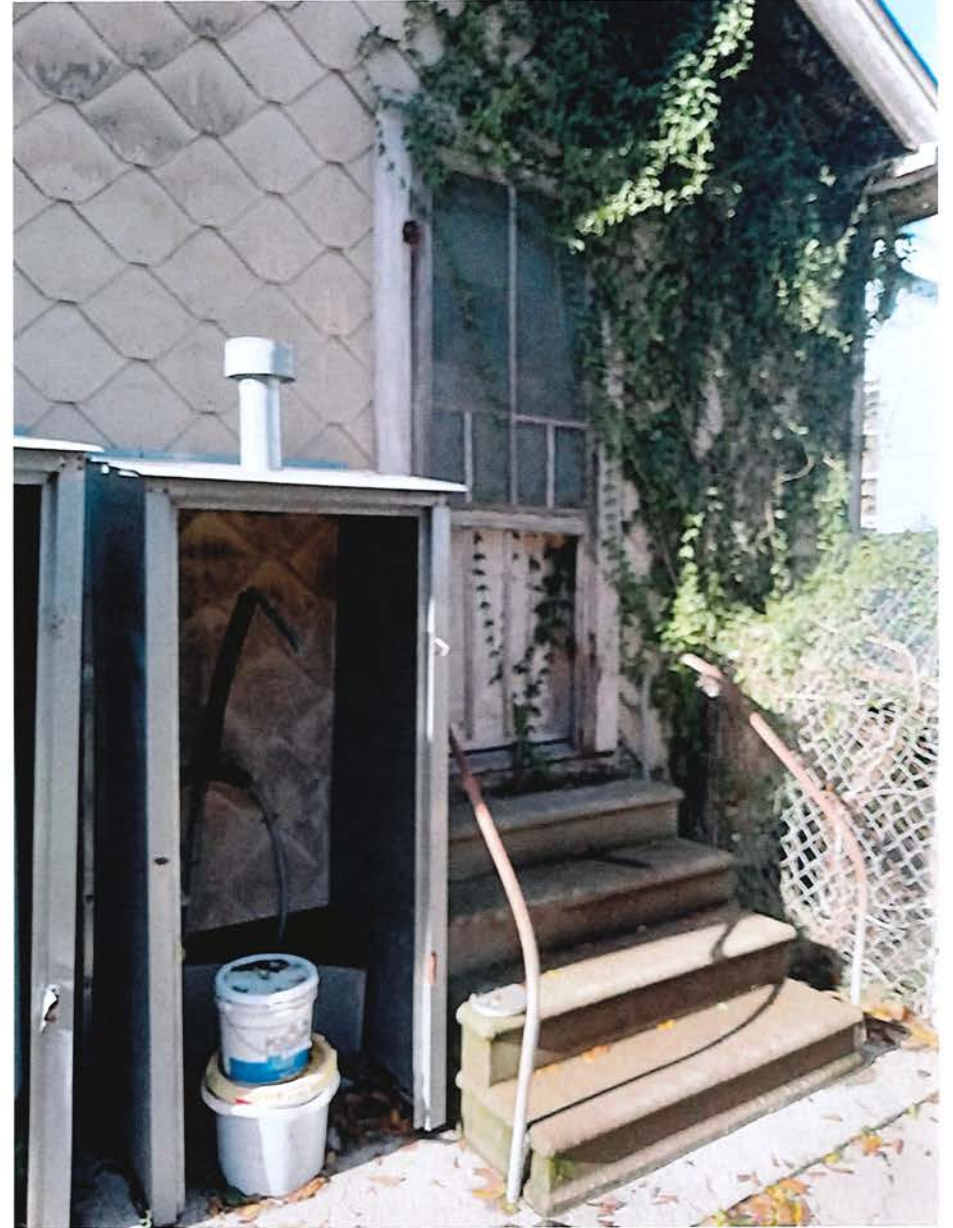
Metal railings with added scrollwork and ornamentation are generally considered to be inappropriate.





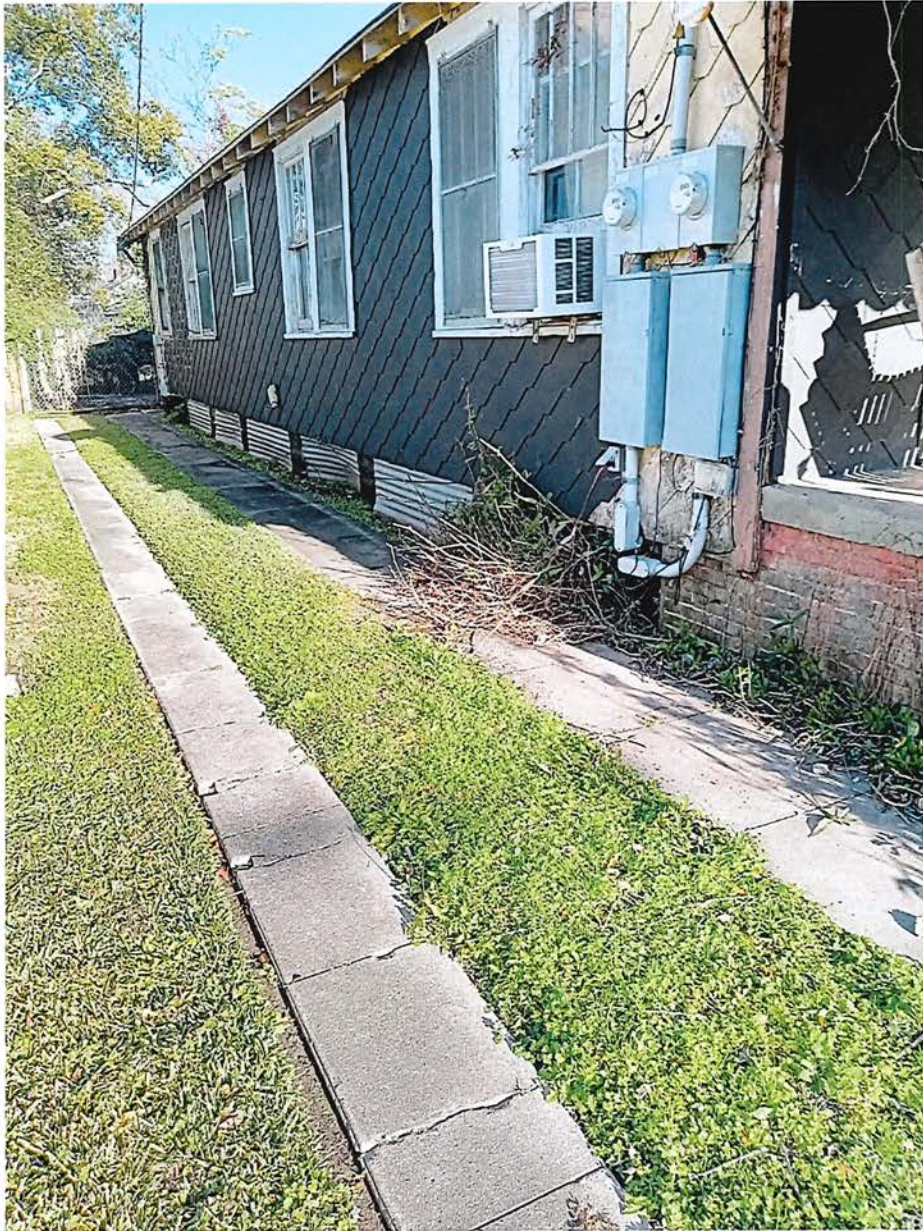


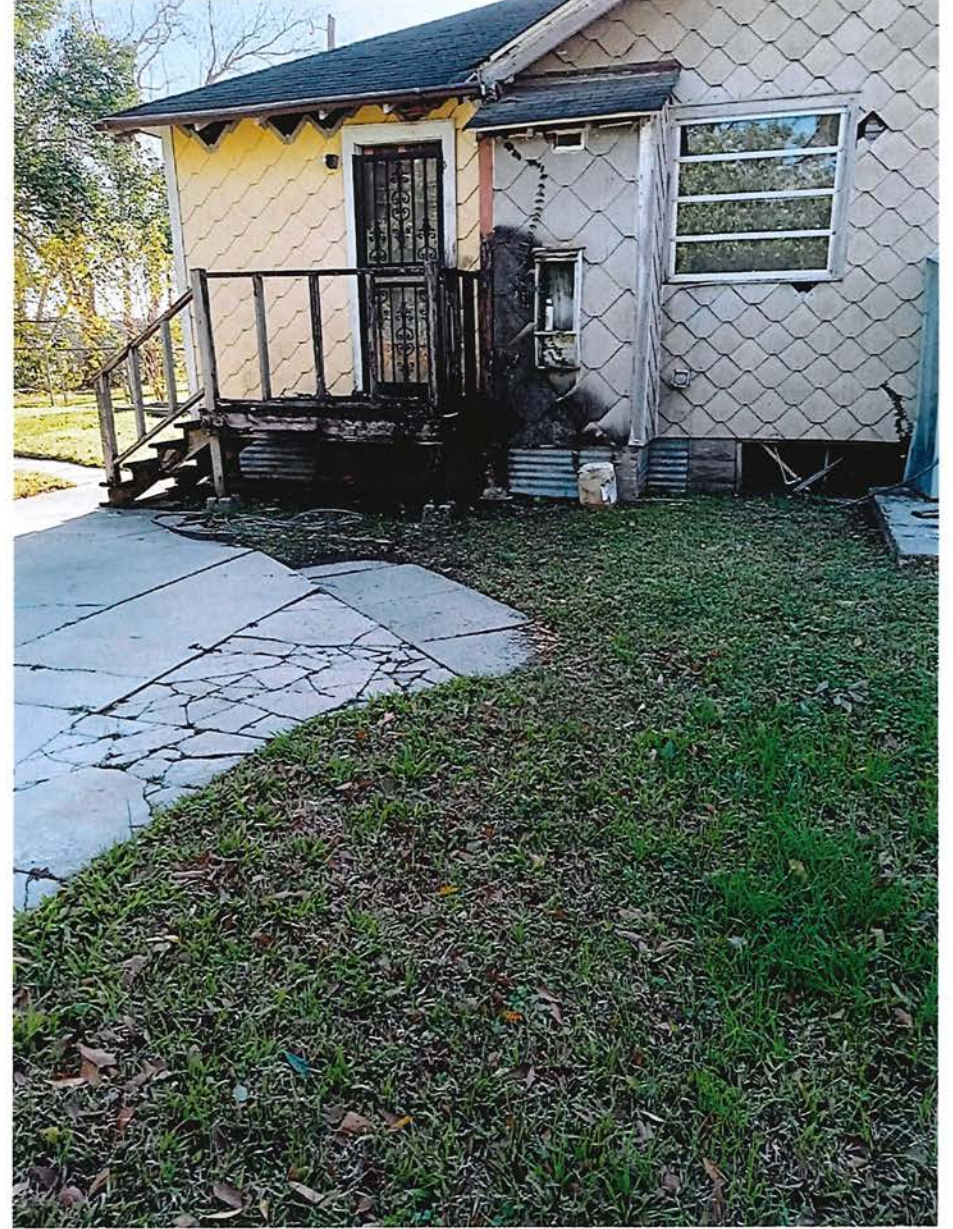
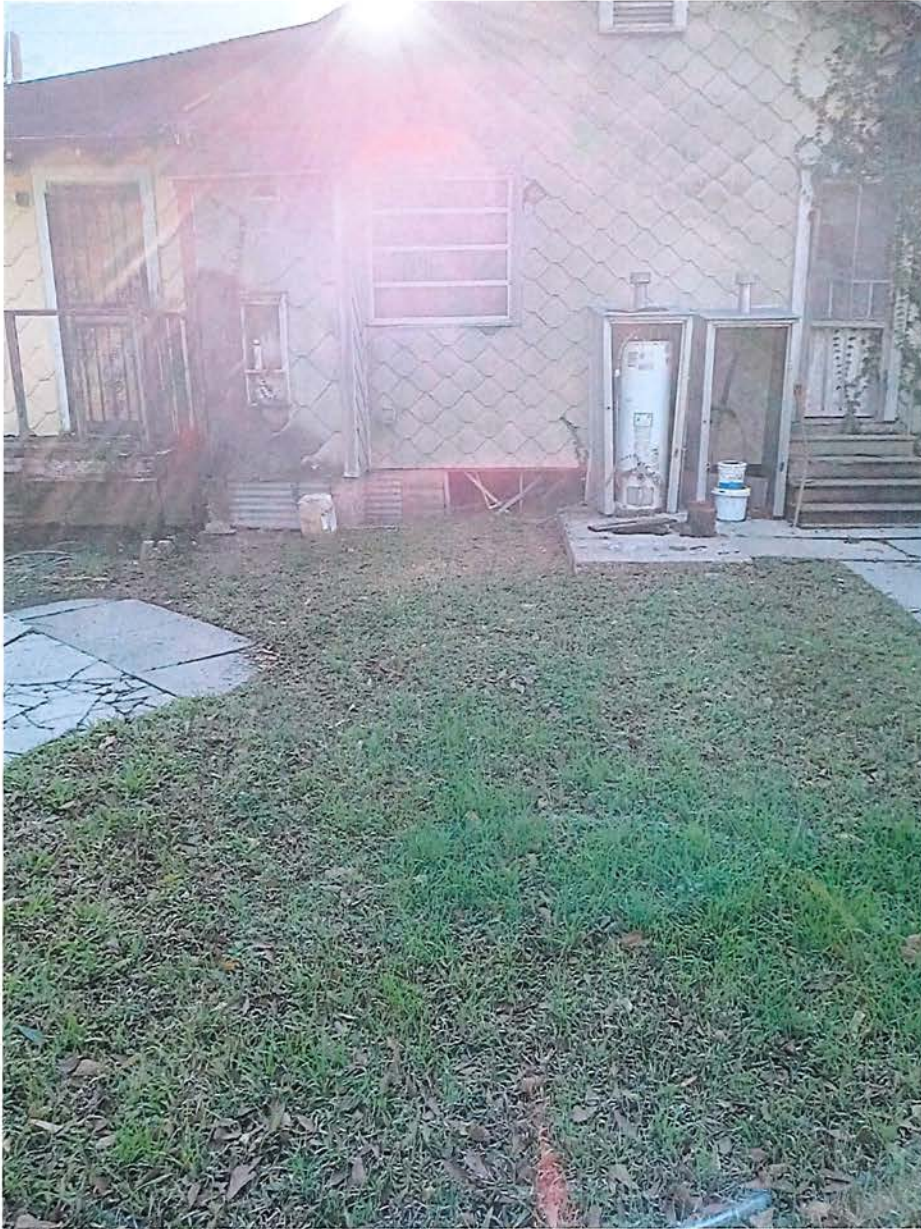




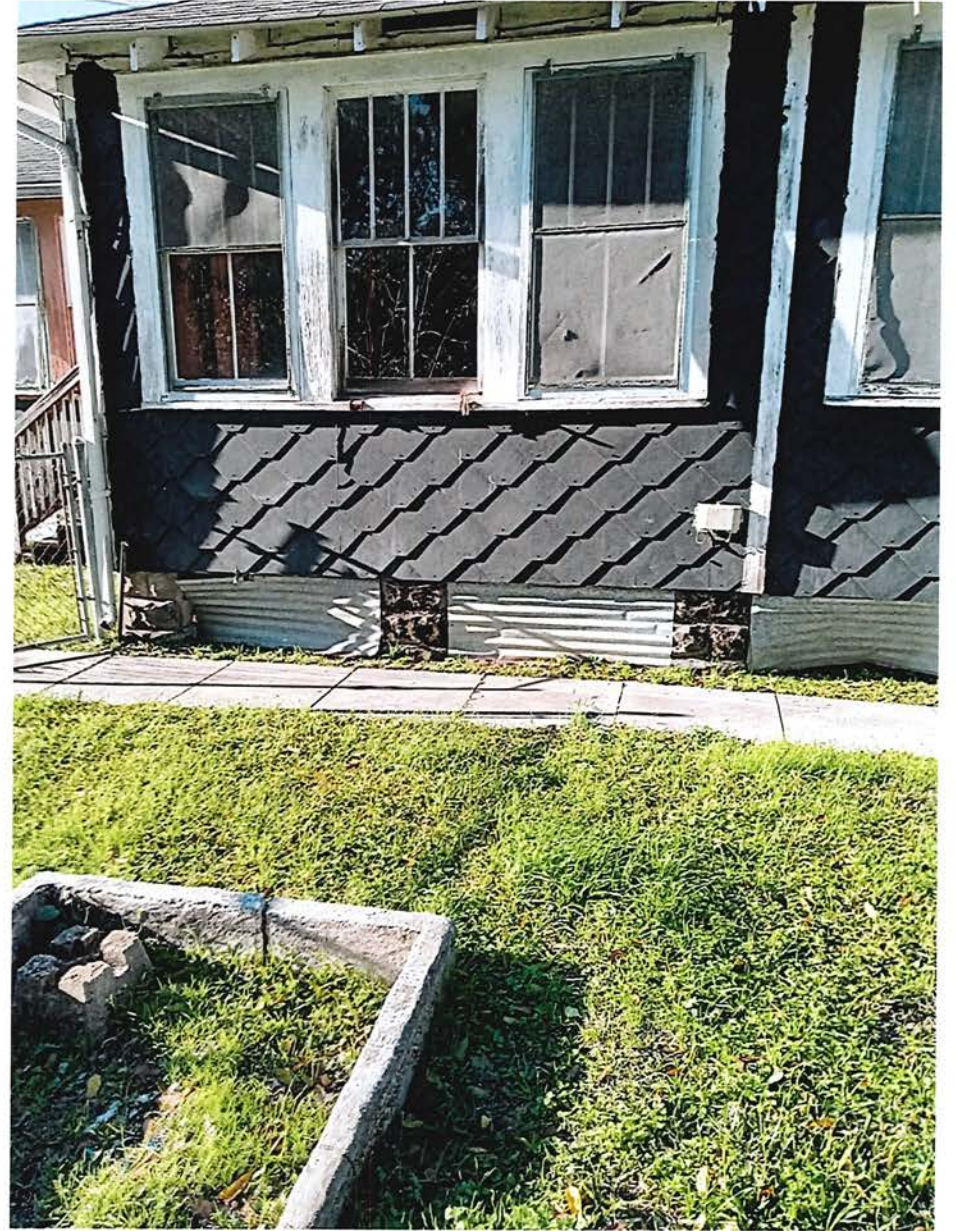


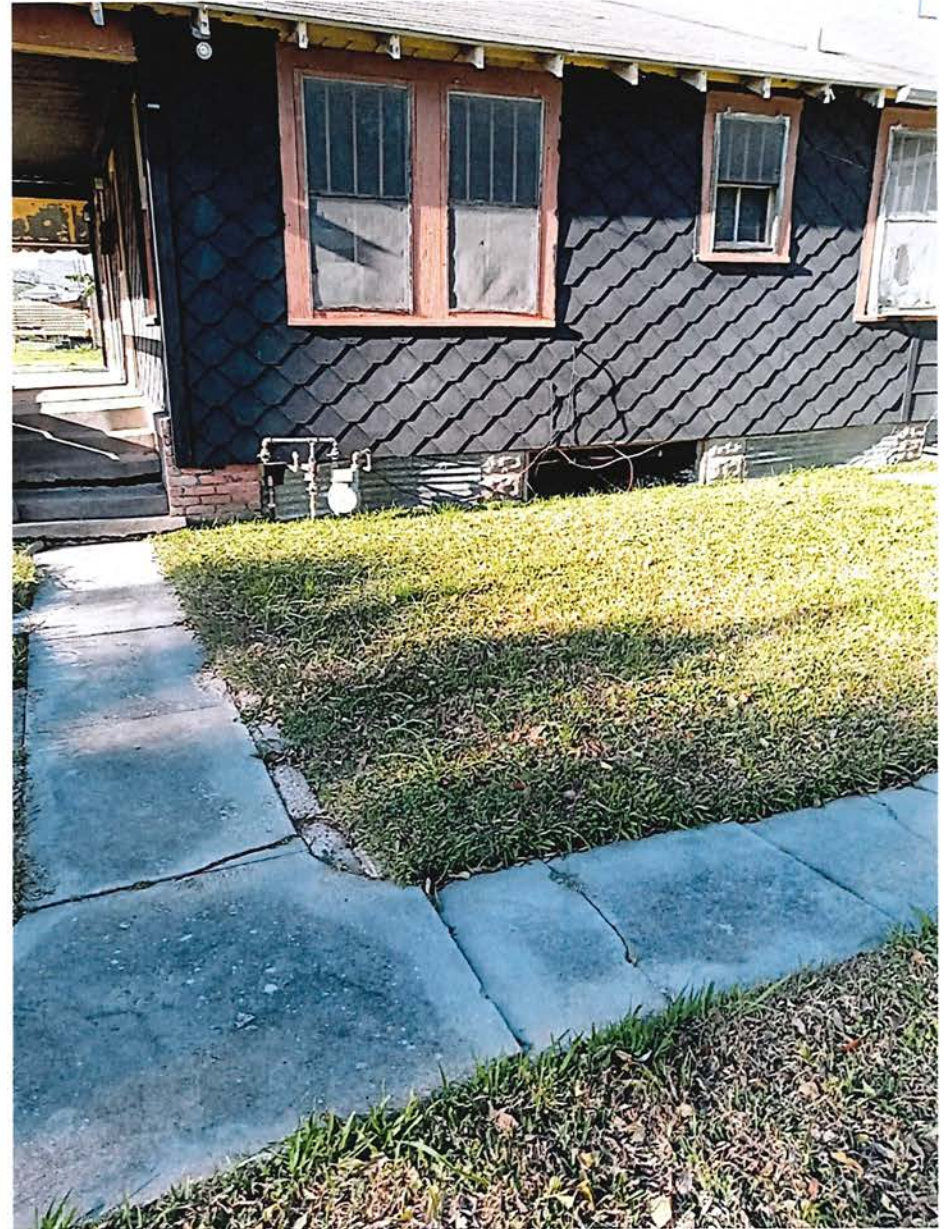
















CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #:	135173	EXPIRATION DATE:	8/06/2024
JOB ADDRESS:	341 OCEAN AVE	LOT #:	
PARCEL ID:		SQUARE #:	
SUBDIVISION:		ZONING:	
OWNER:	AARON MERCADEL	CONTRACTOR:	AARON MERCADEL
ADDRESS:	341 OCEAN AVE	ADDRESS:	341 OCEAN AVE
CITY, STATE ZIP:	GRETN LA 70053-4726	CITY, STATE ZIP:	GRETN LA 70053-4726
PHONE:		PHONE:	
PROP. USE		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ FT	0.00	FIRE SPRINKLERS:	
OCCP TYPE:		OCCUPANT LOAD:	
CNST TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS SCHEDULED FOR 02/05/2024 AT 4:00 P.M. IN COUNCIL CHAMBERS

NOTICE

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(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: February 05, 2024

716 Amelia Street
(District 1)

For: Windows

Applicant: Ken Boudreaux



Historic District Commission

Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: _____ Date: 1/17/24

Applicant's
Name: Ken Boudreaux

Applicant's Address: 716 Amelia St. Gretna LA, 70053

Phone No: () _____ Cell No: (504) 427-2857

For Office Use Only:

Application date: Jan. 24, 2024

Substantive Change: Yes ☐ No ☒ Inventory Number: 676

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
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Departments

Building and Regulatory

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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Ken Boudreaux the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on Feb 5th 2024 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Ken Boudreaux
NAME OF APPLICANT (PLEASE PRINT)

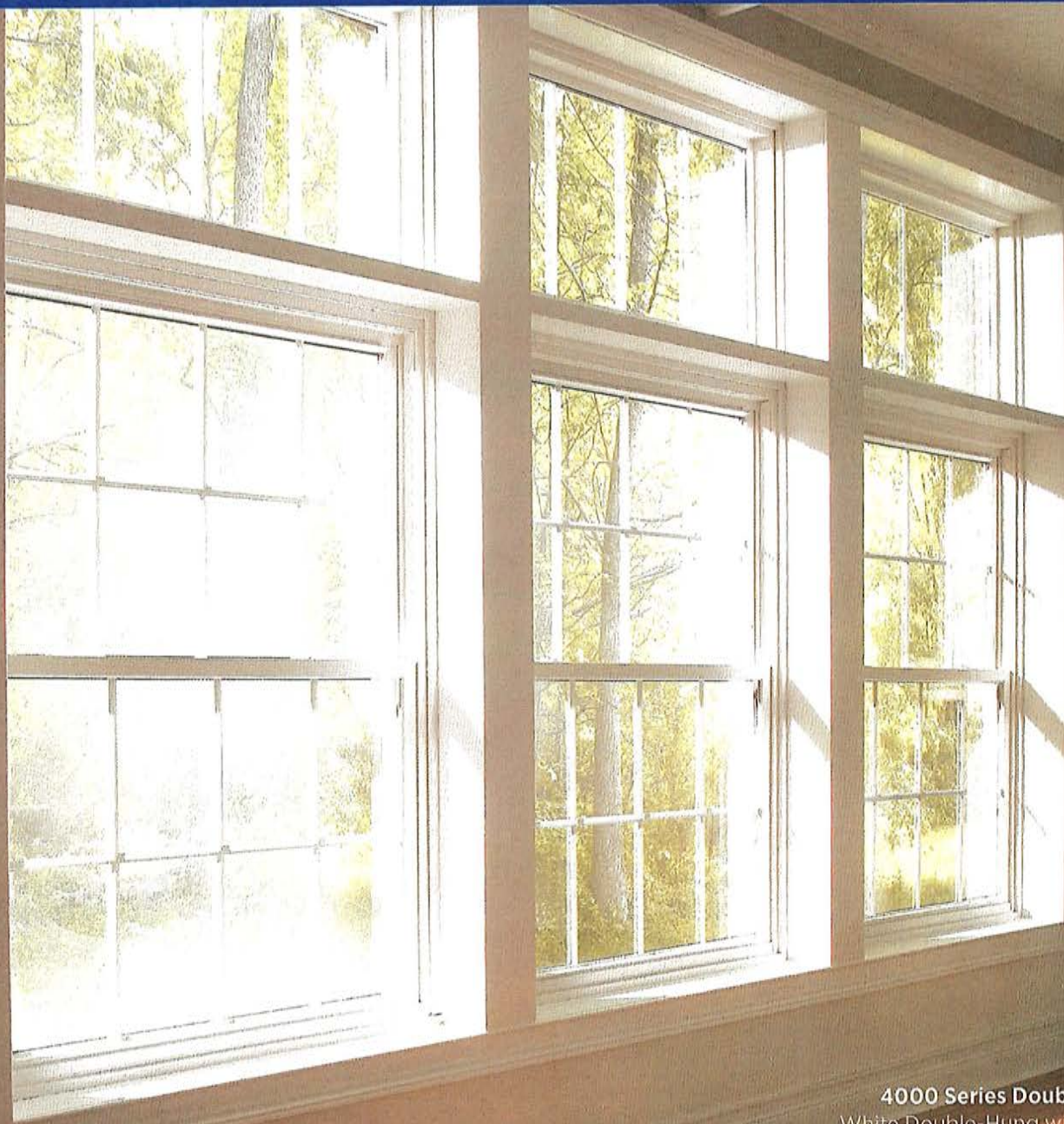
716 Amelia St Gretna, LA 70053
Applicant's address

716 Amelia St Gretna, LA 70053
Actual address of the property for review

Date: 1/17/24

Window World®

4000 SERIES DOUBLE-HUNG AND SLIDING REPLACEMENT WINDOWS



4000 Series Double-Hung
White Double-Hung with White
Contoured Colonial Grids.



AMERICA'S EXTERIOR REMODELER™

Improving Homes. Changing Lives®

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 111 of 171



Window and Patio Door Contract

Locations:

Baton Rouge 8405 Airline Hwy, Baton Rouge, LA 70815
New Orleans 6814 Veterans Blvd, Metairie, LA 70003
Lafayette 3148 Ambassador Caffery Pkwy, Suite 4, Lafayette, LA 70506

Complete Job? ☒ Y Remaining # of Windows? _____

Name: Ken Boudreaux		Email: kboudre@gmail.com	
Address: 716 Amelia St		Customer ID #: 564545	
City: Gretna		Primary #: (504) 427-2857	
State: LA		Zip Code: 70053	
Secondary #: _____		Secondary #: _____	

Windows				Options			
QTY	Double Hung	AMT	TOTAL	QTY	Options	AMT	TOTAL
29	4000 DH Fusion Weld 3001	\$345	\$10,005	<input checked="" type="checkbox"/>	Extruded Aluminum Half Screen	Incl.	Included
	4000 DH Foam Enhanced 3001-FE	\$370		<input checked="" type="checkbox"/>	Extruded Aluminum Full Screen	\$22	
	(Steel Reinforced White Windows)			<input checked="" type="checkbox"/>	Double Locks (> 29" wide)	Incl.	Included
				<input checked="" type="checkbox"/>	Argon Gas	\$21	Included
				<input checked="" type="checkbox"/>	Krypton Gas	\$119	
				<input checked="" type="checkbox"/>	Foam Insulation Wrap	\$15	Included
					Beige / Clay Color	\$52	
					Wood Grain - Inside Surface	\$90	
					SolarZone Low-E-Glass	\$90	
				<input checked="" type="checkbox"/>	SolarZone Elite Low-E-Glass	\$110	Included
					Tempered Glass Sq Ft.	\$7/Sq.ft	
				1	Obscure Glass (Rain / Std.)	\$30	\$ 30.00
				<input checked="" type="checkbox"/>	Lifetime Glass Break Warranty	\$39	Included
					Nail Fin	\$10	
					Oriel/Cottage Style 60/40	\$36	
				29	Flat / Contoured Grids	\$45	\$ 1,305.00
					Exterior Color (Exterior Surface Only)	\$225	

Specialty Window Options			
QTY	Options	AMT	TOTAL
29	Value Plus Package	\$104	
	Energy Star Pkg	\$124	\$ 3,596.00
	Triple Pane Energy Star	\$144	
	TK2 Plus Elite - Energy Star Most	\$394	

Additional Labor Charges			
QTY	Options	AMT	TOTAL
29	Remove Storm Window	\$10	
	Window Removal	\$60	\$ 1,740
	Remove Steel Window	\$70	
	Remove Aluminum In Stucco	\$90	
	Install Mullion for multi-unit	\$30	
	Structural Mullion for multi-unit	\$90	
29	Custom Jamb/Sill Cutback	\$80	
	Install Exterior Capping	\$125	\$ 3,625
	Install Vinyl Int/Ext Trim	\$40	
	Special Shape Trim	\$40	
21	Repair Sill OR Jamb	\$25 / Ft	
	2nd Story Charge	\$10	\$ 210
29	Bay Window Finish & Trim	\$300	
	Header Flashing	\$12	\$ 348
	J-Channel	\$40	
	Clear Story		
	Maintenance Agreement		

PRE 1978 BUILT HOMES (Federal Lead Containment Law)			
QTY	My home was built in the year: 1930	Initials: [Signature]	TOTAL
	Vinyl Rolling Door 6' 6406 (2p)		\$1,289
	Vinyl Rolling Door 8' 6408 (2p)		\$1,497
	Vinyl Rolling Door 9' 6409 (3p)		\$1,821
	Vinyl Rolling Door 12' 6412 (4p)		\$2,295
	5" Rail (per panel)		\$90
	7" Rail / French (per panel)		\$180
	8" Height (per panel)		\$90
	SolarZone Low-E & Argon (per panel)		\$115
	SolarZone Low-E Elite (per panel)		\$135
	TK2 Plus-Elite (per panel)		\$450
	Colonial Grids (per panel)		\$60
	Beige/Clay (per panel)		\$95
	Vinyl Patio Door Trim		\$95
	Integrated Mini Blinds		
	Exterior Color (Exterior Surface Only)		

Window World agrees to install windows and doors as noted above and on the attached order form and to perform other services as specified above for the price quoted on this form. No other promises, expressed or implied, are made except those expressed in writing on this agreement.		The buyer is responsible for: - Securing permits, unless noted on the contract. - Removal and re-installation of any existing security system, burglar bars, A/C units, window coverings, and/or obstructions prior to installation. Additional charges for removing items are at the following rates: A/C Unit-\$50; Curtains/Blinds-\$25/Window; Furniture-\$10/item; Shutters-\$50 each.		NOTICE OF CANCELLATION You the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Notice of cancellation must be in writing postmarked no later than midnight of the following third business day.	
If Window World seeks legal counsel to enforce obligations under this contract, Customer agrees to pay reasonable attorneys fees and costs.		INITIALS: [Signature]		INITIALS: [Signature]	

THIS IS A CUSTOM ORDER NOT FOR RESALE!	
Windows that are unclaimed after 12 months will be deemed abandoned and will remain property of Window World.	
No extra work if not in writing!	
29 Window(s) Window World 4000 Series White Vinyl Frames Double Strength 1/8" Glass All Inclusive Lifetime Warranty	

Customer Agrees to the terms of payment as follows:	
Total List Price \$	\$ 20,859.00
Administrative & Setup Fee \$ 150	\$ 150.00
Sales Tax (MS Only - 7%)	\$
Total Amount \$	\$ 21,009.00
Custom Order Deposit 50%	\$ 10,504.50
Amount Paid to Installer upon Completion	\$ 10,504.00
Amt Financed \$	
Contribute to St. Jude \$	

VISA	AMEX	M/C	DISC #	Exp. Date	Sec. Code
[Signature]					
Owner					
Date 12/18/2023					
Owner					
Date 12/18/2023					

1145	Turner	12/18/2023
Emp. #	Estimator	Date
CELL: 225-278-1808		
Window World of Baton Rouge, LLC d/b/a Window World, World of Windows		

Form # LC-WC-1102













CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #:	135174	EXPIRATION DATE:	2/06/2024
JOB ADDRESS:	716 AMELIA ST	LOT #:	
PARCEL ID:		SQUARE #:	
SUBDIVISION:		ZONING:	
OWNER:	KEN BOUDREAU	CONTRACTOR:	KEN BOUDREAU
ADDRESS:	716 AMELIA ST	ADDRESS:	716 AMELIA ST
CITY, STATE ZIP:	GRETN LA 70053-5442	CITY, STATE ZIP:	GRETN LA 70053-5442
PHONE:		PHONE:	
PROP. USE		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ FT	0.00	FIRE SPRINKLERS:	
OCCP TYPE:		OCCUPANT LOAD:	
CNST TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS SCHEDULED FOR 02/05/2024 AT 4:00P.M. IN COUNCIL CHAMBERS

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: February 05, 2024

700 Monroe Street
(District 1)

For: New Construction
Accessory Structure

Applicant: John Cody Stringer



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 700 MONROE STREET, GRETN, LA 70053

Renovation: _____
New Construction: DETACHED GARAGE/ACCESSORY STRUCTURE

Age of Structure: Ø 1900

Demolition: _____

Building Type:

Creole Cottage ✓

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake X

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof SHINGLE Soffit CEMENT BOARD

Fascia CEMENT BOARD Siding CEMENT BOARD

Masonry BRICK Porches _____

Balconies _____ Handrails WOOD

Type of exterior lighting fixtures: GAS LANTERN (2), WALL SCONCES (2)

Style of windows: TBD (2 OVER 2)

Type of exterior doors: TBD (SINGLE LIGHT)

Describe any ornamental woodwork: NONE

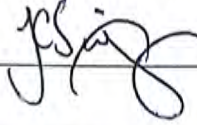
Elevations:

Front Space: 16 ft. Side Space: 23.5 ft.

Rear Space: 16 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 1/30/2024
Applicant's Name: JOHN CODY STRZAWKA
Applicant's Address: 700 MAURICE STREET, GRETTA, LA 70053
Phone No: (504) 655-5577 Cell No: () SAME

For Office Use Only:

Application date: 1/29/24
Substantive Change: Yes ☒ No ☐ Inventory Number: 26-02098
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: _____

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

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Michael Wesley

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have been informed of the Historic District Commission (HDC) meeting
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on 2/5/2024 4:00 p.m., 740 2nd Street,
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Appropriateness", issued by the Historic District Commission, does not
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while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

JOHN CODY STRUGER

NAME OF APPLICANT (PLEASE PRINT)

700 MAURICE ST., GRETNAL, LA 70053

Applicant's address

SAME

Actual address of the property for review

Date: _____





















BUILDING INFORMATION

PROJECT NAME:

NEW DETACHED GARAGE

ADDRESS:

703 MONROE STREET
GRETN, LA. 70053

APPLICABLE CODES:

BUILDING CODE: 2021 INTERNATIONAL RESIDENTIAL CODE
MUNICIPAL CODE: CITY OF GRETN

BUILDING INFORMATION

SQUARE FOOTAGE TAKEOFF

A) 1ST FLOOR 376 SF
B) ATTIC (CONDITIONED) 312 SF
C) ATTIC (NON-CONDITIONED) 44 SF
D) TOTAL BUILDABLE 732 SF

INDEX OF DRAWINGS

ARCHITECTURAL

A-1.1 SITE PLAN, GENERAL NOTES, & CODE INFORMATION
A-2.1 FLOOR PLAN, EXTERIOR ELEVATIONS, & SCHEDULES

STRUCTURAL

S-1.1 STRUCTURAL NOTES & FRAMING PLANS

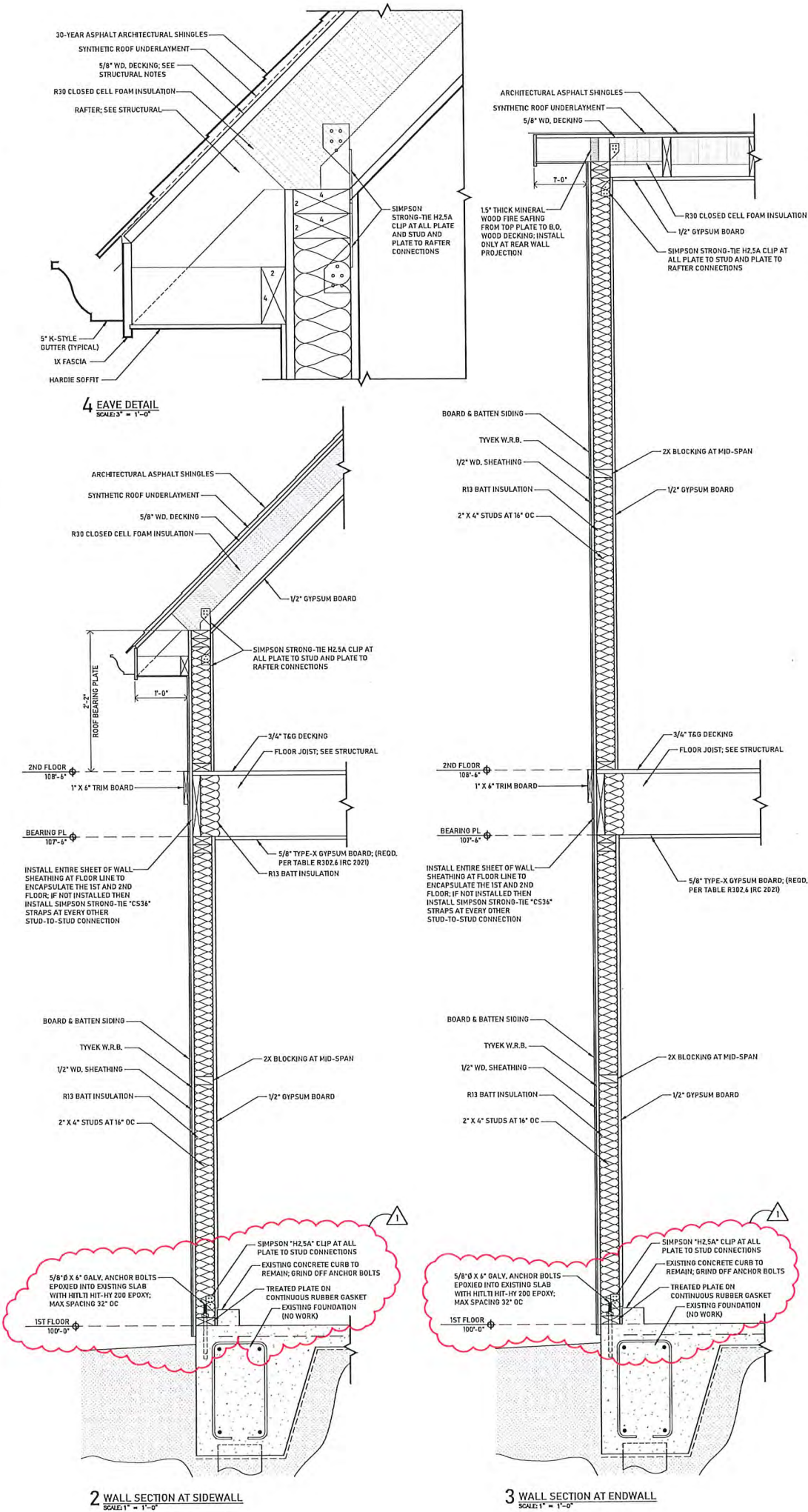
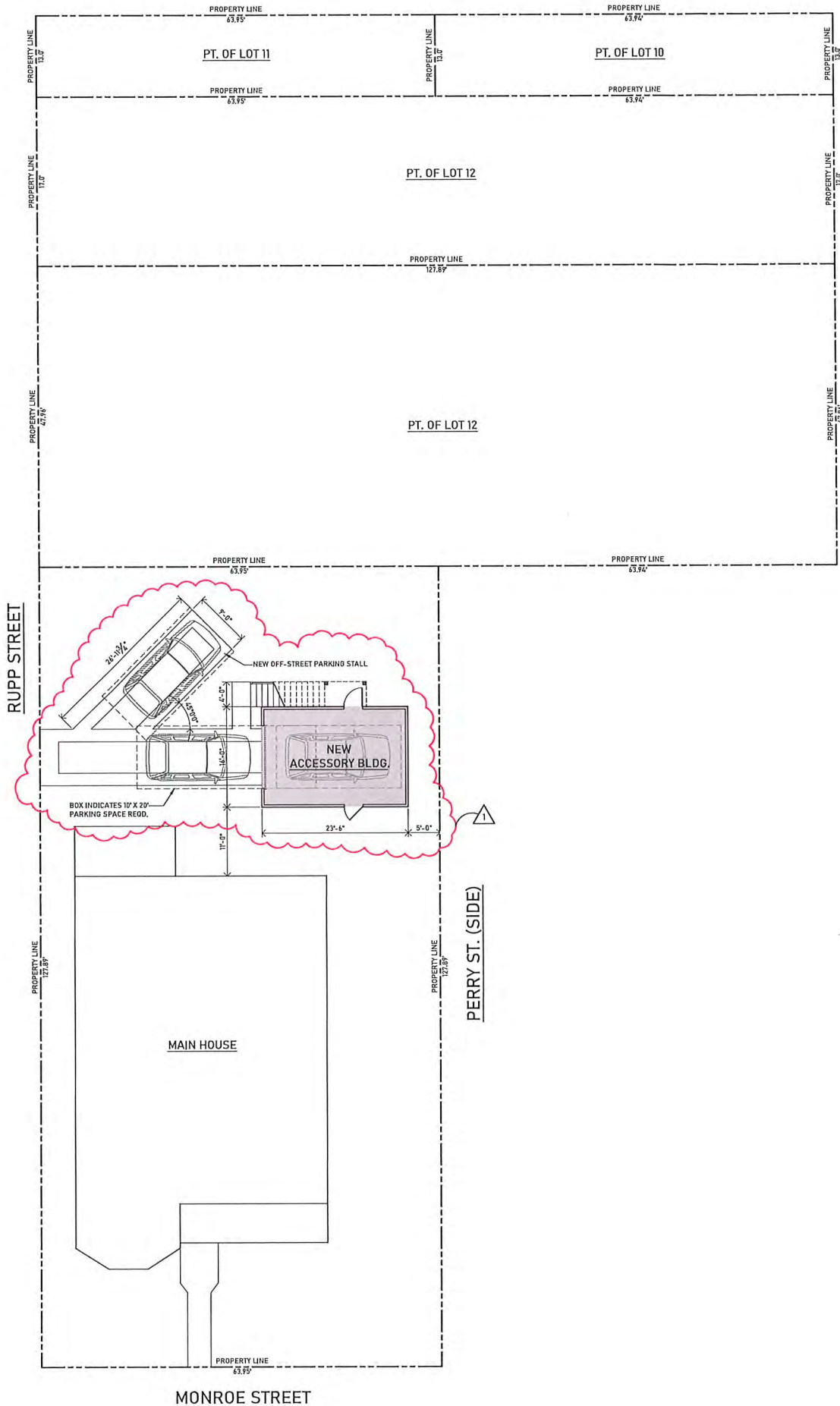
GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES, ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.
- EACH TRADE SHALL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.
- CONTRACTORS SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED, WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST (ONE YEAR FROM WHEN THE CERTIFICATE OF OCCUPANCY IS GRANTED).
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR THE WORK.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEEPED CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
- PRIOR TO THE INSTALLATION OF FLOORING PATCH ALL AREAS WHERE THE SUB-FLOOR IS NOT LEVEL OR TRUE.
- TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINETRY WORK SHALL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.

VICINITY MAP



FRANKLIN ST. (SIDE)



KENNER, LA.
(E) AXELARCHITECTS@GMAIL.COM
(P) 985.212.9849

PROJECT TITLE
NEW DETACHED GARAGE

PROJECT ADDRESS
700 MONROE STREET
GRETN, LA. 70053

REVISION/ISSUE HISTORY

NO.	DATE
1	01.05.2024

PROJECT NO 2325
ISSUED DATE 12.22.2023
USE

FOR REVIEW
FOR PRICING
X FOR PERMIT
FOR CONSTRUCTION
DESIGN PHASE
CON. DOCS.

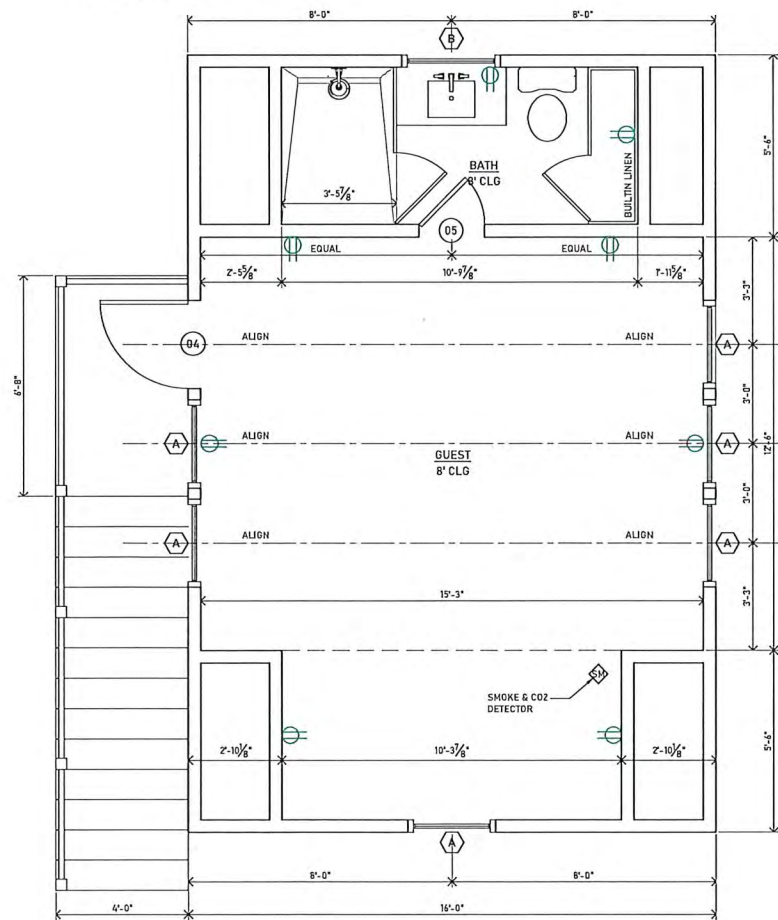
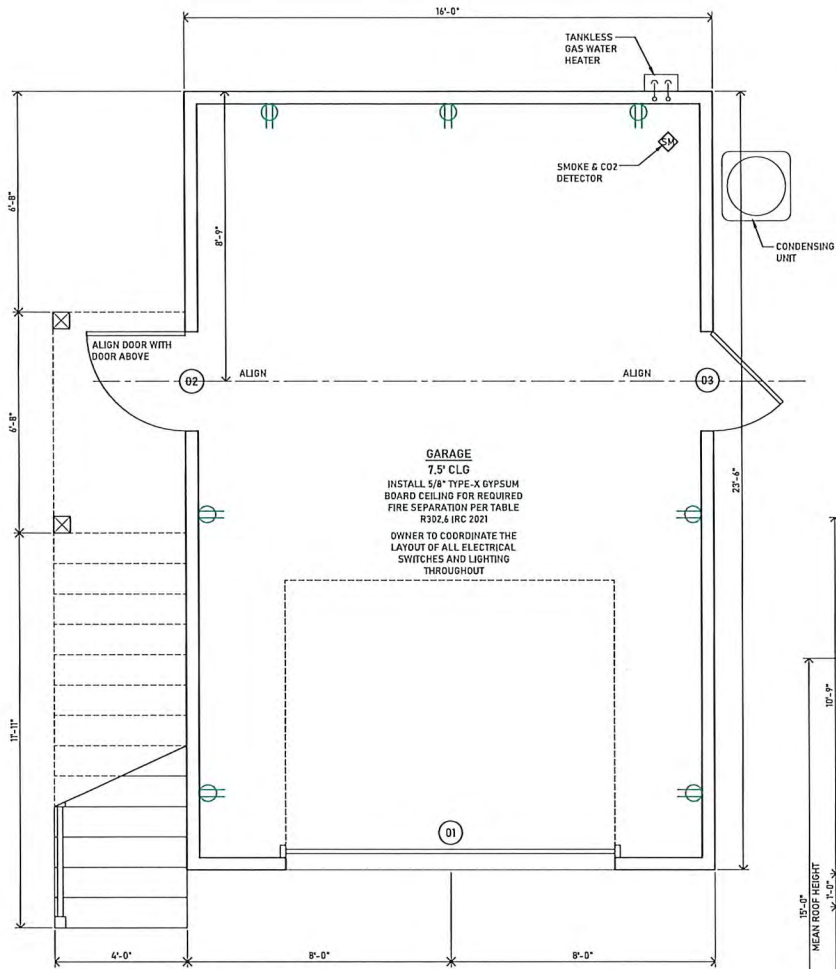
STAMP

THIS DRAWING HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND COMPLIES WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.
CERTIFIED CORRECT

THIS DRAWING IS CONFIDENTIAL AND MAY NOT BE LOANED, REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF JOSEPH AXEL CARLSON. ALL RIGHTS OF DESIGN OR INVENTION ARE RESERVED AND WILL REMAIN THE SOLE PROPERTY OF JOSEPH AXEL CARLSON. DISCLAIMER: IN NO EVENT SHALL THE ARCHITECT BE LIABLE FOR ANY DIRECT, INDIRECT, SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES ARISING OUT OF THE USE OF OR INABILITY TO USE THE DRAWINGS. THE USER(S) AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY CLAIMS, LOSSES, OR DAMAGES, INCLUDING ATTORNEY FEES, ARISING OUT OF OR RELATED TO THE USE OF THE DRAWINGS.

SHEET TITLE & NUMBER
SITE PLAN & SECTIONS

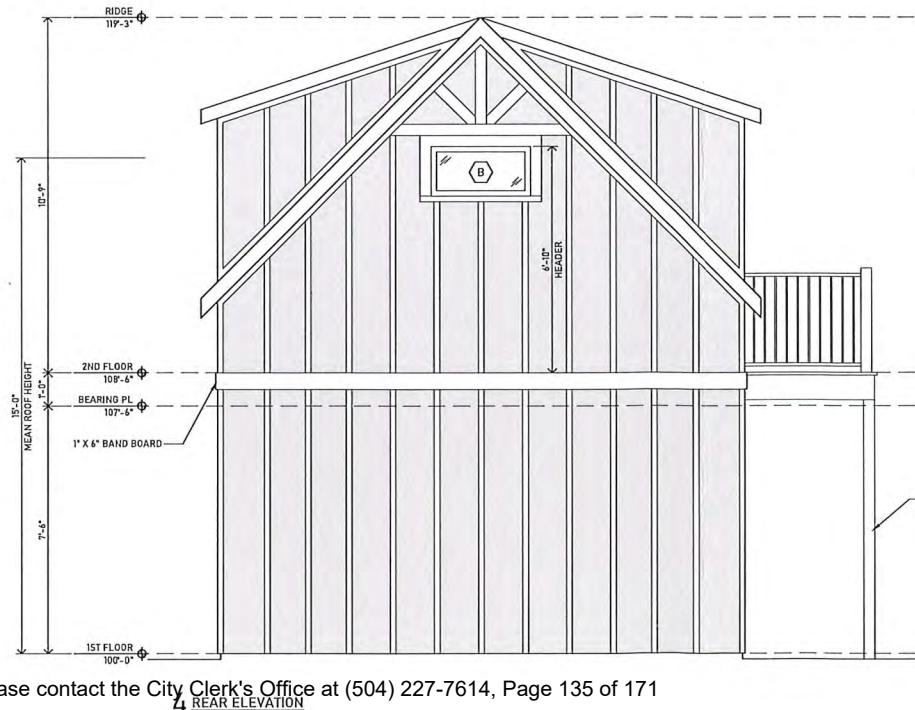
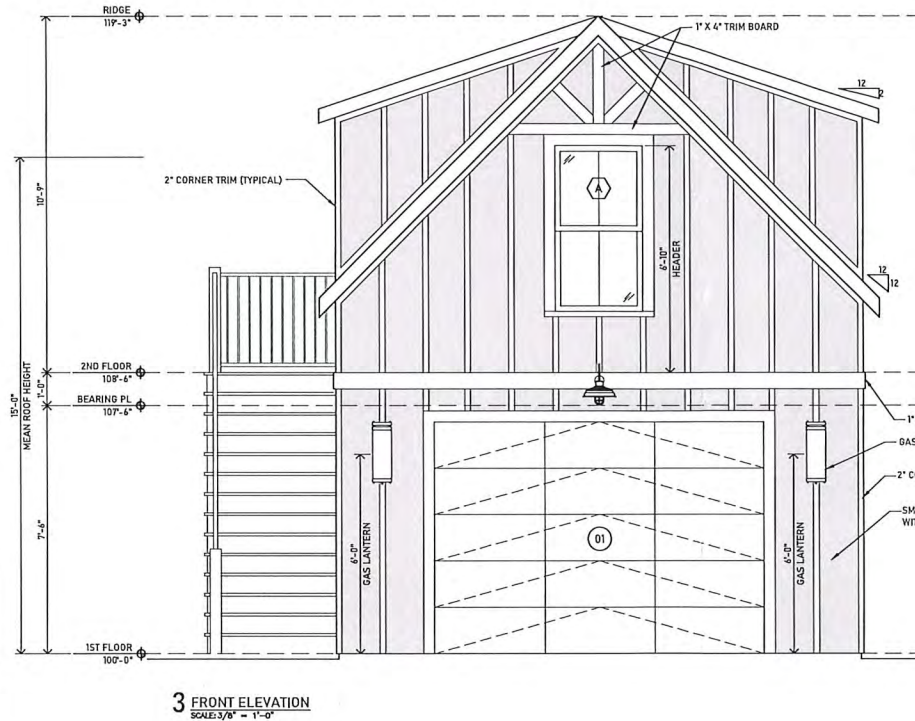
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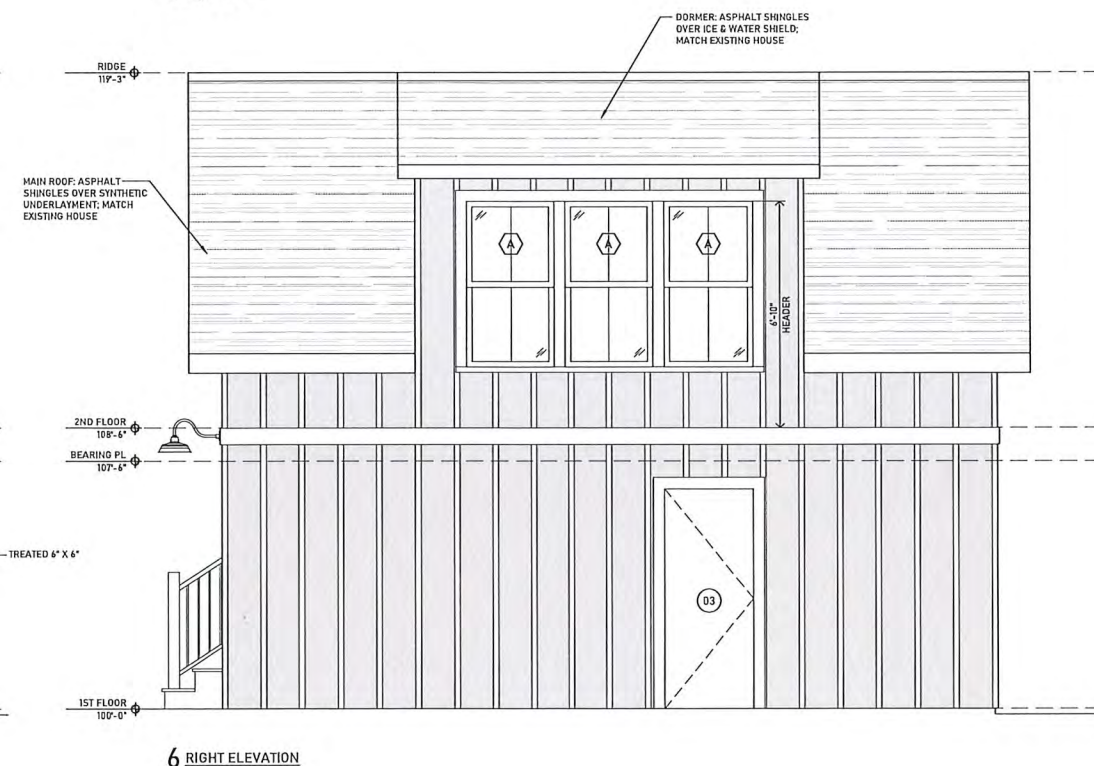
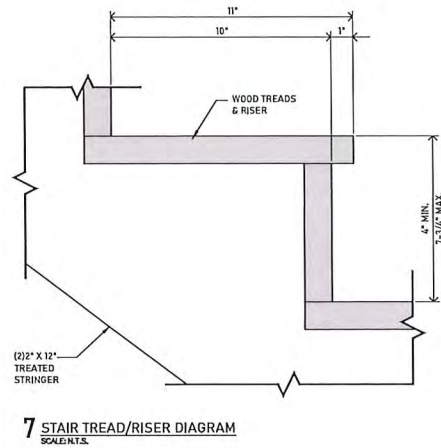
DOOR SCHEDULE						*ALL DOOR WIDTHS & HEIGHTS ARE LEAF SIZES & DO NOT INCLUDE THE FRAME	
MARK	LOCATION	DOOR SIZE		THRESH.	# OF LEAVES	REMARKS	
		WIDTH	HEIGHT				
01	EXTERIOR TO GARAGE	10'-0"	7'-0"	----	1	SECTIONAL GARAGE DOOR	
02	GARAGE TO EXTERIOR	2'-8"	6'-8"	1-3/4"	1	WEATHERSTRIPPED	
03	GARAGE TO EXTERIOR	2'-8"	6'-8"	1-3/4"	1	WEATHERSTRIPPED	
04	GUEST TO STAIR LANDING	2'-8"	6'-8"	1-3/4"	1	WEATHERSTRIPPED, TEMPERED GLAZING	
05	GUEST TO BATH	2'-0"	6'-8"	1-3/8"	1		

WINDOW SCHEDULE					
MARK	SIZE	WIDTH	HEIGHT	TYPE	GLAZING
A	2'-8" 5'-0"	2'-8"	5'-0"	SINGLE HUNG	DOUBLE PANE, LOW-E
B	2'-0" 7'-4"	2'-0"	7'-4"	FIXED	DOUBLE PANE, LOW-E

WINDOW NOTES:
1) PRIOR TO ORDERING AND INSTALLATION THE CONTRACTOR SHALL SUBMIT WINDOW SUBMITTAL THAT CONSISTS OF PRODUCT DATA, CUT SHEETS, PRODUCT INFORMATION, ETC., FOR THE ARCHITECT'S REVIEW.
2) WINDOWS MUST HAVE A MINIMUM U-FACTOR OF 0.30
3) ALL WIND BORNE DEBRIS PROTECTION SHALL COMPLY WITH IRC 2015 R301.2.12 PROTECTION OF OPENINGS; EXCEPTION
4) INSTALLATION OF EXTERIOR WINDOWS AND DOORS SHALL COMPLY WITH ASTM E2112-07 "STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS AND SKYLIGHTS".



STAIR NOTES:
1. HANDRAILS:
A. PROVIDE HANDRAIL- MINIMUM ON ONE SIDE
B. HANDRAILS 34" (MIN) TO 36" (MAX)
C. RETURN AND TERMINATE ENDS OF HANDRAILS TO WALL OR POST
D. PROVIDE 1-1/2" CLEAR BETWEEN HANDRAIL AND WALL
E. CROSS- SECTIONAL DIMENSION HAND GRIP PORTION OF HANDRAILS: 1-1/4" TO 2" DIAMETER.
2. TREADS:
A. ALL TREADS SURFACES ARE TO BE SLIP RESISTANT.
B. ALL EXPOSED EDGES OF TREADS ARE TO BE SMOOTH, ROUNDED OR CHAMFERED, NO ABRUPT EDGES AT LOWER FRONT EDGE OF NOSING.
3. NOSING:
A. NOSING PROJECTION PAST FACE OR RISER BELOW TO BE MIN. 1"
4. RISERS:
A. SUFFICIENTLY SOLID TO PREVENT PASSAGE OF OBJECTS LARGER THAN 1/4".
5. DIMENSIONS (UNLESS NOTED OTHERWISE):
A. RISERS: 7-3/4" MAX W/ 4" MIN.
B. TREADS: 10" MINIMUM W/ 1" NOSING
C. MAXIMUM VARIATION IN HEIGHT OF RISERS OR WIDTH OF TREADS IN ANY GIVEN FLIGHT EQUALS 1/4"
6. CLEARANCES:
A. MINIMUM HEADROOM CLEARANCE MEASURED VERTICALLY FROM THE PLANE OF THE CEILING FINISH TANGENT TO THE TREAD NOSING AT THE STAIRWELL: 6'-8" MINIMUM CLEARANCE
B. MAXIMUM VERTICAL DISTANCE BETWEEN STAIRWAY LANDINGS: 12'-4"
7. LANDINGS:
A. STAIR LANDINGS SHALL BE THE SAME WIDTH AND DEPTH AS THE STAIR IT SERVES WITH MINIMUM DIMENSIONS OF 36" EACH WAY.
B. PROVIDE HANDRAIL AT STAIRS AND 34" HIGH GUARD RAIL, (42" HIGH MINIMUM IF OCCUPANCY LOAD IS HIGHER THAN 10) AT STAIR LANDINGS WITH CLEAR SPACE BETWEEN BALUSTERS AND HORIZONTAL TOP RAIL AT 4" MINIMUM CLEARANCE. TYPICAL



AXEL
KENNER, LA
(E) AXELARCHITECTS@GMAIL.COM
(P) 985.212.9649

PROJECT TITLE
NEW DETACHED GARAGE

PROJECT ADDRESS
700 MONROE STREET
GRETN, LA. 70053

REVISION/ISSUE HISTORY
NO. DATE

PROJECT NO 2325
ISSUED DATE 12.22.2023

USE
FOR REVIEW
FOR PRICING
X FOR PERMIT
FOR CONSTRUCTION

DESIGN PHASE
CON. DOCS.

STAMP
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CERTIFIED CORRECT

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SHEET TITLE & NUMBER
PLANS & ELEVATIONS

A-2.1

THE CONSTRUCTION DOCUMENTS ARE BASED ON THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS FROM THE AUTHORITY HAVING JURISDICTION (A.H.).

BUILDING CODE VERSION: 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE
A.H.: CITY OF GRETNA

2. DEAD LOADS:

A) ARE BASED UPON THE ACTUAL WEIGHTS OF MATERIALS OF CONSTRUCTION AND FIXED SERVICE EQUIPMENT.
B) INTERIOR PARTITIONS, HANGING CEILING AND MECHANICAL LOADS: AN ALLOWANCE OF 5 PSF HAS BEEN MADE FOR HANGING CEILING AND MECHANICAL EQUIPMENT SUCH AS DUCT WORK & ELECTRICAL LIGHTING.

3. LIVE LOADS:

A) GARAGE.....50 PSF
B) ATTIC, HABITABLE.....30 PSF
C) ROOF.....20 PSF

4. WIND LOADS: (ASCE 7-16 EDITION)

A) ULTIMATE DESIGN WIND SPEED, $V_{ult} = 145$ MPH (3-SEC PEAK GUST)
B) NOMINAL DESIGN WIND SPEED, $V_{asd} = 113$ MPH (3-SEC PEAK GUST)
C) RISK CATEGORY = II
D) WIND EXPOSURE CATEGORY = B
E) INTERNAL PRESSURE COEFFICIENT = +0.18
F) IMPORTANCE FACTOR = 1.0

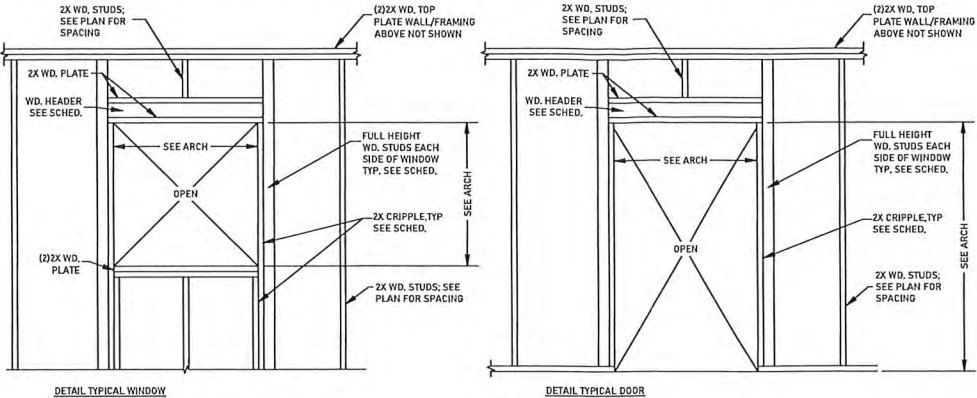
1. THE CONTRACTOR IS RESPONSIBLE FOR QUALITY CONTROL, INCLUDING WORKMANSHIP AND MATERIALS FURNISHED BY SUBCONTRACTORS AND SUPPLIERS.
2. REFER TO DRAWINGS OTHER THAN STRUCTURAL FOR COMPLETE INFORMATION REGARDING: SLEEVES, CURBS, INSERTS, DEPRESSIONS, OPENINGS, ETC...
3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ALL CONTRACT DOCUMENTS AND LATEST REVISIONS/ADDENDA AND TO SUBMIT SUCH DOCUMENTS OF ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS, MATERIAL PROCUREMENT, AND COMMENCEMENT OF CONSTRUCTION.
4. THE USE OF REPRODUCTIONS OF THESE CONTRACT DOCUMENTS BY ANY CONTRACTOR OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES THEIR ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES THEM TO ANY JOB EXPENSE, REAL OR IMPLIED, DUE TO ANY ERRORS THAT MAY OCCUR HEREON.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL CODES AND REQUIREMENTS OF THE A.H.J.
6. THE GENERAL CONTRACTOR SHALL COMPARE ALL DRAWINGS & ADDENDA AND IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN EACH SET OF DRAWINGS AND WITHIN EACH SET OF DRAWINGS TO THE ARCHITECT AND ENGINEER PRIOR TO THE FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBERS.
7. WHERE MEMBER LOCATIONS ARE NOT SPECIFICALLY DIMENSIONED, MEMBERS ARE EITHER LOCATED ON COLUMN LINES OR ARE EQUALLY SPACED BETWEEN THE LOCATED MEMBERS.
8. IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR SPECIFIED ON THE DRAWINGS OR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SHOWN OR SPECIFIED IN SIMILAR CONDITIONS.
9. WHERE CONFLICT EXISTS AMONG THE VARIOUS PARTS OF THE STRUCTURAL CONTRACT DOCUMENTS, STRUCTURAL DRAWINGS, GENERAL NOTES AND SPECIFICATION, THE STRICTEST REQUIREMENTS, AS INDICATED BY THE P.O.R., SHALL GOVERN.

1. JOIST WHICH FRAME INTO SUPPORTING BEAMS AT THE SAME ELEVATION SHALL BE CONNECTED WITH M&B TOP FLANGE JOIST HANGERS. USE LASS JOIST HANGERS AT RIDGE AND HIP LOCATIONS. USE CP CONNECTORS AT ALL HIP BEARING LOCATIONS. USE CC & EEC COLUMN CAPS AND ABU BASES AS REQD. ALL CONNECTORS SPECIFIED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE CO., INC. ALL HANGERS AND/OR CONNECTORS SHALL BE SIZED FOR THE MEMBER SUPPORTED.
2. HURRICANE CLIPS SHALL BE "H2.5A" AS MANUFACTURED BY SIMPSON STRONG-TIE AND INSTALLED AT ALL WALL PLATE TO STUD CONNECTIONS, WALL PLATE TO CEILING JOIST CONNECTIONS, WALL PLATE TO RAFTER CONNECTIONS, AND BEAM TO RAFTER CONNECTIONS.

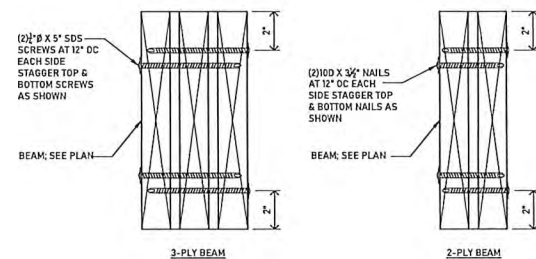
HEADER NOTES:

1. HEADER SIZES SHOWN TO BE USED FOR ALL WINDOW & DOOR OPENINGS TYPICAL UNLESS OTHERWISE NOTED.
2. OPENING SIZES IN SCHEDULE ARE UP TO AND INCLUDING DIMENSIONS SHOWN.
3. SEE ARCHITECTURAL FOR ALL WINDOW & DOOR OPENING SIZES AND LOCATIONS
4. CONTACT ARCHITECT/ENGINEER FOR CONDITIONS NOT LISTED IN SCHEDULE OR DETAILED OTHERWISE.
5. SEE GENERAL NOTES FOR FRAMING STANDARDS, CONNECTION STANDARDS, ETC...

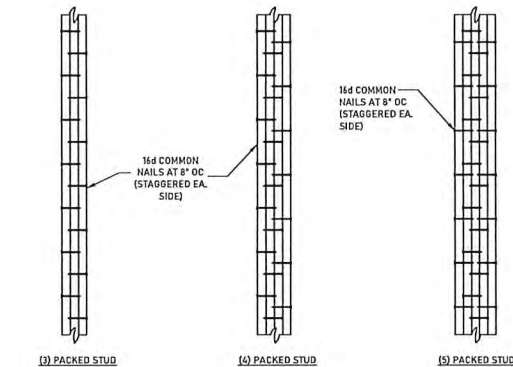
WALL DESCRIPTION	HEADER FOR OPENING SIZE "INSTALL" 2" OSB AT ALL "LB" HEADERS				JAMBS FOR OPENING SIZE							
					CRIPPLE STUDS				FULL HEIGHT STUDS			
					4'-0"	6'-0"	8'-0"	10'-0"	4'-0"	6'-0"	8'-0"	10'-0"
INTERIOR LB WALL	2-2X6	2-2X8	2-2X10	3-2X12	2	2	2	2	2	2	2	3
INTERIOR NLB WALL	2-2X4	2-2X6	2-2X8	2-2X12	1	1	1	2	1	1	2	2
EXTERIOR LB WALL	2-2X6	2-2X8	2-2X10	3-2X12	2	2	2	2	2	2	2	3
EXTERIOR NLB WALL	2-2X4	2-2X6	2-2X8	2-2X12	1	1	1	2	1	2	2	2



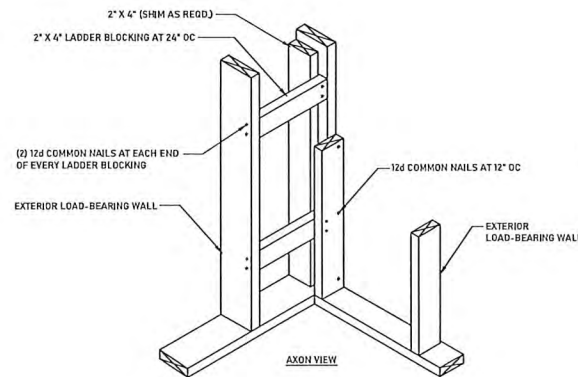
1 OPENING HEADER SCHEDULE
SCALE: N.T.S.



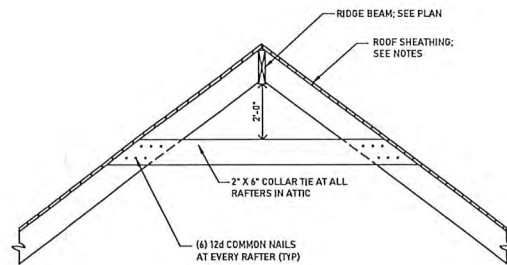
2 LAMINATED WOOD BEAM DETAIL



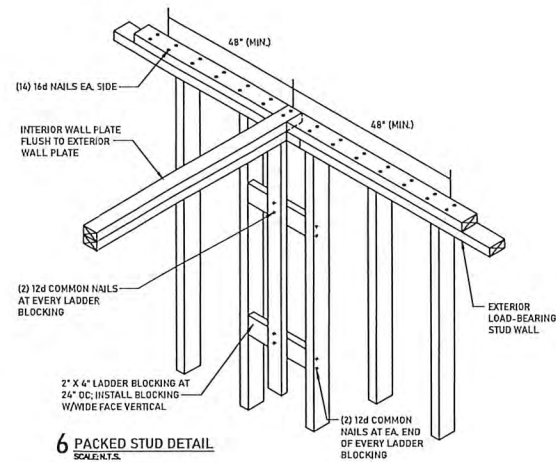
3 PACKED STUD DETAIL



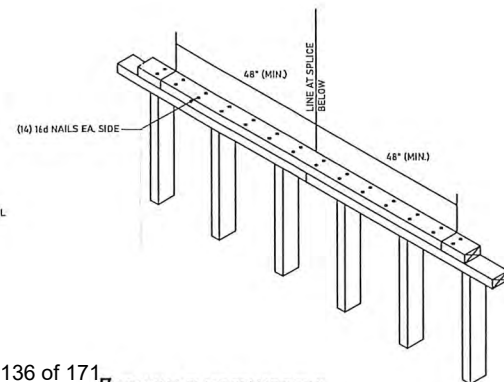
4 THREE STUD CORNER DETAIL



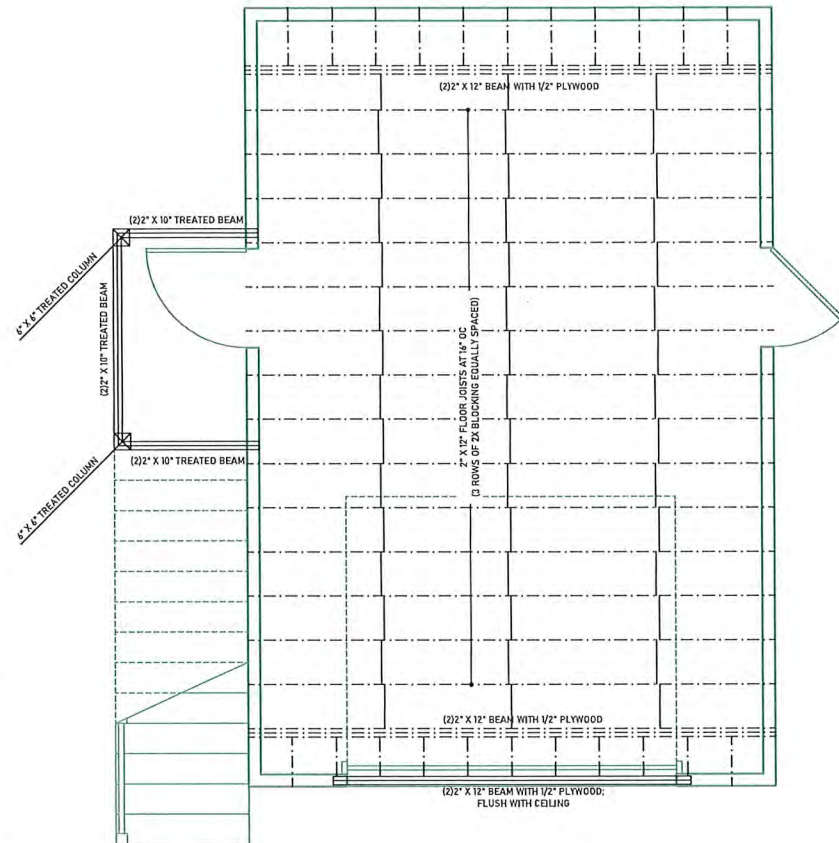
5 COLLAR TIE DETAIL
SCALE: N.T.S.



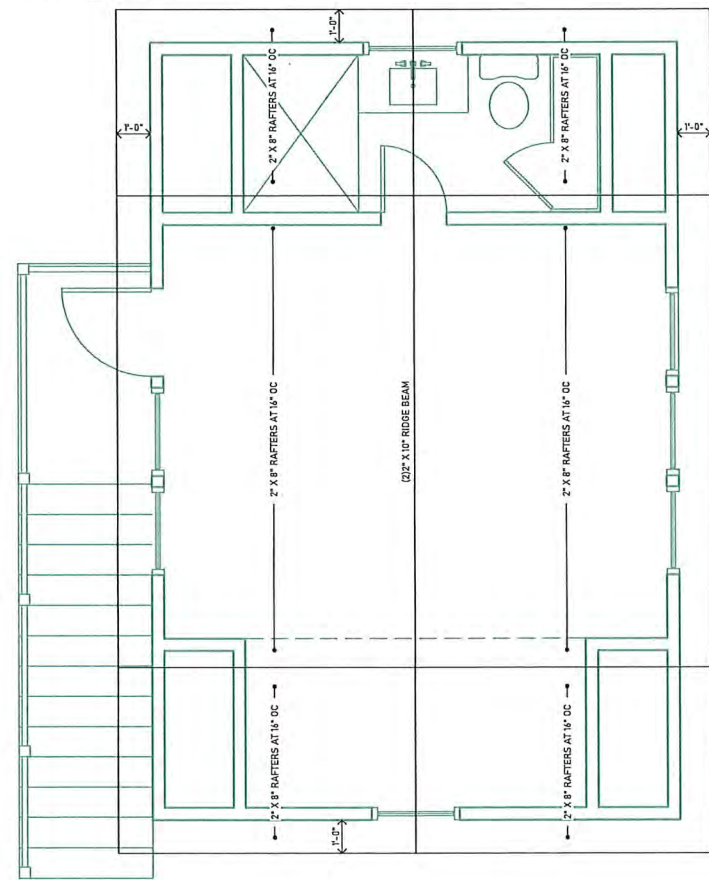
6 PACKED STUD DETAIL
SCALE: N.T.S.



7 TOP WALL PLATE SPLICE DETAIL



8 FRAMING PLAN - ATTIC FLOOR
SCALE: 3/8" = 1'-0"



9 FRAMING PLAN - ROOF

KENNER, LA
(E) AXELARCHITECTS@GMAIL.COM
(P) 985.212.9649

PROJECT TITLE
NEW DETACHED GARAGE

PROJECT ADDRESS
700 MONROE STREET
GRETN, LA. 70053

[illegible]

PROJECT NO 2325

ISSUED DATE 12.22.2023

USE	FOR REVIEW
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X	FOR PERMIT
	FOR CONSTRUCTION

DESIGN PHASE
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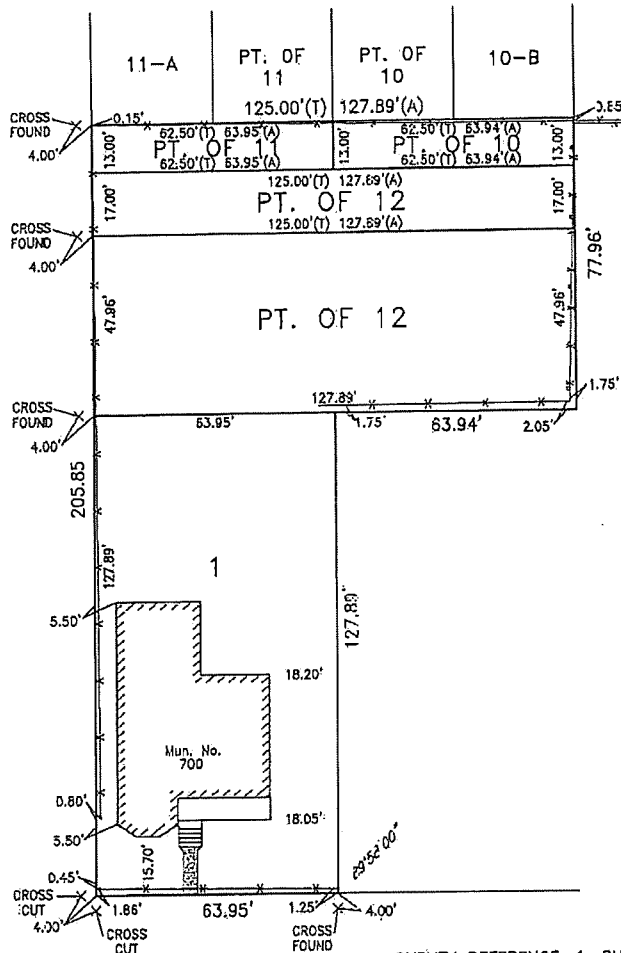
SHEET TITLE & NUMBER
STRUCTURAL

S-1.1

FRANKLIN ST. (SIDE)

RUPP ST.
(late Copernicus)

PERRY ST. (SIDE)



LEGEND
(T) = TITLE
(A) = ACTUAL

NOTE:
Improvements may not be to scale for clarity. The dimensions shown prevail over scale.

SURVEY REFERENCE: 1. SURVEY OF LOT 1, SQUARE 100, MCDONOUGHVILLE BY GILBERT & KELLY, SURVEYORS DATED OCTOBER 8, 1941.
2. SURVEY OF PART OF LOTS 10, 11 AND 12, SQUARE 100, MCDONOUGHVILLE BY STERLING MANDLE, L.S. DATED AUGUST 19, 1977.

ANGLE BASIS: TAKEN FROM REFERENCED SURVEY PLAT NO. 1

MONROE ST.

SURVEY OF LOT 1, PT. OF 10, PT. OF 11, PT. OF 12
SQUARE 100
MCDONOUGHVILLE
JEFFERSON PARISH, LOUISIANA

I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. MADE AT THE REQUEST OF:

CRESCENT TITLE LLC
AND
JOHN CODY STRINGER

DADING, MARQUES & ASSOCIATES, LLC



P.O. BOX 790
METAIRIE, LA. 70004
(504) 884-0200

Cody A. D'Marco
CODY A. D'MARCO
P.L.S. LA. ST. REG NO. 5089

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS "C" SURVEY

DATE:	SCALE:	DRAWN BY:	CHECKED BY:	JOB NO.:	PLAT No.:
12-06-2016	1" = 40'	B.D.	C.A.D.	53134	D-214-601

Permit # 7359



Historic District Commission

Meeting: December 04, 2023

700 Monroe Street
(District 1)

Discussion Only

Applicant:
Cody Stringer



KENNER, LA
(E) AXELARCHITECTS@GMAIL.COM
(P) 985.212.9649

PROJECT TITLE
NEW DETACHED GARAGE

PROJECT ADDRESS
700 MONROE STREET
GRETN, LA. 70053

REVISION/ISSUE HISTORY

NO.	DATE

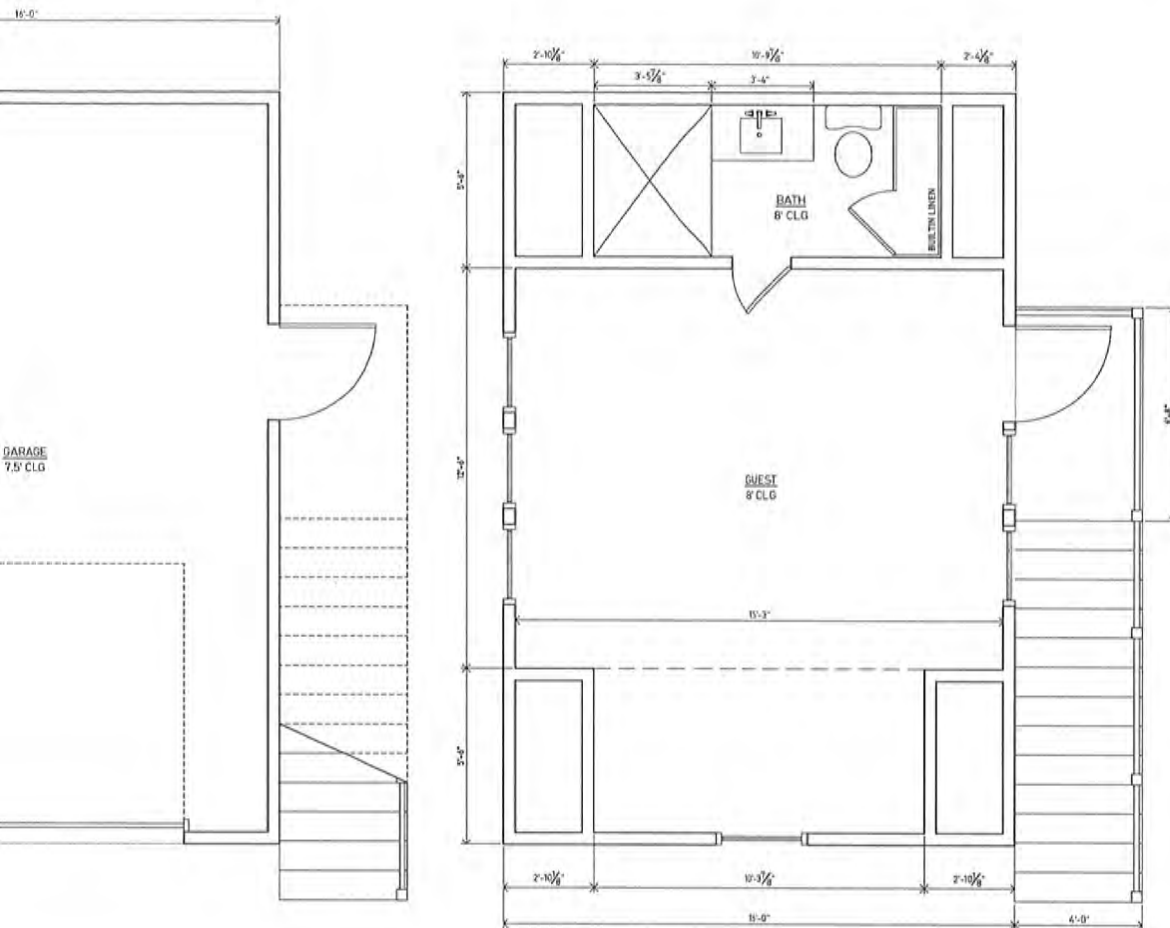
PROJECT NO 2325

ISSUED DATE 11.24.2023

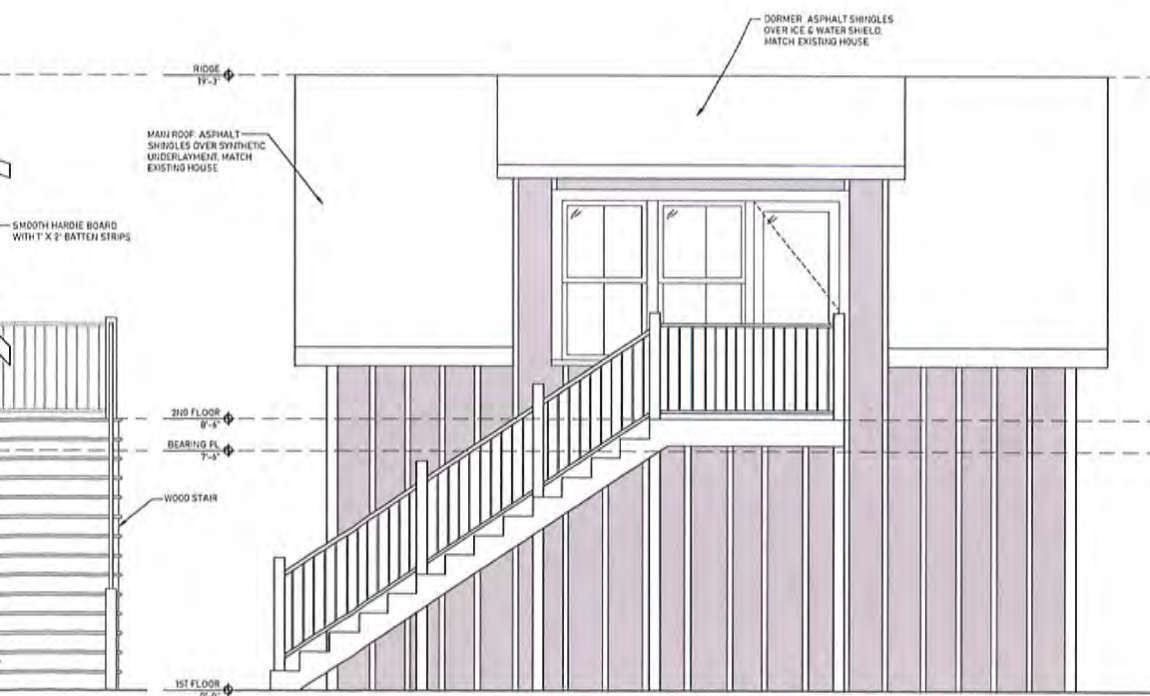
USE

- X FOR REVIEW
FOR PRICING
FOR PERMIT
FOR CONSTRUCTION

DESIGN PHASE
SCHEMATIC DESIGN



3 FLOOR PLAN - ATTIC
SCALE: 3/8" = 1'-0"



5 RIGHT ELEVATION
SCALE: 3/8" = 1'-0"

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SHEET TITLE & NUMBER
PLANS

A-1.1



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #: **135178**

EXPIRATION DATE: **2/06/2024**

JOB ADDRESS: 700 MONROE ST
PARCEL ID: 0100003738
SUBDIVISION: MCDONOGHVILLE

LOT #: PART OF LOT 12
SQUARE #: 100
ZONING: R-1

OWNER: CODY STRINGER
ADDRESS: 700 MONROE ST
CITY, STATE ZIP: GRETN LA 70053-2130
PHONE:

CONTRACTOR: CODY STRINGER
ADDRESS: 700 MONROE ST
CITY, STATE ZIP: GRETN LA 70053-2130
PHONE:

PROP. USE
VALUATION: \$ 0.00
SQ FT 0.00
OCCP TYPE:
CNST TYPE:

STORIES:
UNITS:
FIRE SPRINKLERS:
OCCUPANT LOAD:
FLOOD ZONE: AE

FEE CODE
HDAC

DESCRIPTION
HISTORIC DISTRICT ADVISORY BOARD

QTY
0

AMOUNT
\$ 50.00

TOTAL

\$ 50.00

NOTES: Conditions: PLEASE NOTE THIS IS NOT A PERMIT. HDC MEETING SCHEDULED FOR FEBRUARY 5, 2024 @ 4:00

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

(APPROVED BY)

DATE

DATE



Historic District Commission

Meeting: February 05, 2024

1010 5th Street
(District 2)

For: Residential Addition

Applicant: Eder Sosa



Historic District Commission **Application for Certificate of Appropriateness** Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1010 5th St Gretna LA 70056

Renovation: 726 Sqft

New Construction: Addition 962 Sqft

Demolition: 395 Sqft

Age of Structure: Approx. 1920's

Building Type:

Creole Cottage _____

Shotgun ☒ _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other little features to distinguish

Exterior materials proposed:

Roof Shingles Soffit N/A

Fascia hardie board Siding hardie plank

Masonry N/A Porches tongue and groove treated

Balconies N/A Handrails Iron

Type of exterior lighting fixtures: electric

Style of windows: 6/6 lite

Type of exterior doors: Fiberglass

Describe any ornamental woodwork: N/A

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: LAP Date: 1-25-24

Applicant's
Name: KM Homes Real Estate LLC

Applicant's
Address: 481 Fairfield Ave Gretna LA 70056

Phone No: (504) 250-2816 Cell No: ()

For Office Use Only:

Application date: Jan. 26, 2024

Substantive Change: Yes ☐ No ☒ Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829

P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, KM Homes Real Estate the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on February 5 2024 @ 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

KM Homes Real Estate

NAME OF APPLICANT (PLEASE PRINT)

481 Fairfield Ave Gretna LA 70056

Applicant's address

1010 5th St Gretna LA 70053

Actual address of the property for review

Date: 1-25-24







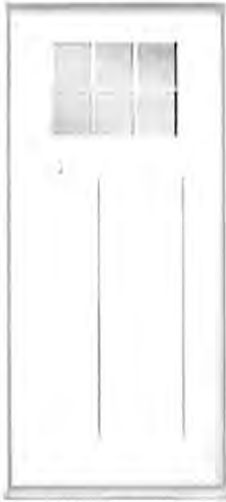












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Available

Expert Installation Available

\$374⁰⁰



Masonite

36 in. x 80 in. Craftsman 6 Lite
Left Hand Inswing Primed
Smooth Fiberglass Prehung
Front Door with No Brickmold



Pickup

2 in stock at N Baton Rouge

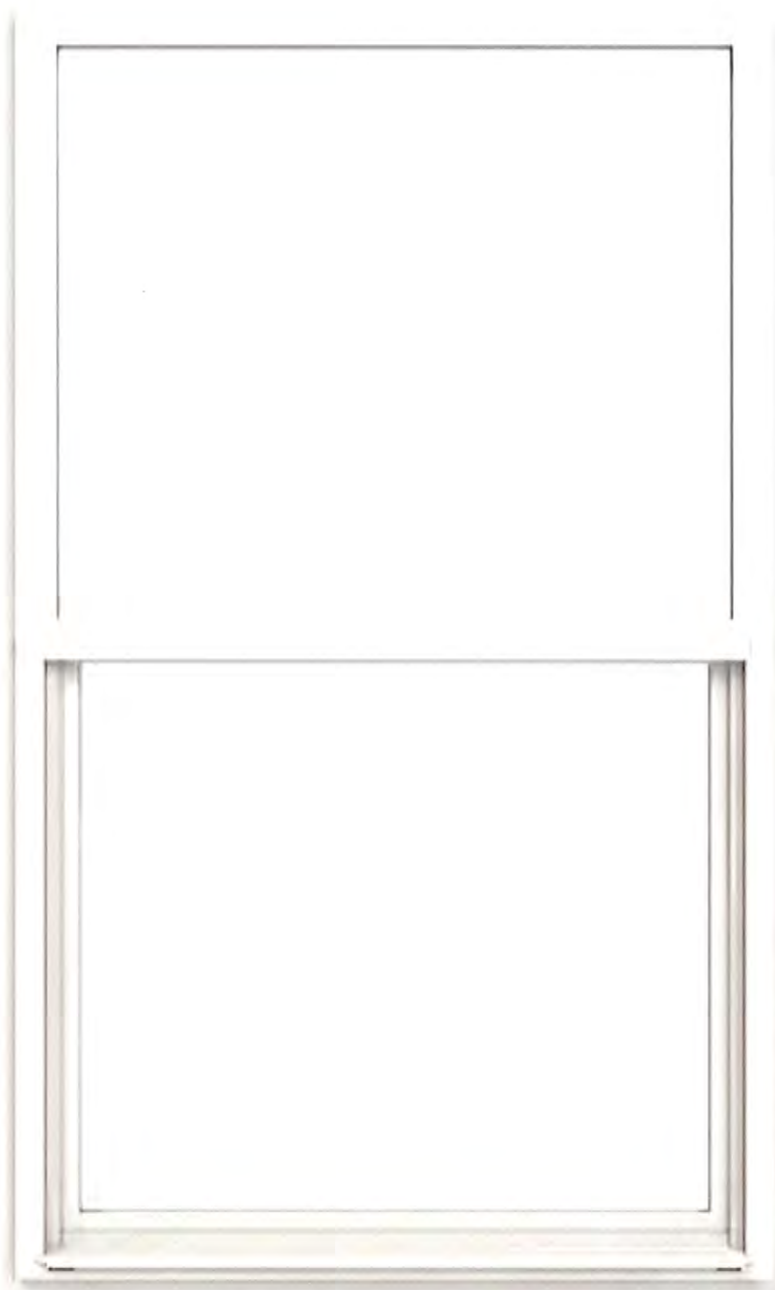


Delivery

Scheduled

36 in. x 60 in. V-4500 Series White Single-Hung Vinyl Window with Fiberglass Mesh Screen

★★★★☆ (9) ✓



GENERAL NOTES:

1. THE OWNER, BUILDER, AND/OR CONTRACTOR IS/ARE RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK.
2. ALL CONSTRUCTION MUST CONFORM TO PROCEDURES, CODES, LAWS, AND STATUTES THAT GOVERN THE LOCATION IN WHICH THE STRUCTURE IS TO BE BUILT.
3. ALL FIGURE DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL DIMENSIONS & FIT-UP OF STRUCTURE, INCLUDING VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE PROCEEDING.
5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE PROFESSIONAL OF RECORD BEFORE ANY WORK CONTINUES.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS AND ELEVATIONS WITH THE DESIGNER BEFORE CONSTRUCTION BEGINS.
7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN PLACEMENT, MAINTENANCE, ETC. OF ANY AND ALL SHORING, BRACING, TIE BACKS, ETC. NEEDED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY PERMANENT ELEMENTS ARE IN PLACE.
8. UNLESS NOTED OTHERWISE, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
9. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE DESIGNER FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.
10. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONSTRUCTION DOCUMENTS AND SECURE FROM THE DESIGNER ANY ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE NEEDED TO HAVE A CLEAR AND FULL UNDERSTANDING OF THE SCOPE OF WORK AT HAND.
11. DURING THE BUILDING PROCESS ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION OR UNKNOWN MISTAKES IN THE DOCUMENTS SHALL BE SUBMITTED TO THE DESIGNER IMMEDIATELY FOR CLARIFICATION.
12. THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR ORAL INSTRUCTIONS. NO ALLOWANCE WILL BE MADE FOR AFTER THE CONSTRUCTION DUE TO A MISUNDERSTANDING.
13. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS, & APPROVALS HAVE BEEN OBTAINED.
14. ALL CONSTRUCTION SHALL BE BUILT TO WITHSTAND 137 MPH WINDS
15. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS
16. STRUCTURE TO BE BUILT IN ACCORDANCE WITH THE HURRICANE RESISTANT CONSTRUCTION STANDARD ASCE-7
17. ALL CONSTRUCTION TO BE BUILT TO THE CODES AND STANDARDS LISTED IN THE THE IRC 2021

WINDBORNE DEBRIS PROTECTION:

1. WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2021.
2. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM 1996 AND OR ASTM 1886 REFERENCED THEREIN PROVIDE INSULATION TO CONFORM WITH THE "R" VALUE OF THE ELECTRIC UTILITY COMPANY AND/OR MANUFACTURERS SPECS.
3. FLASH ALL ROOF CHIMNEYS, VALLEYS, ETC. AREAS IN THE PRESCRIBE MANNER WITH METAL OR FABRIC FLASHING. DOORS AND WINDOWS TO BE FLASHED AS REQUIRED.

TABLE R301.2.1.2 WINDBORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS ^{a,b,c,d}			
FASTENER TYPE	FASTENER SPACING (inches) ^{a,b}		
	Panel span ≤ 4 feet	4 feet < panel span ≤ 6 feet	6 feet < panel span ≤ 8 feet
No. 8 wood screw based anchor with 2-inch embedment length	16	10	8
No. 10 wood screw based anchor with 2-inch embedment length	16	12	9
1/4-inch lag screw based anchor with 2-1/2" embedment length	16	16	16

For ST: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound = 4.448 N, 1 mile per hour = 0.447 m/s.

- a. This table is based on 130 mph wind speeds and a 33-foot mean roof height.
- b. Fasteners shall be installed at opposing ends of the wood structural panel. Fasteners shall be located a minimum of 1 inch from the edge of the panel.
- c. Anchors shall penetrate through the exterior wall covering with an embedment length of 2 inches minimum into the building frame. Fasteners shall be located a minimum of 2 1/2 inches from the edge of concrete block or concrete.
- d. Where panels are attached to masonry or masonry/concrete, they shall be attached using vibration-resistant anchors having a minimum ultimate withdrawal capacity of 1500 pounds.

STRUCTURAL LOAD DESIGN

A. SLAB = 150 PSF
B. 1ST FLOOR = 50 PSF
C. ROOF = 20 PSF

EXTERIOR SHEATHING:

1. 1/2"x4"x8' APA plywood applied on all exterior walls.

ROOF SHEATHING:

1. 5/8"x4"x8' plywood applied over rafters across entire roof area

PAINTING:

1. All surfaces must be clean and dry before paint application.
1. Exterior painting shall be one coat of primer, and second coat and third coat shall be exterior latex paint.
2. Interior gypsum board shall receive two coats, after all joints have been taped and floated, of interior latex paint.

PLUMBING NOTES:

1. Plumbing fixtures shall be installed and connected to the sewer line. Provide water valves and stops in the hot and cold water lines to all plumbing fixtures.
2. ALL FRESH WATER PIPES SHALL BE PEX TUBING.
3. All sanitary piping (soil, waste and vent) shall be PVC piping.
4. Where any plumbing piping is penetrating a fire protective barrier, fire rated caulk or sealant shall be used as required to maintain the fire-rating of that protective barrier.
5. PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT FOR A COMPLETE OPERATING SYSTEM. THE SYSTEM SHALL INCLUDE SEWERAGE, HOT AND COLD WATER PIPING, GAS PIPING, INSULATION, WATER HEATER, HANGERS, VALVES, SUPPORTS AND PLUMBING FIXTURES WITHOUT ANY RESTRICTING VOLUME, CUT AND PATCH AS REQUIRED TO INSTALL PIPES
6. ALL WORK AND MATERIAL SHALL CONFORM STRICTLY TO THE LATEST LOCAL CITY, PARISH, STATE AND NATIONAL GOVERNING CODES.
7. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS ELEVATIONS AND SIZES PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL PAY ALL NECESSARY FEES FOR THE UTILITIES CONNECTIONS.
8. CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXISTING INVERTS AND SET NEW INVERTS OF SEWERAGE AND DRAINAGE PIPES.
9. SEWERAGE LINES 3-INCH AND SMALLER SHALL BE SLOPED 1/4" PER FOOT AND LINES 4-INCH AND LARGER SHALL BE SLOPED 1/8" PER FOOT.
10. TEST ALL PIPING AT REQUIRED PRESSURE.
11. CLIENT TO SPECIFY A WATER FILTRATION SYSTEM PRIOR TO CONSTRUCTION

HURRICANE CLIPS AND SHEAR WALLS:

1. The installation of plywood sheathing on the exterior wall shall be installed in order to provide shear walls.
2. Provide hurricane clips at every ceiling joist, securing joist to top plate.
3. Provide hurricane clips at every vertical stud, securing to the top and bottom plates.
4. Provide hurricane clips at every rafter, securing rafters to ceiling joists.

LUMBER

1. All lumber and plywood shall be identified by official grade mark and shall be of the following grades:
 - a. Studs #2 Fir or SYP S4S
 - b. Plates, Furring, Joists & Rafters #2 Fir or SYP S4S
 - c. Roofing, Sheathing 1 5/8" plywood C-D with exterior glue, APA
2. Framing lumber shall be the following nominal sizes:
 - a. Exterior walls 2"x4" studs @ 16" o.c., Fir or SYP
 - b. Interior partitions 2"x4" studs @ 16" o.c., Fir or SYP
 - c. Base Plates 2"x thickness of wall, Fir or SYP
 - d. Ceiling Joist See plans for sizes, Fir or SYP

CODE REQUIREMENTS

MAXIMUM NOTCHING & BORING OF JOISTS & RAFTERS			
MEMBER SIZE	END OF MEMBER (1/4 D)	OUTER 1/3 OF SPAN (1/6 D)	HOLE DIAMETER (1/4 D)
2x4	7/8"	9/16"	NOT PERMITTED
2x6	1-3/8"	15/16"	1-1/2"
2x8	1-13/16"	1-3/16"	2-7/16"
2x10	2-5/16"	1-9/16"	3-1/16"
2x12	2-13/16"	1-7/8"	3-3/4"

2" of wood must be above & below the hole

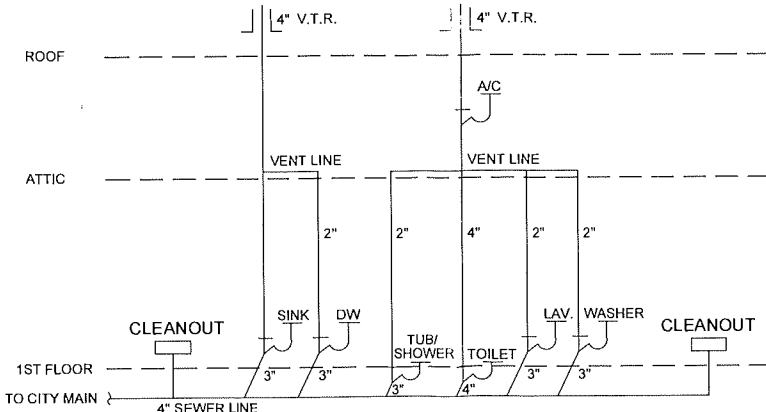
Note: All notches shall be in the outer 1/3 of the span. "D" equals actual depth of members in inches.

MAXIMUM NOTCHING & BORING OF STUDS			
MEMBER SIZE	EXTERIOR WALLS & INTERIOR BEARING WALLS (1/4 D)	NOTCHING (0.4 D)	HOLE (0.6 D)
2x4	7/8"	7/8"	1-1/4"
2x6	1-3/8"	1-1/4"	1-1/4"
2x8	1-13/16"	2-7/8"	2-7/8"

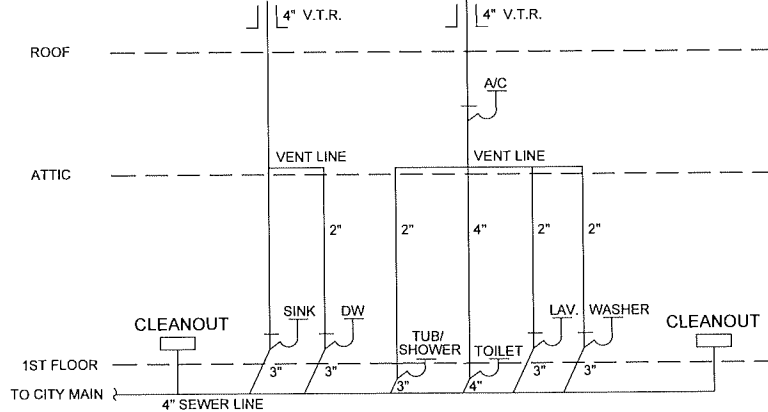
AREA CALCULATIONS	
EXISTING LIVING AREA	1,171 SQFT.
DEMOL EXISTING LIVING AREA	395 SQFT.
ADDITION	962 SQFT.
NEW LIVING AREA	1,735 SQFT.

DRAWING INDEX

- A-1 INDEX, PLUMBING RISER, & GENERAL SPECIFICATIONS
- A-1.1 SITE PLAN & SURVEY
- A-2 FOUNDATION PLAN & NOTES
- A-2.1 FRAMING DETAILS & WALL SECTIONS
- A-3 DIMENSIONED FLOOR PLAN & SCHEDULES
- A-3.1 FINISH SCHEDULES & CABINET ELEVATIONS
- A-4 ELEVATIONS
- A-5 ELECTRICAL & NOTES
- A-6 FRAMING PLANS & NOTES



PLUMBING RISER DIAGRAM #1



PLUMBING RISER DIAGRAM #2

SCOPE OF WORK

-RENOVATION & ADDITION TO EXISTING TWO-FAMILY RESIDENCE

I HAVE DETERMINED THAT THEY COMPLY WITH THE FOLLOWING EXISTING STATE AND LOCAL BUILDING CODES FOR THE JURISDICTION IN WHICH THE RESIDENCE IS TO BE LOCATED

- Structural
- Mechanical
- Electrical
- Plumbing

RENOVATION & ADDITION
TWO-FAMILY RESIDENCE
1010 5TH STREET
GRETNA, LA 70053
JEFFERSON PARISH



SPECTRUM
DESIGNS, LLC
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E-MAIL: ADMIN@SPECTRUMDESIGNSLLC.COM

Date: 08-02-2023
Drawn: LG
Checked: TFP

Sheet Title:
INDEX
PLUMBING RISER,
& GENERAL
SPECIFICATIONS

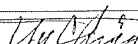
Drawing No.
A-1


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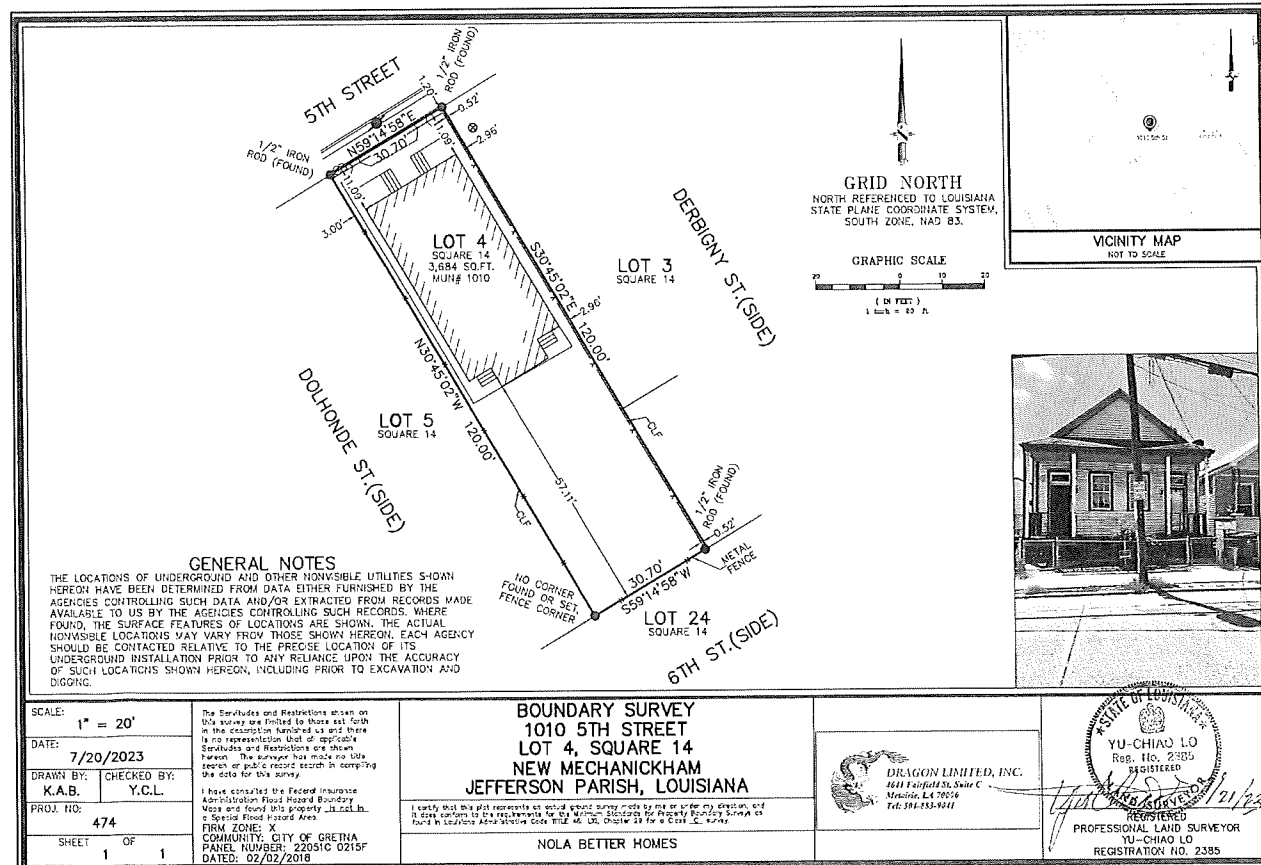


ELEVATION CERTIFICATE IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19			FOR INSURANCE COMPANY USE ONLY
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) c/o P.O. Route and Box No. 1010 5th Street			Policy Number:
City: Gretna	State: LA	ZIP Code: 70053	Company NAIC Number:
SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)			
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction <small>*A new Elevation Certificate will be required when construction of the building is complete.</small>			
C2. Elevations – Zones A1-A30, AE, AH, AO, A (with BFE) VE, V1-V30, Y (with BFE) AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO, ADP. Complete Items C2-a-f below according to the Building Diagram specified in Item AT. In Puerto Rico only, enter benchmark utilized. Leica Smartnet _____ Vertical Datum: NAD83, Geoid 18 _____			
Indicate elevation datum used for the elevations in items a) through h) below: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAD 1983 <input checked="" type="checkbox"/> Other: NAD 1983, Geoid 18 Leica Smartnet _____			
Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe the source of the conversion factor in the Section D Comments area.			
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	6.27	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	
b) Top of the next higher floor (see instructions).		<input type="checkbox"/> feet <input type="checkbox"/> meters	
c) Bottom of the lowest horizontal structural member (see instructions)		<input type="checkbox"/> feet <input type="checkbox"/> meters	
d) Attached garage (top of slab)		<input type="checkbox"/> feet <input type="checkbox"/> meters	
e) Lowest elevation of Machinery and Equipment (MSE) servicing the building (finished type of MSE and location in Section D Comments areas)	3.56	<input type="checkbox"/> feet <input type="checkbox"/> meters	
f) Lowest Adjacent Grade (LAG) next to building <input checked="" type="checkbox"/> Natural <input type="checkbox"/> Finished	2.72	<input type="checkbox"/> feet <input type="checkbox"/> meters	
g) Highest Adjacent Grade (HAG) next to building <input checked="" type="checkbox"/> Natural <input type="checkbox"/> Finished	3.47	<input type="checkbox"/> feet <input type="checkbox"/> meters	
h) Finished LAG at lowest elevation of attached deck or stairs, including structural support		<input type="checkbox"/> feet <input type="checkbox"/> meters	
SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a Land Surveyor, engineer, or architect authorized by state law to certify elevation information. I hereby certify that the information on this Elevation Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S.C. Code, Section 1001.			
Where latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Check here if attachments and describe in the Comments area.			
Certifier's Name: Yu-Chia Lo		License Number: 2385	
Title: President			
Company Name: Dragon Limited Inc.			
Address: 4541 Fairfield Street, Suite C			
City: Metaline	State: LA	ZIP Code: 70066	
Signature: 	Date: 7/25/23		
Telephone: (504) 853-5041	Email: dragon@dragon-limited.com		
Copy all pages of this Elevation Certificate and all attachments for (1) community office, and (3) insurance agency, company, and (3) building owner.			
Comments (including source of conversion factor for C2, type of equipment and location per C2 e; and description of any attachments): Item C2(e) is a hot water heater with an elevation of 3.56'			
Back of curb elevation is 2.51'			
Centerline of road elevation is 2.63'			



FEMA Form FP-206 FPM-22-152 (formerly 056-0-33) (10/22)

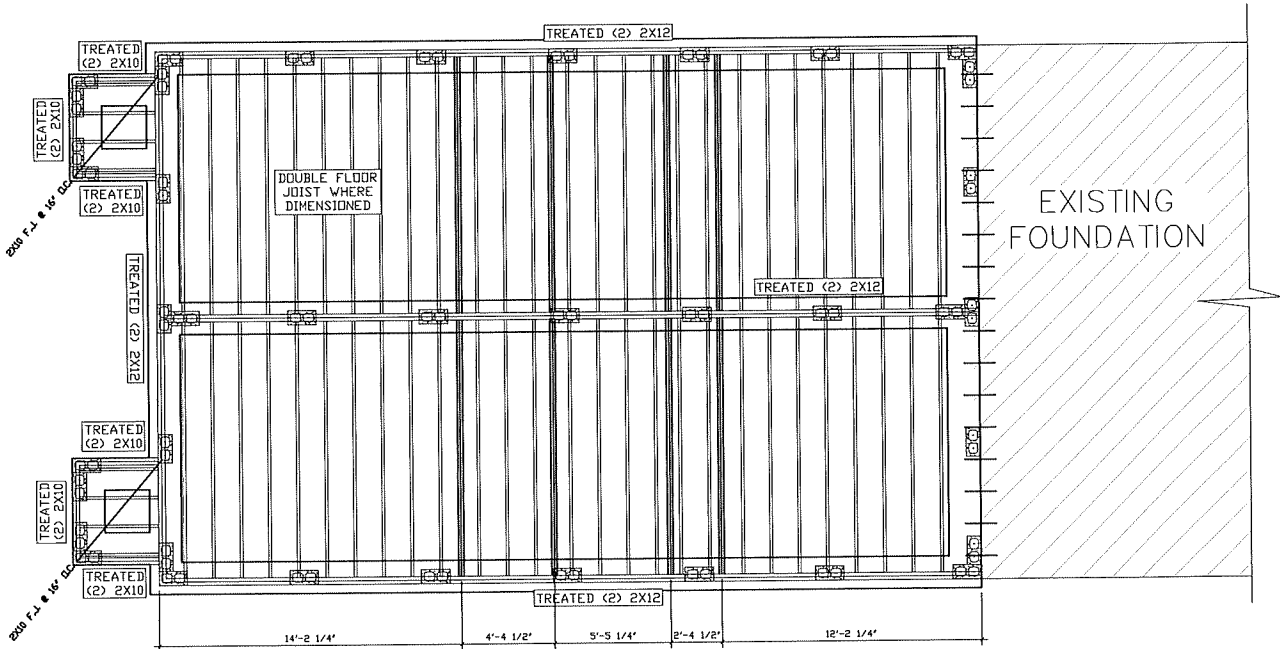
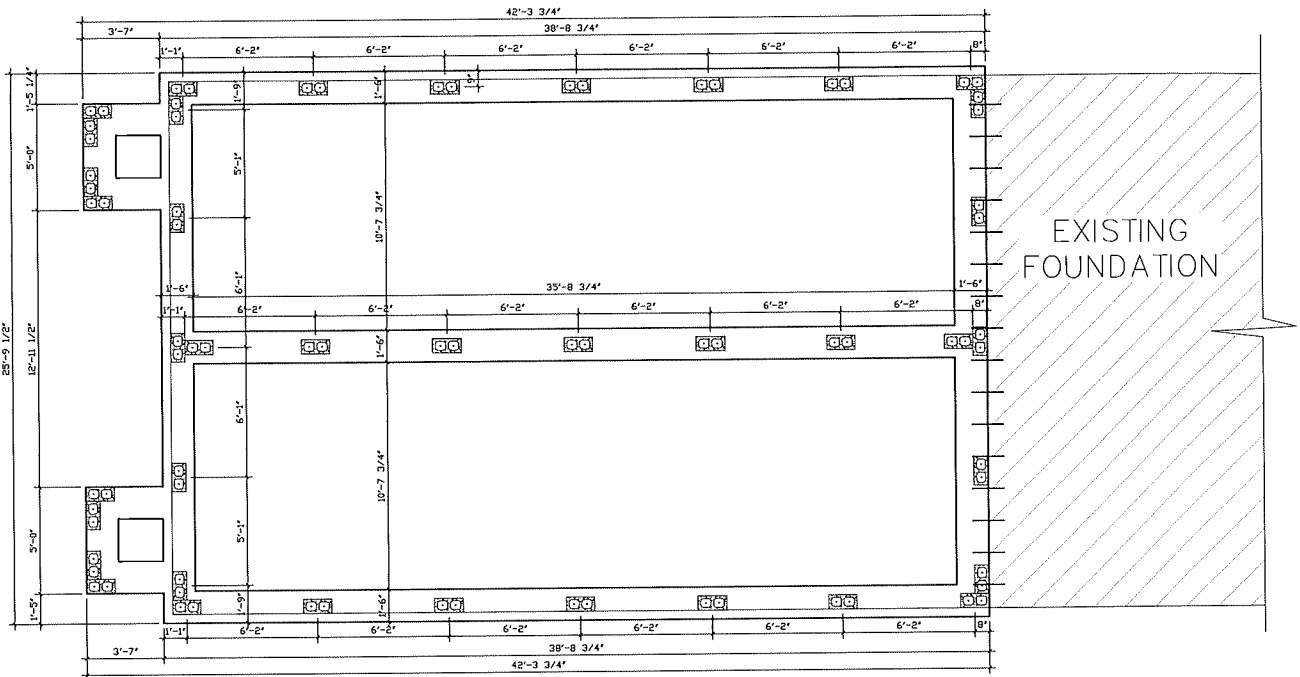
Page 3 of 3



Drawing No.



EXISTING HOUSE IS NOT PILE SUPPORTED THEREFORE ADDITION WILL NOT BE PILE SUPPORTED



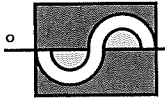
GENERAL FOUNDATION NOTES:

- NOTES FOR PILING (WHEN APPLICABLE)
1. PILING SHALL BE ONE PIECE TREATED TIMBER PILING AND SHALL CONFORM TO ASTM D25 AND HAVE A MINIMUM TIP DIAMETER OF 6" AND A MINIMUM BUTT DIAMETER OF 8". THE TIPS OF ALL PILES SHALL BE DRIVEN TO THE SPECIFIED DIAMETER BELOW EXISTING GRADE OR TO REFUSAL.
 2. CUT OFF TREATMENT: BRUSH TOP OF PILE WITH COPPER NAPHTHENATE CONFORMING TO A.W.P.A. SPECIFICATION M4
 3. HAMMERING: SINGLE ACTING DROP HAMMER DELIVERING 7,500 FT. LBS. OF ENERGY PER BLOW
 4. DESIGN LOAD AS PER SPECIFICATIONS.
 5. DRIVE TO A REFUSAL OF 15 BLOWS PER FOOT FOR TWO CONSECUTIVE FEET (MAX)
- NOTES FOR CONCRETE (WHEN APPLICABLE)
6. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH A 5" MAXIMUM SLUMP, GRADE 40 DEFORMED REINFORCING.
 7. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PLACEMENT".
 8. FOUNDATION DESIGN IS BASED ON A-4 FILL DIRT COMPACTED TO 95% DENSITY (ASTM-698) & ON PILE CAPACITY FROM MUNICIPAL PILE DATA
 9. FOUNDATION DESIGN LIVE LOAD = 100 PSF
 10. FOR ALL CONCRETE FOUNDATIONS 25" LAP WITH 2 TIES REQUIRED AT REINFORCING SPLICES.
 11. 12" HOOKS REQUIRED AT CORNERS.
 12. CONCRETE SHALL CONFORM TO ACI 318, LATEST EDITION.
 13. REINFORCING OR FABRIC ON GRADE SHALL BE CHAIRED WITH 3000 PSI CONCRETE BRICKETTES SPACED TO ADEQUATELY SUPPORT THE REINFORCING, BUT NOT GREATER THAN 3'-0" O.C. EACH WAY. AT RAISED FLOORS USE METAL CHAIRS.
 14. ALL REINFORCING SHALL BE SPLICED WITH A CLASS "B" LAP SPLICE IN ACCORDANCE WITH THE CURRENT ACI 318 SPECIFICATION.
 15. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 GRADE 60, WELDED WIRE FABRIC (WWF) SHALL BE IN ACCORDANCE WITH ASTM A185 WIRE SHALL CONFORM TO ASTM A82. LAP ALL FABRIC ONE WIRE SPACING PLUS 6".
 16. 6 MIL VAPOR BARRIER REQUIRED UNDER ALL CONCRETE FOUNDATIONS.
 17. SECTION 403 12" MINIMUM FOOTING WIDTH, ANCHOR FLOOR PLATES TO SLAB WITH 5/8", A307 ANCHOR BOLTS (3" LEG) WITH A MINIMUM EMBEDMENT OF 7" WITH 3" X 3" X 1/8" WASHERS SPACED @ 12" O.C. BEGINNING 12" FROM THE CORNER AND RUNNING FOR 4'-0". BEYOND 4'-0" FROM THE CORNER, SPACE THE BOLTS @ 36" O.C. MAX.
 18. ALL EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4"
 19. REMOVE VISQUEEN AND EARTH FILL FROM THE TOPS OF PILES AND WHERE CONCRETE WILL BEAR ON THE TOP OF THE PILE CAP.
 20. CONTRACTOR IS RESPONSIBLE FOR LOCATION FINISHED FLOOR LEVEL ACCORDING TO THE FLOOD ZONE REQUIREMENTS.
 21. ANY INFORMATION OBTAINED DETERMINE THE HEIGHT OF THE STRUCTURE MUST BE COORDINATED WITH THE OWNER PRIOR TO CONSTRUCTION TO CRETE A FULL UNDERSTANDING.
 22. FOUNDATION TO BE TREATED FOR TERMITES BY A LICENSED PROFESSIONAL AND TERMITE CERTIFICATE MUST BE SUBMITTED WITH TOP OF FORM CERTIFICATE.

RENOVATION & ADDITION
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Date: 08-02-2023
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Sheet Title:
FOUNDATION PLAN
& NOTES

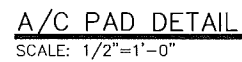
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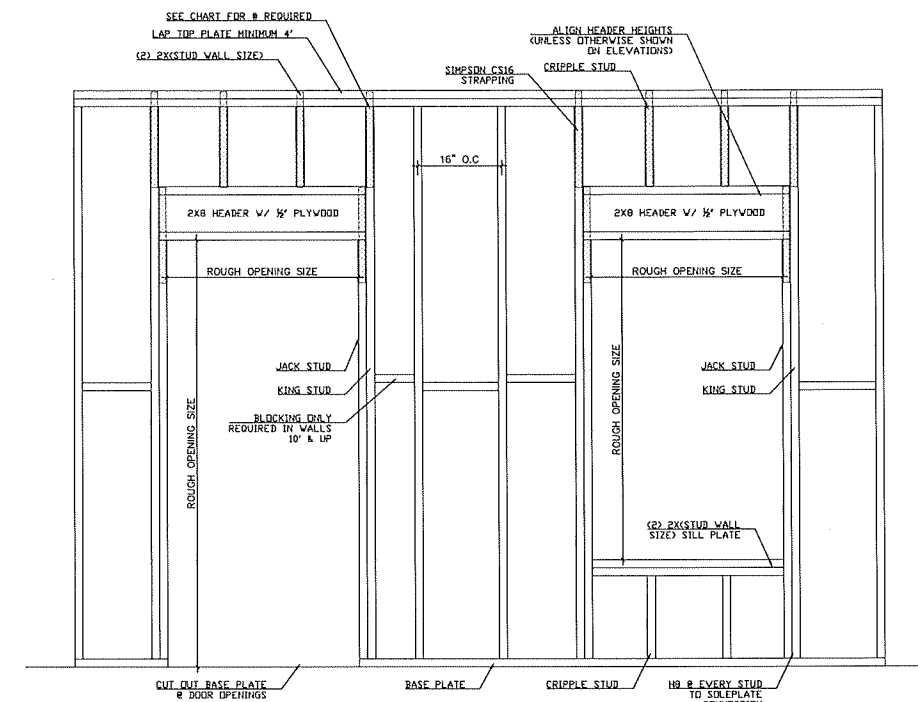
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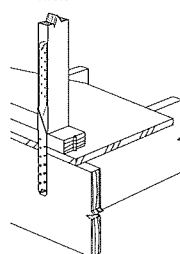
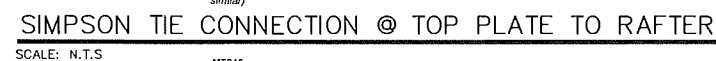
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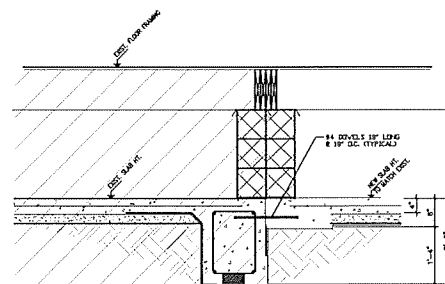
FULL HEIGHT STUD REQUIREMENT FOR HEADERS OR WINDOW SILL PLATES IN EXTERIOR WALLS	
HEADER SPAN (FT.)	# OF FULL HEIGHT STUDS REUIRED AT EACH END OF THE HEADER BASED ON 16" O.C. STUD SPACING
2	1
4	2
6	3
8	3
10	4
12	5
14	6
16	6
18	7
20	8



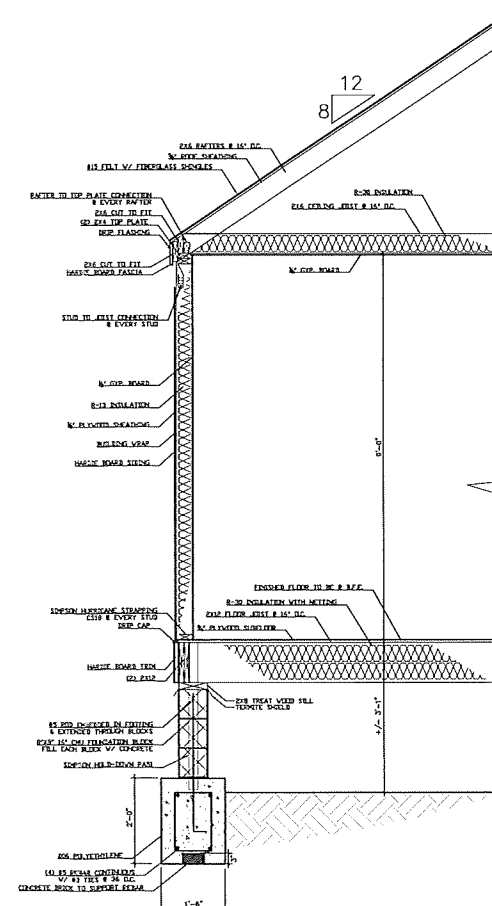
TYPICAL WALL FRAMING DETAIL
SCALE: 3/4"=1'-0"



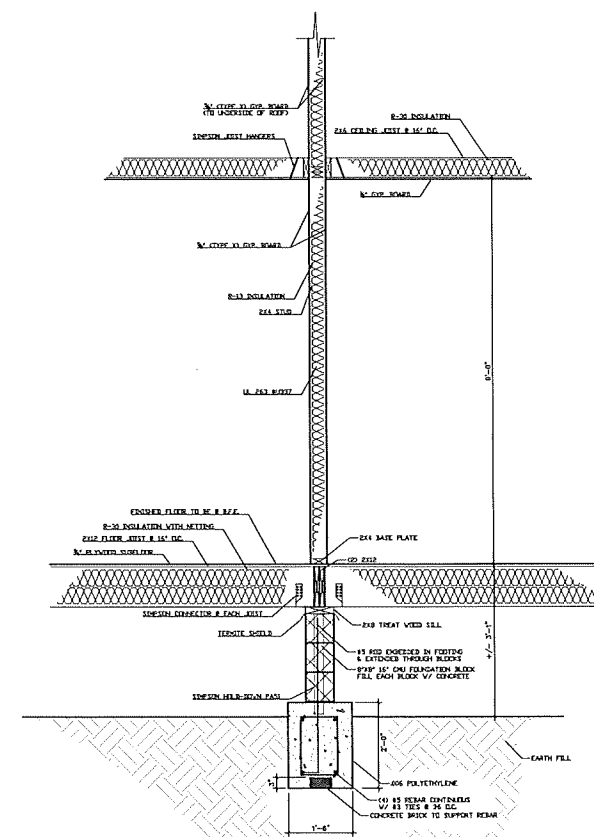
SIMPSON TIE CONNECTION @ STUD TO FOUNDATION
SCALE: N.T.S



CONNECTION TO EXISTING
SCALE: 1/2"=1'-0"



TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"



1 HOUR RATED WALL SECTION UL 263 #337
SCALE: 1/2"=1'-0"

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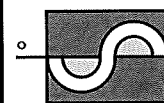
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FRAMING DETAILS
& WALL SECTIONS

Drawing No.

A-2



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Date: 08-02-2023
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Sheet Title:
**DIMENSIONED
FLOORPLAN
& SCHEDULES**

Drawing No.

A-3

FLOOR PLAN NOTES:

- KITCHEN CABINETS, BUILT-IN'S & COUNTERTOPS MUST BE SELECTED PRIOR TO CONSTRUCTION AND MUST BE INCLUDED IN BID (NO ALLOWANCE)
- CONTRACTOR IS REQUIRED TO INCLUDE ALL CUSTOM CLOSET DESIGNS IN BID, IN ADDITION CLIENT MUST APPROVE CLOSET LAYOUT PRIOR TO CONSTRUCTION.
- ALL SHOWER, FAUCET, TOILET & ANY OTHER PLUMBING FIXTURES SHALL BE SELECTED PRIOR TO CONSTRUCTION.
- KITCHEN CABINET ELEVATIONS MAY BE ADJUSTED BASED OFF OWNER APPROVED CHANGES.

WINDOW SCHEDULE

○	DIMENSIONS	QUANTITY	DESCRIPTION
A	3'-0" X 5'-0"	4	(1/1) UTE SINGLE HUNG

WINDOW NOTES
1. WINDOWS NOTED SHALL BE VINYL CLAD INSULATED WINDOWS (PRE-FINISHED COLOR SELECTED BY OWNER) WITH SELECTED DIVIDERS.
2. ALL OPERABLE WINDOWS SHALL HAVE INSECT SCREENS.
3. SIZES AND SPECS. BASED ON STANDARD VINYL CLAD WINDOWS. NON STANDARD SIZE WINDOWS MUST BE CUSTOM ORDERED.
4. WINDOW DIMENSIONS ABOVE ARE NOMINAL SIZE.
5. ALL BEDROOM WINDOWS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ.FT, 22" MIN. CLEAR HGT., 20" MIN. WIDTH, 44" MAX SILL HGT.
6. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER IRC R308.4.2
7. GLAZING MUST BE PROVIDED ADJACENT TO DOORS, HAZARDOUS LOCATIONS CONSIDERED WHEN A DOOR IN PARALLEL IS WITH 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION

GAS & HOSE BIB LEGEND

⊕ GAS BIB
⊕ HOSE BIB

WALL LEGEND

	2X6 WALL
	2X4 WALL
	UL263 #U337 1 HOUR RATED

DOOR SCHEDULE

#	WIDTH	HEIGHT	THICK	MATERIAL	STYLE	DESCRIPTION	EXT./INT.	LOCATION	QTY
1	3'-0"	6'-8"	1-3/8"	HOLLOW CORE MASONITE	5-PANEL	PRE-HUNG SINGLE	INTERIOR	BEDROOMS/LAUNDRY	6
2	4'-0"	6'-8"	1-3/8"	HOLLOW CORE MASONITE	5-PANEL	BIFOLD DOUBLE	INTERIOR	CLOSETS	2
3	2'-4"	6'-8"	1-3/8"	HOLLOW CORE MASONITE	5-PANEL	PRE-HUNG SINGLE	INTERIOR	BATHS/CLOSETS	4
4	3'-0"	6'-8"	1-3/4"	FIBERGLASS	FULL LITE	PRE-HUNG SINGLE	EXTERIOR	REAR ENTRANCE	2

DOOR NOTES

- COORDINATE WITH HVAC CONTRACTOR FOR DOORS TO BE UNDERCUT FOR HVAC RETURN
- ALL LOCKS AND DEADBOLTS SHALL BE KEYS ALIKE.
- OWNER TO SELECT ALL HARDWARE TYPE, FINISH AND STYLE
- PROVIDE DEADBOLTS @ ALL EXTERIOR DOORS
- COORDINATE WITH OWNER FOR WINDOWS AND DOORS TO RECEIVE STRUCTURAL TYPE GLAZING. IF STRUCTURAL TYPE GLAZING NOT SELECTED OWNER TO PROVIDE BUILDING INSPECTOR WITH SPECIFICATIONS FOR PROTECTION FOR WIND BORNE DEBRIS TO MEET THE CURRENT IRC CODE
- DOORS LEADING FROM GARAGE SHALL BE SELF LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AN AUTOMATIC CLOSING DEVICE

PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL FRAMING NOTES:

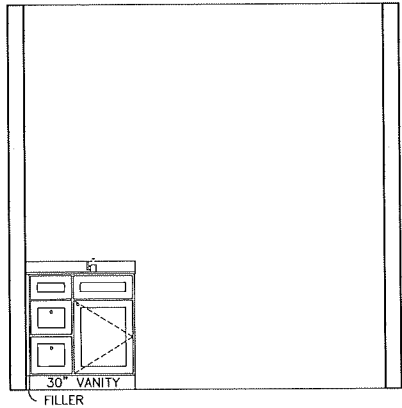
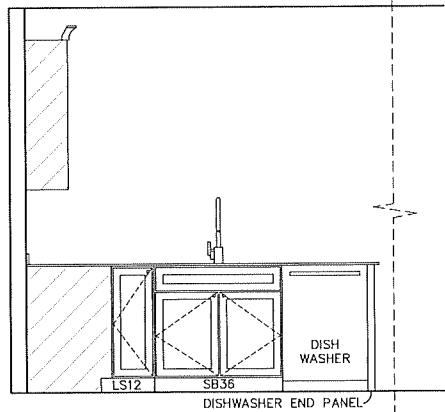
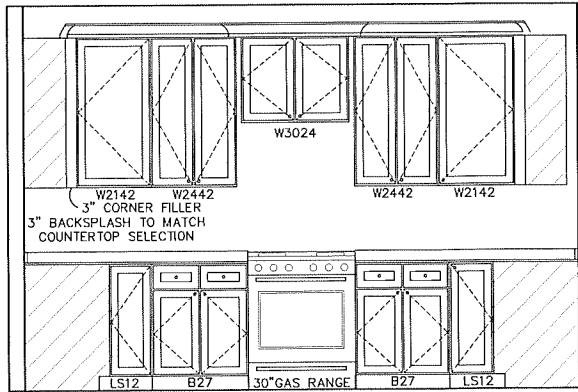
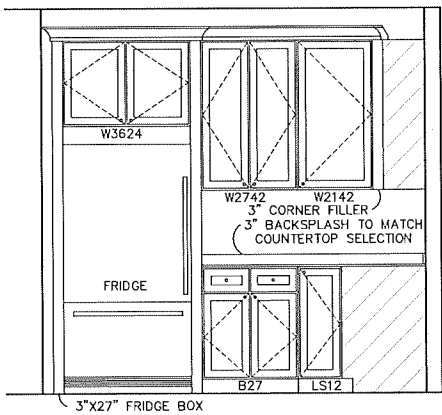
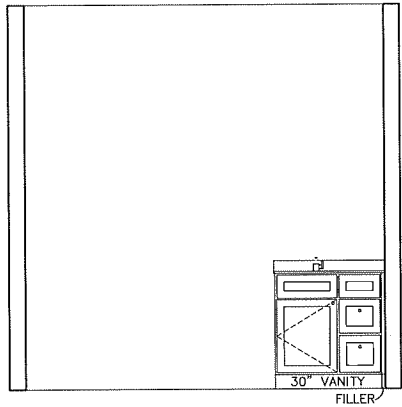
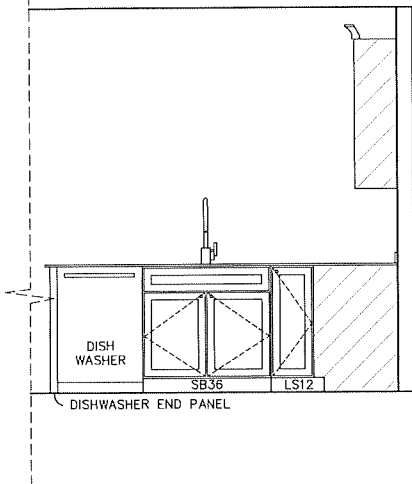
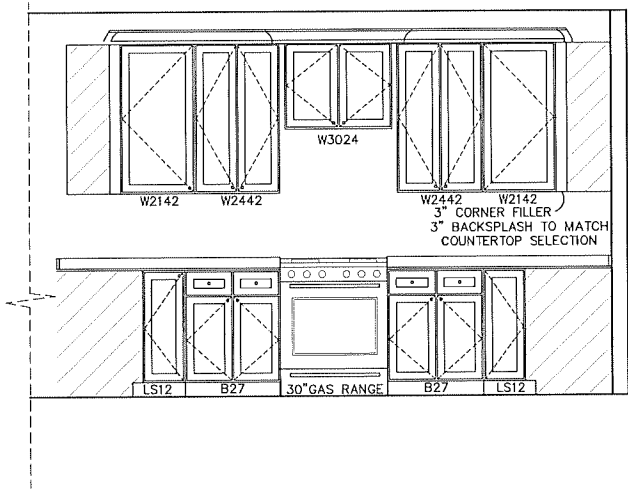
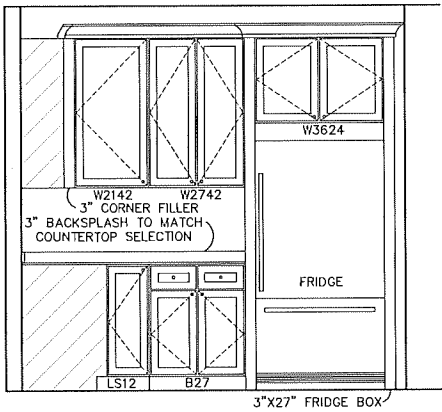
- ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS OF THE STANDARD BUILDING CODE. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE S.B.C..
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
- BLOCK ALL STUDS AT MID-HEIGHT. ANCHOR BOTTOM PLATE OF STUD WALLS TO CONCRETE AT 24" O.C.
- PROVIDE WOOD CROSS BRIDGING, BLOCKING AND BRACING AS REQUIRED BY BUILDING CODE. PROVIDE DOUBLE JOIST AT ALL PARALLEL WALLS ABOVE AND SOLID BLOCKING OVER BEARING WALLS.
- CONCRETE SUBFLOOR - 2 1/2" OVER METAL DECKING
- PLYWOOD ROOF SHEATHING - APA RATED 24/0, 3/4" THICK. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS.
- JOIST HANGERS SHALL BE 16 GA., TYPE "U" AS MANUFACTURE BY SIMPSON STRONG TIES CO., INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURE'S SPECIFICATIONS. USE JOIST HANGERS FOR JOISTS AND BEAMS WHICH FRAME TO BEAMS AT THE SAME ELEVATION, JOIST HANGERS SHALL BE SAME SIZE AS MEMBER SUPPORTED.
- PROVIDE STUB POSTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAMS. NAIL EACH STUD TO THE ADJACENT STUD IN THE POST WITH 16d NAILS AT 12" O.C., ON STUD CENTERLINE AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING ON BOTH TOP AND BOTTOM.
- COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.
- BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGES OF JOIST, NOT LARGER THEN 1 1/4" DIAMETER AND NOT IN THE MIDDLE OF A SPAN.
- STRAP ALL STUDS CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, NO. 24 GAUGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.
- PROVIDE DOUBLE KING STUDS (MIN.) AT EACH SIDE OF WINDOW OPENINGS IN 2X6 WALLS.
- PROVIDE TRIPLE PACKED STUDS UNDER ALL DOUBLE JOIST, BEAMS HEADER, ETC.
- ALL BEDROOM AND COAT CLOSETS SHALL CONTAIN (1) ROD AND (1) 16" DEEP SHELF, ALL LINEN AND PANTRY CLOSETS SHALL CONTAIN 5 SHELVES. UNLESS OWNER SPECIFIES OTHERWISE.
- ALL FRAMING CONNECTORS SHALL BE INSTALLED PER MANUFACTURER "SIMPSON STRONG TIE CO."
- FRAMER TO PROVIDE BLOCKING IN WALLS FOR INSULATION OF RODS FOR WINDOW TREATMENTS, TOWEL BARS, SHOWER RODS, CABINETS, ETC.
- SEAL AROUND ALL PENETRATIONS AND ROUGH OPENINGS WITH EXPANDING FOAM CAULKING.
- MOISTURE RESISTANT DRYWALL TO BE USED IN ALL WET AREAS.
- FOR RAISED STRUCTURES AND MULTI STORY STRUCTURES, BRIDGING MUST BE PROVIDED FOR FLOOR JOIST @ 8' O.C.
- UNLESS NOTED OTHERWISE MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH 2 ROWS OF 12d NAILS AND SPACED AT 12" O.C. FOR PIECES UP TO 12" DEEP. ALL OTHER PIECES SHALL HAVE 3 ROWS OF 12d NAILS
- A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12 FEET 7 INCHES BETWEEN FLOOR LEVELS OR LANDINGS (IRC311.7.3)

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FINISH SCHEDULE							SUBJECT TO CHANGE PER OWNER REQUEST	
ROOM	FLOOR	BASE	CROWN	DOOR CASING	SHOE	WALL/CEILING TEXTURE	PAINT FINISH	
LIVING ROOM	VINYL PLANK	5¼" BASE	3½" CROWN	2½" CASING	¾" ROUND	SMOOTH FINISH	SATIN WALLS/ GLOSS TRIM	
KITCHEN	VINYL PLANK	5¼" BASE	3½" CROWN	2½" CASING	¾" ROUND	SMOOTH FINISH	SATIN WALLS/ GLOSS TRIM	
BATHROOMS	12"x24" PORCELAIN TILE	5¼" BASE	NONE	2½" CASING	¾" ROUND	SMOOTH FINISH	SATIN WALLS/ GLOSS TRIM	
BEDROOMS	VINYL PLANK	5¼" BASE	3½" CROWN	2½" CASING	¾" ROUND	SMOOTH FINISH	SATIN WALLS/ GLOSS TRIM	
PANTRY	12"x24" PORCELAIN TILE	5¼" BASE	NONE	2½" CASING	¾" ROUND	SMOOTH FINISH	SATIN WALLS/ GLOSS TRIM	
CLOSETS	VINYL PLANK	5¼" BASE	NONE	2½" CASING	¾" ROUND	SMOOTH FINISH	SATIN WALLS/ GLOSS TRIM	



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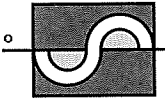
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RENOVATION & ADDITION
TWO-FAMILY RESIDENCE
1010 5TH STREET
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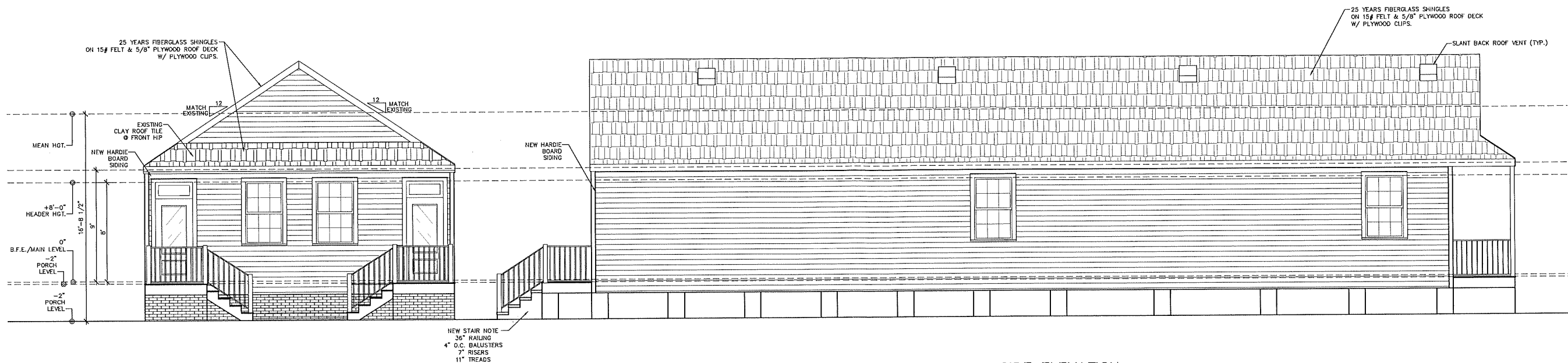


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Sheet Title:
**FINISH
SCHEDULES
& CABINET
ELEVATIONS**

Drawing No.

A-3.1



FRONT ELEVATION

SCALE: 1/4"=1'-0"

LEFT-SIDE ELEVATION

SCALE: 1/4"=1'-0"

GENERAL ELEVATION NOTES

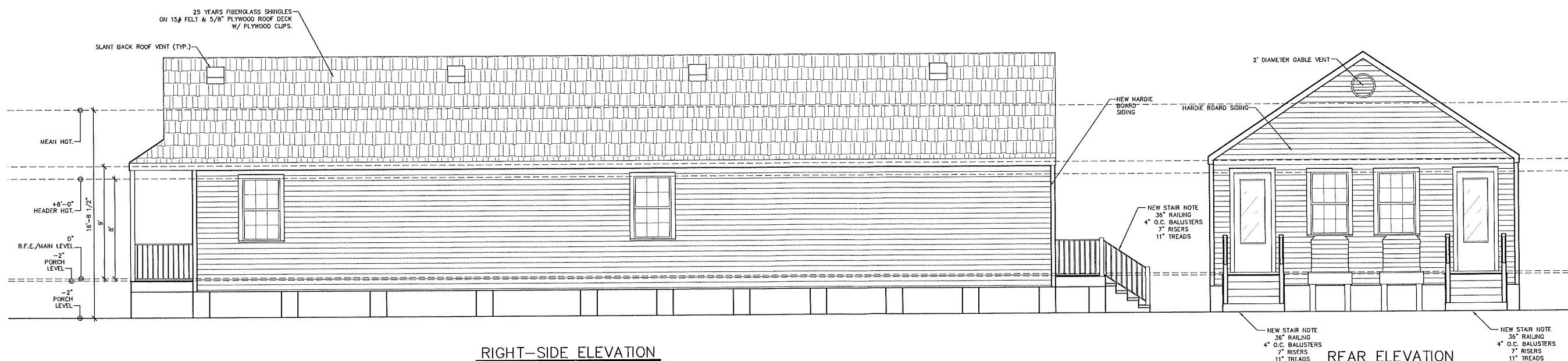
- HARDIE PLANK LAP SIDING CAN BE INSTALLED OVER BRACED WOOD OR STEEL STUDS SPACED A MAXIMUM OF 24" O.C. OR DIRECTLY TO MINIMUM 1/8" THICK OSB SHEATHING.
- A WATER RESISTIVE BARRIER IS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING CODE REQUIREMENTS.
- DO NOT USE HARDIE PLANK IN TRIP APPLICATIONS.

- SIDING IS CAN NOT BE USED IN PLACING OF ROOFING MATERIAL, APPLICATION MUST ONLY BE INSTALLED ON FLAT VERTICAL WALLS.
- HARDIE PLANK SIDING CAN NOT BE STAINED ONLY PAINTED.
- FOR RAISED STRUCTURES RAILINGS SHALL NOT BE LESS THAN 36" HIGH, AND ALL BALUSTERS NO MORE THAN 4" O.C. SPACING.

- BALCONY RAILINGS SHALL BE PROVIDED AT PORCHES WHEN THE FLOOR FINISH EXCEEDS 30" IN HEIGHT ABOVE GRADE.
- PER IRC PROVIDE VENTILATION OPENINGS BETWEEN THE BOTTOM OF FLOOR JOISTS AND THE EARTH UNDER THE BUILDING WITH A NET AREA OF VENTILATION NOT LESS THAN 1 SQFT. FOR EACH 150 SQFT. OF UNDER-FLOOR SPACE AREA AND VENTS SHALL BE WITHIN 3 FEET OF EACH CORNER OF BUILDING.

- FOR RAISED STRUCTURES A ACCESS OPENING MUST BE PROVIDED NO LESS THAN 16"x24"
- GUTTERS MUST INSTALLED EVEN IF NOT SHOWN ON ELEVATIONS, OWNER TO SELECT STYLE AND PLACEMENT OF DOWNSPOUTS TO BE DESIGNED BY OTHERS.

- BOTTOM OF STRUCTURAL FLOOR JOIST SHALL BE LOCATED ABOVE THE REQUIRED MINIMUM FLOOD ELEVATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR TO ENSURE TO ENSURE OWNER RECEIVES FULL AWARENESS OF INSURANCE POLICY IMPACTS FOR FINISH FLOOR ELEVATION.



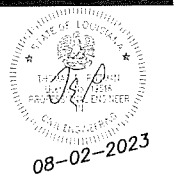
RIGHT-SIDE ELEVATION

SCALE: 1/4"=1'-0"

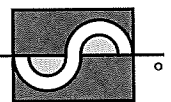
REAR ELEVATION

SCALE: 1/4"=1'-0"

RENOVATION & ADDITION
TWO-FAMILY RESIDENCE
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Sheet Title:

ELEVATIONS

Drawing No.

A-4

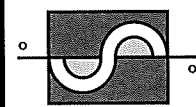
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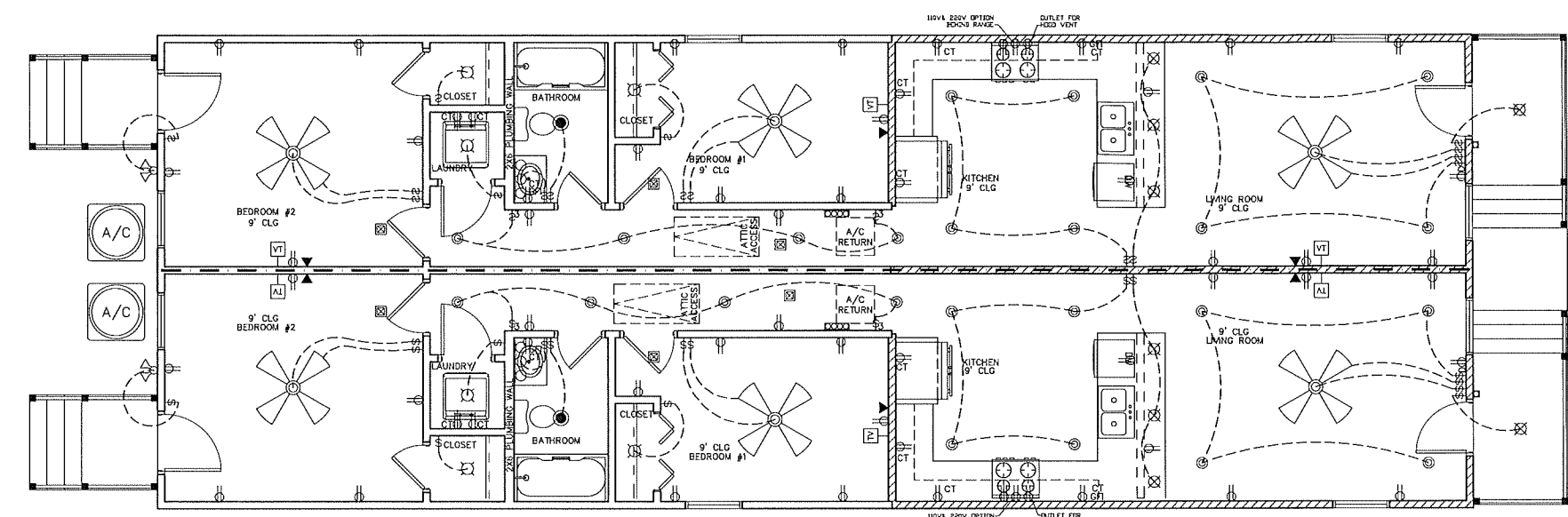
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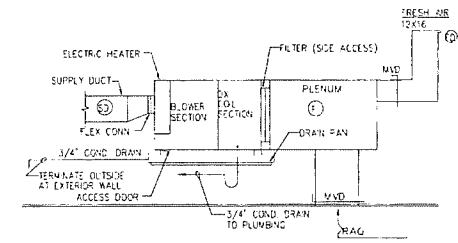
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Sheet Title:
**ELECTRICAL
PLAN & NOTES**

Drawing No.
A-5



ELECTRICAL LAYOUT
SCALE: 1/4"=1'-0"



**AIR HANDLING UNIT DIAGRAM &
MECHANICAL NOTES:**

- A/C CONTRACTOR TO DETERMINE UNIT SIZE AND MOST EFFICIENT DUCT LAYOUT. DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR INSUFFICIENT TONNAGE OF HVAC OR DUCT WORK.
- IF INSUFFICIENT SPACE IS PROVIDED IN THE DESIGN OF THE STRUCTURE THE CONTRACTOR SHALL NOTIFY THE THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION
- HIGH EFFICIENCY DX UNIT, CARRIER (SEER 18-MIN. REQUIRED BY CODE) OR SIMILAR UNITS - ALUMINUM GRILLS
- INSTALL THE HEATING AND AIR CONDITIONING UNIT IN THE ATTIC, & PROVIDE 3/4" DRAIN CONNECTED TO THE SEWER LINE WITH A "P" TRAP.
- A/C COMPRESSOR TO BE LOCATED AS PER SITE PLAN.
- A/C DUCT LOCATIONS ARE ONLY SCHEMATIC, A/C CONTRACTOR SHALL DETERMINE SIZE OF DUCT & VENT FOR EACH ROOM PRIOR TO INSTALLATION
- IF GREATER NUMBER OF VENTS IS NEEDED PER ROOM, SCHEMATICS MUST BE ADDRESSED PER PLACEMENT PRIOR TO INSTALLATION.
- A/C VENTS ARE NOT TO BE PLACED IN ANY GARAGE AREA PER IRC 2015
- RELOCATION OF A/C VENTS MAY NEVER BE REDIRECTED TO DECORATIVE CEILINGS, SUCH AS TRAYS OR COFFERED CEILINGS.
- DRYER EXHAUST DUCT TERMINATION (OUTLET) SHALL BE UNDIMINISHED IN SIZE AND SHALL PROVIDE AN OPEN AREA OF NOT LESS THAN 12.5 SQUARE INCHES.

GENERAL ELECTRICAL NOTES:

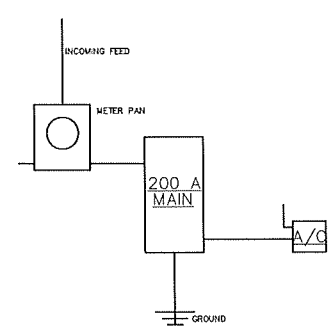
- ELECTRICAL CONTRACTOR TO COORDINATE ALL LOCATIONS AND MOUNTING HEIGHTS OF RECEPTACLES, LIGHT FIXTURES, DOOR BELLS, TELEPHONE, CABLE AND LIGHT SWITCHES.
- EXHAUST FANS SHALL BE INSTALLED IN EACH BATHROOM, FIXTURES TO BE CHOSEN BY OWNERS OR CONTRACTOR
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING (R314.3)
- WHEN ONE OR MORE SMOKE ALARMS IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED (R315.5)
- LOCATE OUTLETS AT 6" ABOVE COUNTERS AND GFI OUTLETS WHERE REQUIRED BY CODE
- MINIMUM OF 2 ATTIC VENTILATORS. CONTRACTOR TO COORDINATE STYLE AND TYPE WITH OWNER PRIOR TO CONSTRUCTION
- ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG. EXCEPT THOSE USED FOR FIXTURE DROPS AND CONTROL WIRING OF EQUIPMENT. CONDUCTORS #8 AWG. AND LARGER SHALL BE STRANDED. NEC COLOR CODE SHALL BE FOLLOWED THROUGHOUT.
- INDOOR CONDUIT ABOVE GROUND SHALL BE EMT; AND HEAVY-WALL RIGID CONDUIT BELOW GROUND.
- OUTDOOR CONDUIT SHALL BE SCHEDULE 40 PVC. ENCASE IN CONCRETE WHERE REQUIRED BY CODE.
- PROVIDE EMPTY CONDUIT AS REQUIRED FOR TELEPHONE.
- WIRING DEVICES SHALL BE SPECIFICATION GRADE AS MANUFACTURED BY LEVITON, G.E., SIERRA OR EQUAL.
- HVAC AIR HANDLER & WATER HEATER TO BE LOCATED IN ATTIC SPACE

UNLESS OTHERWISE SHOWN ON FLOOR PLAN

- GFI STANDS FOR GROUND FAULT INTERRUPT CIRCUIT
- CT STANDS FOR COUNTERTOP HEIGHT PLACEMENT
- PER R315.2.1 CARBON MONOXIDE ALARMS ARE REQUIRED WHEN A STANDBY GENERATOR IS INSTALLED OR GAS EQUIPMENT SERVICED OR INSTALLED
- ALL DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING, AND HAVE A FACE SAFE DUE TO POWER OUTAGES, WHERE POWER IS INTERRUPTED, THE DETECTOR SHALL HAVE A BATTERY BACK-UP (R315.6)
- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC)
- E3601.8 EMERGENCY SERVICE DISCONNECTS FOR ONE & TWO FAMILY DWELLING UNITS ALL SERVICE CONDUCTORS SHALL TERMINATE IN A DISCONNECTING MEANS HAVING A SHORT-CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE FAULT CURRENT, INSTALLED IN A READILY ACCESSIBLE OUTDOOR LOCATION.
- SERVICE DISCONNECT MUST BE NOTED AS EMERGENCY DISCONNECT
- E3606.5 ALL SERVICES SUPPLYING ONE & TWO FAMILY DWELLING UNITS SHALL PROVIDE A SURGE PROTECTIVE DEVICE (SPD) INSTALLED IN ACCORDANCE WITH SECTIONS E3606.5.1 THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO.
- THE SPD SHALL BE EITHER TYPE-1 OR TYPE-2
- RECEPTACLES SHALL NOT BE INSTALLED WITH IN A 3FT. HORIZONTALLY AND 8FT. VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD.
- BATHROOM RECEPTACLE OUTLETS OR THOSE SERVICING A COUNTERTOP NEED TO BE ON THE DEDICATED BATHROOM CIRCUIT.
- ANY WALL GREATER THAN 2" MUST CONTAIN AT LEAST (1) GENERAL PURPOSE RECEPTACLE

ELECTRICAL LEGEND

- DISCONNECT SWITCH
- 110 VOLT IN CEILING
- 110 VOLT IN FLOOR
- 110 VOLT RECEPTACLE
- 110 VOLT W/ GROUND FAULT INTERRUPTOR
- 110 VOLT WATERPROOF G.F.I.
- 220 VOLT RECEPTACLE
- CABLE TV RECEPTACLE
- TELEPHONE OUTLET
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- DIMMER SWITCH
- SMOKE/CARBON DETECTOR w/ BATTERY BACKUP
- CEILING MOUNTED FIXTURE
- HANGING LIGHT
- DECORATIVE LIGHT FIXTURE
- RECESSED CAN
- W.P. WATERPROOF RECESSED CAN
- WALL MOUNTED FIXTURE
- ABOVE MIRROR LIGHTING
- COMBO FAN / HEAT / LIGHT
- FLOOD LIGHTS
- CEILING FAN w/ LIGHT
- DOOR BELL
- DOOR BELL CHIMES
- ELECTRICAL PANEL

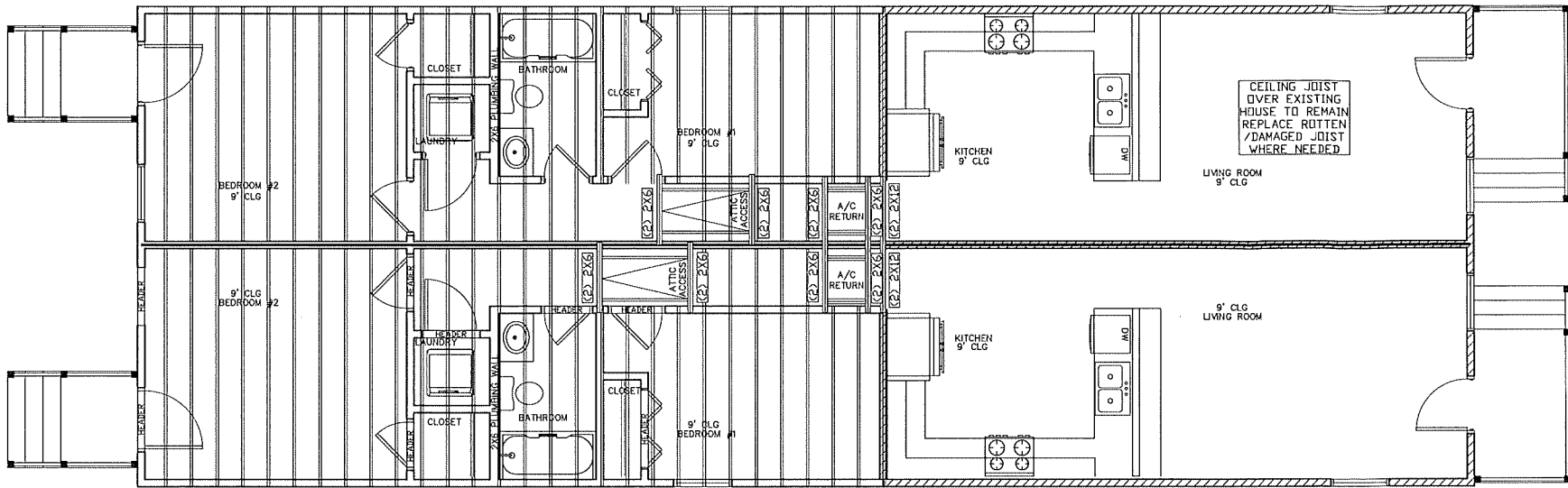


ELECTRICAL SERVICE
SCALE: N.T.S.

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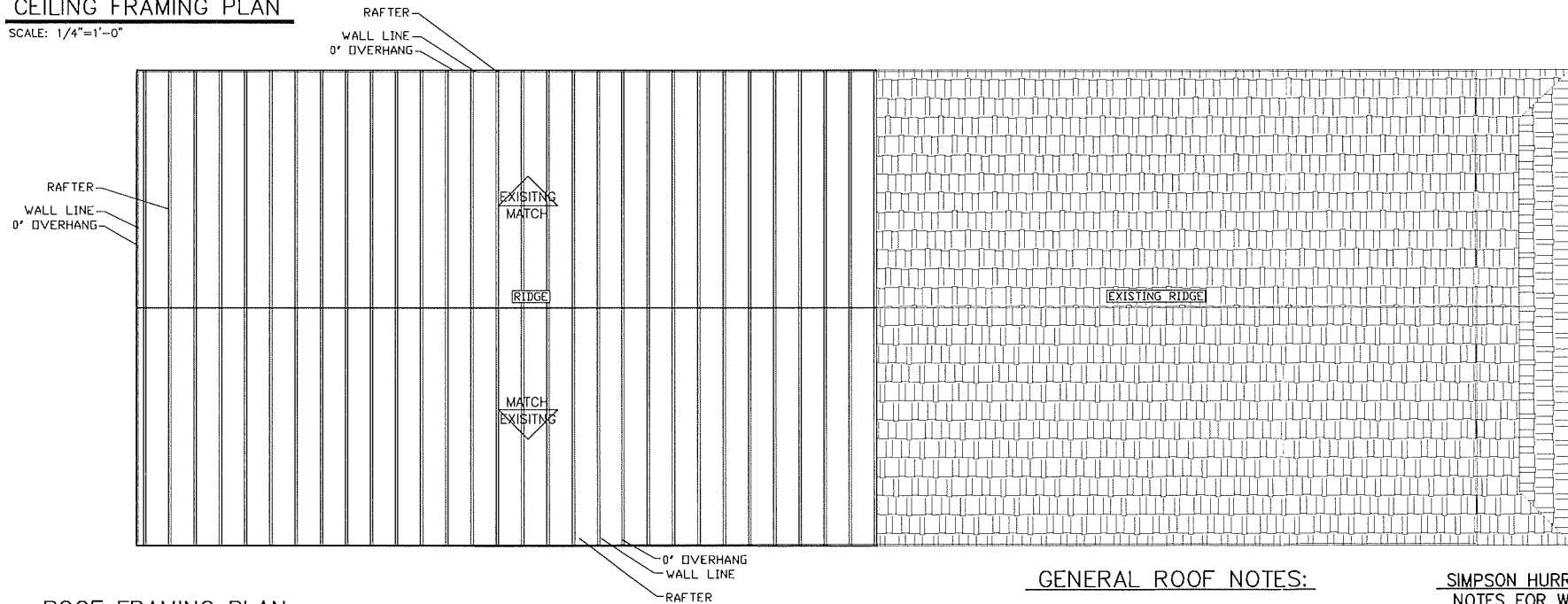
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CEILING FRAMING PLAN

SCALE: 1/4"=1'-0"



ROOF FRAMING PLAN

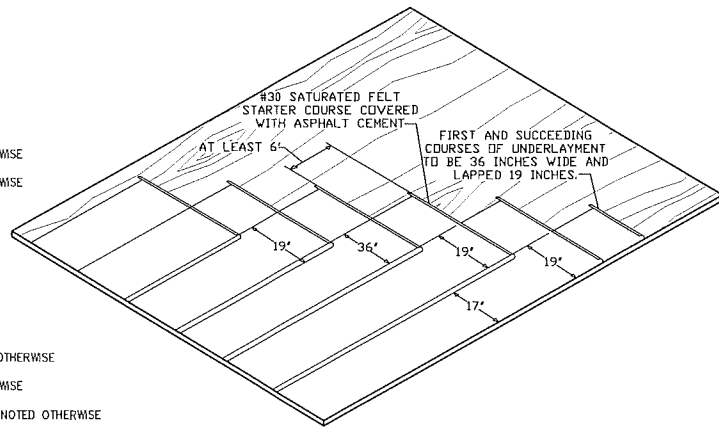
SCALE: 3/16"=1'-0"

"WOOD" ROOF FRAMING NOTES:

- ALL LOOKOUTS SHALL BE: 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE
- ALL RAFTERS SHALL BE: 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE
- ALL HIP RAFTERS SHALL BE: 2X8 UNLESS NOTED OTHERWISE
- ALL VALLEY RAFTERS SHALL BE: 2X8 UNLESS NOTED OTHERWISE
- ALL RIDGES SHALL BE: 2X8 UNLESS NOTED OTHERWISE

"WOOD" CEILING / FLOOR FRAMING NOTES:

- ALL CEILING JOIST SHALL BE: 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE
- ALL BEAMS SHALL BE: (2) 2X12 UNLESS NOTED OTHERWISE
- ALL HEADERS @ 2X4 WALLS SHALL BE: (2) 2X8 W/ 1/2 PLYWOOD UNLESS NOTED OTHERWISE
- ALL HEADERS @ 2X6 WALLS SHALL BE: (3) 2X8 W/ 1/2 PLYWOOD UNLESS NOTED OTHERWISE



GENERAL ROOF NOTES:

SLOPED ROOF: ROOFING SHALL BE AN ARCHITECTURAL SHINGLE BY G.A.F. OR EQUAL. PROVIDE CLASS A FIRE RATING W/ LIFETIME TRANSFERABLE WARRANTY AND 130 MILE MPH. LTD. WIND WARRANTY. INSTALL PER MFR. RECOMMENDATIONS AND CODE TO MEET WIND SPEED REQUIREMENTS.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING COLOR AND LIFETIME OF ROOF WITH OWNER BEFORE PURCHASE.

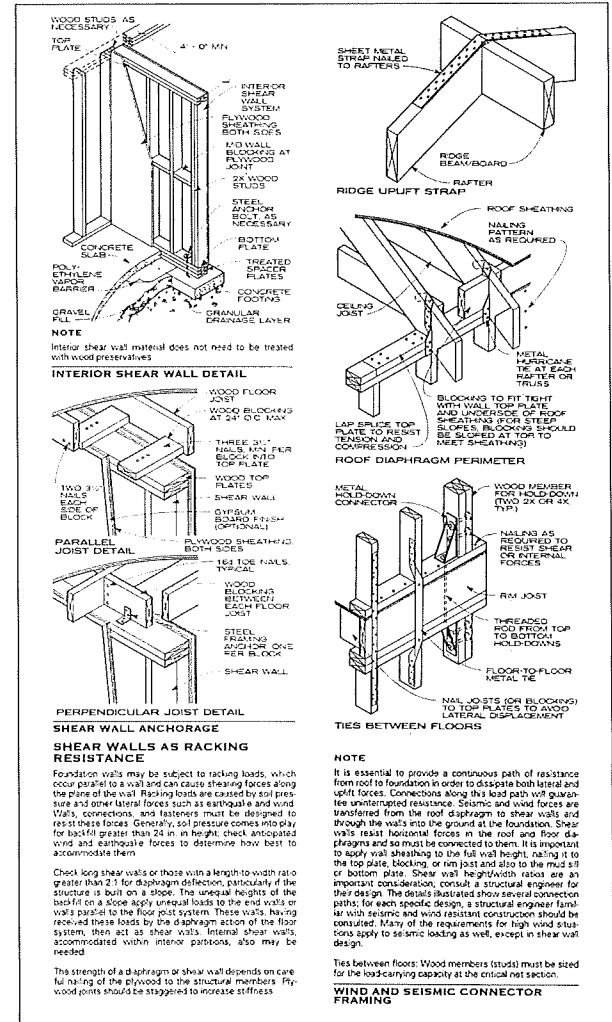
FOR LOW SLOPED SHINGLE ROOFS (2:12 TO LESS THAN 4:12) M.F.R. RECOMMENDATION IS TO PROVIDE 2 LAYERS MIN. UNDERLAYMENT - G.A.F. ROOF DECK PROTECTION OR EQUAL.

ROOF COVERING MATERIAL PER IRC 2021 R905 UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19" INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19". END LAPS SHALL BE 4" AND SHALL BE OFFSET BY 6". THE UNDERLAYMENT SHALL BE ATTACHED WITH CORROSION-RESISTANT FASTENERS IN A GRID PATTERN OF 12" BETWEEN SIDE LAPS WITH A 6" SPACING AT SIDE AND END LAPS. UNDERLAYMENT SHALL BE ATTACHED USING ANNUAL RING OR DEFORMED SHANK NAILS WITH 1" DIA. METAL OR PLASTIC CAP

THE USE OF 30LB. FELT OR SYNTHETIC APPROVED UNDERLAYMENT MUST BE USED. 15LB. WILL NOT BE ACCEPTED. MUST BE ATTACHED WITH CORROSION-RESISTANT FASTENERS IN A GRID PATTERN OF 12" BETWEEN SIDE LAPS WITH A 6" SPACING AT THE SIDES AND END LAPS.

SIMPSON HURRICANE STRAPING NOTES FOR WOODEN SYSTEM

- SIMPSON HURRICANE STRAPING MODEL (2) H2.5A ONE ON EACH SIDE OR COMPARABLE LOCATED EVERY RAFTER TO STUD (MAXIMUM WORKING LOAD= 865 pounds) (ALLOWABLE LOAD PER ANCHOR= 970 pounds)
- ALL ROOF SHEATHING SHALL BE 1/2 PLYWOOD ANCHORED WITH 8 PENNY COMMON NAILS @ 6" O.C. SPACING.
- SIMPSON HURRICANE STRAPING MODEL "MTS16" OR COMPARABLE LOCATED EVERY EXTERIOR STUD TO SILL (MAXIMUM WORKING LOAD= 1182 pounds) (ALLOWABLE LOAD PER ANCHOR= 1370 pounds)
- PROVIDE 1/2" PLY. WOOD SHEATHING ON ENTIRE HOUSE FRAMING FOR CONT. LOAD PATH CONNECTIONS AS PER "SS1D 10-99"



FASTENING SCHEDULE FOR STRUCTURAL MEMBERS

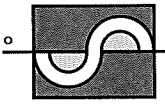
DESCRIPTION OF BUILDING ELEMENTS	TYPE OF FASTENERS	# AND SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d	---
1X6 SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	---
2 INCH SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d	---
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	---
STUD TO SOLE PLATE, TOE NAIL	3-8d or 2-16d	---
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALLS PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 24 INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	---
BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	---
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.
TOP PLATES, LAP AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	---
BUILT-UP HEADERS	16d	16" O.C. ALONG EACH EDGE
TWO PIECE WITH 1/2 SPACERS	16d	16" O.C. ALONG EACH EDGE
CEILING JOIST TO TOP PLATE, TOE NAIL	3-8d	---
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	---
RAFTER TO PLATE, TOE NAIL	2-16d	---
1 INCH BRACE TO EACH STUD & PLATE, FACE NAIL	2-8d	---
1X6 SHEATHING TO EACH BEARING, FACE NAIL	2-8d	---
1X8 SHEATHING TO EACH BEARING, FACE NAIL	2-8d	---
WIDER THAN 1X8 SHEATHING TO EACH BEARING, FACE NAIL	3-8d	---
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP GIRDERS & BEAMS, 2 INCH LUMBER LAYERS, SPICE 2 INCH PLANKS	2-16d	AT EACH BEARING
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS, TOE NAIL	4-16d	---
RAFTER RES TO RAFTERS, FACE NAIL	3-16d	---

I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

RENOVATION & ADDITION
TWO-FAMILY RESIDENCE
1010 5TH STREET
GRETN, LA 70053
JEFFERSON PARISH



SPECTRUM
DESIGNS, LLC
2439 MANHATTAN BLVD.
Suite 209 - HARVEY, LA 70058
PHONE: (504) 366-0710 FAX: (504) 366-0708
E-Mail: ADMIN@SPECTRUMDESIGNSLLC.COM



Date: 08-02-2023
Drawn: LG
Checked: TEP

Sheet Title:
FRAMING
PLANS & NOTES

Drawing No.

A-6



Historic District Commission

Meeting: February 05, 2024

213 Weidman Street
(District 2)

For: Handrails
Applicant: Mike Hinyub



Historic District Commission

Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 213 WIEDMAN ST

Renovation: ✓ HANDRAILS

New Construction: _____

Demolition: _____

Age of Structure: 66 YRS

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ✓

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Craftsman

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails METAL

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 01-29-24

Applicant's Name: MIKE HINYUB

Applicant's Address: 213 WIEDMAN ST

Phone No: () Cell No: (504) 382-4021

For Office Use Only:

Application date: Jan. 29, 2024

Substantive Change: Yes ☐ No ☒

Inventory Number: 26-02306

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Feb. 5, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, MIKE HINYUB the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 02-05-24 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

MIKE HINYUB
Signature of Applicant

MIKE HINYUB
NAME OF APPLICANT (PLEASE PRINT)

213 WIEDMAN ST
Applicant's address

213 WIEDMAN ST
Actual address of the property for review

Date: 01-29-24

Untitled Map

Write a description for your map.

Legend

- 213 Weidman St
- Gretna Dog Park



