

**THE CITY OF GRETNA
MAYOR AND CITY COUNCIL REGULAR MEETING**



**Gretna City Hall
740 2nd Street, Gretna, LA 70053
Council Chambers - 2nd Floor
April 12, 2017 - 5:30 PM
AGENDA**

1. Call to Order and Roll Call

2. Invocation and Pledge of Allegiance

3. Opening Remarks by the Mayor.

4. Presentations:

A. Recognition "Kid's Artwork" (Kid's Activity table at Gretna Farmers Market) - Mayor Constant

B. Recognition "Campus of the Month" - William Hart Elementary School (2001 Hancock Street) - Mayor Constant

C. Recognition - Westbank Gymnastics - Mayor Constant

D. "National Travel and Tourism Week 2017" (May 7 - 13) - Mayor Constant

A resolution recognizing May 7 through May 13 2017 as "National Travel & Tourism Week" and to encourage residents and businesses within the City of Gretna to observe and support the week with appropriate activities.

Requested by: Administration

Sponsor: Councilman Rau

E. "Building Safety Month" May 2017 - Mayor Constant

A resolution recognizing the month of May 2017 as "Building Safety Month" and to encourage all citizens to join with their communities in participation in Building Safety Month activities.

Requested by: Administration

Sponsor: Councilman Rau

F. Recognition of New Businesses:

G. Employee of the Quarter.

5. Variance Request(s):

A. 2025-2029 LeBouef Street (Vacant Land) - Paul M. Galaforo, Jr., Applicant
Variance for front yard 10' setback. (District 1)

B. 736 Newton Street - Brett Lawson, Applicant
Front and side yards variance for a corner lot. (District 2)

- C. 78 Willow Drive - Megan Marks, Owner and Ray Burlette, Applicant
Variance for side yard for carport cover. (District 2)

6. Site Plan Review Request(s):

- A. 72 Westbank Expressway - Eco-Site, Inc., Applicant.
For 90' Monopole Wireless Telecommunications Tower (District 4)
- B. #5 Westbank Expressway - Marco Outdoor Advertising, Applicant
Billboard sign LED. (District 1)

7. CONSENT AGENDA:

A. Approval of Meeting Minutes:

March 8, 2017 Council Regular meeting.

B. Event Request(s):

- (1) **7th Annual Crawfish Cook Off**, Saturday, May 20, 2017 11:00 AM - 4:00 PM at Mel Ott Recreation Center parking lot.
- (2) **Bridgeman Duathlon 2017** - Sunday, June 4, 2017 - 5:00 AM-12:00 Noon
(Farmers Market and Huey P. Long Avenue)

C. Alcoholic Beverage Permit Application(s):

- (1) Krazy Al's Cajun Cookin Restaurant, 423 10th Street (Change of ownership)
Alvin Kinler, Applicant (District 2)

D. Adoption of Ordinance(s) by Consent:

- (A) An ordinance approving the resubdivision of Lots 28 and 29, Square 10, Suburban Park Subdivision, Gretna, Louisiana INTO Lot 28A, Square 10, Suburban Park Subdivision, per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated December 28, 2016.

Municipal Address: 1104 Isbell Street Sponsor: Councilman Crosby

E. Adoption of Resolution(s) by Consent:

- (A) A resolution declaring the month of April 2017 "FAIR HOUSING MONTH"; requesting the citizens of the City of Gretna, Louisiana to join in reaffirming the obligation and commitment to fair housing opportunities for all.

Requested by: Administration

Sponsor: Councilman Rau

- (B) A resolution authorizing the City of Gretna, Louisiana to prepare and submit a pre-application to the Statewide Flood Control Program for assistance in the implementation of a project for the purpose of reducing existing flood damages; providing for the necessary documentation of said flood damages; and providing for other related matters in connection therewith.

Requested by: Administration

Sponsor: Councilman Rau

- (C) A resolution authorizing Mayor Belinda C. Constant to advertise for Requests for Proposals (RFPs) for a consultant to auction and sell adjudicated properties within the City of Gretna, Louisiana pursuant to State law.

Requested by: Administration

Sponsor: Councilman Rau

8. Consideration and Adoption of Ordinances(s):

- A. An ordinance to amend the Gretna Code of Ordinances, Chapter 32. –Historic Preservation; more particularly amending Section 32-7. –Procedures for application of certificate of appropriateness, by adding paragraph (k) and sub-paragraph (1).

Requested & Sponsored by: Councilman Hinyub

- B. An ordinance amending City of Gretna Ordinance No. 1945, adopted by the City Council on the 12th day of July 1989, more particularly amending the zoning classification of Lots 4, 5, 6 and 7, Square 19, New Mechanickham Subdivision, Gretna, Louisiana from Single-family residential (R-1) to Neighborhood commercial (C-1); and directing, authorizing and empowering the Zoning Official to alter and amend the Official Zoning Map of the City of Gretna.

Municipal Address: 711 Derbigny Street Sponsor: Councilman Hinyub

9. Historic District Commission Appeals:

- A. 1112 Monroe Street - Jack Bradley, Applicant
Denial - Installation of driveway strips and aprons. (District 1)

10. Reports:

- A. Police Department Report
- B. City Engineer Status Report
- (1) Projects Status monthly report - April 12, 2017.
- C. Departmental Reports distributed:
- (1) Public Works Council Meeting Report
- (2) Building Department Report.
- (3) Historic District Commission Report.
- (4) Code Enforcement Department report.
- D. Council District Reports:

11. Introduction of Ordinances:

- A. An ordinance approving the resubdivision of Lots 4 & 5, Square 3, Village of Gretna Subdivision, Gretna, Louisiana INTO Lot 4A, Square 3, Village of Gretna Subdivision, per the plan of survey & resubdivision of Dufrene Surveying & Engineering Inc., dated February 8, 2017.

Municipal Address: 214-216 Lafayette Street Sponsor: Councilman Hinyub

- B. An ordinance approving the resubdivision of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, Louisiana INTO Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated March 27, 2017.

Municipal Address: 22 Colony Road Sponsor: Councilman Berthelot

- C. An ordinance amending the Gretna Code of Ordinances, Chapter 58 –Zoning and subdivisions; by adding a new category titled Screening and Fencing.

Requested by: Administration

Sponsor: Councilman Rau

- D. An ordinance approving the sale of Lots 4 and 5, Square 7, Gretna Subdivision (Parcel No. 9100002019) by the City of Gretna pursuant to Louisiana Revised Statute 47:2202.

Requested by: Administration

Sponsor: Councilman Rau

- E. An ordinance approving the sale of the adjudicated property located at 820 Solon Street (Parcel No. 8100005350) by the City of Gretna, pursuant to Louisiana Revised Statute 47:2236.

Requested by: Administration

Sponsor: Councilman Rau

- F. An ordinance approving the un-dedication of a portion of Front Street between Hamilton Street and Ocean Avenue as per the preliminary plan of survey of Dufrene Surveying and Engineering, Inc., dated April 15, 2016 attached hereto as Exhibit “A”.

Requested by: Administration

Sponsor: Councilman Rau

- G. An ordinance approving the resubdivision of Lots 1 and 2, Square 10; Lots 8A and 10A, Square 11, and a portion of former Front Street, INTO Lot 1B, Square 10, AND Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per attached plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated April 15, 2016.

Requested by: Administration

Sponsor: Councilman Hinyub

12. Citizens Addressing the Mayor and City Council.

13. Adjournment.

On motion by Councilman _____ and seconded by Councilman _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution recognizing May 7 through May 13 2017 as “National Travel & Tourism Week” and to encourage residents and businesses within the City of Gretna to observe and support the week with appropriate activities.

WHEREAS, in 1983 the United States Congress passed a joint resolution designating the first full week of May to be recognized as National Travel and Tourism Week; and

WHEREAS, National Travel & Tourism Week champions the power of travel and is celebrated in numerous cities across the country; and

WHEREAS, National Travel & Tourism Week provides the opportunities to learn more about how the travel and tourism industry contributes to the City of Gretna’s economy, business development, employment and overall quality of life; and

WHEREAS, wearing red during National Travel & Tourism Week has been a signature that signaled unity among travel and tourism workers and supporters for at least two decades.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Gretna, Louisiana, acting as governing authority of said City that:

The week of May 7 through May 13 2017, is hereby recognized and designated as National Travel & Tourism Week within the City of Gretna, Louisiana.

BE IT FURTHER RESOLVED that:

Residents and businesses within the City of Gretna are encouraged to observe and support the week with appropriate activities within the community.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: Councilmen

Nays:

Absent: None

ADOPTED:

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETN
STATE OF LOUISIANA**

On motion by **Councilman _____** and seconded by **Councilman _____**, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution recognizing the month of May 2017 as “Building Safety Month” and to encourage all citizens to join with their communities in participation in Building Safety Month activities.

WHEREAS, our City is committed in recognizing growth and strength depends on the safety and economic value of the homes, buildings and infrastructure that serve our citizens, both in everyday life and in times of natural disaster; and

WHEREAS, our confidence in the structural integrity in buildings that make up our community is achieved through the devotion of vigilant guardians—building safety and fire prevention officials, architects, engineers, builders, tradespeople, design professionals, laborers and others in the construction industry—working year-round to ensure the safe construction of buildings; and

WHEREAS, these guardians are dedicated members of the International Code Council, a U.S. based organization, that brings together local, state and federal officials that are experts in the built environment to create and implement the highest-quality codes to protect us in the buildings where we live, learn, work, worship and play; and

WHEREAS, our nation benefits economically and technologically from using the International Codes, developed by a national, voluntary consensus codes and standards developing organization, our government is able to avoid the high cost and complexity of developing and maintaining these codes, which are the most widely adopted building safety and fire prevention codes in the nation; these modern building codes include safeguards to protect the public from natural disasters (I.e. hurricanes, snowstorms, tornadoes, wildland fires, floods and earthquake); and

WHEREAS, “Building Safety Month” is sponsored by the International Code Council to remind the public about the critical role of our communities’ largely unknown guardians of public safety—our local code officials—who assure safe, efficient and livable buildings; and

WHEREAS, “Code Officials—Partners in Community Safety and Economic Growth” the theme for Building Safety Month 2017, encourages all citizens to raise awareness of the importance of building safe and resilient construction; fire prevention; disaster mitigation, and new technologies in the construction industry. Building Safety Month 2017 encourages appropriate steps to take in ensuring the places we live, learn, work, worship and play are safe, recognizing that countless lives have been saved due to implementation of safety codes by local and state agencies; and

WHEREAS, yearly, in observance of Building Safety Month, Americans are asked to consider the commitment to improve building safety and economic investment at home and in the community, and to acknowledge the essential service provided by local and state building departments, fire prevention bureaus and federal agencies in protecting lives and property.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Gretna, Louisiana, acting as governing authority of said City that:

The City of Gretna, Louisiana does hereby proclaim the month of May 2017 as “Building Safety Month” and encourages all citizens to join with their communities in participation in Building Safety Month activities.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: Councilmen

Nays:

Absent:

Abstained:

ADOPTED: APRIL 12, 2017

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**



APPLICATION FOR VARIANCE

RECEIVED

AUG 17 2016

***Fee: \$50.00 (Non-Refundable)
(Hardship Letter may be required)

CITY OF GRETNA
MAYOR'S OFFICE

(PLEASE PRINT) **NOTE:** This application must be submitted no later than the Wednesday prior to the schedule monthly council meeting.

Application Date 8.17.16

Municipal address where

Variance is requested:

2025 - 2029 LeBoeuf Street (Vacant Land)

Current

Use: LOT

Legal Description
of Property:

41

9A
15A

OAK DALE

Square

Lot(s)

Subdivision

Owner's

Name:

PAUL M. GALAFORO, JR

Contact

No.

(504) 250-3246

E-Mail Address: PAUL@GALAFOROCONSTRUCTION.COM

Owner's

Address:

139B Huey P. Long Ave., Gretna, LA 70053

Name of

Applicant:

PAUL M. GALAFORO, JR

Contact

No.

(504) 250-3246

E-Mail Address: PAUL@GALAFOROCONSTRUCTION.COM

Address of

Applicant:

139B Huey P. Long Ave., Gretna, LA 70053

Type of variance

requested:

☐ Yard

☐ Height restriction

☐ Lot area per family

☒ Other (See Sec 102-59)

Explanation: PROPERTY LINE NON-EXISTANT

Reason for

request:

I REQUEST FOR PROPERTY LINE TO BE NON-EXISTANT SO IT CAN BE USED AS REAR ACCESS FOR PARKING.

APPROVED FOR PRESENTATION

Azalea M. Russell
Zoning Official

8/19/16
Dated

Remarks:

Front yard 10 ft setback variance

I AFFIRM THAT THE INFORMATION GIVEN IN
THIS APPLICATION IS TRUE AND CORRECT.
(PLEASE SIGN AND PRINT NAME BELOW)

Signature of Property Owner

PAUL M. GALAFORO, JR

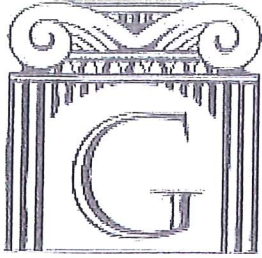
Property Owner (PRINT NAME)

Applicant's Signature

PAUL M. GALAFORO, JR.

Applicant (PRINT NAME)

8.17.16
Date



Established 2005

GALAFORO CONSTRUCTION, LLC

1770 STUMPF BLVD., GRETN, LA 70056
(504) 250-3246 Phone / Email: paul@galaforoconstruction.com
LA License # 52305

March 13, 2017

City Of Gretna
Planning and Zoning Dept.
Mrs. Azalea
2nd Street and Huey P. Long Ave.
Gretna, LA 70053
Transmitted – Hand Delivered


Project: **Lots 9A & 15A, Square 41, Oakdale Subdivision**
Address: No Address Provided yet - Lots 9A & 15A, Square 41, Oakdale Subdivision
Re: Hardship Letter

Dear Mrs. Azalea,

I, Paul M. Galaforo, Jr.(Owner), hereby request a variance for the property line for the property located at Lots 9A & 15A, Square 41, Oakdale Subdivision, so it can be used as access for rear parking for the tenants.

If you would like to discuss further, please contact me at (504) 250-3246.

Sincerely,



Paul M. Galaforo, Jr.
President
GALAFORO CONSTRUCTION, LLC

PG:mb

RECEIVED

MAR 13 2017

**CITY OF GRETN
MAYOR'S OFFICE**



VARIANCE REQUEST APPLICATION

(PLEASE PRINT)

****Fee: \$300.00 (Non-Refundable)**
(Hardship Letter may be required)

NOTE: Please submit this application at least 10 working days prior to Council regular meeting.

Date applied: 4/4/17

Address of property
for variance request: 736 Newton Street

Current
Use: Empty Lot

Legal description
of property: 28 1A Village Of Mechanization
Square Lot(s) Subdivision

Applicant's
Name: LEOPOLDO L. DE JESU

Contact
Phone No. 504-813-1890

Applicant's
Address: 414 2ND STREET GRETNA, LA 70053

E-Mail yourdreamourgoal@yahoo.com

Owner's
Name: DE JESUS CONSTRUCTION CO., INC.

Contact
Phone No. SAME

Owner's
Address: SAME

E-Mail SAME

Type variance
requested: ☐ Yard ☐ Height restriction ☐ Lot area per family ☒ Other (See Code Sec. 58-65. - Variances.)

Explanation: WE ARE SEEKING PERMISSION TO SET A/C CONDENSERS (2),
AS WELL AS FUTURE POOL FILTER WITHIN OUR 5'6" SIDE SETBACK.

Reason for
request: WITH LITTLE TO NO AREA IN REAR YARD (DUE TO FUTURE POOL)
OUR ONLY OTHER OPTION WAS ROOF MOUNTED DUE TO EXPOSURE "B"/
130 MPH WIND DESIGN, UNSURETY PLATFORM/RAILING REQUIREMENTS, ROOF OPEN NOT
DESIGN

Explanation: REQUESTING A 10' FRONT YARD SETBACK, AS WELL AS
A 5' SIDE SETBACK ON THE STREET SIDE OF BUILD.

Reason for
request: WITH THE STRONG DESIRE TO ADHERE TO THE "NEIGHBORHOOD
NORM", AND TO MAINTAIN CONSISTENCY WITH SURROUNDING
STRUCTURES, WE RESPECTFULLY MAKE THIS REQUEST.

APPROVED FOR PRESENTATION

Angela M. Russell
Planning and Zoning Official approval

4/4/17
Approval date

Remarks: Front & side yards
variance for a
corner lot

I AFFIRM THAT THE INFORMATION GIVEN IN
THIS APPLICATION IS TRUE AND CORRECT.

[Signature]
Signature of Property Owner

DE JESU CONSTRUCTION CO., INC.
Property Owner (PRINT NAME)

[Signature]
Applicant's Signature

LEOPOLDO L. DE JESU
Applicant (PRINT NAME)

4/4/17
Date



VARIANCE REQUEST APPLICATION

RECEIVED

MAR 29 2017

(PLEASE PRINT)

****Fee: \$300.00 (Non-Refundable)** **Fee: \$300.00 (Non-Refundable)**
(May require "Hardship Letter") (Hardship Letter may be required)

CITY OF GRETNA
MAYOR'S OFFICE

NOTE: Please submit this application at least 10 working days prior to Council regular meeting.

Date applied: 3-29-17

Address of property for variance request: 78 Willow Gretna, LA 70053

Current Use: C-1

Legal description of property: 22 Square 15 Lot(s) Garden Park Subdivision

Applicant's Name: Ray Burlette Contact Phone No. 504-915-8097

Applicant's Address: 8767 Hwy 23 Belle Chasse La 70037 E-Mail Julie.burlette@gmail.com

Owner's Name: Megan Marks Contact Phone No. 504-416-8172

Owner's Address: 78 Willow Gretna, La 70053 E-Mail _____

Type variance requested: ☐ Yard ☐ Height restriction ☐ Lot area per family ☐ Other (See Code Sec. 58-65. - Variances.)

Explanation: _____

Reason for request: would like to Build carport 1' From property line instead of 3' Required. Please See attached Hardship Letter

APPROVED FOR PRESENTATION

Opalea M. Russell
Planning and Zoning Official approval

3/29/17
Approval date

Remarks: Side yard for carport cover

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION IS TRUE AND CORRECT.

Megan Marks
Signature of Property Owner

Megan Marks
Property Owner (PRINT NAME)

Ray Burlette
Applicant's Signature

Ray Burlette
Applicant (PRINT NAME)

3/29/17
Date



APPLICATION FOR SITE PLAN REVIEW

FOR OFFICE USE ONLY

Received: _____
Council: _____
Approved: _____
District No. _____
***Fee: \$350.00 (Non-Refundable)**

(PLEASE PRINT)

Application Date: February 3, 2017

Address to be Reviewed: 72 Westbank Expressway, Gretna, Louisiana 70053

Name or description of Project: 90' Monopole Wireless Telecommunications Tower

Prop. Legal Description: Portion of Lot Q2 Designated as Lot Q2B

Brooklyn Pastures

Lot(s)

Square

Subdivision

Currently

Zoned: BC-2

Use: Permitted: ()

Conditional: (X) Non Conforming ()

Expansion/

Addition () (% of original expansion) New Business () New Building () Change of Use ()

Name of Property Owner: Algiers Church of God in Christ, Inc.

Phone Number(s)

RECEIVED

E-Mail Address: FEB 03 2017

Address of Property Owner: 730 Thayer Street, New Orleans, Louisiana 70114

Name of Applicant/Agent: Eco-Site, Inc.

Phone Number(s)

**CITY OF GRETNA
MAYOR'S OFFICE**

E-Mail Address: jleyens@bakerdonelson.com

Check all

that apply: Building Permit () Electrical () Mechanical () Plumbing () Occupational License ()

Health Dept. () Lease () ABO () Fire Marshal () Historic District ()

Involves: Variance () Resubdivision () Zoning Change ()

Primary Setbacks: Front: 321' Rear 34' L Side 109' R Side 41'

Building size: ' x ' Sq. ft. Lot size: 40 ' x 40 ' 1600 Sq. ft.

Parking Spaces: Existing: Proposed: Surface Type:

Loading/Service Areas: Lighting: Number Height: Type

Type of Sign: Pole Wall Monument Illuminated: YES NO

Number of signs: Size(s): Total Sq. ft. of signs:

Landscaping: Number of trees Number of bushes:

ATTACH SURVEY/SITE PLANS (REQUIRED)

ARCHITECT/

ENGINEER CONTACT: (IF APPLICABLE)

INFORMATION PROVIDED SHALL CONFORM TO THE PROVISIONS OF SEC. 58-70.- SITE PLAN REVIEW PROCESS.

APPROVED FOR PRESENTATION

Gayle M. Russell
Planning & Zoning Official

Dated

REMARKS:

*90 ft Monopole
Wireless Tower*

**I AFFIRM THAT THE INFORMATION GIVEN IN
THIS APPLICATION IS TRUE AND CORRECT.
(PLEASE SIGN AND PRINT NAME BELOW)**

Signature of Property Owner

Property Owner (PRINT NAME)

Signature of Applicant/Agent

Applicant/Agent (PRINT NAME)

*Authorized
Agent for
Applicant &
Owner*



APPLICATION
FOR
SITE PLAN REVIEW

RECEIVED

MAR 13 2017

CITY OF GRETNAL
MAYOR'S OFFICE

(PLEASE PRINT) *Fee: \$350.00 (Non-Refundable)

Application Dated: 3/13/17

Address to be Reviewed: 5 Westbank Expwy
Name or description of Project: GENERAL Advertising Sign "Billboard"
Prop. Legal Description: 4B OAKdale
Lot(s) Square Subdivision

Currently Zoned: Use: Permitted: () Conditional: () Non Conforming ()

Expansion/ Addition () (% of original expansion) New Business () New Building () Change of Use ()

Name of Property Owner: Gretna Hotel #1, LLC Telephone Number(s): 504-371-6666

E-Mail Address: LVONG@bngroup.US

Address of Property Owner: 2439 Manhattan Blvd, Ste 211 Harvey, LA 70058

Name of Applicant/Agent: MARCO Outdoor Advertising Telephone Number(s): 504-229-0700 (O) 504-316-9517 (C)

E-Mail Address: MARKPirozzolo@yahoo.com

Check all that apply: Building Permit () Electrical () Mechanical () Plumbing () Occupational License ()

Health Dept. () Lease () ABO () Fire Marshal () Historic District ()

Involves: Variance () Resubdivision () Zoning Change ()

Primary Setbacks: Front: Rear L Side R Side

Building size: 14' x 48' 672 Sq. ft. Lot size: ' x ' Sq. ft.

Parking Spaces: Existing: Proposed: Surface Type:

Loading/Service Areas: Lighting: Number Height: Type

Type of Sign: Pole () Wall () Monument () Illuminated: YES () NO ()

Number of signs: 1 2 faces Size(s): 14' x 48' Total Sq. ft. of signs: 672

Landscaping: Number of trees Number of bushes:

ATTACH SURVEY/SITE PLAN (REQUIRED)

ARCHITECT/ ENGINEER CONTACT: (IF APPLICABLE)

INFORMATION PROVIDED SHALL CONFORM TO THE PROVISIONS OF SEC. 102-64. SITE PLAN REVIEW PROCESS.

APPROVED FOR PRESENTATION
Zoning Official
Dated
REMARKS: Bill Board Sign
LED

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION IS TRUE AND CORRECT.
(PLEASE SIGN AND PRINT NAME BELOW)
Signature of Property Owner
Property Owner (PRINT NAME)
Signature of Applicant/Agent
Applicant/Agent (PRINT NAME)

ALCOHOLIC BEVERAGE PERMIT APPLICATION
CITY OF GRETNA

SECOND STREET AND HUEY P. LONG AVENUE P. O. BOX 404, GRETNA, LA 70054-0404



For the Calendar Year Ending December 31, 2017

FOR OFFICE USE ONLY

Account # _____
Permit # _____
Date Paid _____
Amount _____
By _____

Date 4/4/17



Krazy Al's Cajun Cookin
Trade Name

Krazy Al's Cajun Cookin
Owner's Name

Mailing Address 79369 Lady Lane
Street

Bolton
City

LA 70437
State Zip Code

Location of Business 423 10th Street
Street

Gretna, LA
City State

70053
Zip Code

Type of Permit: ☒ Liquor ☐ Open Beer ☐ Package Beer

Type of Ownership Limited Liability Company
(Individual, Partnership, Corporation)

All agents, employees, representatives or servant of this business have obtained and Alcoholic Beverage Card from the City of Gretna, Chief of Police ☐ Yes ☐ No

Alvin Kinler

(Name, address, social security number, date of birth of all partners or principal officers, if a corporation)

Liquor (Includes Beer & Wine) \$500.00
Open Beer - \$75.00
Package Beer Only - \$60.00
Wholesale Beer - \$100.00

I affirm that the information given in this application
is true and correct and will abide by all applicable
City ordinances

(Name)

Managing Member
(Title)

PERMIT WILL NOT BE ISSUED IF APPLICATION IS NOT COMPLETE

Applications are due on January 1. A penalty of (25%) twenty-five percent will be charged, if not paid by January 1, this permit may be denied without notice. Make checks payable to City of Gretna, P. O. Box 404, Gretna, LA 70054

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 28 and 29, Square 10, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lot 28A, Square 10, Suburban Park Subdivision, per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated December 28, 2016.
Municipal Address: 1004 Isbell Street

WHEREAS, David F. Paz and Mirna V. Paz are the owners of record of Lots 28 and 29, Square 10, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owners have resubdivided Lots 28 and 29, Square 10, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO Lot 28A, Square 10**, Suburban Park Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated December 28, 2016, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 28 and 29, Square 10, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 28A, Square 10, Suburban Park Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated December 28, 2016, be and the same is hereby approved.

SECTION II: The mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstain:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____

Adopted on: _____

District No. _____, _____

Fee: \$300.00 (Non-Refundable)

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 2/20/17

Address of property to be resubdivided: 1104 Isbell St. Gretna, LA 70053 7005 3

From: Current

Legal Description: 28, 29 10 Suburban Park
Lot(s) Square Subdivision

To: Proposed

Legal Description: 28 A 10 Suburban Park
Lot(s) Square Subdivision

Applicant's

Name: Mirna Paz Phone No. (504) 717-1695

Applicant(s)

E-Mail Mirna.paz56@gmail.com

Address: 1104 Isabell St. Gretna, LA 70053

Owner of

Record: Professional Designs Group Inc. Phone No. (504) 613-0686

Owner's

E-Mail info@prof-designs.com

Address: 1104 Isabell St. Gretna, LA 70053

Give brief explanation

reason for Resubdivision: The subject property is located in the middle of two lots. The owner plans to do a rear master bedroom addition.

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey - Current				
Notarized Affidavit	✓			
Registered Letters (If applicable)				
Posted Area				
City Engineer Review				
Ordinance drafted	✓			

APPROVED FOR PRESENTATION

Azalea M. Russell
Planning & Zoning Official

2/20/17

Date reviewed and approved

REMARKS: Combine 2 lots of record into 1 lot

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Signature of Applicant/Owner of Record

James C. Phelps Jr.

PRINT YOUR NAME

Owner of Record

Title

2/17/17

Dated

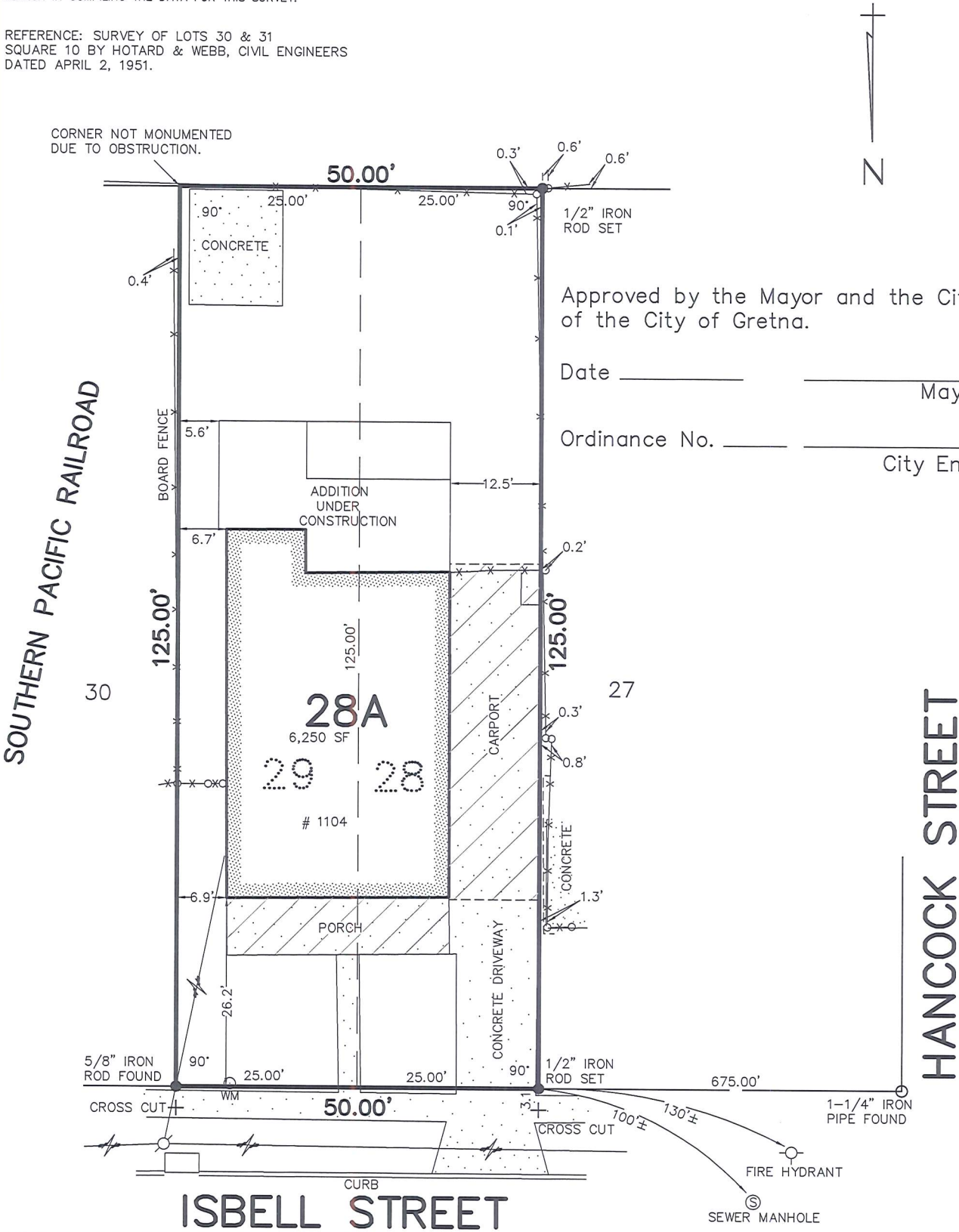
NOTE: Please read & follow instruction sheet attached.

SQUARE 10
SUBURBAN PARK SUBDIVISION
CITY OF GRETNA
JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE: SURVEY OF LOTS 30 & 31
SQUARE 10 BY HOTARD & WEBB, CIVIL ENGINEERS
DATED APRIL 2, 1951.

BURMASTER STREET (SIDE)



DECEMBER 28, 2016
RESUBDIVISION OF LOTS 28 AND 29
INTO LOT 28A
SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF
DAVID PAZ.



DUFRENE SURVEYING
& ENGINEERING INC.

1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com

JOB# 16-000782
SCALE: 1" = 20'



Tildon J. Dufrene, Jr.

VL GRETNA/SUBURBAN-PK/SQ10-LT28A(RESUB).DWG

BURK-KLEINPETER, INC.

To: Council Members - City of Gretna
From: David Boyd, P.E.
Subject: **Resubdivision Ordinance Report**
1104 Isbell Street
Date: April 13, 2017

This re-subdivision request was introduced at the March 8, 2017 Mayor and Council Regular Meeting. We have reviewed the subject re-subdivision request and offer the following observations:

Existing Conditions

The existing properties consist of Lots 28 & 29 Square 10 Suburban Park Subdivision. These lots share a home. The property is defined by Isbell St. to the north, Hancock Street to the west, Southern Pacific Railroad to the east and Burmaster Street to the south.

Proposed Re-subdivision

It is proposed to combine the property from Lots 28 & 29 Square 10 Suburban Park Subdivision into Lot 28A Square 10 Suburban Park Subdivision. Because the property is located in the middle of two lots and the owner plans to add a rear master bedroom the re-subdivision is requested.

Comments

The re-subdivision of the lots is requested to convert the two lots into 1 lot zoned R-1 Single Family Residential District. The re-subdivision meets the 4125 square foot minimum (6250 square feet) as well as side, front and rear yard requirements. The re-subdivision meets the requirements set forth in the zoning ordinance and is recommended for approval.

On motion by **Councilman _____** and seconded by **Councilman _____**, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution declaring the month of April 2017 “FAIR HOUSING MONTH” in the City of Gretna, Louisiana; and as a recipient of Community Development Block Grant (CDBG) Disaster Recovery funds, Sub-Grantees must agree to administer all programs and activities related to housing and community development to affirmatively further the policies of the Fair Housing Act.

WHEREAS, it is the interest of the City of Gretna to promote the economic development and quality of life aspects of its citizens; and

WHEREAS, the 49th anniversary of the National Fair Housing Law, Title VIII of the Civil Rights Act of 1968, during the month of April, is an occasion for all Americans, both individually and collectively, to rededicate themselves to the principle of freedom from housing discrimination whenever it exists. This law guarantees for each citizen that critical, personal element of freedom of choice-selection of the home; and

WHEREAS, a fair housing law was adopted by the State of Louisiana; and implementation of that law requires the positive commitment, involvement and support of all our citizens; and

WHEREAS, the department and agencies of the State of Louisiana are to provide leadership in the effort to make fair housing for all citizens; and

WHEREAS, barriers that diminish the rights and limit the options of any citizen will ultimately, diminish the rights and limit the options of all; and

WHEREAS, the State requires Grantees to take actions to affirmatively further fair housing in compliance with Title VIII of the Civil Rights Act of 1968 amended in 1988 by the Fair Housing Amendments Act.

NOW, THEREFORE, BE IT RESOLVED by the City Council acting as legislative authority for the City of Gretna, that:

The month of April 2017 is hereby declared “FAIR HOUSING MONTH” in the City of Gretna, Louisiana; and as a recipient of Community Development Block Grant (CDBG) Disaster Recovery funds, Sub-Grantees hereby agree to administer all programs and activities related to housing and community development to affirmatively further the policies of the Fair Housing Act.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

ADOPTED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by Councilman _____ and seconded by Councilman _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution authorizing the City of Gretna, Louisiana to prepare and submit a pre-application to the Statewide Flood Control Program for assistance in the implementation of a project for the purpose of reducing existing flood damages; providing for the necessary documentation of said flood damages; and providing for other related matters in connection therewith.

WHEREAS, the City of Gretna, Louisiana, in and around the 25th Street Canal has been adversely affected by damages from flood waters; and

WHEREAS, the City of Gretna, Louisiana desires to apply for State matching funds pursuant to L.A. R.S. 38:90.1 et. seq., as amended, to implement a project to reduce said flood damages, and that (sponsoring authority) is fully aware of its obligations under said Statute; and

WHEREAS, the City of Gretna, Louisiana is a political body duly organized and existing under the laws of the State of Louisiana and is eligible to apply for funds under said Statute.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Gretna, Louisiana, acting as governing authority of said City that:

Section 1. That the City of Gretna, Louisiana acknowledges that upon approval of the pre-application a formal application will be prepared and submitted to the Statewide Flood Control Program.

Section 2. That at the appropriate time and upon approval of funding assistance and prior to commencement of work on the project the City of Gretna, Louisiana agrees to execute a Statement of Sponsorship pursuant to said Statute.

Section 3. That Matthew Martinec, Special Projects Coordinator is hereby designated Authorized Representative for City of Gretna, Louisiana to effect the preparation of the pre-application and application to the Statewide Flood Control Program for funding assistance of a flood control project.

Section 4. That said Authorized Representative’s responsibilities shall pertain to technical matters only and shall not include any official act on behalf of the City of Gretna, Louisiana.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

- Yeas:
- Nays:
- Absent:
- Abstained:

ADOPTED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Adv. for RFP for Auction Consultant Re: Adjudicated properties

On motion by Councilman _____ and seconded by Councilman _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution authorizing Mayor Belinda C. Constant to advertise for Requests for Proposals (RFPs) for a consultant to auction and sell adjudicated properties within the City of Gretna, Louisiana pursuant to State law.

WHEREAS, there is a general concern for the health, safety and welfare of the citizens of Gretna; and

WHEREAS, the City of Gretna is desirous of improving economic development and subsequent quality of life for citizens of Gretna; and

WHEREAS, the City of Gretna seeks to control the number of abandoned properties and to slow urban blight by placing abandoned adjudicated properties back into the stream of commerce; and

WHEREAS, the City of Gretna has acquired an inventory of both five year and three year adjudicated properties; and

WHEREAS, the City of Gretna has received interest from several consultants seeking to assist the City of Gretna with the auction and sale of said adjudicated properties; and

WHEREAS, the City of Gretna believes that seeking requests for proposals from qualified firms to operate the City’s Adjudicated Properties Program is not only fiscally responsible but will result in getting the most out of each dollar of public money spent; and

WHEREAS, the City of Gretna wishes to continue and expand on the city’s current and ongoing adjudicated property efforts.

NOW, THEREFORE, BE IT RESOLVED by the City Council, acting as legislative authority for the City of Gretna, that:

Mayor Belinda C. Constant of the City of Gretna, Louisiana is hereby authorized to advertise for Requests for Proposals (RFPs) for a consultant to auction and sell adjudicated properties within the City of Gretna, Louisiana pursuant to State law.

This resolution having been submitted to a vote, the vote thereon was as follows:

- Yeas:
- Nays:
- Absent:
- Abstained:

ADOPTED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Amend Sec. 32-7 Procedures for application of cert. of appropriateness

On motion by **Councilman _____** and seconded by **Councilman _____**, the following resolution was offered:

ORDINANCE NO.

An ordinance to amend the Gretna Code of Ordinances, Chapter 32. –Historic Preservation; more particularly amending Section 32-7. –Procedures for application of certificate of appropriateness, by adding paragraph (k) and sub-paragraph (1).

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna, Louisiana; and

WHEREAS, the City of Gretna has an obligation to provide its citizens with ordinances that clearly describe permitted activities in the City.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

The Gretna Code of Ordinances Chapter 32. –Historic Preservation; more particularly amending Section 32-7. –Procedures for application of certificate of appropriateness, by adding paragraph (k) and sub-paragraph (1), is hereby amended to read as follows:

Sec. 32-7. - Procedures for application of certificate of appropriateness

(k) A certificate of appropriateness will expire one year from the date of approval or on the date that the related building permit expires, whichever is sooner. An expired certificate of appropriateness may be renewed upon approval of the commission at no charge to the property owner.

(l) A certificate of appropriateness is nontransferable and a new owner of a property must appear before the commission to have a certificate issued in their name.

Additions are underlined; deletions are strikethrough.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the
Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
Mayor on

CITY CLERK

CITY CLERK

On motion by **Councilman**_____ and seconded by **Councilman** _____, the following Ordinance was offered:

ORDINANCE NO.

An ordinance amending City of Gretna Ordinance No. 1945, adopted by the City Council on the 12th day of July 1989, more particularly amending the zoning classification of Lots 4, 5, 6 and 7, Square 19, New Mechanickham Subdivision, Gretna, Louisiana from Single-family residential (R-1) to Neighborhood commercial (C-1); and directing, authorizing and empowering the Zoning Official to alter and amend the Official Zoning Map of the City of Gretna. Municipal Address: 711 Derbigny Street

WHEREAS, Shirley F. Funches is the owner of the property comprised of Lots 4, 5, 6 and 7, Square 19, New Mechanickham Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, it is noted Lots 4, 5, 6 and (Front Portion only) of Lot 7, Square 19, New Mechanickham Subdivision, are designated on the City of Gretna official zoning map as Neighborhood commercial (C-1), which said Map forms a part of Ordinance 1945, adopted by the Planning Advisory Board; and

WHEREAS, at this time, the owner requests that Lot 7 (Rear Portion only) be rezoned to Neighborhood commercial (C-1); and

WHEREAS, the Planning Advisory Board was disbanded by the City Council, and the duties of the Planning Advisory Board were allocated to the Planning and Zoning Official and the Council of the City of Gretna, Louisiana; and

WHEREAS, the Planning and Zoning Official of the City of Gretna, Louisiana has cause to duly advertise as prescribed by law, a public hearing in connection with the zoning reclassification of Lots 4, 5, 6 and 7, Square 19, New Mechanickham Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, a public hearing was held by the City Council, in accordance with law.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I The zoning classification of **Lot 7** (Rear Portion only), Square 19, New Mechanickham Subdivision, Gretna, Louisiana, be and it is hereby amended and changes from Single-family residential (R-1) **to Neighborhood commercial (C-1)**.

SECTION II The Gretna City Council, hereby directs, authorizes and empowers the Planning and Zoning Official of the City of Gretna, Louisiana to alter and amend City of Gretna Ordinance 1945, more particularly to the Official Zoning Map thereof, to officially designate the entire property comprised of Lots 4, 5, 6 and 7, Square 19, New Mechanickham Subdivision as **Neighborhood commercial (C-1)**.

SECTION III the Mayor of the City of Gretna, State of Louisiana is hereby empowered, authorized and directed to sign and execute all acts of documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City Council has voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA**

**MAYOR
CITY OF GRETNA**

Ordinance presented to the
Mayor on

Ordinance returned from the
Mayor on

CITY CLERK

CITY CLERK



CITY OF GRETNA
ZONING CHANGE
APPLICATION

OFFICE USE ONLY

Meeting Date _____

District _____

Existing Zoning _____

Fee \$300.00 (Non-Refundable)

REQUESTING A CHANGE OF ZONING ORDINANCE FOR: (PLEASE PRINT)

Municipal Address: 711 DERBIGNY STREET, GRETNA, LA 70053

Current Legal Description: 4.5, 6 & 7 19 New Mechanickham
Lot(s) Square(s) Subdivision

Name of Applicant: Shirley Fikes-Funches Contact Phone No. 504 874-5181

Applicant's Address: 711 DERBIGNY STREET Gretna, LA

Owner of Record: Shirley Fikes-Funches Contact Phone No. 504-874-5181

Owner's Address: 711 DERBIGNY STREET Gretna, LA

Property's Current Use? Empty lot

Property's Proposed Use? tutoring, before/after school program

Zoning Change From/Current Zoning: R1 To/Proposed Zoning: C1

List improvements to be made if zoning change is granted: Extend existing childcare center which is presently zoned as C1 to provide needed educational services.

FOR OFFICE USE ONLY

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan (If applicable)		2/24/17		
Notarized Affidavit	✓	2/24/17		
Planning & Zoning Review	✓			
Post Area				
Registered Letters (If applicable)				
Ordinance drafted				

APPROVED FOR PRESENTATION

Azalia M Russell
Planning and Zoning Official

2/23/17
Dated

REMARKS:

Reason 1/2 of lot 7 from R1 to C1
(hear petition only)

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION IS TRUE AND CORRECT (PLEASE SIGN AND DATE BELOW)

Shirley F Funches
Signature of Applicant/Owner of Record

Shirley F. Funches
PRINT NAME

Owner

Title

2/23/17
Dated

Dated

RECEIVED

Visit our website at: www.gretnala.com

FEB 23 2017

City of Gretna

Appeal Request

Re: Historic District Commission

Request date: 4-3-17

1112 Monroe Street
Address of Property

Jack Bradley
Name of Applicant

Contact Phone: 504-495-5399 E-mail address: Jack1582001@yahoo.com

Per the Gretna Code of Ordinances, *Sec. 32-11.- Appeals.*

Sec. 32-11. - Appeals.

- (a) Any person or persons aggrieved by any decision, act or proceedings of the historic district commission shall have a right to an appeal before the city council for reversal or modification thereof; such appeal shall be lodged with the city clerk, and the mayor, or presiding officer of the city council, shall have the right to stay all further action until the city council shall have had an opportunity to rule thereon. Any such appeal shall be taken within five days, exclusive of holidays and weekends from date of the written decision, and the city council may consider said appeal at its next general or special meeting, but, in any event, not more than 45 days thereafter. The city council may affirm a decision of the historic district commission by majority vote of all its members. The city council shall have the right to reverse, change or modify any decision of the historic district commission by majority vote of all its members.

I hereby appeal to the Gretna City Council the decision of the Historic District Commission on:

4/3/17: Denial to install driveway strips and Aprons.

Jack P Bradley

Signature of appellant

Jack P Bradley
(PLEASE PRINT NAME)

Appeal request
received on: 4-3-17
Date

Norma J. Cruz
City Clerk

Appeal hearing
Scheduled for: 4-12-17 Council/Regular Meeting



CITY OF GRETNA
HISTORIC DISTRICT COMMISSION

DENIAL

1112 Monroe Street

PROPERTY ADDRESS

Jack Bradley

NAME OF APPLICANT

Work Denied: Installation of driveway strips
and aprons.


Signature of HDC Chairperson

4/3/17
Date

City Ordinance Sec. 52-11 Appeals

Any person or persons aggrieved by any decision, act or proceedings of the Historic District Commission shall have a right to an appeal before the City Council for reversal or modification thereof; such appeal shall be lodged with the City Clerk, and the Mayor, or presiding officer of the City Council, shall have the right to stay all further action until the City Council shall have had an opportunity to rule thereon. Any such appeal shall be taken within 5 days, exclusive of holidays and weekends from date of the written decision, and the City Council may consider said appeal at its next general or special meeting, but, in any event, not more than forty-five days thereafter. The City Council may affirm a decision of the Historic District Commission by majority vote of all its members. The City Council shall have the right to reverse, change or modify any decision of the Historic District Commission by majority vote of all its members.

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com



COD-17-0001

BURK-KLEINPETER, INC.

To: Honorable Belinda Constant, Mayor and Honorable Council Members Rau, Crosby, Hinyub, Miller and Berthelot

From: David Boyd P.E., Burk-Kleinpeter, Inc.

Subject: Monthly Project Status Report

Date: April 12, 2017

Hancock Street Canal Improvements

Completed

Gretna City Hall Electrical Upgrades

Completed

Gretna Police Department Paving Project

Completed

Gretna Police Headquarters Renovation

Project is currently being advertised for bid. Bid Opening scheduled for April 18.

Garden Park Subdivision Street Signage

Bid documents have been assembled for advertisement.

Gretna Wastewater Treatment Plant Digester Roof Removal and Sludge Disposal

As of 3/23/17 347.7 tons of sludge has been removed.

Precipitator #2 Rehabilitation, replacing the metal basin with fiberglass

Project awarded to ARD Mechanical Contractors Inc. for \$239,000. Pre-Construction meeting is being scheduled once contract documents have been assembled.

Stumpf Boulevard Sewer Force Main

Project awarded to Fleming Construction Company LLC for \$478,219. Pre-Construction Meeting is being scheduled once contract documents have been assembled.

4th Street Extension

Site work is underway.

Gretna Bike Path

The final comments from LaDOTD have been completed including, the traffic study. We are now awaiting any final comments from DOTD.

Stumpf Blvd. at West Bank Expressway Road Failure-Drainage Project

Cost estimates to close in the canal and divert a portion of the flow directly to Whitney Canal via Dupas Street, Friedrichs Road or Hawkins Street have been prepared. Currently the city is in litigation with Command Construction and a permanent solution (filling in the canal with box culverts) will be presented at the March Council Meeting.

Downtown Gretna Lighting

Meetings have been held with the Mayor and Councilman Hinyub to discuss phasing in the new lighting along Huey P. Long Avenue. The lighting project will take place in 3 phases. Phase 1 will use the previously bought light poles and Luminaires from 6th Street to Third St. The farmers market area may require a different type off lighting i.e. canopy lights but they will be in the same spirit as the pre-bought lighting. Phase 2 will be between 3rd Street and First Street. We will use the pre-bought lighting where possible but additional arched lighting may be required sue to the width of the street in this area. The arched lighting will be in the same spirit as the pre-bought lighting. The plan is to roll this lighting work into the Downtown Drainage Project when funding becomes available. This lighting will be a separate pay item so as not to intermingle state funding for the Downtown Drainage. The final phase will be from 11th Street to the West Bank Expressway.

Gretna Kiosks at City Hall

Costs to design the Kiosk installation have been submitted to H3HC. Total project costs are in the process of being submitted to the City.

25th Street Canal Project Grant Writing-Engineering Design Request for Proposals

Project was awarded to Arcadis-BKI on March 29, 2017.



MEMO

TO: Mayor Belinda C. Constant and City Council Members

FROM: Danny Lasyone

DATE: April 12, 2017

RE: Status reports - Citywide maintenance and public improvements projects

District 1

- Neutral ground maintenance (ongoing)
- City Sweeper cleaning streets district wide
- Blew out drain lines and cleaned out drain boxes with vactor truck at 1100, 1101 & 1108 Rupp Street, 900 Block of Hancock Street, 1416-1621 Theard Street, 405 Franklin Street, 916 Solon Street, Hancock Street & Anson Street and Whitney Avenue & Anson Street
- Asphalt repairs completed at 1128 Madison Street and LeBoeuf Street & Virgil Street
- Hancock Street Canal Drainage Project ongoing
- Repaired a 12" x 12" drain box at 1621 Theard Street

District 2

- Blew out drain lines and cleaned out drain boxes with vactor truck at Lafayette Street from 1st Street to 5th Street, 10th Street & Weyer Street and 732, 800 & 932 Huey P. Long Avenue
- Neutral ground maintenance (ongoing)
- Sweep walking path on levee (ongoing)
- City Sweeper cleaning streets district wide
- Cleaning catch basins district wide (ongoing)
- Cut and trimmed Huey P. Long Avenue
- Asphalt repairs completed at 700 Block of Weidman Street
- Installed 40 ft. of 15" drain pipe and two 18" x 18" drain boxes at 800 Evergreen Street
- Installed 18" x 18" drain box at 1709 Stafford Street

District 3

- Blew out drain lines and cleaned drain boxes with vactor truck at 2916 Hero Drive, 624, 625 & 633 Fairfield Avenue, 72 & 76 Mason Street, 27th Street & Claire Avenue, 23rd Street & Huey P. Long Avenue and 3341 & 3320 Hero Drive
- City Sweeper cleaning streets district wide
- Cut and trimmed grass at Bellevue Park, City Park and the observatory
- Grocery carts picked up weekly district wide
- Cleaning catch basins district wide (ongoing)
- Asphalt repairs completed at 800 Block of 18th Street
- Repaired a 49' x 23" drain box at 912 21st Street

District 4

- Blew out drain lines and cleaned drain boxes with vactor truck at 26, 27, 45 & 47 Derbes Drive, 23rd & Lafayette Streets, 209 & 211 Willow Drive, 48 & 49 Smithway Drive & 212 & 214 James Court.
- Grocery carts picked up weekly district wide
- City sweeper cleaning streets district wide
- Neutral ground maintenance (ongoing)
- Cleaning catch basins district wide (ongoing)
- Trimmed bamboo on Timberlane Drive (ongoing)
- Repaired a 24" x 24" drain box at 241 Fairfield Avenue
- Repaired 10 ft. of 18" drain pipe at 240 Fairfield Avenue

Citywide

- Sign maintenance
- Drain maintenance
- Grass cutting
- WPA ditch cleaning in Districts 1 and 2 with city crews
- Pickup of grocery carts weekly

City of Gretna
Department of Inspection and Code

Permits Issued from 3/8/2017 12:00:00 AM thru 4/7/2017 12:00:00 AM

Designation	Issued Date	Permit Number	Contractor	Zone	Site Address	Estimated Value	Description	Paid	Apply Online
Residential: New Single Family Residence (Res)	3/16/2017	2016-534	KERRY O'CONNOR GENERAL CONTRACTOR, INC. - O	R-1 (Single Family Residenital District)	1327 Monroe St	\$146,000.00	Construction of a new residential single family dwelling per ABFE, code & requirements and HDC approval on 11/2/15. Must call for Inspections. Permit release with requirements for revisions prior to inspections. Please have Gretna stamped plans with revisions printed at the time of your inspection. New House Electrical wiring and fixtures New wiring and fixtures new resident installation of 3 1/2 ton a/c & heat new construction installed gas lines	\$755.00	
Residential: New Single Family Residence (Res)	4/5/2017	2016-990	LNL ENTERPRISES, INC. - Leonard Lott	R-1 (Single Family Residenital District)	722 16th st	\$90,000.00	Single Family New Construction, slab on grade, cement board siding, hip roof residence as per code requirements and ABFE. Shall request all inspections through the my government online. Please have the City of Gretna Approved Plans at the time of inspections. Install new 200amp electrical service ,circuits ,receptacles and lighting Install water heater,electric furnace Install 2.5 ton a/c system Install new sewer and potable water systems for 2 baths kitchen sink, dishwasher & clothes washer	\$475.00	

City of Gretna
Department of Inspection and Code

Permits Issued from 3/8/2017 12:00:00 AM thru 4/7/2017 12:00:00 AM

Residential: New Single Family Residence (Res)	4/5/2017	2016-991	LNL ENTERPRISES, INC. - Leonard Lott	R-1 (Single Family Residenital District)	724 16th St	\$90,000.00	Single Family New Construction, slab on grade, cement board siding, hip roof residence as per code requirements and ABFE. Shall request all inspections through the my government online. Please have the City of Gretna Approved Plans at the time of inspections. New electrical service Install electric water heater,electric furnace,and oven Install 2.5 ton a/c system Install new sewer and potable water systems for 2 baths,kitchen sink,dishwasher,clothes washer	\$475.00	
	4/5/2017	2016-992	LNL ENTERPRISES, INC. - Leonard Lott	R-1 (Single Family Residenital District)	726 16th St	\$90,000.00	Single Family New Construction, slab on grade, cement board siding, hip roof residence as per code requirements and ABFE. Shall request all inspections through the my government online. Please have the City of Gretna Approved Plans at the time of inspections. Install new 200 amp electrical service, circuits, receptacles ,and lighting Install new electric water heater,oven and furnace Install new 2 ton A/C system Install new sewer and potable water system for 2 bath,kitchen sink, dishwasher & clothes washer	\$475.00	

Department of Inspection and Code

Permits Issued from 3/8/2017 12:00:00 AM thru 4/7/2017 12:00:00 AM

Residential: New Single Family Residence (Res)	3/13/2017	2017-1326	CRETIN, LLC	R-1 (Single Family Residenital District)	29 Mary Ann Place	\$183,999.00	New Construction of a Single Family Dwelling as per code, requirements and ABFE regulations. Post permit on site visible from street. City of Gretna approved plans shall be printed and on site at the time of all inspections. All trades shall file under this permit. Request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org You may need to contact Public Utilities to discuss sewer & water tie-in at 363.1540 as this is an empty lot. new construction residential new construction residential temp pole NEW HOME	\$925.00	
						\$599,999.00		\$3,105.00	
Residential: New Two Family Residence (Res)	3/20/2017	2017-1281	QUAN TRUONG, INC.	R-2 (Two-Family Residential District)	1317 Dupas St	\$140,000.00	Construction of a Duplex, R-2 Family Dwelling as per code and requirements. New Construction shall meet ABFE regulations. Post permit on site visible from street. All trades shall file under this permit number. All trades shall file under this permit number. REQUEST ALL REQUIRED INSPECTIONS VIA WWW.MYGOVERNMENTONLINE.ORG. City of Gretna approved plans shall be on site at the time of all inspections. Installation of plumbing drains and water line for one bath room and kitchen Install temp pole for new construction install 2 AC	\$725.00	
						\$140,000.00		\$725.00	

City of Gretna
Department of Inspection and Code

Permits Issued from 3/8/2017 12:00:00 AM thru 4/7/2017 12:00:00 AM

Residential: Renovations (Res)	3/14/2017	2016-741	CT KELLER LLC - Christian Keller	R-1 (Single Family Residenital District)	48 Marie Dr.	\$52,000.00	Renovations including move master bathroom and plumbing, install new tubs, remodel kitchen including cabinets and appliances, A/C system, doors & trim and electrical all per code and requirements. Must call for inspections. renovation of residential home master bathroom and kitchen Replacing complete A/C system rewire kitchen bath and master bedroom also added smoke detectors Pressure Test	\$285.00	
Residential: Renovations (Res)	3/10/2017	2016-964	QUAN TRUONG, INC.	R-1 (Single Family Residenital District)	708 Fairfield Ave.	\$135,000.00	Exterior repairs to existing residence to correct damage from weathering. New interior finshes throughout the residence - sheetrock ceilings and walls, new doors and trim, new kitchen cabinets, new bathroom fixtures throughout. Minor floor plan revision. The cost of improvements are under 50 % of the Fair Market Value of the property & are in compliance with FEMA requirements. Must call for inspections. PLEASE PRINT YOUR CITY OF GRETNA APPROVED SET FOR INSPECTIONS	\$700.00	

City of Gretna
Department of Inspection and Code

Permits Issued from 3/8/2017 12:00:00 AM thru 4/7/2017 12:00:00 AM

Residential: Renovations (Res)	3/15/2017	2016-979	POWER ELECTRICAL AND INSTRUMENTATION, LLC	R-1 (Single Family Residenital District)	430 Hamilton St.	\$29,978.00	Renovation to the interior structure as per requirements and in accordance with the drawing the architect provided for structural changes. Cost of improvements is under the 50% of the FMV as per FEMA requirements. Must call for inspections. Temp Pole install 2-3ton A/C with gas heat 1-2ton A/C with electric heat Roughing plumbing and installation of new fixtures Installation of new gas line	\$174.89	
Residential: Renovations (Res)	3/31/2017	2017-1375	DANIEL HUMBERTO PASTRANA	C-1 (Neighborhood Commercial District)	1224 Chilo Street	\$31,803.75	House Renovation to include Interior Demo, Subfloor Repair and Interior Framing resulting from termite damage, Electrical & Plumbing Upgrades, Drywall, Interior & Exterior Painting, Flooring & Termite Treatment as per code and requirements. Work began without a permit. Improvements are proven by licensed entities to be under the 50% of the Fair Market Value per FEMA regulations. All trades shall file under this permit number. You are re-quired to print and post per-mit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$185.00	

Department of Inspection and Code

Permits Issued from 3/8/2017 12:00:00 AM thru 4/7/2017 12:00:00 AM

Residential: Renovations (Res)	3/17/2017	2017-1377	ADVANCED METAL CONSTRUCTION, LLC	C-1 (Neighborhood Commercial District)	724 15th Street	\$33,500.00	Remove 26 gauge R-Panel and Replace with 26 gauge R-Panel Roof to match existing, Gutters,downspouts and vents as per code and requirements. Post permit in window visible from street. Request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org.	\$195.00	
						\$282,281.75		\$1,539.89	
Residential: Repairs (Res)	3/13/2017	2017-1231	Boland Marine and Industrial - Paul Simmons	R-1 (Single Family Residenital District)	517 Burmaster Street	\$32,000.00	Interior renovations only to include installation of kitchen cabinets and floor repairs as per code and requirements. No frame work performed on this permit. Post permit in window visible from street. Request all required inspections via www.mygovernmentonline.org. 3.10.17 AMENDED PERMIT (following a stop work order for exceeding original permit) Work to include framing of walls there were termite damaged (NO LAYOUT CHANGE) Rough in for toilet, lavatory,tub,kitchen sink and washing machine. rewire house. Work proposed is proven to be less than 50% of the Fair Market Value. REQUEST ALL REQUIRED INSPECTIONS VIA WWW.MYGOVERNMENTONLINE.ORG Replaced a/c and heating system	\$185.00	
						\$32,000.00		\$185.00	
Total						\$1,054,280.75		\$5,554.89	

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION MEETING
April 3, 2017 – 4:00 PM

**TO: Mayor Belinda Constant, Council Members Wayne Rau, Milton Crosby,
Mike Hinyub, Mark Miller and Jackie Berthelot**

**From: Z. Dieterich, Chairman
Danika Gorrondonna, City Building Official**

Members Present:	Historian: Mary Lou Eichhorn	Members Absent: District 1: Rudy Smith
	At Large: Virginia Gaudet	District 4: Dan Rosenthal
	Architect: Paula Peer	
	District 2: Zach Dietrich	
	District 3: Peter Spera	

Consent Agenda Applications

516 Monroe Street - COA-17-0038 Issued.

Applicant: Jennifer Eure

For: Placement change on property of previously approved accessory structure.

1327 Monroe Street - COA-17-0024 Issued.

Applicant: Kerry O'Connor

For: Approval of previously constructed 6' wooden privacy fence.

Consent Agenda Approved 4-0.



Applications for Discussion:

1019 4th Street - COA-17-0025 Issued.

Applicant: Tina Batiste

For: Window signage for bail bonds agency.

Revisit from prior meeting preliminary conference.

Approved 4-0

1133 Monroe Street - COA-17-0028 Issued.

Applicant: Christina Benn

For: Exterior renovations to home.

Revisit from prior meeting preliminary conference.

Approved 4-0.

609 Franklin Avenue - COA-17-0026 Issued.

Applicant: Jannell Alberts

For: Concrete parking pad.

Discussion and concerns by board regarding amount of paving and horizontal layout of parking pad.

Approved 5-0.

1104 9th Street - COA-17-0027 Issued.

Applicant: Chris Cuccia

For: Construction of rear accessory structure.

Approved 5-0.

1112 Monroe Street - COD-17-0001 Issued.

Applicant: Jack Bradley

For: Installation of driveway.

Discussion concerning inappropriateness of parking strips in relation to home (Not offset to side of structure but directly in front of structure covering front yard) - No nearby homes have parking in the front of the residence as proposed with this application. Board not in favor of approving and setting precedent.

Auxiliary concerns regarding shallow depth of front yard not being deep enough to accommodate vehicles and resulting overhang of vehicles onto sidewalk. Applicant allowed opportunity to convert into preliminary conference to discuss alternative options suggested by City representative. Applicant requested Board vote on proposal as presented. **Denied 5-0.**

1113 10th Street - COA-17-0032

Applicant: Bryan Bordelon

For: Exterior renovations to home and fencing.

Approved 5-0.

736 Newton Street - COA-17-0033 Issued.

Applicant: DeJesus Construction

For: Construction of new single family residence. Brief discussion regarding window proportions and slight modification to presented plans.

Approved 4-0.

700 Monroe Street - COA-17-0034

Applicant: Cody Stringer

For: Renovations and addition to existing residence. Discussion concerning proposed metal roofing and board and batten sheathing on addition to differentiate from original structure.

Dissenting vote over board and batten not being historically appropriate in Historic District.

Approved 3-1.

122 Huey P. Long Avenue - COA-17-0036 Issued.

Applicant: David Colvin o/b/o Jefferson Facilities Inc.

For: Installation of parking ticket machine with canopy.

Dissenting vote because parking lot already has a ticket booth and configuration of same looks out of place.

Approved 3-1.

716 Dolhonde Street - COA-17-0035 Issued.

Applicant: Karl Bosch

For: Renovations to front façade of existing residence.

Approved 4-0.

1126 9th Street - COA-17-0037 Issued.

Applicant: City of Gretna

For: Demolition of all structures.

Discussion if structure meets criteria for demolition, with Recommendation for Demolition by Danika Gorrondona presented. Vote structure is not a contributing element and in favor of demolition.

Approved 4-0.

402 Monroe Street - COA-17-0029 Issued.

Applicant: Z. Dieterich

For: Exterior renovations to existing structure and Iron fencing.

Approved 4-0.

Z. Dieterich recused.

605 Romain Street - COA-17-0030 Issued.

Applicant: Z. Dieterich

For: Exterior renovations to existing structure and front walkway.

Approved 4-0.

Z. Dieterich recused.

621 Anson Street - COA-17-0031 Issued.

Applicant: Z. Dieterich

For: Exterior renovations to existing structure and driveway.

Approved 4-0

Z. Dieterich recused.

Submitted by:

Z. Dieterich

Chairman



REPORT

TO: MAYOR BELINDA C. CONSTANT
COUNCILMEN RAU, CROSBY, HINYUB, MILLER AND BERTHELOT
NORMA J. CRUZ, CITY CLERK
MARK MORGAN, CITY ATTORNEY

FROM: ANGEL GONZALES, CODE ENFORCEMENT COORDINATOR

DATE: April 7, 2017

RE: DEPARTMENT OF CODE ENFORCEMENT

Code Enforcement issues in the City of Gretna are addressed by one of our two Code Enforcement Officers. The Westbank Expressway divides the City into a North side, monitored by Brandon Couvillion, and a South side, monitored by Leo Washington.

Code Enforcement Office has been monitoring and addressing violations since March 8, 2017 as follows:

- 1 Animal Control
- 1 Basketball Goals on city streets
- 0 Boats/recreational vehicles in the front yard
- 1 Businesses operating without a license
- 0 Disposal of grass
- 0 Dumpsters without an enclosure
- 3 Front yard parking
- 57 High weeds/grass
- 3 Junked/inoperable vehicles tagged
- 0 Persons responsibility
- 0 Graffiti prohibited
- 1 Maintenance of a nuisance
- 1 Major vehicle repair
- 0 MS4 violation
- 0 No utility service
- 0 Obstruction of walk/street
- 6 Pictures
- 0 Prohibited signs
- 12 Property maintenance deficiencies
- 0 Sign in disrepair
- 27 Stop work orders (Work without a building permit)
- 0 Storage of vehicles awaiting repair
- 0 Temporary sign erected without a permit
- 0 Swimming pool sanitation
- 29 Trash/debris
- 2 Unsafe conditions
- 7 Vacant/derelict properties
- 4 Zoning violations
- 20 Signs removed from the ROW, utility poles, public places etc.
- 174 **TOTAL INCIDENTS**

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lot 4A, Square 3, Village of Gretna Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated February 8, 2017. Municipal Address: 214-216 Lafayette Street

WHEREAS, James J. Buras is the owner of Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owner has resubdivided Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 4A, Square 3, Village of Gretna Subdivision, as per the plan of survey and resubdivision Dufrene Surveying & Engineering Inc., dated February 8, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 4A, Square 3, Village of Gretna Subdivision, as per the plan of survey and resubdivision Dufrene Surveying & Engineering Inc., dated February 8, 2017, be and the same is hereby approved.

SECTION II: The Mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

Ordinance presented to the
Mayor on

**MAYOR
CITY OF GRETN
STATE OF LOUISIANA**

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: April 12, 2017

Adopted on: _____

District No. 2, Co. Ninjab

Fee: \$300.00 (Non-Refundable)

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 3/15/17

Address of property to be resubdivided: 214/216 Lafayette St. 70053

From: Current
Legal Description: 4 & 5 Square 3 Village of Gretna

To: Proposed
Legal Description: 4A Square 3 Village of Gretna

Applicant's Name: James J. Buras Phone No. 504-367-9395

Applicant(s) E-Mail: ebburas@bellsouth.net

Address: 102 Leighton St., Gretna, LA 70053

Owner of Record: James J. Buras Phone No. 504-367-9395

Owner's E-Mail: ebburas@bellsouth.net

Address: 102 Leighton St., Gretna, LA 70053

Give brief explanation reason for Resubdivision: Renovation to single family home
Currently situated on 2 lots.

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED (Yes or No)	Date	DATE COMPLETED	DATE NOT COMPLETED
Plot Plan / Survey - Current				
Notarized Affidavit				
Registered Letters (If applicable)				
Posted Area				
City Engineer Review				
Ordinance drafted				

APPROVED FOR PRESENTATION

Angela M. Russell
Planning & Zoning Official

3/20/17
Date reviewed and approved

REMARKS:

Combine 2
lots into 1 lot of
record

I AFFIRM THAT THE INFORMATION GIVEN IN
THIS APPLICATION TO BE TRUE & CORRECT
(PLEASE SIGN AND DATE BELOW)

James J. Buras
Signature of Applicant/Owner of Record

JAMES J. BURAS

PRINT YOUR NAME

Owner

Title

MARCH 16 2017

Dated

NOTE: Please read & follow instruction sheet attached.

On motion by Councilman _____ and seconded by Councilman _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated March 27, 2017. Municipal Address: 22 Colony Road

WHEREAS, David E. Banks II and Sandra L. Banks are the owners of record of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; applying for said owners is Brady Garrity, Architect; and

WHEREAS, the aforesaid owners have resubdivided Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, as per the plan of survey and resubdivision Dufrene Surveying & Engineering Inc., dated March 27, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated March 27, 2017, be and the same is hereby approved.

SECTION II: The Mayor of the City of Gretna, Louisiana is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

Ordinance presented to the Mayor on

**MAYOR
CITY OF GRETN
STATE OF LOUISIANA**

Ordinance returned from the the Mayor on

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

SQUARE 3, TIMBERLANE ESTATES & COUNTRY CLUB SUBDIVISION, CITY OF GRETNA JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

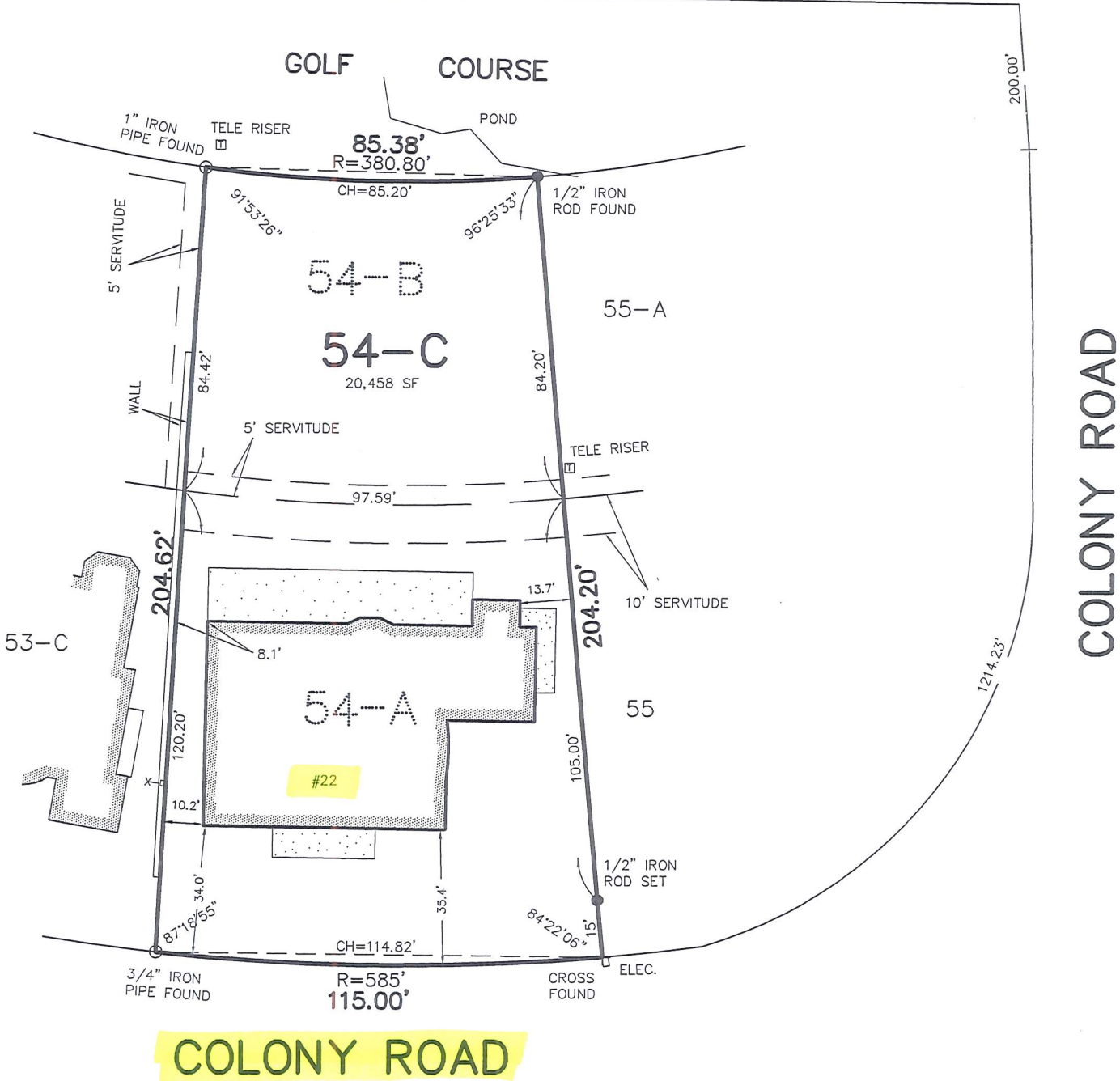
Approved by the Mayor and the City Council of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____



TIMBERLANE DRIVE

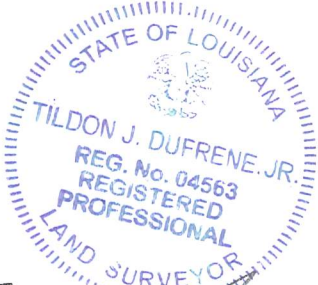


MARCH 27, 2017
RESUBDIVISION OF LOTS 54-A, AND 54-B
INTO LOT 54-C
SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF
DAVID & SANDRA BANKS.



**DUFRENE SURVEYING
& ENGINEERING INC.**
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com

JOB# 17-000181
SCALE: 1"= 40'



[Signature]
ks gretna\timberlane\st&cc\sq3-lt54.dwg



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____
Adopted on: _____
District No. ____, Councilman _____
Certified mail cost \$6.59 x ____: \$ _____
(Non-Refundable) fee \$ 300.00
TOTAL DUE: \$ _____

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 3.28.17

Address of property to be resubdivided: 22 COLONY RD 7005 6

From: Current
Legal Description: 54-A, 54-B 3 TIMBERLANE

To: Proposed
Legal Description: 54-C 3 TIMBERLANE

Applicant's Name: BRADY GARRITY Contact Phone No. 415 0932

Applicant(s) Address: 2401 WHITNEY AVE E-Mail bgarrity@garrityaccount.com

Owner of Record: SANDRA & DAVID BANKS Contact Phone No. 504-329-2382

Owner's Address: 22 Colony Rd E-Mail dashbankcatt.net

Give brief explanation / reason for resubdivision: COMBINE 2 LOTS INTO 1 IN ORDER TO CONSTRUCT CABANA & POOL

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey (Current)				
Notarized Affidavit				
Applicable Certified letters (\$6.59 each)				
Address area posted				
Review by City Engineer				
Ordinance drafted				

APPROVED FOR PRESENTATION

Opalea M. Russell
Approval of Planning & Zoning Official

3/28/17
Review and approval date

REMARKS: Combine 2 lots of record into 1 lot

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Brady Garrity
Signature of Applicant/Owner of Record

BRADY GARRITY
PRINT YOUR NAME

ARCHITECT
Title

3.28.17
Dated

RECEIVED

NOTE: Please read & follow instruction sheet attached.

MAR 28 2017

CITY OF GRETNAL
MAYOR'S OFFICE

On motion by **Councilman**_____ and seconded by **Councilman** _____, the following Ordinance was offered:

ORDINANCE NO.

An ordinance amending the Gretna Code of Ordinances, Chapter 58 – Zoning and subdivisions; by adding a new category titled Screening and Fencing.

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the City of Gretna has an obligation to provide its citizens with ordinances that clearly describe permitted activities in the City.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

The Gretna Code of Ordinances Chapter 58 -Zoning and Subdivisions; by adding a new category Screening & Fencing is hereby amended to read:

1. General Provisions

1.1. Jurisdiction

- a. These regulations shall apply to all the area located within the corporate limits of the City of Gretna, Louisiana. All developments shall meet minimum standards and requirements of these regulations, as amended.
- b. This ordinance, or any amendment thereto, shall not affect the validity of any building permit lawfully issued prior to the effective date of the ordinance, or any amendment thereto, provided that the permit is valid upon the effective date of the adoption of this ordinance or any amendment thereto.
- c. This ordinance, or amendment thereto, shall not affect the validity of variances granted prior to the effective date of this ordinance, or amendment thereto. Said variances granted shall remain in effect after the effective date of this ordinance, and shall constitute variances to the applicable provisions of this ordinance.

1.2. Purpose

- a. This Screening & Fencing Ordinance is adopted for the purpose of the following:
 - i. Promote the public health, safety, and general welfare,
 - ii. Preserve the character of each area within the City of Gretna,
 - iii. Provide traffic safety.

1.3. Minimum Requirements

- a. The requirements of this Screening and Fencing Ordinance shall be considered as the minimum requirements for the promotion of the public health, safety, and general welfare.

1.4. Conflicting Provisions

- a. All development must comply with relevant Federal and State regulations.
- b. Whenever any provision of this Screening and Fencing Ordinance conflicts from provisions in any other Chapter of the City of Gretna Code of Ordinances, the provisions of this Screening and Fencing Ordinance shall apply.
- c. Where, in any case, different sections of this Screening and Fencing Ordinance specify different requirements, the more restrictive shall apply as determined by the **Administrator**. Where there is conflict between a general requirement and a specific requirement, the specific requirement shall be applicable.

1.5. Nonconforming Fences and Walls

- a. A lawful fence or wall existing as of the effective date of this zoning code or any amendment to this zoning code, may continue to be used for any purposes permitted in the district provided it is in conformance with the provisions of this section.
- b. A nonconforming fence or wall may be maintained or repaired provided no expansion of the nonconformity occurs.
- c. A nonconforming fence or wall shall not be expanded.
- d. A nonconforming fence or wall which is damaged to 50 percent or less may be repaired provided all construction is in compliance with current construction codes.
- e. If the damage of a nonconforming exceeds 50 percent, restoration or improvement shall not be permitted unless the restoration results in a fence or wall conforming to all applicable requirements of this Fencing and Screening Ordinance.

- 1.6. Severability
- a. Should any provision of this Screening and Fencing Ordinance be decided by the courts to be unconstitutional or invalid, that decision shall not affect the validity of this Screening and Fencing Ordinance other than the part declared to be unconstitutional or invalid.

2. Definitions

2.1. The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

- a. Class A Tree – A tree species included in Table 2.1: Class A Trees

Table 2.1: Class A Trees	
Scientific Name	Common Name
<i>Acer rubrum</i> var. <i>drummondii</i>	Maple, Swamp Red
<i>Carya illinoensis</i>	Pecan
<i>Celtis laevigata</i>	Hackberry
<i>Fagus grandifolia</i>	American Beech
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Ginkgo biloba</i>	Ginkgo
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Magnolia grandiflora</i>	Magnolia, Southern
<i>Nyssa sylvatica</i>	Black Gum
<i>Pinus elliottii</i>	Pine, Slash
<i>Pinus glabra</i>	Pine, Spruce
<i>Pinus palustris</i>	Pine, Longleaf
<i>Pinus taeda</i>	Pine, Loblolly
<i>Platanus occidentalis</i>	Sycamore
<i>Quercus acutissima</i>	Oak, Sawtooth
<i>Quercus alba</i>	Oak, White
<i>Quercus lyrata</i>	Oak, Overcup
<i>Quercus michauxii</i>	Oak, Swamp Chestnut
<i>Quercus nuttallii</i>	Oak, Nuttall
<i>Quercus phellos</i>	Oak, Willow
<i>Quercus shumardii</i>	Oak, Shumard
<i>Quercus virginiana</i>	Oak, Southern Live
<i>Taxodium ascendens</i>	Cypress, Pond
<i>Taxodium distichum</i>	Cypress, Bald
<i>Ulmus alata</i>	Elm, Winged
<i>Ulmus americana</i>	Elm, American

- b. Class B Tree – A tree species included in Table 2.2: Class B Trees

Table 2.2: Class B Trees	
Scientific Name	Common Name
<i>Betula nigra</i>	River Birch
<i>Carpinus caroliniana</i>	Ironwood
<i>Chionanthus virginicus</i>	Fringe Tree
<i>Crataegus opaca</i>	Mayhaw
<i>Lagerstroemia indica</i>	Crepe Myrtle
<i>Ilex opaca</i>	Holly, American
<i>Ilex vomitoria</i>	Yaupon
<i>Ilex x attenuata</i> 'Fosteri'	Holly, Fosters
<i>Ilex x attenuata</i> 'Savannah'	Holly, Savannah
<i>Magnolia virginiana</i>	Magnolia, Sweetbay
<i>Myrica cerifera</i>	Waxmyrtle
<i>Ostrya virginiana</i>	American Hop Hornbeam
<i>Pistacia chinensis</i>	Pistachio
<i>Prunus caroliniana</i>	Cherry Laurel

- c. DBH, diameter breast height – the tree trunk diameter measured at four and a half (4.5) feet above the ground.
- d. Earth berm – mounds or walls of earth molded into landforms within landscape areas and covered with plant material or durable mulch so that bare soil is not visible. Earth berms are used for screening and/or buffering and should be constructed so to prevent soil erosion.
- e. Fence – a structure construction of wood, metal, masonry, or other rigid manmade composite materials that imitates wood, metal, or masonry, which divides two contiguous properties, or is placed on the property to divide an area or portion of land from another. Fences shall be structurally sound and durable and in compliance with provisions of the currently adopted International Building Code. No fragile, readily flammable materials shall be constitute a part of any fence, nor shall such material be used as an adjunct, attachment, or supplement to any fence.
- f. Fence, ornamental - a fence designed in such a manner, and of such material, that the main purpose is to decorate or enhance the appearance of the front or side yard setback in a residential area. Ornamental fences may include hedges. Fences consisting of chain link mesh, welded or woven wire or sheet metal are excluded under this definition.
- g. Lot – a designated parcel, tract, or area of land established by plat, subdivision, deed, or ordinance.
- h. Lot, corner – a lot abutting upon two or more streets at their intersection.
- i. Lot, interior – a lot other than a corner lot.
- j. Lot lines – the property lines bounding a lot.
- k. Lot lines, front – the property line fronting a roadway right-of-way which provides the principle access to the property.
 - i. In the case of a corner lot, the front lot line is the lot line abutting the street which is used by the U.S. Postal Service for the delivery of mail to the structure located on the property. If the lot does not have a structure, the owner may select which lot line abutting a street is the front lot line.
- l. Outdoor customer area – a defined outdoor area of a commercial or institutional use which is intended for the use of customers. Outdoor customer areas may provide outdoor furniture including seating, tables, and trashcans.
- m. Outside storage – Outside storage means the physical presence of any personal property not fully enclosed within a structure. “Outdoor storage” means and includes, but shall not be limited to, the following:
 - i. Inoperable motor vehicles and farm, commercial and industrial equipment of all types;
 - ii. Inoperable or unlicensed recreational vehicles;
 - iii. Junk, imported waste, and discarded or salvaged materials;
 - iv. Dismantled vehicles and vehicle parts, including commercial and industrial farm machinery or parts thereof, tires and batteries;
 - v. Scrap metal, including salvaged structural steel;
 - vi. Salvaged lumber and building materials;
 - vii. Salvaged commercial or industrial trade fixtures;
 - viii. Operable or inoperable industrial or commercial equipment or tools.
 - ix. New building materials and supplies or any project for which no building permit has been issued;
 - x. New or used furniture or appliances;
 - xi. Bottles, cans and paper;
 - xii. Boxes, cable spools, and packing crates; and
- n. Parking area – an area of a lot used as an off street parking facility, enclosed or unenclosed, including parking spaces and access drives and legally designated areas of public streets.
- o. Vehicular use area – land upon which vehicles traverse and all areas used for the display or parking of any and all types of vehicles, boats, or heavy construction equipment, including, but not limited to service bays, loading and unloading areas, and all of street parking areas.
- p. Yard – an open space that lies between the principal or accessory building or buildings and the nearest lot line. Such yard is unoccupied and unobstructed from the ground upward except as may be provided for in this chapter.
- q. Yard, front – a space extending the full width of the lot between any building and the front lot line, and measured perpendicular to the building at the closest point to the front lot line. Such front yard is unoccupied and unobstructed from the ground upward.
- r. Yard, rear – a space extending the full width of the lot between the principal building and the rear lot line, and measured perpendicular to the building at the closest point of the rear lot line. Such rear yard is unoccupied and unobstructed from the ground upward. On all lots, the rear yard shall be at the opposite end of the lot from the front yard.

- s. Yard, side – a space extending from the front yard to the rear yard between the principal building and the side lot line measured perpendicular from the side lot line to the closest point of the principal building. Such side yard is unoccupied and unobstructed from the ground upward.

3. Fence Regulations

3.1. Lot Fencing

Along lot lines, fences may be erected in compliance with the following requirements.

- a. A side or rear yard fence or wall shall not exceed eight (8) feet in height.
- b. Columns of rear and side yard fences or walls, if spaced not less than five (5) feet apart, shall not exceed nine (9) feet in height.
- c. A side yard fence shall not extend in front of the front corners of any residence.
- d. A front yard fence or wall shall not exceed four (4) feet in height.
- e. In GO-1, H-1, BC-1, BC-2, C-1, C-2, and MUCD districts, front yards shall not be fenced, with the following exceptions:
 - i. Any fence not taller than four (4) feet measured from sidewalk elevation may be erected to enclose allowed outdoor customer areas along street frontages.
 - ii. Dumpsters and recycling containers shall be fenced as set forth in [Section 4.2: Dumpsters and Recycling Containers](#).
- f. In R-1 and R-2 districts front yards may be fenced, with the following exceptions:
 - i. Front yards shall not be fenced in R-1 and R-2 districts located south of the Westbank Expressway and in Old Garden Park, as bound by the Westbank Expressway to the south, Evergreen Street to the west, 5th Street to the north, and Stumpf Boulevard to the east. The following exceptions apply:
 - 1. A front yard fence not taller than four (4) feet measured from the sidewalk elevation may be erected on corner lots.
 - 2. A front yard fence may be erected on a lot where both adjacent lots have existing front yard fences which are in compliance with the provisions of this ordinance. The front yard fence may not exceed the height of the existing front yard fence of any adjacent lot or four (4) feet measured from the sidewalk elevation, whichever is lower.
- g. All fences and walls shall not exceed three (3) feet in height within clear vision areas as defined in [Section 6: Sight Triangle](#).
- h. For the purpose of this paragraph measurement shall be made as follows:
 - i. The height shall be measured from the natural adjacent grade.
 - ii. The top of a chain wall shall not exceed six (6) inches measured from the adjacent grade on the outside; or
 - iii. The top of a retaining wall that has been properly permitted.

3.2. Fence Design Standards

- a. All fences facing streets shall be constructed of wood, wrought or cast metal.
- b. Chain link security fencing may be established on side and rear yards that do not face a street.
- c. Barbed and razor wire shall not be allowed, except in M-1 and M-2 districts, and for the protection of critical facilities, as determined by the **Administrator**. Where barbed and razor wire is used, it shall be screened with a five (5) feet planted buffer strip. Buffer planting requirements of [Section 5: Buffer Planting Area](#) shall apply.
- d. The **Administrator** may allow alternative fence materials of similar appearance and durability as the allowed under this paragraph.

4. Screening Requirements

4.1. Vehicular Use Areas

- a. The provisions of this paragraph shall be applicable to all non-residential uses.
- b. On side and rear lot lines of the lot adjacent to any residential lot, vehicular use areas shall be screened by a planted buffer strip, as defined in [Section 5: Buffer Planting Area](#). In addition to buffer plantings, an opaque fence, not taller than eight (8) feet in height shall be provided.
- c. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - i. The planted area shall be at least equal to the required setback, but in no case less than five (5) feet wide.

- ii. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
- iii. The planting strip shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.



Figure 4.1: Vehicular Use Areas

- d. Vehicular use areas located within the City’s Historic Districts, as defined in [Sec. 32-5. - Same—Areas of Jurisdiction](#) of the [City of Gretna Code of Ordinances, Chapter 32 - Historic Preservation](#), shall be screened from the public right-of-way by a planted buffer strip of not less than three (3) feet width and a masonry wall, or wrought iron fence, or a combination thereof, of not less than two (2) feet and not more than four (4) feet in height, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where the barrier shall be not more than three (3) feet in height. The barrier shall be subject to the design review of the City of Gretna Historic District Commission.
 - i. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - 1. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
 - 2. The planting strip shall contain one (1) Class B Tree for every fifteen (15) linear feet.

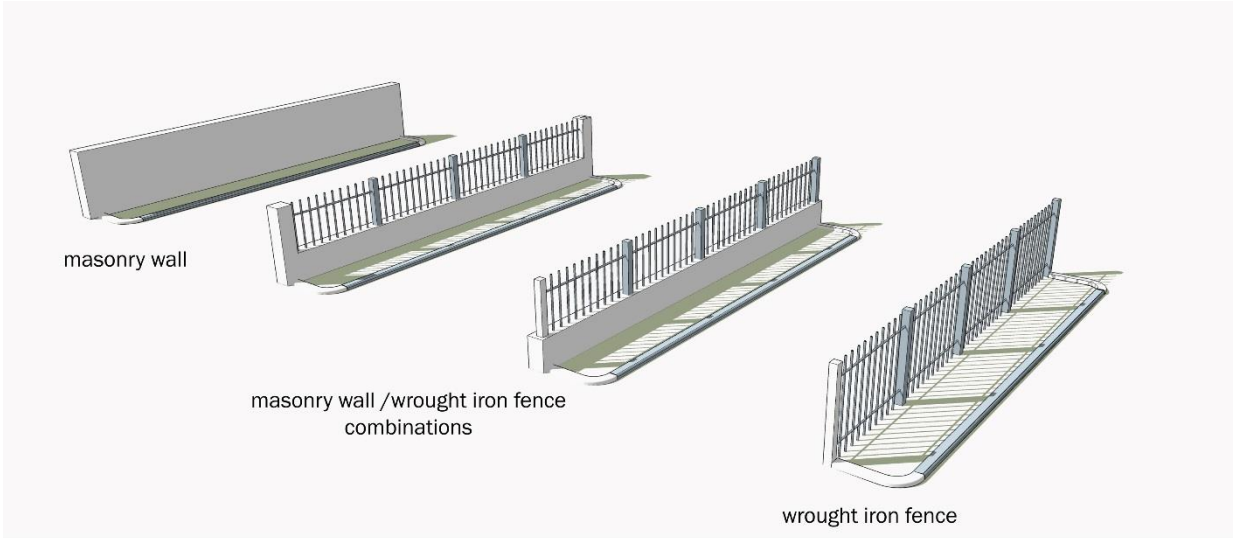


Figure 4.2: Historic Screening Examples

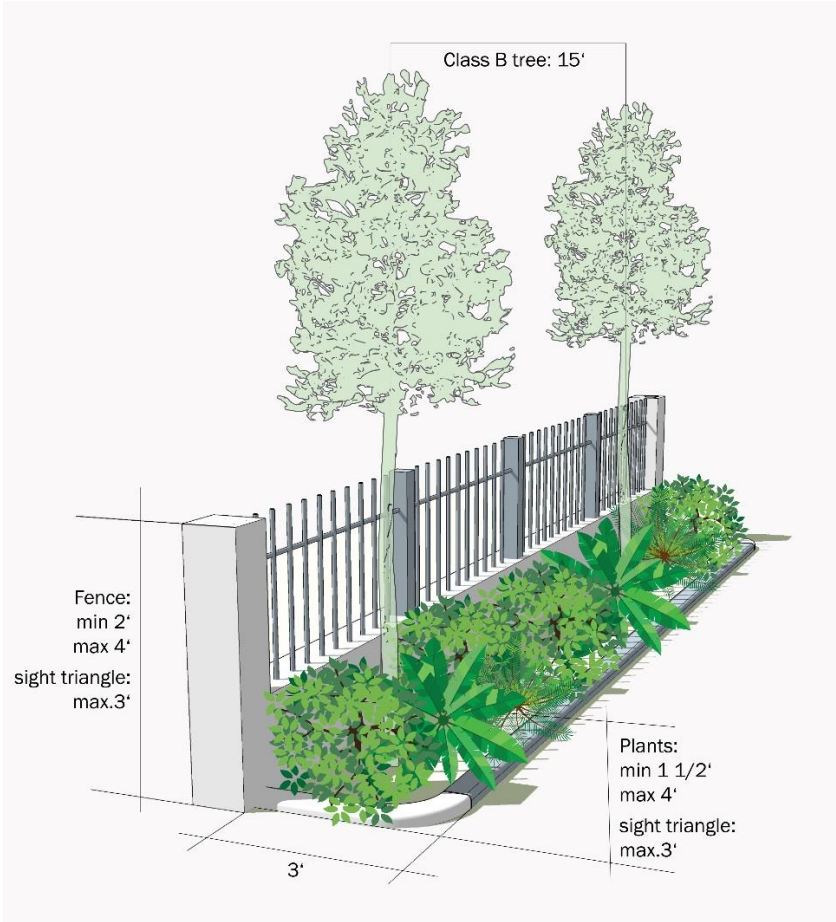


Figure 4.3: Historic District Screening Dimensions

- 4.2. Dumpster and Recycling Containers
 - a. Dumpsters and recycling containers shall be fully enclosed on all sides by a solid fence, a masonry wall, or principal structure wall six (6) feet in height. The enclosure shall be gated.
 - b. The materials used for screening, including the enclosure, shall use similar materials and colors of the principal building.
- 4.3. Utilities
 - a. Above ground public utilities, with the exception of utility poles, shall be screened by a continuous hedge of no less than three (3) feet in height if surrounded by at least three (3) feet of exposed soil or grass. A setback of no less than one and one-half (1.5) feet must be provided around equipment to allow for property operation and maintenance of the equipment.
 - b. On non-residential lots mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened from view at the front property line and the side property line if the property is a corner lot. Exterior screening materials shall be the same as the predominant exterior materials of the principal building.
- 4.4. Outside Storage Areas
 - a. All outside storage of commercial and industrial uses must provide a solid fence made of wood or brick, or masonry wall. The fence must be of such height that all outside storage is screened from public view. No sheet metal fence shall be allowed.

5. Buffer Planting Area

5.1. Buffer planting areas shall be required between different uses and/or districts in accordance with Table 5.1: Buffer Planting Area Requirements.

Table 5.1: BUFFER PLANTING AREA REQUIREMENTS					
ADJACENT LAND USE OR ZONE	PROPOSED DEVELOPMENT				
	RESIDENTIAL	COMMERCIAL, INSTITUTIONAL, & MIXED USE	LIGHT INDUSTRIAL	HEAVY INDUSTRIAL	PARKING LOT
RESIDENTIAL USES & ZONES (R-1, R-1A, R-1MH, R1-TH, R-2, R-3, OTR)	NR	10'	10'	25'	10'
COMMERCIAL , INSTITUTIONAL & MIXED-USE USES & ZONES (BC-1, BC-2, C-1, C-2, GO-1, H-1, MUCD)	10'	NR	10'	25'	NR
LIGHT INDUSTRIAL USE & ZONES M-1	10'	10'	NR	25'	NR
HEAVY INDUSTRIAL USE & ZONE M-2	25'	25'	25'	NR	NR
PARKING LOT	10'	NR	NR	NR	NR
PUBLIC RIGHT OF WAY	NR	NR	NR	15'	NR

- a. The minimum width listed in Table 5.1: Buffer Planting Area Requirements indicates the total required buffer between the properties. Provision of the buffer is the sole responsibility of the applicant for the proposed development.
- b. The buffer zone shall consist of an area not less than the required depth measured at right angles to the property line(s) along the entire length of a contiguous to the property line adjacent to the more restrictive zoning district.
- c. The buffer planting area is required to be provided in conjunction with the issuance of a building permit for new construction on a development site or when there is a change in land use.
- d. Trees in buffers that are healthy and of desirable species from Tables 2.1 and 2.2, and six (6) inches at DBH or greater shall be preserved regardless of the number of said trees. All trees required to be preserved shall be indicated on the landscape and tree preservation plan.
- e. The buffer yard shall be planted as follows:
 - i. The buffer zone shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.
 - ii. Plantings shall be a minimum of four (4) feet in height from the ground during installation and a minimum of six (6) feet mature.
- f. A 100% sight obscured fence or wall of eight (8) feet in height, erected on the border of the buffer yard area which lies inside the lot, may be provided in lieu of planting in the buffer area.
- g. The property owner shall maintain landscaping required by this ordinance in accordance with the following standards:
 - i. Use of Required Landscape Area. No required landscape area shall be used for accessory structures, garbage or trash collection, parking, or any other functional use contrary to the intent and purpose of this article.
 - ii. All required landscaping, excluding trees, shall be watered if needed.
 - iii. Replacement of Dead Materials. The property owner shall replace required plants which die. Replacements shall be installed at the earliest possible time within a planting season, and replacements shall be as shown on the approved landscape plan.

6. Sight Triangle

- a. All fences and buffers shall conform to the Louisiana DOTD standards and be located so as not to cause an obstruction to motorists.
- b. A sight triangle measuring ten (10) feet along the property line by a depth of ten (10) feet shall be established at intersections and access ways. No fences, wall, or plantings over three (3) feet shall be allowed in this sight triangle.

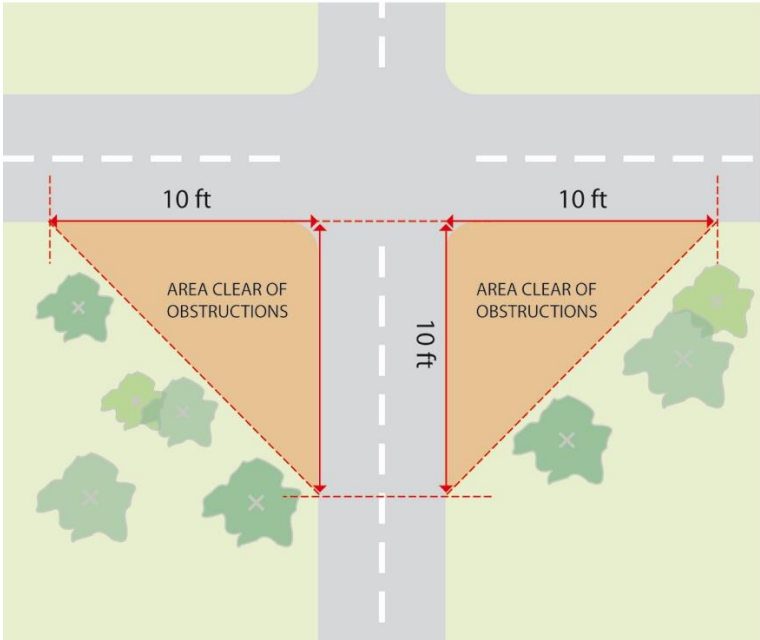
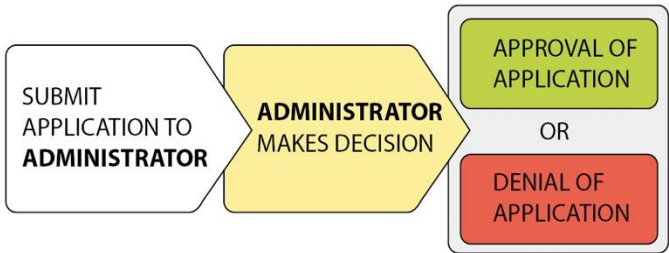


Fig. 6.1: Sight Triangle

7. Permit Procedure



7.1. When Required

- a. A fence permit is required for all fences and walls that are newly erected or replaced after (insert effective date of this ordinance) within the jurisdiction of the City of Gretna, except the following.
 - i. The fence or wall is part of a new development or substantial redevelopment which requires a site plan review as lined out in Sec. 58-70. - Site plan review process of the City of Gretna Code of Ordinances.
 - ii. The fence or wall is part of a new development or redevelopment that requires the submittal of a landscape plan, as regulated in Chapter 58 – Zoning and Subdivisions of the City of Gretna Code of Ordinances.
- b. It shall be unlawful to construct, erect, alter, relocate, or display any fence or wall without first obtaining a fence permit from the Administrator.

7.2. Application and Fees

- a. An application for a Fence Permit shall be filed in writing with the Administrator and contain all information requested by the Administrator.
- b. Applications must be submitted on forms in such numbers as required by the Administrator.
- c. Applications shall be complete and sufficient for processing before the Administrator is required to review the application.
- d. The Administrator may require the submission of information additional to that listed in this section, if determined as necessary to decide whether or not the fence as proposed will comply with all of the requirements of this Fencing and Screening Ordinance.

- e. Applications shall include the following.
 - i. Written consent of the owner of the property, or his agent, granting permission for the construction of the fence or wall;
 - ii. Name, address, and telephone number of the property owner, business owner, and the fence or wall contractor;
 - iii. Address of the lot, or lots, on which the fence or wall is to be erected;
 - iv. Zoning designation of the lot, or lots, on which the fence or wall is to be erected.
 - v. Site plan of the lot, or lots, on which the fence or wall is to be erected, including the following.
 - 1. Exact position of the fence or wall in relation to nearby buildings, structures, and/or property lines;
 - 2. Height of the fence or wall, measured as set forth in Paragraph 3.1: [Lot Fencing](#)
 - 3. Linear feet of the fence or wall
 - 4. Type, material, and color of the fence or wall
 - 5. Any electrical permit required for gates, if applicable.
- f. The Administrator may require that the fence or wall plans be signed by a structural engineer licensed by the State of Louisiana.
- g. Upon the filing of an application for a fence permit, the Administrator shall grant, deny, or reject the permit within forty-five (45) days from the application date. The applicant shall receive notice by hand delivery or by mailing notice to the address on the permit on or before the forty-fifth day.
- h. The fees for permitting shall be established by the City of Gretna Planning and Zoning Commission and can only be amended by the City Council.

7.3. Review Criteria

- a. The proposed fence must meet the requirements of this Screening & Fencing Ordinance
- b. In deciding to approve, approve with conditions, or deny the proposed fence permit, the Administrator shall consider relevant comments of all interested parties.
- c. The decision of the Administrator must be consistent with prior decisions.

7.4. Effect of Denial.

- a. The denial of a fence permit application shall ban the subsequent application for the same fence or wall for a period of twelve (12) months.

7.5. Expiration.

- a. A fence permit shall remain in effect for six (6) months from issuance date, and if the fence or wall is not completed within those six months, the permit shall expire.

Provided that a majority of the City Council of the City of Gretna have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns same, unsigned, to the Clerk during that ten-day period. This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstain:

ADOPTED:

APPROVED:

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

Ordinance presented to the
Mayor on

MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

Ordinance returned from the
Mayor on

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

Sale of Lots 4 and 5, Square 7 Adj. Properties Ord.

On motion by **Councilman _____** and seconded by **Councilman _____**, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the sale of Lots 4 and 5, Square 7, Gretna Subdivision (Parcel No. 9100002019) by the City of Gretna pursuant to Louisiana Revised Statute 47:2202.

WHEREAS, there is a general concern for the health, safety and welfare of the citizens of Gretna; and

WHEREAS, the City of Gretna is desirous of improving economic development and subsequent quality of life for citizens of Gretna; and

WHEREAS, the City of Gretna seeks to control the number of abandoned properties and to slow urban blight by placing abandoned properties back into the stream of commerce; and

WHEREAS, La. R. S. 47:2202 provides for a procedure for the City to sell adjudicated property to adjoining landowners; and

WHEREAS, the below described property has been adjudicated to the City of Gretna and subsequently acquired by the city pursuant to state law, and

WHEREAS, the City of Gretna now desires approval of the sale of said certain portion of Lots 4 and 5, Square 7 Gretna, all as more fully set forth below; to the adjacent property owner pursuant to R.S. 47:2237 and the city's Adjudicated Properties Program for the fair market value of \$29,000 as determined by qualified appraisal.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

SECTION I. The sale of the below described property to Marc Sancho is hereby approved for the fair market value of \$29,000 as determined by qualified appraisal, and further that said sale is being done pursuant to the lot next door provision of state law relative to adjudicated properties. The legal description of the property in question follows:

TWO CERTAIN LOTS OF GROUND, together with all the buildings and improvements thereon and all rights, ways, privileges, servitudes, advantages and appurtenances thereunto belonging or in anywise appertaining, situated in the SQUARE NUMBER (7) of the TOWN OF GRETNA (now a part of the City of Gretna) Parish of Jefferson, State of Louisiana, bounded by First, Second, Governor Hall and Fried Streets, and designated as LOTS NUMBERS (4) AND FIVE (5); said lots adjoin and measure sixty-eight feet, two inches (68'2") front on Governor Hall Street, by a depth of one-hundred six feet (106') nine inches (9") between equal and parallel lines with use of the alley in rear. The above described property being part of the property described in Section 7 of Judgment in Succession of Louis Gelbke, number 595 of the 21st, Judicial District Court for the Parish of Jefferson, registered in C.O.B. Folio 40, said lots are described in said judgment as Lots Nine (9) and Ten (10) and changed to Lots Four (4) and Five (5) in map of Gretna, all as per plan of the property of the estate of Louis Gelbke by John Gidere, C.E., dated June 8, 1931, recorded in the Book of Plans 12, Folio 19, Parish of Jefferson, Louisiana.

SECTION II: Mayor Belinda C. Constant of the City of Gretna be and is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this proposed sale and this ordinance and this council specifically ratifies any prior acts of the Mayor of the City of Gretna to this end.

Provided that a majority of the City Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of the same to the Mayor, in accordance with *Louisiana R.S. 33:406(c)(2)* unless the Mayor returns the same, unsigned to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas:

Nays:

Absent:

ADOPTED:

APPROVED:

CITY CLERK
CITY OF GRETNA

MAYOR
CITY OF GRETNA

Ordinance presented to the
Mayor on
Mayor on

Ordinance returned from the
Mayor on

CITY CLERK

CITY CLERK

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the sale of the adjudicated property located at 820 Solon Street (Parcel No. 8100005350) by the City of Gretna, LA pursuant to Louisiana Revised Statute 47:2236.

WHEREAS, there is a general concern for the health, safety and welfare of the citizens of Gretna; and

WHEREAS, the City of Gretna is desirous of improving economic development and subsequent quality of life for citizens of Gretna; and

WHEREAS, the City of Gretna seeks to control the number of abandoned properties and to slow urban blight by placing abandoned properties back into the stream of commerce; and

WHEREAS, La. R. S. 47:2236 provides for a procedure for the City to claim ownership of properties that have been adjudicated to the city for more than five years previously; and

WHEREAS, the below described property has been adjudicated to the City of Gretna for more than five years, and

WHEREAS, the City of Gretna acquired said property pursuant to R.S. 47:2236 et seq and now desires approval of the sale of said certain portion of bearing municipal address 820 Solon Street, all as more fully set forth below; to the adjacent property owner pursuant to R.S. 47:2237 and the city's Adjudicated Properties Program for the fair market value of \$44,000 as determined by qualified appraisal.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

SECTION I. The sale of the below described property to Douglas P. Curole is hereby approved for the fair market value of \$44,000 as determined by qualified appraisal, and further that said sale is being done pursuant to the lot next door provision of state law relative to adjudicated properties. The legal description of the property in question follows:

ONE CERTAIN LOT of ground, together with all buildings and improvements thereon, and all of the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, situated in the Parish of Jefferson, State of Louisiana, in the town of McDonoghville, Gretna, in Square No. 131, designated as Lot B-2A, all in accordance with plan of resubdivision of Gilbert, Kelly, & Couturie, Inc. dated August 30, 1978, a print of which is hereinto annexed, approved by City of Gretna, under Ordinance No. 1580, dated September 5, 1978, filed for record in Jefferson Parish under Entry No. 841309 on September 15, 1978, and according to which, said lot is designated as Lot B-2A of Square 131, which square is bounded by Franklin Street, Solon Street, Kepler Street and Hancock Street, and according to which commences at a distance of 135.01 feet from the corner of Franklin Street and Solon Street, same width in the rear, by a depth of 192 feet between equal and parallel lines. Lot B-2A is composed of a portion of former lot B-1 and Lot B-2 in accordance with a plan of resubdivision and ordinance No. 1559 of the City of Gretna, filed for record in the Parish of Jefferson under Entry No. 841-308, and said Lot B-2 is composed of former lots 11, 12, 13, and portion of former lot 5A, which is composed of former lots 18 and 19, of Square 131 McDonoghville.

This act is made and accepted subject to slab encroachment as shown on the aforementioned plan of resubdivision by Gilbert, Kelly, & Couturie, Inc., dated August 30, 1978.

SECTION II: Mayor Belinda C. Constant of the City of Gretna be and is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this proposed sale and this ordinance and this council specifically ratifies any prior acts of the Mayor of the City of Gretna to this end.

Provided that a majority of the City Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with *Louisiana R.S. 33:406(c)(2)* unless the Mayor returns the same, unsigned to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

- Yeas:
- Nays:
- Absent:
- Abstained:

ADOPTED:

APPROVED:

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

Ordinance presented to the
Mayor on

Ordinance returned from the
Mayor on

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

Un-dedication of Front Street (Hamilton & Ocean)

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the un-dedication of a portion of Front Street between Hamilton Street and Ocean Avenue as per the preliminary plan of survey of Dufrene Surveying and Engineering, Inc., dated April 15, 2016 attached hereto as Exhibit “A”.

WHEREAS, Front Street in the City of Gretna between Hamilton Street and Ocean Avenue is a dedicated but undeveloped street; and

WHEREAS, the natural development in and around the surrounding area would make actual paving and use of that section of Front Street impractical and therefore no longer needed for a valid public purpose; and

WHEREAS, LSA R.S. 48:701 provides for the legal mechanism to revoke and set aside dedicated streets.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The dedication of Front Street between Hamilton and Ocean Avenue in Square 10, Village of Brooklyn, Square 11, Brooklyn Bass Subdivision, City of Gretna, as per the preliminary plan of survey of Dufrene Surveying and Engineering, Inc., dated April 15, 2016, is hereby set aside and revoked as no longer needed for a public purpose.

SECTION II: The Mayor of the City of Gretna be and is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstain:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 1 and 2, Square 10; Lots 8A and 10A, Square 11, and a portion of former Front Street, INTO Lot 1B, Square 10, AND Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per attached plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated April 15, 2016.

WHEREAS, Front Street in the City of Gretna between Hamilton Street and Ocean Avenue was a dedicated and undeveloped street; and

WHEREAS, the City of Gretna has previously declared that portion of Front Street between Hamilton Street and Ocean Avenue is no longer needed for a valid public purpose; and

WHEREAS, the City of Gretna utilized LSA R.S. 48:701 to revoke and set aside the dedication of that portion of Front Street, resulting in the land previously known as Front Street to revert to the present owners of the land contiguous thereto as set forth in attached survey.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The resubdivision of Lots 1 and 2, Square 10; Lots 8A and 10A, Square 11, AND a portion of former Front Street, **INTO** Lot 1B, Square 10, **AND** Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per attached plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated April 15, 2016, be and the same is hereby approved

SECTION II: The Mayor of the City of Gretna be and is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstain:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

SQUARE 10 AND 11
BROOKLYN BASS SUBDIVISION
CITY OF GRETNA
JEFFERSON PARISH, LA

HAMILTON STREET (SIDE)

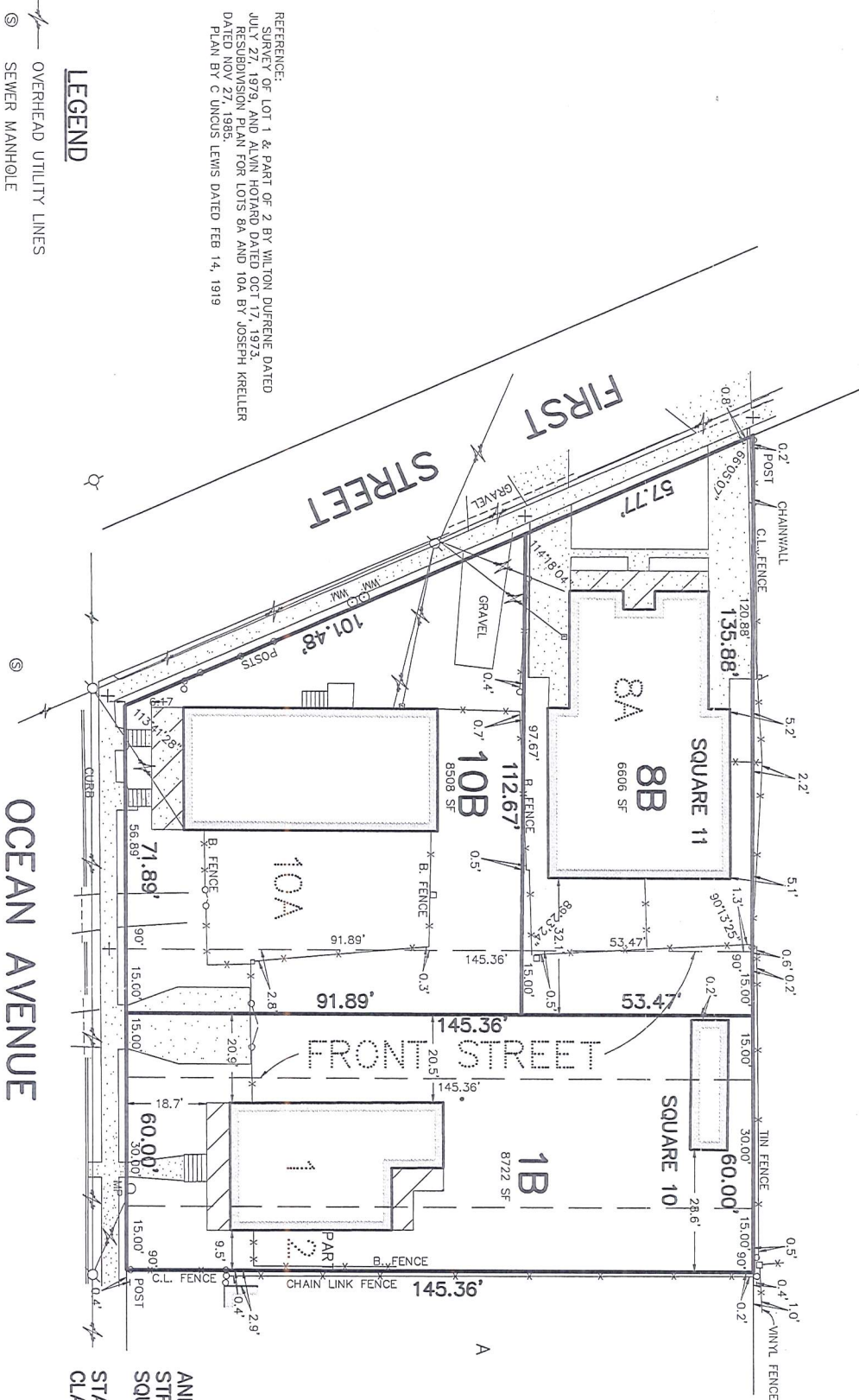


Approved by the Mayor and the City Council
of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____

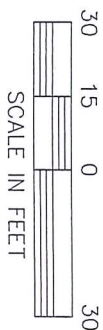
BROAD STREET (SIDE)



REFERENCE:
SURVEY OF LOT 1 & PART OF 2 BY WILTON DUFRENE DATED
JULY 27, 1979, AND ALVIN HOTARD DATED OCT 17, 1973.
RESUBDIVISION PLAN FOR LOTS 8A AND 10A BY JOSEPH KRELLER
DATED NOV 27, 1985.
PLAN BY C UNCUS LEWIS DATED FEB 14, 1919

LEGEND

- OVERHEAD UTILITY LINES
- SEWER MANHOLE
- WATER METER
- FIRE HYDRANT



THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED
TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS
NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS
ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR
PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

OCEAN AVENUE

RESUBDIVISION OF LOTS 1 AND 2 SQUARE 10, LOTS 8A
AND 10A SQUARE 11, AND A PORTION OF FORMER FRONT
STREET, INTO LOT 1B SQUARE 10, AND LOTS 8B, AND 10B
SQUARE 11, BROOKLYN BASS SUBDIVISION.
SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF CITY OF GRETNA.

LOT 1 AND PART OF 2 ARE DESCRIBED AS:
BROOKLYN BASS SUBDIVISION (PLAN)
VILLAGE OF BROOKLYN (TITLE & HOTARD 1973)
BROOKLYN (OHEMECOURT 1890 ATTACHED TO A SALE
BY JOHN BASS SEPT 30, 1890)

APRIL 15, 2016

RESUBDIVISION OF LOTS 1 AND 2 SQUARE 10, LOTS 8A
AND 10A SQUARE 11, AND A PORTION OF FORMER FRONT
STREET, INTO LOT 1B SQUARE 10, AND LOTS 8B, AND 10B
SQUARE 11, BROOKLYN BASS SUBDIVISION.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF CITY OF GRETNA.

TUDON J. DUFRENE, JR.
License No. 045653
PROFESSIONAL



DUFRENE SURVEYING
& ENGINEERING INC.

1624 MANHATTAN BOULEVARD, HARVEY, LA 70058

504-368-6390 PH.

504-368-6394 FAX

dufrene@dufrenesurveying.com

16-000194

Is gretna\brooklyn bass\sq11-110a(resub).dwg