

**THE CITY OF GRETNA
MAYOR AND CITY COUNCIL REGULAR MEETING**



**Gretna City Hall
740 2nd Street, Gretna, LA 70053
Council Chambers - 2nd Floor
May 10, 2017 - 5:30 PM
AGENDA**

1. Call to Order and Roll Call

2. Invocation and Pledge of Allegiance

3. Opening Remarks by the Mayor.

4. Appointment:

- A. Appointment of City Auditor - Camnetar And Co. Cpa Inc.

5. Presentations:

- A. Recognition "Kid's Artwork" (Kids activity table at Gretna Farmers Market) - Mayor Constant
- B. Recognition - West Jefferson High School ROTC cadets.
- C. Proclamation to Mensy J. Plaisance, Jr. - Mayor Constant
- D. Senior Garden (476 Franklin Street) - Mayor Constant
- E. Recognition of New Businesses:

6. Site Plan Review Request(s):

- A. 72 Westbank Expressway - Eco-Site, Inc., Applicant.
For 90' Monopole Wireless Telecommunications Tower (District 4)

7. CONSENT AGENDA:

A. Approval of Meeting Minutes:

March 29 Special meeting; April 12 Regular meeting and April 24, 2017 Special meeting.

B. Event Request(s):

- (1) Regular Baptist Church-Gospel White Night - Friday, June 9, 2017, 7:00 PM to 10:00 PM. - Fellowship with singing. (District 2)

- (2) RiverShack Tavern, "River Run/Walk", 2-Mile run/walk benefit- Sat., July 22, 2017- 6:30 PM New Orleans Running Systems Chuck George, Applicant (District 2)

C. Alcoholic Beverage Permit Application(s):

- (1) Vino D'Vino (201 Huey P. Long Avenue) Charles David Williams, Applicant (District 2)
(New business)
- (2) Bad Wolf (2010 O'Connor St.) Timothy Dardar, Applicant (Change of ownership)(Dist. 1)

D. Adoption of Ordinance(s) by Consent:

- (A) An ordinance approving the resubdivision of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, Louisiana INTO Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated March 27, 2017.

Municipal Address: 22 Colony Road Sponsor: Councilman Berthelot

- (B) An ordinance amending the Gretna Code of Ordinances, Chapter 58 –Zoning and subdivisions; by adding a new category titled Screening and Fencing.

Requested by: Administration Sponsor: Councilman Rau

- (C) An ordinance approving the sale of Lots 4 & 5, Square 7, Gretna Subdivision (Parcel No. 9100002019) by the City of Gretna pursuant to LA Revised Statute 47:2202.

Requested by: Administration Sponsor: Councilman Rau

- (D) An ordinance approving the sale of the adjudicated property located at 820 Solon Street (Parcel No. 8100005350) by the City of Gretna, pursuant to LA Revised Statute 47:2236.

Requested by: Administration Sponsor: Councilman Rau

- (E) An ordinance approving the un-dedication of a portion of Front Street between Hamilton Street and Ocean Avenue as per the preliminary plan of survey of Dufrene Surveying and Engineering, Inc., dated April 15, 2016 attached hereto as Exhibit "A".

Requested by: Administration Sponsor: Councilman Rau

- (F) An ordinance approving the resubdivision of Lots 1 and 2, Square 10; Lots 8A and 10A, Square 11, and a portion of former Front Street, INTO Lot 1B, Square 10, AND Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per attached plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated April 15, 2016.

Requested by: Administration Sponsor: Councilman Hinyub

E. Adoption of Resolution(s) by Consent:

- (A) A resolution providing for canvassing the returns and declaring the results of the Special Election held on Saturday, April 29, 2017 in the City of Gretna, State of Louisiana, to authorize the renewal of a levy of a special tax of four (4.00) mills on all property subject to taxation in precincts G-1 through G-11 and precinct 211 Parts; and the newly annexed portion of the City of Gretna, State of Louisiana, consisting of precincts G-12 and G-13 Parts, for the object and purpose of ambulance service, within said City.

Requested by: Administration Sponsor: Councilman Rau

- (B) A resolution providing for canvassing the returns and declaring the results of the Special Election held on Saturday, April 29, 2017 to renew the levy of a special tax of eight and five-tenths (8.5) mills on all property subject to taxation in the Pre-Timberlane Annexation area of the City of Gretna, State of Louisiana, that being the same area contained wholly within voting precincts G-1 through G-11, but excluding the area included in voting precincts G-12 and G-13 Parts (the annexed area), for a period of ten (10) years and for the object and purpose of fire protection in the City of Gretna, State of Louisiana.

Requested by: Administration

Sponsor: Councilman Rau

- (C) A resolution directing and authorizing Mayor Belinda C. Constant to enter into a Cooperative Endeavor Agreement on behalf of the City of Gretna, Louisiana with the Gretna Economic Development Association (GEDA) for the 2017 Gretna Heritage Festival to be held September 29th and 30th, 2017 and October 1st, 2017.

Requested by: Administration

Sponsor: Councilman Rau

- (D) A resolution authorizing Mayor Belinda C. Constant to enter into a Cooperative Agreement for and on behalf of the City of Gretna with the Parish of Jefferson Urban County Qualification for participation in the Community Development Block Grant Program and Home Partnerships Program for Fiscal Years 2018 - 2020, and to abide and conform to all the terms and conditions of the Housing and Community Development Act of 1974, as amended, and the Home Investment Partnership Act of 1990. (Jefferson Parish Council District 1)

Requested by: Administration

Sponsor: Councilman Rau

- (E) A resolution authorizing Mayor Belinda C. Constant to execute for and on behalf of the City of Gretna, the annual Maintenance Agreement with the State of Louisiana Department of Transportation and Development (LADOTD), Office of Engineering, for grass cutting (including mowing and litter pickup) of State right-of-ways within the City of Gretna, for the Fiscal Year beginning July 1, 2017 and ending June 30, 2018.

Requested by: Administration

Sponsor: Councilman Rau

- (F) A resolution requesting approval of the State of Louisiana Compliance Questionnaire for the Fiscal Year of April 1, 2016 to March 31, 2017 as required by State Laws.

Requested by: Administration

Sponsor: Councilman Rau

- (G) A resolution authorizing and directing Mayor Belinda C. Constant to ratify Amendment No. 3, which extends the term for an additional one (1) year; adds two (2) full time officers and increases the total compensation amount for security personnel to account for the two additional full time officers, to the Cooperative Endeavor Agreement with the Parish of Jefferson (Contract No. 55-11758) to provide security for the Jefferson Parish General Government Building, the 24th Judicial Court (Thomas F. Donelon Building), the Central Plant, the Jefferson Parish Parking Garage and the Liberto Building (802 2nd Street) as well as periodic security checks and 24/7 monitoring of the Jefferson Parish camera/alarm system for the Department of General Services.

Requested by: Administration

Sponsor: Councilman Rau

8. Consideration and Adoption of Ordinances(s):

- A. An ordinance approving the resubdivision of Lots 4 & 5, Square 3, Village of Gretna Subdivision, Gretna, Louisiana INTO Lot 4A, Square 3, Village of Gretna Subdivision, per the plan of survey & resubdivision of Dufrene Surveying & Engineering Inc., dated February 8, 2017.

Address: 214-216 Lafayette Street Sponsor: Councilman Hinyub

9. Historic District Commission Appeals:

- A. 1112 Monroe Street - Jack Bradley, Applicant
Denial - Installation of driveway strips and aprons. (District 1)

10. Reports:

- A. Police Department Report
- B. City Engineer Status Report
- (1) Projects Status monthly report - May 10, 2017.
- C. Departmental Reports distributed:
- (1) Building Department report.
- (2) Public Works Council Meeting Report
- (3) Historic District Commission Report.
- (4) Code Enforcement Report
- D. Council District Reports:

11. Introduction of Ordinances:

- A. An ordinance approving the resubdivision of Lots 24, 25 and 26, Square 11, Suburban Park Subdivision, Gretna, Louisiana INTO Lots 24A and 26A, Square 11, Suburban Park Subdivision, per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017.

Address: 1811 O'Connor Street Sponsor: Councilman Crosby

12. Citizens Addressing the Mayor and City Council.

13. Adjournment.



APPLICATION FOR SITE PLAN REVIEW

FOR OFFICE USE ONLY

Received: _____
Council: _____
Approved: _____
District No. _____
***Fee: \$350.00 (Non-Refundable)**

(PLEASE PRINT)

Application Date: February 3, 2017

Address to be Reviewed: 72 Westbank Expressway, Gretna, Louisiana 70053

Name or description of Project: 90' Monopole Wireless Telecommunications Tower

Prop. Legal Description: Portion of Lot Q2 Designated as Lot Q2B

Brooklyn Pastures

Lot(s)

Square

Subdivision

Currently

Zoned: BC-2

Use: Permitted: ()

Conditional: (X) Non Conforming ()

Expansion/

Addition () (% of original expansion) New Business () New Building () Change of Use ()

Name of Property Owner: Algiers Church of God in Christ, Inc.

Phone Number(s)

RECEIVED

E-Mail Address: FEB 03 2017

Address of Property Owner: 730 Thayer Street, New Orleans, Louisiana 70114

Name of Applicant/Agent: Eco-Site, Inc.

Phone Number(s)

**CITY OF GRETNA
MAYOR'S OFFICE**

E-Mail Address: jleyens@bakerdonelson.com

Check all

that apply: Building Permit () Electrical () Mechanical () Plumbing () Occupational License ()

Health Dept. () Lease () ABO () Fire Marshal () Historic District ()

Involves: Variance () Resubdivision () Zoning Change ()

Primary Setbacks: Front: 321' Rear 34' L Side 109' R Side 41'

Building size: ' x ' Sq. ft. Lot size: 40 ' x 40 ' 1600 Sq. ft.

Parking Spaces: Existing: Proposed: Surface Type:

Loading/Service Areas: Lighting: Number Height: Type

Type of Sign: Pole Wall Monument Illuminated: YES NO

Number of signs: Size(s): Total Sq. ft. of signs:

Landscaping: Number of trees Number of bushes:

ATTACH SURVEY/SITE PLANS (REQUIRED)

ARCHITECT/

ENGINEER CONTACT: (IF APPLICABLE)

INFORMATION PROVIDED SHALL CONFORM TO THE PROVISIONS OF SEC. 58-70.- SITE PLAN REVIEW PROCESS.

APPROVED FOR PRESENTATION

Gayle M. Russell
Planning & Zoning Official

Dated

REMARKS:

*90 ft Monopole
Wireless Tower*

**I AFFIRM THAT THE INFORMATION GIVEN IN
THIS APPLICATION IS TRUE AND CORRECT.
(PLEASE SIGN AND PRINT NAME BELOW)**

Signature of Property Owner

Property Owner (PRINT NAME)

Signature of Applicant/Agent

Applicant/Agent (PRINT NAME)

*Authorized
Agent for
Applicant &
Owner*



EVENT APPLICATION

City of Gretna
P. O. Box 404
Gretna, LA 70054-0404
(504) 363-1505

Name of Event: Regular Baptist Church-Gospel White Night

Date of Event: Friday, June 9, 2017 Time of Event: 7 PM - 10 PM

Location of Event: (Place or Street Name with boundary streets): 901 5th Street
Weyer and 4th

Description of Event: Christian Fellowship with tents, tables and chairs set up in the church's rear parking lot.

Anticipated number of attendees: 200

Name of Organizer and Hosts: Regular Baptist Church-Pastor T.A. Hodge

Address: 901 5th Street, Gretna, LA 70053

E-Mail: rbc@regularbc.org Cell Phone: _____

Home Phone: _____ Office Phone: church's 504-366-9110

☒ NON-PROFIT/501(C)(3)

☐ PRIVATE BUSINESS

☐ PRIVATE EVENT

☒ OPEN TO PUBLIC

☒ FOOD

☐ ALCOHOLIC BEVERAGES

☒ MUSIC

APPLICATIONS MUST BE SUBMITTED FORTY (45) DAYS PRIOR TO EVENT.

THE FOLLOWING INFORMATION MUST BE PROVIDED AT TIME OF SUBMISSION:

- 1) Event Insurance Certificate in the amount of One Million Dollars (\$1,000,000.00) naming the City of Gretna as an additional insured.
- 2) Proof of security
- 3) Application Fee: \$25.00 (non-refundable)
- 4) If applicable, application must include a petition listing all property owners or residents that will be impacted by the street closure and the signatures of a majority of those owners or residents stating they do not object to the issuance of a permit for the event.

IF APPLICABLE:

PLEASE REFER TO ORDINANCES NO. 4443 and 4468 (attached) FOR FURTHER DETAILS.

Signature of Applicant / Representative

Title

Date



EVENT APPLICATION

City of Gretna
P. O. Box 404
Gretna, LA 70054-0404
(504) 363-1505

Name of Event: RIVERSHACK TAVERN'S River RUN/WALK

Date of Event: SATURDAY JULY 22, 2017 Time of Event: 6:30 PM

Location of Event: (Place or Street Name with boundary streets): RIVERSHACK TAVERN, 714 1ST STREET, GRETNAL, LA. 70053

Description of Event: 2 MILE RUN/WALK BENEFIT FOR KIWANIS CLUB - REWARDS FOR READING PROGRAM.

Anticipated number of attendees: 250-300

Name of Organizer and Hosts: NEW ORLEANS RUNNING & SYSTEMS ROAD RACE MANAGEMENT

Address: 4245 ARKANSAS AVE, KENNER, LA. 70065

E-Mail: CHUCKNORSI@COX.NET Cell Phone: 504-884-7565

Home Phone: SAME Office Phone: SAME

☒ NON-PROFIT/501(C)(3) ☐ PRIVATE BUSINESS
☐ PRIVATE EVENT ☒ OPEN TO PUBLIC

☒ FOOD ☒ ALCOHOLIC BEVERAGES ☐ MUSIC

APPLICATIONS MUST BE SUBMITTED FORTY (45) DAYS PRIOR TO EVENT.

THE FOLLOWING INFORMATION MUST BE PROVIDED AT TIME OF SUBMISSION:

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- 2) Proof of security
- 3) Application Fee: \$25.00 (non-refundable)
- 4) If applicable, application must include a petition listing all property owners or residents that will be impacted by the street closure and the signatures of a majority of those owners or residents stating they do not object to the issuance of a permit for the event.

IF APPLICABLE:

PLEASE REFER TO ORDINANCES NO. 4443 and 4468 (attached) FOR FURTHER DETAILS.

Signature of Approval

Title

Date

ALCOHOLIC BEVERAGE PERMIT APPLICATION

CITY OF GRETNA

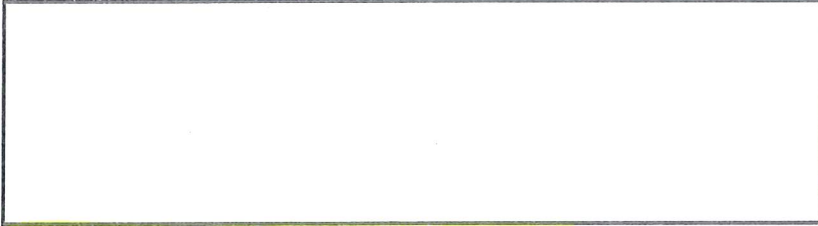
SECOND STREET AND HUEY P. LONG AVENUE P. O. BOX 404, GRETNA, LA 70054-0404



For the Calendar Year Ending December 31, 2017

FOR OFFICE USE ONLY

Account # _____
 Permit # _____
 Date Paid _____
 Amount _____
 By _____



Date _____

Vino D'Vino

Trade Name

Charles David Williams

Owner's Name

Mailing Address 201 Huey P. Long Ave #A Gretna, LA 70053

Street

City

State

Zip Code

11

Location of Business

Street

City

State

Zip Code

Type of Permit:

☒ Liquor

☐ Open Beer

☐ Package Beer

Type of Ownership

Vino D'Vino LLC

(Individual, Partnership, Corporation)

All agents, employees, representatives or servant of this business have obtained and Alcoholic Beverage Card from the City of Gretna, Chief of Police ☒ Yes ☐ No

Charles David Williams

(Name, address, social security number, date of birth of all partners or principal officers, if a corporation)

Liquor (Includes Beer & Wine) \$500.00

Open Beer - \$75.00

Package Beer Only - \$60.00

Wholesale Beer - \$100.00

I affirm that the information given in this application is true and correct and will abide by all applicable City ordinances.

Charles David Williams

(Name)

Owner

(Title)

PERMIT WILL NOT BE ISSUED IF APPLICATION IS NOT COMPLETE

Applications are due on January 1. A penalty of (25%) twenty-five percent will be charged, if not paid by January 1, this permit may be denied without notice. Make checks payable to City of Gretna, P. O. Box 404, Gretna, LA 70054

ALCOHOLIC BEVERAGE PERMIT APPLICATION

CITY OF GRETNA

SECOND STREET AND HUEY P. LONG AVENUE P. O. BOX 404, GRETNA, LA 70054-0404



For the Calendar Year Ending December 31, 2017

FOR OFFICE USE ONLY

Account # _____
 Permit # _____
 Date Paid _____
 Amount _____
 By _____

Date

4/4/17

Bad Wolf

Trade Name

Bad Wolf, LLC

Owner's Name

Mailing Address

2010 O'Connor Street

Gretna, LA

70053

Street

City

State

Zip Code

Location of Business

2010 O'Connor Street

Gretna

LA

70053

Street

City

State

Zip Code

Type of Permit:

☒ Liquor

☐ Open Beer

☐ Package Beer

Type of Ownership

Limited Liability Company

(Individual, Partnership, Corporation)

All agents, employees, representatives or servant of this business have obtained and Alcoholic Beverage Card from the City of Gretna, Chief of Police ☐ Yes ☐ No

Timothy Dardar - Managing Members

Alicia Dardar - Managing member

(Name, address, social security number, date of birth of all partners or principal officers, if a corporation)

Liquor (Includes Beer & Wine) \$500.00

Open Beer - \$75.00

Package Beer Only - \$60.00

Wholesale Beer - \$100.00

I affirm that the information given in this application is true and correct and will abide by all applicable City ordinances.

[Signature]

(Name)

PERMIT WILL NOT BE ISSUED IF APPLICATION IS NOT COMPLETE

Applications are due on January 1. A penalty of (25%) twenty-five percent will be charged, if not paid by January 1, this permit may be denied without notice. Make checks payable to City of Gretna, P. O. Box 404, Gretna, LA 70054

Managing member

(Title)

On motion by Councilman _____ and seconded by Councilman _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated March 27, 2017. Municipal Address: 22 Colony Road

WHEREAS, David E. Banks II and Sandra L. Banks are the owners of record of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; applying for said owners is Brady Garrity, Architect; and

WHEREAS, the aforesaid owners have resubdivided Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, as per the plan of survey and resubdivision Dufrene Surveying & Engineering Inc., dated March 27, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 54-A and 54-B, Square 3, Timberlane Estates & Country Club Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 54-C, Square 3, Timberlane Estates & Country Club Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated March 27, 2017, be and the same is hereby approved.

SECTION II: The Mayor of the City of Gretna, Louisiana is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

SQUARE 3, TIMBERLANE ESTATES & COUNTRY CLUB SUBDIVISION, CITY OF GRETNA
JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

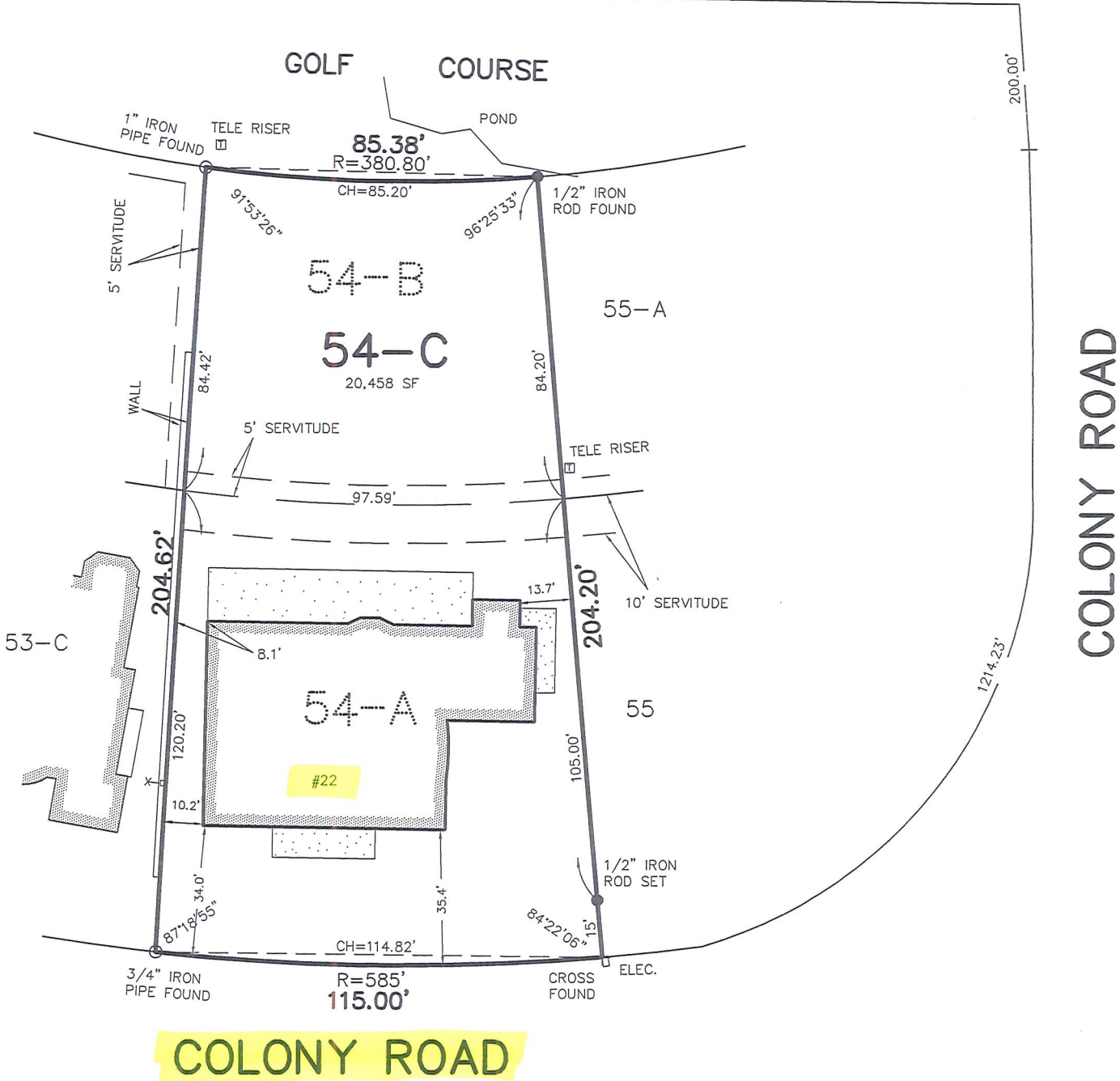
Approved by the Mayor and the City Council of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____



TIMBERLANE DRIVE



MARCH 27, 2017
RESUBDIVISION OF LOTS 54-A, AND 54-B
INTO LOT 54-C
SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF
DAVID & SANDRA BANKS.

DUFRENE SURVEYING & ENGINEERING INC.
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com



JOB# 17-000181
SCALE: 1"= 40'

[Signature]
ks gretna\timberlane\st&cc\sq3-lt54.dwg



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____
Adopted on: _____
District No. ____, Councilman _____
Certified mail cost \$6.59 x ____: \$ _____
(Non-Refundable) fee \$ 300.00
TOTAL DUE: \$ _____

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 3.28.17

Address of property to be resubdivided: 22 COLONY RD 7005 6

From: Current
Legal Description: 54-A, 54-B 3 TIMBERLANE
Lot(s) Square Subdivision

To: Proposed
Legal Description: 54-C 3 TIMBERLANE
Lot(s) Square Subdivision

Applicant's Name: BRADY GARRITY Contact Phone No. 415 0932

Applicant(s) Address: 2401 WHITNEY AVE E-Mail bgarrity@garrityaccount.com

Owner of Record: SANDRA & DAVID BANKS Contact Phone No. 504-329-2382

Owner's Address: 22 Colony Rd E-Mail dashbankcatt.net

Give brief explanation / reason for resubdivision: COMBINE 2 LOTS INTO 1 IN ORDER TO CONSTRUCT CABANA & POOL

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED (Yes or No)	Date	DATE COMPLETED	DATE NOT COMPLETED
Plot Plan / Survey (Current)				
Notarized Affidavit				
Applicable Certified letters (\$6.59 each)				
Address area posted				
Review by City Engineer				
Ordinance drafted				

APPROVED FOR PRESENTATION

Opalea M. Russell
Approval of Planning & Zoning Official

3/28/17
Review and approval date

REMARKS: Combine 2 lots of record into 1 lot

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Brady Garrity
Signature of Applicant/Owner of Record

BRADY GARRITY
PRINT YOUR NAME

ARCHITECT
Title

3.28.17
Dated

RECEIVED

NOTE: Please read & follow instruction sheet attached.

MAR 28 2017

CITY OF GRETNALouisiana
MAYOR'S OFFICE

BURK-KLEINPETER, INC.

To: Council Members - City of Gretna
From: David Boyd, P.E.
Subject: **Resubdivision Ordinance Report**
22 Colony Rd.
Date: May 10, 2017

This re-subdivision request was introduced at the April 12, 2017 Mayor and Council Regular Meeting. We have reviewed the subject re-subdivision request and offer the following observations:

Existing Conditions

The existing properties consist of Lots 54-A & 54-B Square 3 Timberlane Estates & Country Club Subdivision. The property is defined by Colony Rd. to the North and West, Willow Rd. to the South, Timberlane Golf Course to the East.

Proposed Re-subdivision

It is proposed to combine the property from Lots 54-A & 54-B Square 3 Timberlane Estates & Country Club Subdivision into Lot 54-C Square 3 Timberlane Estates & Country Club Subdivision. The owner would like to convert the 2 lots into 1 lot to construct a cabana and pool.

Comments

The re-subdivision of the lots is requested to convert the two lots into 1 lot zoned R-1 Single Family Residential District. The re-subdivision meets the 4125 square foot minimum (6250 square feet) as well as side, front and rear yard requirements. The re-subdivision meets the requirements set forth in the zoning ordinance and is recommended for approval.

On motion by **Councilman**_____ and seconded by **Councilman** _____, the following Ordinance was offered:

ORDINANCE NO.

An ordinance amending the Gretna Code of Ordinances, Chapter 58 – Zoning and subdivisions; by adding a new category titled Screening and Fencing.

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the City of Gretna has an obligation to provide its citizens with ordinances that clearly describe permitted activities in the City.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

The Gretna Code of Ordinances Chapter 58 -Zoning and Subdivisions; by adding a new category Screening & Fencing is hereby amended to read:

1. General Provisions

1.1. Jurisdiction

- a. These regulations shall apply to all the area located within the corporate limits of the City of Gretna, Louisiana. All developments shall meet minimum standards and requirements of these regulations, as amended.
- b. This ordinance, or any amendment thereto, shall not affect the validity of any building permit lawfully issued prior to the effective date of the ordinance, or any amendment thereto, provided that the permit is valid upon the effective date of the adoption of this ordinance or any amendment thereto.
- c. This ordinance, or amendment thereto, shall not affect the validity of variances granted prior to the effective date of this ordinance, or amendment thereto. Said variances granted shall remain in effect after the effective date of this ordinance, and shall constitute variances to the applicable provisions of this ordinance.

1.2. Purpose

- a. This Screening & Fencing Ordinance is adopted for the purpose of the following:
 - i. Promote the public health, safety, and general welfare,
 - ii. Preserve the character of each area within the City of Gretna,
 - iii. Provide traffic safety.

1.3. Minimum Requirements

- a. The requirements of this Screening and Fencing Ordinance shall be considered as the minimum requirements for the promotion of the public health, safety, and general welfare.

1.4. Conflicting Provisions

- a. All development must comply with relevant Federal and State regulations.
- b. Whenever any provision of this Screening and Fencing Ordinance conflicts from provisions in any other Chapter of the City of Gretna Code of Ordinances, the provisions of this Screening and Fencing Ordinance shall apply.
- c. Where, in any case, different sections of this Screening and Fencing Ordinance specify different requirements, the more restrictive shall apply as determined by the **Administrator**. Where there is conflict between a general requirement and a specific requirement, the specific requirement shall be applicable.

1.5. Nonconforming Fences and Walls

- a. A lawful fence or wall existing as of the effective date of this zoning code or any amendment to this zoning code, may continue to be used for any purposes permitted in the district provided it is in conformance with the provisions of this section.
- b. A nonconforming fence or wall may be maintained or repaired provided no expansion of the nonconformity occurs.
- c. A nonconforming fence or wall shall not be expanded.
- d. A nonconforming fence or wall which is damaged to 50 percent or less may be repaired provided all construction is in compliance with current construction codes.
- e. If the damage of a nonconforming exceeds 50 percent, restoration or improvement shall not be permitted unless the restoration results in a fence or wall conforming to all applicable requirements of this Fencing and Screening Ordinance.

- 1.6. Severability
- a. Should any provision of this Screening and Fencing Ordinance be decided by the courts to be unconstitutional or invalid, that decision shall not affect the validity of this Screening and Fencing Ordinance other than the part declared to be unconstitutional or invalid.

2. Definitions

2.1. The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

- a. Class A Tree – A tree species included in Table 2.1: Class A Trees

Table 2.1: Class A Trees	
Scientific Name	Common Name
<i>Acer rubrum</i> var. <i>drummondii</i>	Maple, Swamp Red
<i>Carya illinoensis</i>	Pecan
<i>Celtis laevigata</i>	Hackberry
<i>Fagus grandifolia</i>	American Beech
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Ginkgo biloba</i>	Ginkgo
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Magnolia grandiflora</i>	Magnolia, Southern
<i>Nyssa sylvatica</i>	Black Gum
<i>Pinus elliottii</i>	Pine, Slash
<i>Pinus glabra</i>	Pine, Spruce
<i>Pinus palustris</i>	Pine, Longleaf
<i>Pinus taeda</i>	Pine, Loblolly
<i>Platanus occidentalis</i>	Sycamore
<i>Quercus acutissima</i>	Oak, Sawtooth
<i>Quercus alba</i>	Oak, White
<i>Quercus lyrata</i>	Oak, Overcup
<i>Quercus michauxii</i>	Oak, Swamp Chestnut
<i>Quercus nuttallii</i>	Oak, Nuttall
<i>Quercus phellos</i>	Oak, Willow
<i>Quercus shumardii</i>	Oak, Shumard
<i>Quercus virginiana</i>	Oak, Southern Live
<i>Taxodium ascendens</i>	Cypress, Pond
<i>Taxodium distichum</i>	Cypress, Bald
<i>Ulmus alata</i>	Elm, Winged
<i>Ulmus americana</i>	Elm, American

- b. Class B Tree – A tree species included in Table 2.2: Class B Trees

Table 2.2: Class B Trees	
Scientific Name	Common Name
<i>Betula nigra</i>	River Birch
<i>Carpinus caroliniana</i>	Ironwood
<i>Chionanthus virginicus</i>	Fringe Tree
<i>Crataegus opaca</i>	Mayhaw
<i>Lagerstroemia indica</i>	Crepe Myrtle
<i>Ilex opaca</i>	Holly, American
<i>Ilex vomitoria</i>	Yaupon
<i>Ilex x attenuata</i> 'Fosteri'	Holly, Fosters
<i>Ilex x attenuata</i> 'Savannah'	Holly, Savannah
<i>Magnolia virginiana</i>	Magnolia, Sweetbay
<i>Myrica cerifera</i>	Waxmyrtle
<i>Ostrya virginiana</i>	American Hop Hornbeam
<i>Pistacia chinensis</i>	Pistachio
<i>Prunus caroliniana</i>	Cherry Laurel

- c. DBH, diameter breast height – the tree trunk diameter measured at four and a half (4.5) feet above the ground.
- d. Earth berm – mounds or walls of earth molded into landforms within landscape areas and covered with plant material or durable mulch so that bare soil is not visible. Earth berms are used for screening and/or buffering and should be constructed so to prevent soil erosion.
- e. Fence – a structure construction of wood, metal, masonry, or other rigid manmade composite materials that imitates wood, metal, or masonry, which divides two contiguous properties, or is placed on the property to divide an area or portion of land from another. Fences shall be structurally sound and durable and in compliance with provisions of the currently adopted International Building Code. No fragile, readily flammable materials shall be constitute a part of any fence, nor shall such material be used as an adjunct, attachment, or supplement to any fence.
- f. Fence, ornamental - a fence designed in such a manner, and of such material, that the main purpose is to decorate or enhance the appearance of the front or side yard setback in a residential area. Ornamental fences may include hedges. Fences consisting of chain link mesh, welded or woven wire or sheet metal are excluded under this definition.
- g. Lot – a designated parcel, tract, or area of land established by plat, subdivision, deed, or ordinance.
- h. Lot, corner – a lot abutting upon two or more streets at their intersection.
- i. Lot, interior – a lot other than a corner lot.
- j. Lot lines – the property lines bounding a lot.
- k. Lot lines, front – the property line fronting a roadway right-of-way which provides the principle access to the property.
 - i. In the case of a corner lot, the front lot line is the lot line abutting the street which is used by the U.S. Postal Service for the delivery of mail to the structure located on the property. If the lot does not have a structure, the owner may select which lot line abutting a street is the front lot line.
- l. Outdoor customer area – a defined outdoor area of a commercial or institutional use which is intended for the use of customers. Outdoor customer areas may provide outdoor furniture including seating, tables, and trashcans.
- m. Outside storage – Outside storage means the physical presence of any personal property not fully enclosed within a structure. “Outdoor storage” means and includes, but shall not be limited to, the following:
 - i. Inoperable motor vehicles and farm, commercial and industrial equipment of all types;
 - ii. Inoperable or unlicensed recreational vehicles;
 - iii. Junk, imported waste, and discarded or salvaged materials;
 - iv. Dismantled vehicles and vehicle parts, including commercial and industrial farm machinery or parts thereof, tires and batteries;
 - v. Scrap metal, including salvaged structural steel;
 - vi. Salvaged lumber and building materials;
 - vii. Salvaged commercial or industrial trade fixtures;
 - viii. Operable or inoperable industrial or commercial equipment or tools.
 - ix. New building materials and supplies or any project for which no building permit has been issued;
 - x. New or used furniture or appliances;
 - xi. Bottles, cans and paper;
 - xii. Boxes, cable spools, and packing crates; and
- n. Parking area – an area of a lot used as an off street parking facility, enclosed or unenclosed, including parking spaces and access drives and legally designated areas of public streets.
- o. Vehicular use area – land upon which vehicles traverse and all areas used for the display or parking of any and all types of vehicles, boats, or heavy construction equipment, including, but not limited to service bays, loading and unloading areas, and all of street parking areas.
- p. Yard – an open space that lies between the principal or accessory building or buildings and the nearest lot line. Such yard is unoccupied and unobstructed from the ground upward except as may be provided for in this chapter.
- q. Yard, front – a space extending the full width of the lot between any building and the front lot line, and measured perpendicular to the building at the closest point to the front lot line. Such front yard is unoccupied and unobstructed from the ground upward.
- r. Yard, rear – a space extending the full width of the lot between the principal building and the rear lot line, and measured perpendicular to the building at the closest point of the rear lot line. Such rear yard is unoccupied and unobstructed from the ground upward. On all lots, the rear yard shall be at the opposite end of the lot from the front yard.

- s. Yard, side – a space extending from the front yard to the rear yard between the principal building and the side lot line measured perpendicular from the side lot line to the closest point of the principal building. Such side yard is unoccupied and unobstructed from the ground upward.

3. Fence Regulations

3.1. Lot Fencing

Along lot lines, fences may be erected in compliance with the following requirements.

- a. A side or rear yard fence or wall shall not exceed eight (8) feet in height.
- b. Columns of rear and side yard fences or walls, if spaced not less than five (5) feet apart, shall not exceed nine (9) feet in height.
- c. A side yard fence shall not extend in front of the front corners of any residence.
- d. A front yard fence or wall shall not exceed four (4) feet in height.
- e. In GO-1, H-1, BC-1, BC-2, C-1, C-2, and MUCD districts, front yards shall not be fenced, with the following exceptions:
 - i. Any fence not taller than four (4) feet measured from sidewalk elevation may be erected to enclose allowed outdoor customer areas along street frontages.
 - ii. Dumpsters and recycling containers shall be fenced as set forth in [Section 4.2: Dumpsters and Recycling Containers](#).
- f. In R-1 and R-2 districts front yards may be fenced, with the following exceptions:
 - i. Front yards shall not be fenced in R-1 and R-2 districts located south of the Westbank Expressway and in Old Garden Park, as bound by the Westbank Expressway to the south, Evergreen Street to the west, 5th Street to the north, and Stumpf Boulevard to the east. The following exceptions apply:
 - 1. A front yard fence not taller than four (4) feet measured from the sidewalk elevation may be erected on corner lots.
 - 2. A front yard fence may be erected on a lot where both adjacent lots have existing front yard fences which are in compliance with the provisions of this ordinance. The front yard fence may not exceed the height of the existing front yard fence of any adjacent lot or four (4) feet measured from the sidewalk elevation, whichever is lower.
- g. All fences and walls shall not exceed three (3) feet in height within clear vision areas as defined in [Section 6: Sight Triangle](#).
- h. For the purpose of this paragraph measurement shall be made as follows:
 - i. The height shall be measured from the natural adjacent grade.
 - ii. The top of a chain wall shall not exceed six (6) inches measured from the adjacent grade on the outside; or
 - iii. The top of a retaining wall that has been properly permitted.

3.2. Fence Design Standards

- a. All fences facing streets shall be constructed of wood, wrought or cast metal.
- b. Chain link security fencing may be established on side and rear yards that do not face a street.
- c. Barbed and razor wire shall not be allowed, except in M-1 and M-2 districts, and for the protection of critical facilities, as determined by the **Administrator**. Where barbed and razor wire is used, it shall be screened with a five (5) feet planted buffer strip. Buffer planting requirements of [Section 5: Buffer Planting Area](#) shall apply.
- d. The **Administrator** may allow alternative fence materials of similar appearance and durability as the allowed under this paragraph.

4. Screening Requirements

4.1. Vehicular Use Areas

- a. The provisions of this paragraph shall be applicable to all non-residential uses.
- b. On side and rear lot lines of the lot adjacent to any residential lot, vehicular use areas shall be screened by a planted buffer strip, as defined in [Section 5: Buffer Planting Area](#). In addition to buffer plantings, an opaque fence, not taller than eight (8) feet in height shall be provided.
- c. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - i. The planted area shall be at least equal to the required setback, but in no case less than five (5) feet wide.

- ii. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
- iii. The planting strip shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.



Figure 4.1: Vehicular Use Areas

- d. Vehicular use areas located within the City’s Historic Districts, as defined in [Sec. 32-5. - Same—Areas of Jurisdiction](#) of the [City of Gretna Code of Ordinances, Chapter 32 - Historic Preservation](#), shall be screened from the public right-of-way by a planted buffer strip of not less than three (3) feet width and a masonry wall, or wrought iron fence, or a combination thereof, of not less than two (2) feet and not more than four (4) feet in height, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where the barrier shall be not more than three (3) feet in height. The barrier shall be subject to the design review of the City of Gretna Historic District Commission.
 - i. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - 1. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
 - 2. The planting strip shall contain one (1) Class B Tree for every fifteen (15) linear feet.

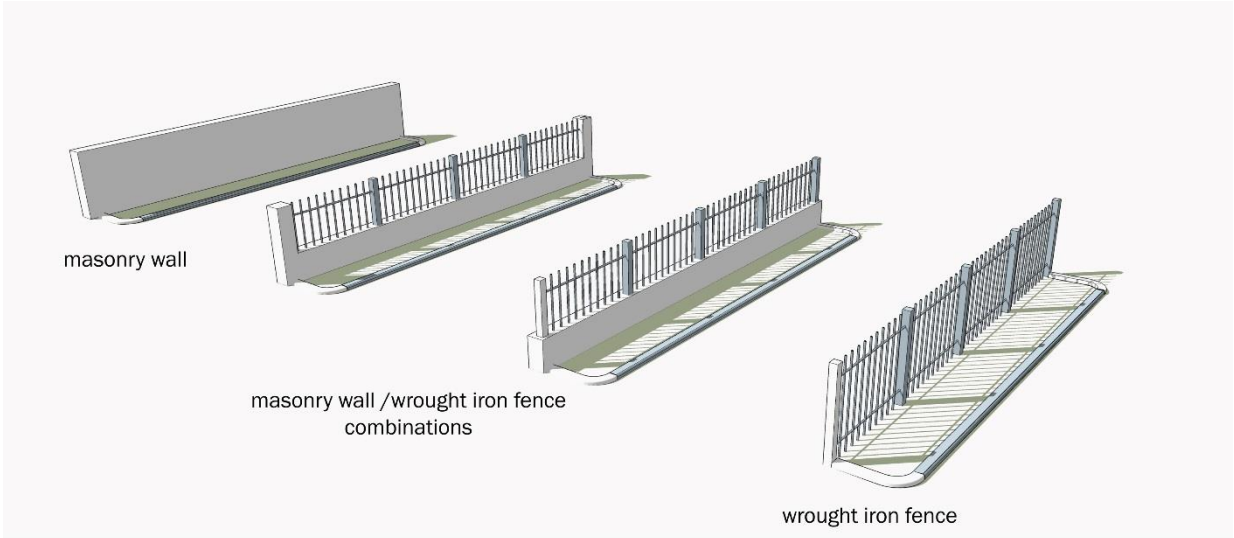


Figure 4.2: Historic Screening Examples

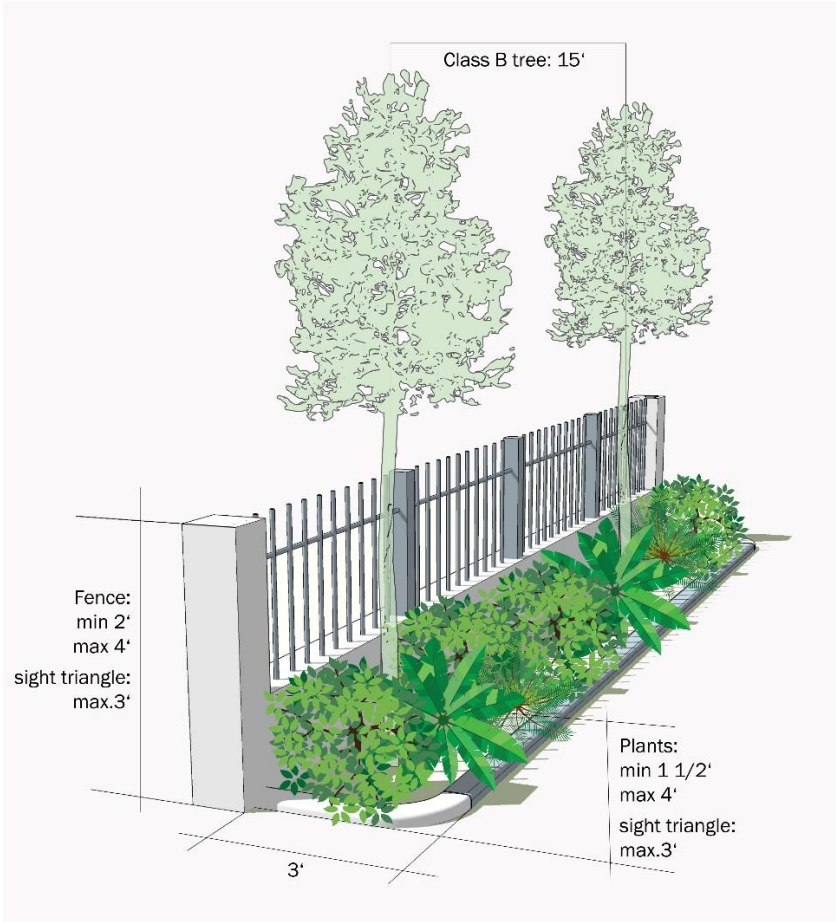


Figure 4.3: Historic District Screening Dimensions

- 4.2. Dumpster and Recycling Containers
 - a. Dumpsters and recycling containers shall be fully enclosed on all sides by a solid fence, a masonry wall, or principal structure wall six (6) feet in height. The enclosure shall be gated.
 - b. The materials used for screening, including the enclosure, shall use similar materials and colors of the principal building.
- 4.3. Utilities
 - a. Above ground public utilities, with the exception of utility poles, shall be screened by a continuous hedge of no less than three (3) feet in height if surrounded by at least three (3) feet of exposed soil or grass. A setback of no less than one and one-half (1.5) feet must be provided around equipment to allow for property operation and maintenance of the equipment.
 - b. On non-residential lots mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened from view at the front property line and the side property line if the property is a corner lot. Exterior screening materials shall be the same as the predominant exterior materials of the principal building.
- 4.4. Outside Storage Areas
 - a. All outside storage of commercial and industrial uses must provide a solid fence made of wood or brick, or masonry wall. The fence must be of such height that all outside storage is screened from public view. No sheet metal fence shall be allowed.

5. Buffer Planting Area

5.1. Buffer planting areas shall be required between different uses and/or districts in accordance with Table 5.1: Buffer Planting Area Requirements.

Table 5.1: BUFFER PLANTING AREA REQUIREMENTS					
ADJACENT LAND USE OR ZONE	PROPOSED DEVELOPMENT				
	RESIDENTIAL	COMMERCIAL, INSTITUTIONAL, & MIXED USE	LIGHT INDUSTRIAL	HEAVY INDUSTRIAL	PARKING LOT
RESIDENTIAL USES & ZONES (R-1, R-1A, R-1MH, R1-TH, R-2, R-3, OTR)	NR	10'	10'	25'	10'
COMMERCIAL , INSTITUTIONAL & MIXED-USE USES & ZONES (BC-1, BC-2, C-1, C-2, GO-1, H-1, MUCD)	10'	NR	10'	25'	NR
LIGHT INDUSTRIAL USE & ZONES M-1	10'	10'	NR	25'	NR
HEAVY INDUSTRIAL USE & ZONE M-2	25'	25'	25'	NR	NR
PARKING LOT	10'	NR	NR	NR	NR
PUBLIC RIGHT OF WAY	NR	NR	NR	15'	NR

- a. The minimum width listed in Table 5.1: Buffer Planting Area Requirements indicates the total required buffer between the properties. Provision of the buffer is the sole responsibility of the applicant for the proposed development.
- b. The buffer zone shall consist of an area not less than the required depth measured at right angles to the property line(s) along the entire length of a contiguous to the property line adjacent to the more restrictive zoning district.
- c. The buffer planting area is required to be provided in conjunction with the issuance of a building permit for new construction on a development site or when there is a change in land use.
- d. Trees in buffers that are healthy and of desirable species from Tables 2.1 and 2.2, and six (6) inches at DBH or greater shall be preserved regardless of the number of said trees. All trees required to be preserved shall be indicated on the landscape and tree preservation plan.
- e. The buffer yard shall be planted as follows:
 - i. The buffer zone shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.
 - ii. Plantings shall be a minimum of four (4) feet in height from the ground during installation and a minimum of six (6) feet mature.
- f. A 100% sight obscured fence or wall of eight (8) feet in height, erected on the border of the buffer yard area which lies inside the lot, may be provided in lieu of planting in the buffer area.
- g. The property owner shall maintain landscaping required by this ordinance in accordance with the following standards:
 - i. Use of Required Landscape Area. No required landscape area shall be used for accessory structures, garbage or trash collection, parking, or any other functional use contrary to the intent and purpose of this article.
 - ii. All required landscaping, excluding trees, shall be watered if needed.
 - iii. Replacement of Dead Materials. The property owner shall replace required plants which die. Replacements shall be installed at the earliest possible time within a planting season, and replacements shall be as shown on the approved landscape plan.

6. Sight Triangle

- a. All fences and buffers shall conform to the Louisiana DOTD standards and be located so as not to cause an obstruction to motorists.
- b. A sight triangle measuring ten (10) feet along the property line by a depth of ten (10) feet shall be established at intersections and access ways. No fences, wall, or plantings over three (3) feet shall be allowed in this sight triangle.

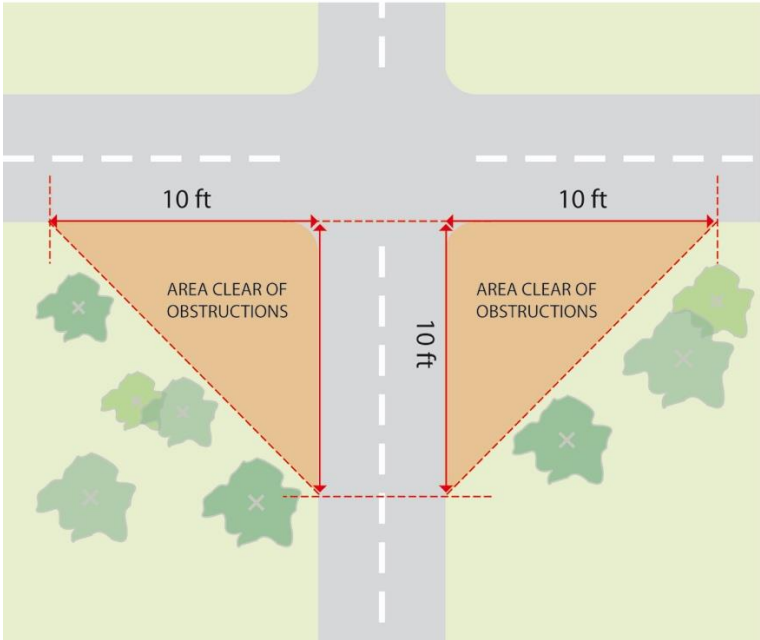
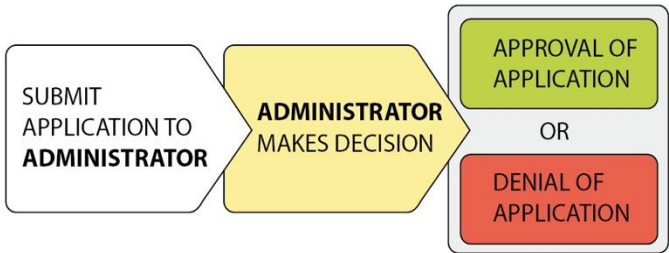


Fig. 6.1: Sight Triangle

7. Permit Procedure



7.1. When Required

- a. A fence permit is required for all fences and walls that are newly erected or replaced after (insert effective date of this ordinance) within the jurisdiction of the City of Gretna, except the following.
 - i. The fence or wall is part of a new development or substantial redevelopment which requires a site plan review as lined out in Sec. 58-70. - Site plan review process of the City of Gretna Code of Ordinances.
 - ii. The fence or wall is part of a new development or redevelopment that requires the submittal of a landscape plan, as regulated in Chapter 58 – Zoning and Subdivisions of the City of Gretna Code of Ordinances.
- b. It shall be unlawful to construct, erect, alter, relocate, or display any fence or wall without first obtaining a fence permit from the Administrator.

7.2. Application and Fees

- a. An application for a Fence Permit shall be filed in writing with the Administrator and contain all information requested by the Administrator.
- b. Applications must be submitted on forms in such numbers as required by the Administrator.
- c. Applications shall be complete and sufficient for processing before the Administrator is required to review the application.
- d. The Administrator may require the submission of information additional to that listed in this section, if determined as necessary to decide whether or not the fence as proposed will comply with all of the requirements of this Fencing and Screening Ordinance.

- e. Applications shall include the following.
 - i. Written consent of the owner of the property, or his agent, granting permission for the construction of the fence or wall;
 - ii. Name, address, and telephone number of the property owner, business owner, and the fence or wall contractor;
 - iii. Address of the lot, or lots, on which the fence or wall is to be erected;
 - iv. Zoning designation of the lot, or lots, on which the fence or wall is to be erected.
 - v. Site plan of the lot, or lots, on which the fence or wall is to be erected, including the following.
 - 1. Exact position of the fence or wall in relation to nearby buildings, structures, and/or property lines;
 - 2. Height of the fence or wall, measured as set forth in Paragraph 3.1: [Lot Fencing](#)
 - 3. Linear feet of the fence or wall
 - 4. Type, material, and color of the fence or wall
 - 5. Any electrical permit required for gates, if applicable.
- f. The Administrator may require that the fence or wall plans be signed by a structural engineer licensed by the State of Louisiana.
- g. Upon the filing of an application for a fence permit, the Administrator shall grant, deny, or reject the permit within forty-five (45) days from the application date. The applicant shall receive notice by hand delivery or by mailing notice to the address on the permit on or before the forty-fifth day.
- h. The fees for permitting shall be established by the City of Gretna Planning and Zoning Commission and can only be amended by the City Council.

7.3. Review Criteria

- a. The proposed fence must meet the requirements of this Screening & Fencing Ordinance
- b. In deciding to approve, approve with conditions, or deny the proposed fence permit, the Administrator shall consider relevant comments of all interested parties.
- c. The decision of the Administrator must be consistent with prior decisions.

7.4. Effect of Denial.

- a. The denial of a fence permit application shall ban the subsequent application for the same fence or wall for a period of twelve (12) months.

7.5. Expiration.

- a. A fence permit shall remain in effect for six (6) months from issuance date, and if the fence or wall is not completed within those six months, the permit shall expire.

Provided that a majority of the City Council of the City of Gretna have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns same, unsigned, to the Clerk during that ten-day period. This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstain:

ADOPTED:

APPROVED:

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

Ordinance presented to the Mayor on

MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

Ordinance returned from the Mayor on

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

Sale of Lots 4 and 5, Square 7 Adj. Properties Ord.

On motion by **Councilman _____** and seconded by **Councilman _____**,
the following ordinance was introduced:

ORDINANCE NO.

**An ordinance approving the sale of Lots 4 and 5, Square 7,
Gretna Subdivision (Parcel No. 9100002019) by the City of
Gretna pursuant to Louisiana Revised Statute 47:2202.**

WHEREAS, there is a general concern for the health, safety and welfare of the citizens
of Gretna; and

WHEREAS, the City of Gretna is desirous of improving economic development and
subsequent quality of life for citizens of Gretna; and

WHEREAS, the City of Gretna seeks to control the number of abandoned properties and
to slow urban blight by placing abandoned properties back into the stream of commerce; and

WHEREAS, La. R. S. 47:2202 provides for a procedure for the City to sell adjudicated
property to adjoining landowners; and

WHEREAS, the below described property has been adjudicated to the City of Gretna
and subsequently acquired by the city pursuant to state law, and

WHEREAS, the City of Gretna now desires approval of the sale of said certain portion
of Lots 4 and 5, Square 7 Gretna, all as more fully set forth below; to the adjacent property
owner pursuant to R.S. 47:2237 and the city's Adjudicated Properties Program for the fair
market value of \$29,000 as determined by qualified appraisal.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative
authority for the City of Gretna, that:

SECTION I. The sale of the below described property to Marc Sancho is hereby
approved for the fair market value of \$29,000 as determined by qualified appraisal, and further
that said sale is being done pursuant to the lot next door provision of state law relative to
adjudicated properties. The legal description of the property in question follows:

**TWO CERTAIN LOTS OF GROUND, together with all the buildings and
improvements thereon and all rights, ways, privileges, servitudes, advantages
and appurtenances thereunto belonging or in anywise appertaining, situated in
the SQUARE NUMBER (7) of the TOWN OF GRETNA (now a part of the City
of Gretna) Parish of Jefferson, State of Louisiana, bounded by First, Second,
Governor Hall and Fried Streets, and designated as LOTS NUMBERS (4) AND
FIVE (5); said lots adjoin and measure sixty-eight feet, two inches (68'2") front
on Governor Hall Street, by a depth of one-hundred six feet (106') nine inches
(9") between equal and parallel lines with use of the alley in rear. The above
described property being part of the property described in Section 7 of
Judgment in Succession of Louis Gelbke, number 595 of the 21st, Judicial
District Court for the Parish of Jefferson, registered in C.O.B. Folio 40, said lots
are described in said judgment as Lots Nine (9) and Ten (10) and changed to
Lots Four (4) and Five (5) in map of Gretna, all as per plan of the property of
the estate of Louis Gelbke by John Gidere, C.E., dated June 8, 1931, recorded in
the Book of Plans 12, Folio 19, Parish of Jefferson, Louisiana.**

SECTION II: Mayor Belinda C. Constant of the City of Gretna be and is hereby
authorized, empowered and directed to sign and execute all acts, plans and documents necessary
and proper in the premises to give full force and effect to this proposed sale and this ordinance
and this council specifically ratifies any prior acts of the Mayor of the City of Gretna to this end.

Provided that a majority of the City Council have voted in favor of this ordinance, this
ordinance shall have the full force and effect of law at midnight on the tenth day following the
Clerk's presentment of the same to the Mayor, in accordance with *Louisiana R.S. 33:406(c)(2)*
unless the Mayor returns the same, unsigned to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas:

Nays:

Absent:

ADOPTED:

APPROVED:

CITY CLERK
CITY OF GRETNA

MAYOR
CITY OF GRETNA

Ordinance presented to the
Mayor on
Mayor on

Ordinance returned from the
Mayor on

CITY CLERK

CITY CLERK

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the sale of the adjudicated property located at 820 Solon Street (Parcel No. 8100005350) by the City of Gretna, LA pursuant to Louisiana Revised Statute 47:2236.

WHEREAS, there is a general concern for the health, safety and welfare of the citizens of Gretna; and

WHEREAS, the City of Gretna is desirous of improving economic development and subsequent quality of life for citizens of Gretna; and

WHEREAS, the City of Gretna seeks to control the number of abandoned properties and to slow urban blight by placing abandoned properties back into the stream of commerce; and

WHEREAS, La. R. S. 47:2236 provides for a procedure for the City to claim ownership of properties that have been adjudicated to the city for more than five years previously; and

WHEREAS, the below described property has been adjudicated to the City of Gretna for more than five years, and

WHEREAS, the City of Gretna acquired said property pursuant to R.S. 47:2236 et seq and now desires approval of the sale of said certain portion of bearing municipal address 820 Solon Street, all as more fully set forth below; to the adjacent property owner pursuant to R.S. 47:2237 and the city's Adjudicated Properties Program for the fair market value of \$44,000 as determined by qualified appraisal.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

SECTION I. The sale of the below described property to Douglas P. Curole is hereby approved for the fair market value of \$44,000 as determined by qualified appraisal, and further that said sale is being done pursuant to the lot next door provision of state law relative to adjudicated properties. The legal description of the property in question follows:

ONE CERTAIN LOT of ground, together with all buildings and improvements thereon, and all of the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, situated in the Parish of Jefferson, State of Louisiana, in the town of McDonoghville, Gretna, in Square No. 131, designated as Lot B-2A, all in accordance with plan of resubdivision of Gilbert, Kelly, & Couturie, Inc. dated August 30, 1978, a print of which is hereinto annexed, approved by City of Gretna, under Ordinance No. 1580, dated September 5, 1978, filed for record in Jefferson Parish under Entry No. 841309 on September 15, 1978, and according to which, said lot is designated as Lot B-2A of Square 131, which square is bounded by Franklin Street, Solon Street, Kepler Street and Hancock Street, and according to which commences at a distance of 135.01 feet from the corner of Franklin Street and Solon Street, same width in the rear, by a depth of 192 feet between equal and parallel lines. Lot B-2A is composed of a portion of former lot B-1 and Lot B-2 in accordance with a plan of resubdivision and ordinance No. 1559 of the City of Gretna, filed for record in the Parish of Jefferson under Entry No. 841-308, and said Lot B-2 is composed of former lots 11, 12, 13, and portion of former lot 5A, which is composed of former lots 18 and 19, of Square 131 McDonoghville.

This act is made and accepted subject to slab encroachment as shown on the aforementioned plan of resubdivision by Gilbert, Kelly, & Couturie, Inc., dated August 30, 1978.

SECTION II: Mayor Belinda C. Constant of the City of Gretna be and is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this proposed sale and this ordinance and this council specifically ratifies any prior acts of the Mayor of the City of Gretna to this end.

Provided that a majority of the City Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with *Louisiana R.S. 33:406(c)(2)* unless the Mayor returns the same, unsigned to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

- Yeas:
- Nays:
- Absent:
- Abstained:

ADOPTED:

APPROVED:

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

Ordinance presented to the
Mayor on

Ordinance returned from the
Mayor on

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

Un-dedication of Front Street (Hamilton & Ocean)

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the un-dedication of a portion of Front Street between Hamilton Street and Ocean Avenue as per the preliminary plan of survey of Dufrene Surveying and Engineering, Inc., dated April 15, 2016 attached hereto as Exhibit “A”.

WHEREAS, Front Street in the City of Gretna between Hamilton Street and Ocean Avenue is a dedicated but undeveloped street; and

WHEREAS, the natural development in and around the surrounding area would make actual paving and use of that section of Front Street impractical and therefore no longer needed for a valid public purpose; and

WHEREAS, LSA R.S. 48:701 provides for the legal mechanism to revoke and set aside dedicated streets.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The dedication of Front Street between Hamilton and Ocean Avenue in Square 10, Village of Brooklyn, Square 11, Brooklyn Bass Subdivision, City of Gretna, as per the preliminary plan of survey of Dufrene Surveying and Engineering, Inc., dated April 15, 2016, is hereby set aside and revoked as no longer needed for a public purpose.

SECTION II: The Mayor of the City of Gretna be and is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstain:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the Mayor on

Ordinance returned from the the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

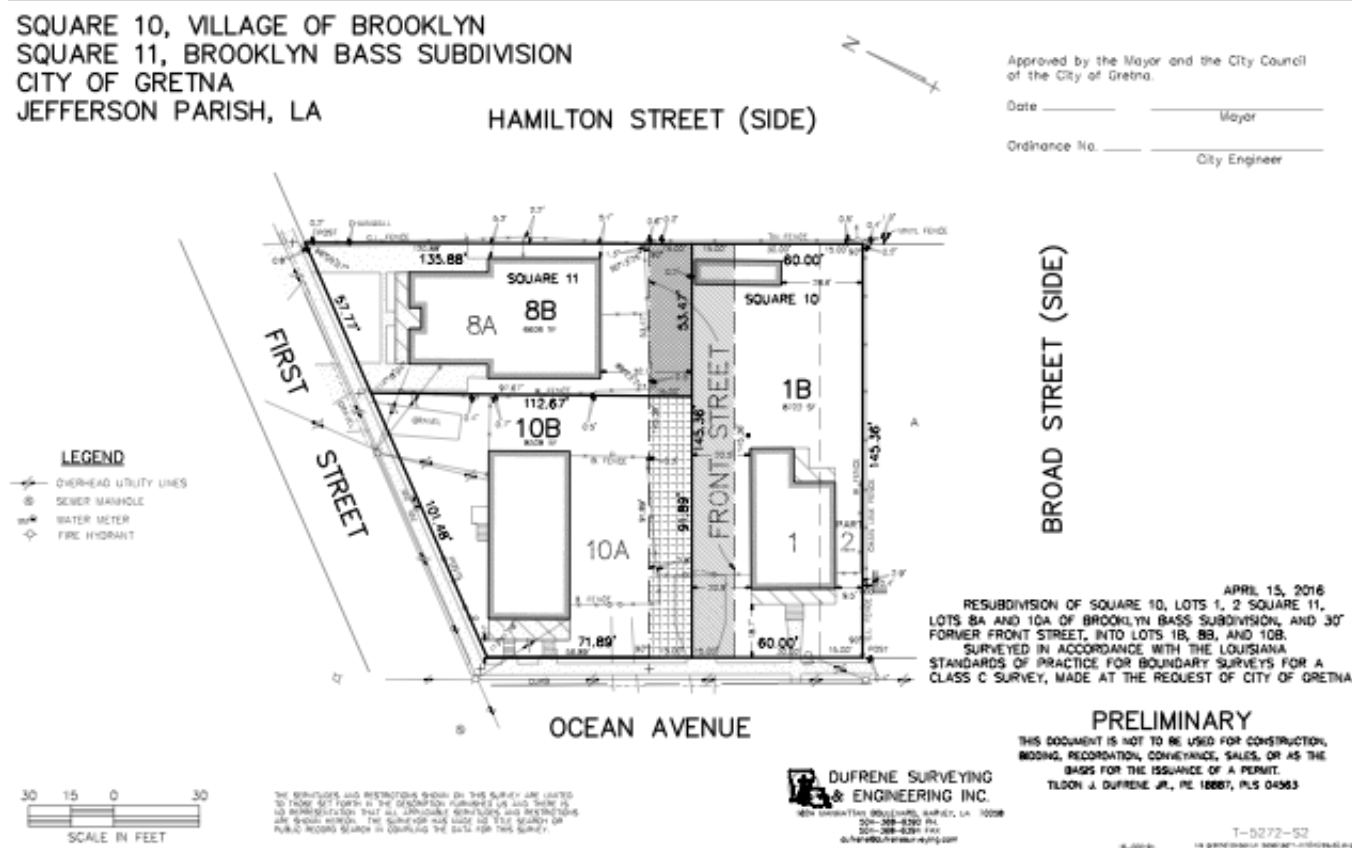
From: Jay Dufrene jay@dufrenesurveying.com
Subject: Ocean Ave
Date: April 3, 2017 at 5:19 PM
To: WJ Leblanc (wjleblanc@aol.com) wjleblanc@aol.com

JD

WJ

This is the plan from April 2016. This is preliminary so let me know if this is the way you want it. If so I will take off the hatching and send final.

Tildon "Jay" Dufrene Jr., PE, PLS
Dufrene Surveying & Engineering Inc.
1624 Manhattan Blvd
Harvey, LA 70058
504-368-6390
504-368-6394 (fax)



On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 1 and 2, Square 10; Lots 8A and 10A, Square 11, and a portion of former Front Street, INTO Lot 1B, Square 10, AND Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per attached plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated April 15, 2016.

WHEREAS, Front Street in the City of Gretna between Hamilton Street and Ocean Avenue was a dedicated and undeveloped street; and

WHEREAS, the City of Gretna has previously declared that portion of Front Street between Hamilton Street and Ocean Avenue is no longer needed for a valid public purpose; and

WHEREAS, the City of Gretna utilized LSA R.S. 48:701 to revoke and set aside the dedication of that portion of Front Street, resulting in the land previously known as Front Street to revert to the present owners of the land contiguous thereto as set forth in attached survey.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The resubdivision of Lots 1 and 2, Square 10; Lots 8A and 10A, Square 11, AND a portion of former Front Street, **INTO** Lot 1B, Square 10, **AND** Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per attached plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated April 15, 2016, be and the same is hereby approved

SECTION II: The Mayor of the City of Gretna be and is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

- Yeas: **Councilmen**
- Nays:
- Absent:
- Abstain:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

SQUARE 10 AND 11
BROOKLYN BASS SUBDIVISION
CITY OF GRETNA
JEFFERSON PARISH, LA

HAMILTON STREET (SIDE)

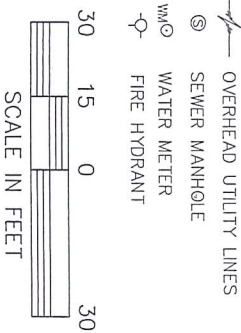
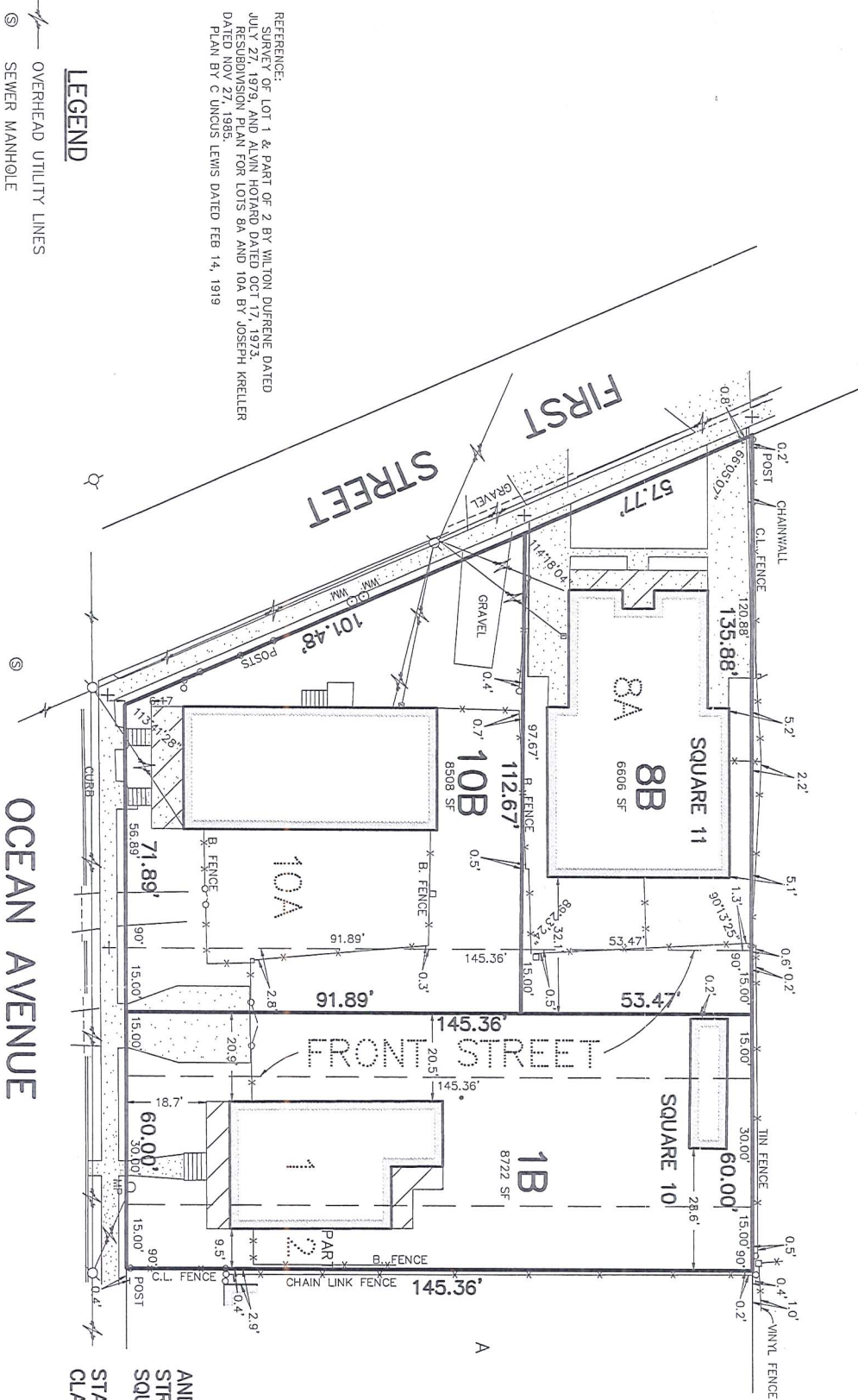


Approved by the Mayor and the City Council
of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____

BROAD STREET (SIDE)



REFERENCE:
SURVEY OF LOT 1 & PART OF 2 BY WILTON DUFRENE DATED
JULY 27, 1979, AND ALVIN HOTARD DATED OCT 17, 1973.
RESUBDIVISION PLAN FOR LOTS 8A AND 10A BY JOSEPH KRELLER
DATED NOV 27, 1985.
PLAN BY C UNCUS LEWIS DATED FEB 14, 1919

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED
TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS
NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS
ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR
PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

DUFRENE SURVEYING
& ENGINEERING INC.
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH.
504-368-6394 FAX
dufrenesurveying.com

APRIL 15, 2016
RESUBDIVISION OF LOTS 1 AND 2 SQUARE 10, LOTS 8A
AND 10A SQUARE 11, AND A PORTION OF FORMER FRONT
STREET, INTO LOT 1B SQUARE 10, AND LOTS 8B, AND 10B
SQUARE 11, BROOKLYN BASS SUBDIVISION.
SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF CITY OF GRETNA.

LOT 1 AND PART OF 2 ARE DESCRIBED AS:
BROOKLYN BASS SUBDIVISION (PLAN)
VILLAGE OF BROOKLYN (TITLE & HOTARD 1973)
BROOKLYN (OHEMECOURT 1890 ATTACHED TO A SALE
BY JOHN BASS SEPT 30, 1890)

TUDON J. DUFRENE, JR.
License No. 045653
PROFESSIONAL
LAND SURVEYOR

16-000194

Is gretna\brooklyn bass\april-15-16\04(resub).dwg

On motion by **Councilman** ____ and seconded by **Councilman** _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution providing for canvassing the returns and declaring the results of the Special Election held on Saturday, April 29, 2017 in the City of Gretna, State of Louisiana, to authorize the renewal of a levy of a special tax of four (4.00) mills on all property subject to taxation in precincts G-1 through G-11 and precinct 211 Parts; and the newly annexed portion of the City of Gretna, State of Louisiana, consisting of precincts G-12 and G-13 Parts, for the object and purpose of ambulance service, within said City.

BE IT RESOLVED by the Mayor and City Council of the City of Gretna, State of Louisiana (the “Governing Authority”), acting as the governing authority of the City of Gretna, State of Louisiana (“the City”), that:

SECTION 1: Canvass. This Governing Authority does now proceed in open and public session to examine the official tabulations of votes cast at the Special Election held in the City of Gretna, on **Saturday, April 29, 2017** to authorize the renewal of a levy of a special tax therein, and said Governing Authority does further proceed to examine and canvass the returns and declare the result of the Special Election.

SECTION 2: Proces Verbal. A Proces Verbal of the canvass of the returns of said election shall be made and a certified copy thereof shall be forwarded to the Secretary of State, Baton Rouge, Louisiana, who shall record the same in his office; another certified copy thereof shall be forwarded to the Clerk of Court and Ex-Officio Recorder of Mortgages in and for the Parish of Jefferson, who shall record the same in the Mortgage Records of said Parish; and another copy thereof shall be retained in the archives of this Governing Authority.

SECTION 3: Promulgation of Election Result. The result of said election shall be promulgated by publication in the manner provided by law.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstained:

ADOPTED: MAY 10, 2017

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

PROCES VERBAL

PROCES VERBAL AND PROMULGATION OF THE CANVASS OF THE VOTES CAST AT THE SPECIAL ELECTION HELD IN THE CITY OF GRETNA, STATE OF LOUISIANA, ON SATURDAY, APRIL 29, 2017.

BE IT KNOWN AND REMEMBERED, that on **Wednesday, the 10th day of May 2017**, at 5:30 p.m., in the Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, Louisiana, the Mayor and City Council of the City of Gretna, State of Louisiana (the “Governing Authority”), acting as the governing authority of the City of Gretna, State of Louisiana (the “City”), and being the authority ordering the special election held therein on Saturday, April 29, 2017, with the following members present:

Councilmen: Wayne A. Rau, Milton L. Crosby, Michael A. Hinyub, Mark K. Miller.

Absent: Jackie J. Berthelot

Did in open and public session, examine the official certified tabulations of votes cast at the said election, and did examine and canvass the returns of the said election, there having been submitted at said election the following proposition to wit:

Shall the City of Gretna, State of Louisiana (the “City”), renew a special tax of four (4.00) mills on all property subject to taxation in precincts G-1 through G-11 in the City of Gretna, State of Louisiana, and establish a new tax on all property subject to taxation in the newly annexed portion of the City of Gretna, State of Louisiana, consisting of precincts G-12 and G-13 Parts (an estimated \$672,093.00 reasonably expected at this time to be collected from the levy of the tax for an entire year), all for a period of ten (10) years, beginning with the year 2018 and ending with the year 2027, both inclusive for the object and purpose of maintenance and operation of providing ambulance service in the City of Gretna, State of Louisiana, a work of permanent public improvement, title to which shall be in the public?

There was found by said count and canvass that the following votes had been cast at the said special election **IN FAVOR OF** and **AGAINST**, respectively, the proposition as herein above set forth at the following polling places, to wit:

POLLING PLACE		VOTE TABULATION	
Precinct	Location	FOR	AGAINST
211 Parts	639 Harvey Volunteer Fire Station #61, Harvey, LA	0	0
G001	General Government Building, 200 Derbigny Street, Gretna, LA	16	7
G002	Gould Volunteer Fire Co. Station #46 501 Anson St., Gretna, LA	21	4
G003	D. Crockett Volunteer Fire Co. Sta. #45, 1136 Lafayette St., Gretna, LA	77	18
G004	Gretna No. 2 Academy, 701 Amelia Street, Gretna, LA	13	3
G005	William S. Hart Elementary School, 2001 Hancock St., Gretna, LA	18	3
G006	William S. Hart Elementary School, 2001 Hancock St., Gretna, LA	19	4
G007	D. Crockett Volunteer Fire Sta. #48, 2000 Hancock St., Gretna, LA	31	10
G008	Frederick Douglas School, 1400 Huey P. Long Avenue, Gretna, LA	22	6
G009	Gould Volunteer Fire Sub-Sta. #47, 700 Gretna Blvd., Gretna, LA	56	18
G010	Thomas Jefferson High School, 17 Gretna Boulevard, Gretna, LA	135	22
G011	Gretna Park Elementary School, 1130 Gretna Blvd., Gretna, LA	41	8
G012	Timberlane Country Club, Timberlane Drive, Gretna, LA	11	3
G013 Parts	Timberlane Country Club, Timberlane Drive, Gretna, LA	15	4
GROUP TOTAL		475	110
ABSENTEE VOTE		85	20
GRAND TOTAL		560	130
MAJORITY FOR		560	

The polling places above specified being the only polling places designated at which to hold the said election, it was therefore shown that there was a total of **560** votes cast **IN FAVOR OF** the Proposition and a total of **130** votes cast **AGAINST** the Proposition, as herein above set forth, and that there was a majority of **560** votes cast **IN FAVOR OF** the Proposition as herein above set forth.

THEREFORE, the Governing Authority did declare and proclaim and does hereby declare and proclaim in an open public session that the Proposition as herein above set forth was duly **CARRIED** by a majority of the votes cast by the qualified electors voting at the said general election held in the City of Gretna on Saturday, April 29, 2017.

THUS DONE AND SIGNED at Gretna, Louisiana, on this, the 11th day of May 2017.

ATTEST:

NORMA J. CRUZ
CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

BELINDA C. CONSTANT
MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

PROMULGATION

I, the undersigned Mayor of the City of Gretna, State of Louisiana, acting as the governing authority of the City of Gretna, State of Louisiana, (the “City”), does hereby declare, proclaim and announce that the proposition submitted at the special election held in the City of Gretna on Saturday, April 29, 2017, was duly **CARRIED** by a majority of the votes cast at the said special election, all as described and set out in the above Proces Verbal.

THUS DONE AND SIGNED at City of Gretna, State of Louisiana on this, the 11th day of May 2017.

**BELINDA C. CONSTANT
MAYOR
CITY OF GRETN
STATE OF LOUISIANA**

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution providing for canvassing the returns and declaring the results of the Special Election held on Saturday, April 29, 2017 to renew the levy of a special tax of eight and five-tenths (8.5) mills on all property subject to taxation in the Pre-Timberlane Annexation area of the City of Gretna, State of Louisiana, that being the same area contained wholly within voting precincts G-1 through G-11, but excluding the area included in voting precincts G-12 and G-13 Parts (the annexed area), for the object and purpose of fire protection in the City of Gretna, State of Louisiana.

BE IT RESOLVED by the Mayor and City Council of the City of Gretna, State of Louisiana (the “Governing Authority”), acting as the governing authority of the City of Gretna, State of Louisiana (“the City”), that:

SECTION 1: Canvass. This Governing Authority does now proceed in open and public session to examine the official tabulations of votes cast at the Special Election held in the City of Gretna, on Saturday, April 29, 2017 to renew the levy of a special tax of eight and five-tenths (8.5) mills on all property subject to taxation in the Pre-Timberlane Annexation area of the City of Gretna, state of Louisiana, that being the same area contained wholly within voting precincts G-1 through G-11, but excluding the area included in voting precincts G-12 and G-13 Parts (the annexed area), for the object and purpose of fire protection in the City of Gretna, State of Louisiana and said Governing Authority does further proceed to examine and canvass the returns and declare the result of the Special Election.

SECTION 2: Proces Verbal. A Process Verbal of the canvass of the returns of said election shall be made and a certified copy thereof shall be forwarded to the Secretary of State, Baton Rouge, Louisiana, who shall record the same in his office; another certified copy thereof shall be forwarded to the Clerk of Court and Ex-Officio Recorder of Mortgages in and for the Parish of Jefferson, who shall record the same in the Mortgage Records of said Parish; and another copy thereof shall be retained in the archives of this Governing Authority.

SECTION 3: Promulgation of Election Result. The result of said election shall be promulgated by publication in the manner provided by law.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstained:

ADOPTED: MAY 10, 2017

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETN
STATE OF LOUISIANA**

PROCES VERBAL

PROCES VERBAL AND PROMULGATION OF THE CANVASS OF THE VOTES CAST AT THE SPECIAL ELECTION HELD IN THE CITY OF GRETNA, STATE OF LOUISIANA, ON SATURDAY, APRIL 29, 2017.

BE IT KNOWN AND REMEMBERED, that on Wednesday, the 10th day of May 2017 at 5:30 p.m., in the Council Chambers at Gretna City Hall, Second Street and Huey P. Long Avenue, Gretna, Louisiana, the Mayor and City Council of the City of Gretna, State of Louisiana (the “Governing Authority”), acting as the governing authority for the City of Gretna, State of Louisiana (the “City”), and being the authority ordering the special election held therein on Saturday, April 29, 2017, with the following members present:

Council Members: Wayne A. Rau, Milton L. Crosby, Joseph A. Marino III, Mark K. Miller and Jackie J. Berthelot.

Absent:

Did in open and public session, examine the official certified tabulations of votes cast at the said election, and did examine and canvass the returns of the said election, there having been submitted at said election the following proposition to wit:

Shall the City of Gretna, State of Louisiana (the “City”), renew the levy of a special tax of eight and five-tenths (8.5) mills on all property subject to taxation in the Pre-Timberlane Annexation area of the City of Gretna, State of Louisiana, that being the same area contained wholly within voting precincts G-1 through G-11, but excluding the area included in voting precincts G-12 and G-13 Parts (the annexed area), (an estimated \$1,289,216.00 reasonably expected at this time to be collected from the levy of the tax for an entire year), for a period of ten (10) years, beginning with the year 2018 and ending with the year 2027, both inclusive for the object and purpose of providing fire protection within the City of Gretna?

There was found by said count and canvass that the following votes had been cast at the said special election **IN FAVOR OF** and **AGAINST**, respectively, the proposition as herein above set forth at the following polling places, to wit:

POLLING PLACES		VOTE TABULATION	
Precinct	Location	FOR	AGAINST
211 Parts	Harvey Vol. Fire Station #61, 639 Maple Street, Harvey, LA	0	0
G001	General Government Bldg., 200 Derbigny Street, Gretna, LA	16	6
G002	General Government Bldg., 200 Derbigny Street, Gretna, LA	21	4
G003	David Crockett Vol. Sta., #45, 1136 Lafayette Street, Gretna, LA	77	17
G004	Gretna No. 2 Academy, 701 Amelia Street, Gretna, LA	10	6
G005	Wm .S. Hart Elementary School, 2001 Hancock Street, Gretna, LA	18	3
G006	Wm. S. Hart Elementary School, 2001 Hancock Street, Gretna, LA	19	4
G007	David Crockett Vol. Fire Sta., #48 2000 Hancock Street, Gretna, LA	31	10
G008	Frederick Douglas School, 1400 Huey P. Long Avenue, Gretna, LA	24	5
G009	Gould Vol. Fire Sub Station #47, 700 Gretna Blvd., Gretna, LA	59	15
G010	Thomas Jefferson High School, 17 Gretna Blvd., Gretna, LA	132	25
G011	Gretna Park Elementary School, 1130 Gretna Blvd., Gretna, LA	43	7
GROUP TOTAL		450	102
ABSENTEE VOTE		74	10
GRAND TOTAL		524	112
MAJORITY FOR		524	

The polling places above specified being the only polling places designated at which to hold the said election, it was therefore shown that there was a total of **524** votes cast **IN FAVOR OF** the Proposition and a total of **112** votes cast **AGAINST** the Proposition, as herein above set forth, and that there was a majority of **524** votes cast **IN FAVOR OF** the Proposition as herein above set forth.

THEREFORE, the Governing Authority did declare and proclaimed and does hereby declare and proclaim in an open public session that the Proposition as herein above set forth was duly **CARRIED** by a majority of the votes cast by the qualified electors voting at the said special election held in the City of Gretna, State of Louisiana on Saturday, April 29, 2017.

THUS DONE AND SIGNED at Gretna, Louisiana, on this, the 11th day of May 2017.

ATTEST:

NORMA J. CRUZ
CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

BELINDA C. CONSTANT
MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

PROMULGATION

I, the undersigned Mayor of the City of Gretna, Parish of Jefferson, State of Louisiana, acting as the governing authority of the City of Gretna, State of Louisiana, (the “City”), does hereby declare, proclaim and announce that the proposition submitted at the special election held in the City of Gretna on Saturday, April 9, 2016, was duly **CARRIED** by a majority of the votes cast at the said special election, all as described and set out in the above Proces Verbal.

THUS DONE AND SIGNED at City of Gretna, Louisiana on this, 11th day of May 2017.

BELINDA C. CONSTANT
MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

On motion by **Councilman _____** and seconded by **Councilman _____**, the following resolution was offered:

RESOLUTION NO. 2017

A resolution directing and authorizing Mayor Belinda C. Constant to enter into a Cooperative Endeavor Agreement on behalf of the City of Gretna, Louisiana with the Gretna Economic Development Association (GEDA) for the 2017 Gretna Heritage Festival to be held September 29th and 30th, 2017 and October 1st, 2017.

WHEREAS, the City of Gretna, in an effort to further the economic development and quality of life of the city, seeks to enter into a Cooperative Endeavor Agreement with the Gretna Economic Development Association (GEDA) for the Gretna Heritage Festival to be held **September 29th and 30th, 2017 and October 1st, 2017**; and

WHEREAS, the City of Gretna appropriated public funding in the Budget for the fiscal year April 1, 2017 to March 31, 2018 that was adopted by Ordinance No. 4769 on March 29, 2017 to pay for police, ambulance and public works overtime for the 2017 Gretna Heritage Festival, and public works supplies needed for production of the 2017 Gretna Heritage Festival; and

WHEREAS, the City of Gretna also provides use of public streets, right-of-ways and public owned properties for the setup, breakdown and production of the festival; and

WHEREAS, the Gretna Economic Development Association (GEDA) seeks to achieve its non-profit mission of furthering economic development and quality of life in the City of Gretna by staging this event; and

WHEREAS, a Cooperative Endeavor Agreement (CEA) will formalize the terms and agreements of each party and a signed and executed cooperative endeavor agreement will be in place before any public funding is expended by the City of Gretna, Louisiana for the 2017 Gretna Heritage Festival.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Gretna, Louisiana, acting as governing authority of said City that:

Mayor Belinda C. Constant is hereby directed and authorized to enter into a Cooperative Endeavor Agreement (CEA) on behalf of the City of Gretna, Louisiana with the Gretna Economic Development Association (GEDA) for the 2017 Gretna Heritage Festival to be held September 29th and 30th, 2017 and October 1st, 2017.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstained:

ADOPTED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by Councilman _____ and seconded by Councilman _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution authorizing Mayor Belinda C. Constant to enter into a Cooperative Agreement for and on behalf of the City of Gretna with the Parish of Jefferson Urban County Qualification for participation in the Community Development Block Grant Program and Home Partnerships Program for Fiscal Years 2018 - 2020, and to abide and conform to all the terms and conditions of the Housing and Community Development Act of 1974, as amended, and the Home Investment Partnership Act of 1990. (Jefferson Parish Council District 1)

WHEREAS, the City of Gretna desires to promote the economic development and quality of life aspects of its citizens; and

WHEREAS, the Housing and Community Development Act of 1974, as amended, and the Home Investment Partnerships Act of 1990, are based upon cooperation agreements between qualified urban counties (parishes) and the municipalities located within said counties (parishes); and

WHEREAS, the City of Gretna, Louisiana under Housing and Community Development Act of 1974, as amended, and the Home Investment Partnerships Act of 1990, has urban county status and desires to enter into a Cooperative Agreement with Jefferson Parish as required by said laws; and

WHEREAS, the City of Gretna as an incorporated area of Jefferson Parish, has elected to remain as part of the Urban County Qualification by adopting this resolution, authorizing the Mayor of the City of Gretna, Louisiana to approve a cooperative endeavor agreement between the City of Gretna and Parish of Jefferson.

NOW, THEREFORE, BE IT RESOLVED, by the City Council, acting as legislative authority for the City of Gretna, that:

Mayor Belinda C. Constant is hereby authorized to enter into a Cooperative Agreement for and on behalf of the City of Gretna with the Parish of Jefferson, Urban County Qualification for participation in the Community Development Block Grant Program and Home Partnerships Program for Fiscal Years 2018 - 2020, and to abide and conform to all the terms and conditions of the Housing and Community Development Act of 1974, as amended and the Home Investment Partnership Act of 1990. (Jefferson Parish Council District 1)

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Abstain:

Absent:

ADOPTED:

**CITY CLERK
CITY OF GRETNA**

**MAYOR
CITY OF GRETNA**

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution authorizing Mayor Belinda C. Constant to execute for and on behalf of the City of Gretna, the annual Maintenance Agreement with the State of Louisiana Department of Transportation and Development (LADOTD), Office of Engineering, for grass cutting (including mowing and litter pickup) of State right-of-ways within the City of Gretna, for the Fiscal Year beginning July 1, 2017 and ending June 30, 2018.

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the State of Louisiana has agreed to reimburse the City of Gretna for the maintenance obligations for grass cutting of State right-of-ways within the City limits.

NOW, THEREFORE, BE IT RESOLVED, by the City Council, acting as legislative authority for the City of Gretna, that:

Mayor Belinda C. Constant is hereby authorized to execute for and on behalf of the City of Gretna the annual Maintenance Agreement with the State of Louisiana Department of Transportation and Development (LADOTD), Office of Engineering for grass cutting (including mowing and litter pickup) of State right-of-ways within the City of Gretna, for the Fiscal Year beginning July 1, 2017 and ending June 30, 2018.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstained:

ADOPTED: MAY 10, 2017

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution authorizing Mayor Belinda C. Constant to execute for and on behalf of the City of Gretna, the annual Maintenance Agreement with the State of Louisiana Department of Transportation and Development (LADOTD), Office of Engineering, for grass cutting (including mowing and litter pickup) of State right-of-ways within the City of Gretna, for the Fiscal Year beginning July 1, 2017 and ending June 30, 2018.

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the State of Louisiana has agreed to reimburse the City of Gretna for the maintenance obligations for grass cutting of State right-of-ways within the City limits.

NOW, THEREFORE, BE IT RESOLVED, by the City Council, acting as legislative authority for the City of Gretna, that:

Mayor Belinda C. Constant is hereby authorized to execute for and on behalf of the City of Gretna the annual Maintenance Agreement with the State of Louisiana Department of Transportation and Development (LADOTD), Office of Engineering for grass cutting (including mowing and litter pickup) of State right-of-ways within the City of Gretna, for the Fiscal Year beginning July 1, 2017 and ending June 30, 2018.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstained:

ADOPTED: MAY 10, 2017

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by **Councilman _____** and seconded by **Councilman _____**, the following resolution was offered:

RESOLUTION NO. 2017-

A resolution authorizing and directing Mayor Belinda C. Constant to ratify Amendment No. 3, which extends the term for an additional one (1) year; adds two (2) full time officers and increases the total compensation amount for security personnel to account for the two additional full time officers, to the Cooperative Endeavor Agreement with the Parish of Jefferson (Contract No. 55-11758) to provide security for the Jefferson Parish General Government Building, the 24th Judicial Court (Thomas F. Donelon Building), the Central Plant, the Jefferson Parish Parking Garage and the Liberto Building (802 2nd Street) as well as periodic security checks and 24/7 monitoring of the Jefferson Parish camera/alarm system for the Department of General Services.

WHEREAS, the City of Gretna wishes to ratify amendment No. 3 to the Cooperative Endeavor Agreement with the Parish of Jefferson which extends the term for an additional one (1) year adds two (2) full time officers and increases the total compensation amount for security personnel to account for the two additional full time officers, to the Cooperative Endeavor Agreement with the Parish of Jefferson (Contract No. 55-11758) to provide security for the Jefferson Parish General Government Building, the 24th Judicial Court (Thomas F. Donelon Building), the Central Plant, the Jefferson Parish Parking Garage and the Liberto Building as well as periodic security checks and 24/7 monitoring of the Jefferson Parish camera/alarm system for the Department of General Services for a cost not to exceed One Million Two Hundred Thousand (\$1,200,000.00) Dollars per year; and

WHEREAS, the City of Gretna and the Parish of Jefferson wish to amend the Agreement to extend the term for an additional one (1) year, beginning April 19, 2017 and ending April 18, 2018; and add two (2) full time officers, and increase the total compensation amount for security personnel to account for the two additional full time officers; and

WHEREAS, the residents of the City of Gretna and the Parish of Jefferson will benefit from the efforts of the Cooperative Endeavor Agreement of both parties working together.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Gretna, Louisiana, acting as governing authority of said City that:

Mayor Belinda C. Constant is hereby authorized and directed to ratify Amendment No. 3, which extends the term for an additional one (1) year; adds two (2) full time officers and increases the total compensation amount for security personnel to account for the two additional full time officers, to the Cooperative Endeavor Agreement with the Parish of Jefferson (Contract No. 55-11758) to provide security for the Jefferson Parish General Government Building, the 24th Judicial Court (Thomas F. Donelon Building), the Central Plant, the Jefferson Parish Parking Garage and the Liberto Building (802 2nd Street) as well as periodic security checks and 24/7 monitoring of the Jefferson Parish camera/alarm system for the Department of General Services.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

ADOPTED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lot 4A, Square 3, Village of Gretna Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated February 8, 2017. Municipal Address: 214-216 Lafayette Street

WHEREAS, James J. Buras is the owner of Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owner has resubdivided Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 4A, Square 3, Village of Gretna Subdivision, as per the plan of survey and resubdivision Dufrene Surveying & Engineering Inc., dated February 8, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 4 and 5, Square 3, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 4A, Square 3, Village of Gretna Subdivision, as per the plan of survey and resubdivision Dufrene Surveying & Engineering Inc., dated February 8, 2017, be and the same is hereby approved.

SECTION II: The Mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the
Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

SQUARE 3 VILLAGE OF GRETNA CITY OF GRETNA JEFFERSON PARISH, LA.

Approved by the Mayor and the City Council
of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____

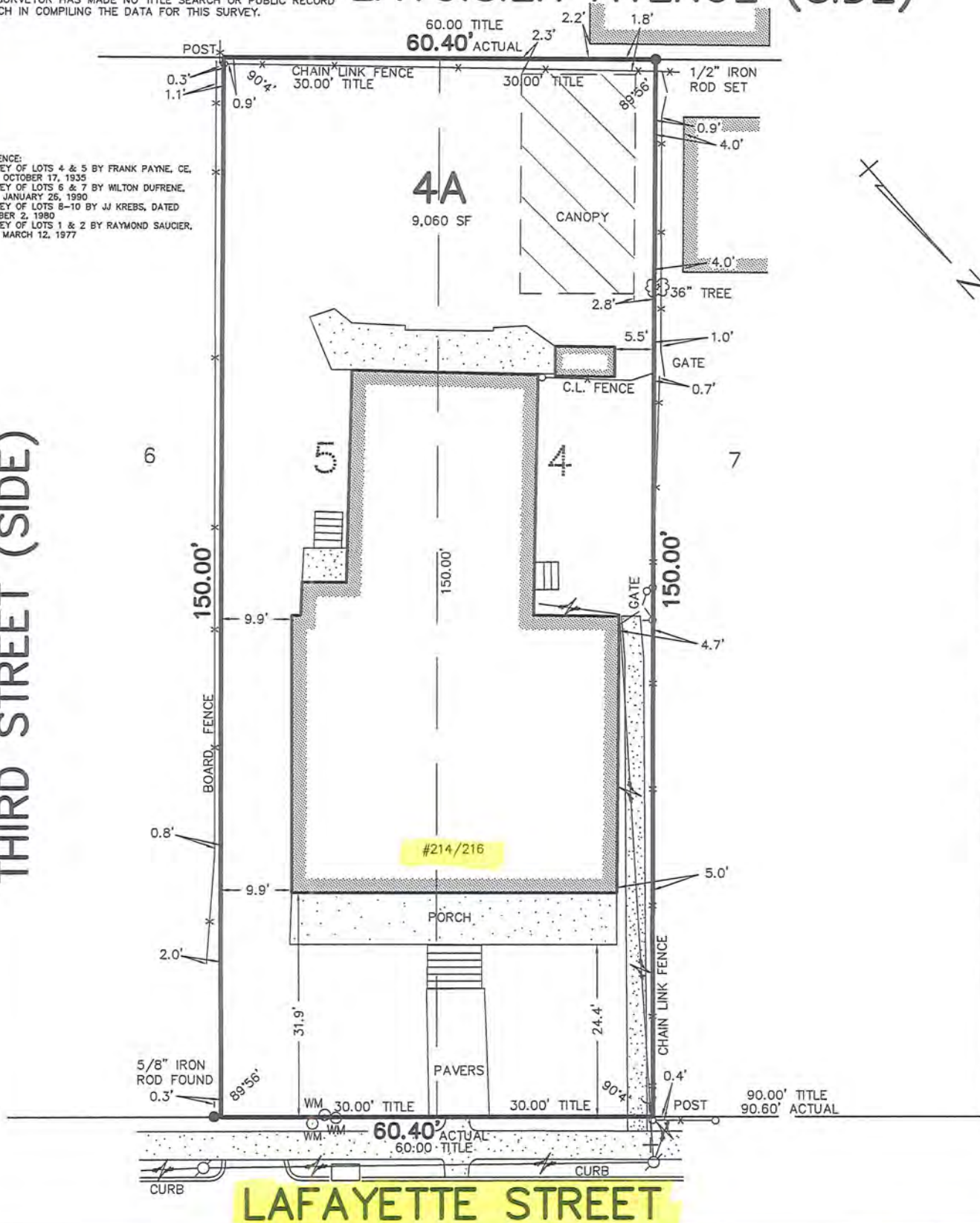
THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY
ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION
FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL
APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON.
THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD
SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

LAVOISIER AVENUE (SIDE)

REFERENCE:
-SURVEY OF LOTS 4 & 5 BY FRANK PAYNE, CE,
DATED OCTOBER 17, 1935
-SURVEY OF LOTS 6 & 7 BY WILTON DUFRENE,
DATED JANUARY 26, 1990
-SURVEY OF LOTS 8-10 BY JJ KREBS, DATED
DECEMBER 2, 1980
-SURVEY OF LOTS 1 & 2 BY RAYMOND SAUCIER,
DATED MARCH 12, 1977

THIRD STREET (SIDE)

SECOND STREET



FEBRUARY 8, 2017

RESUBDIVISION OF LOTS 4 AND 5
INTO LOT 4A

SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF
JAMES BURAS, SR.



**DUFRENE SURVEYING
& ENGINEERING INC.**

1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com



JOB# 17-000071
SCALE: 1"= 20'

[Signature]
ks gretna\villege of gretna\sq3-It4.5.dwg



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: April 12, 2017

Adopted on: _____

District No. 2, Co. Ninjab

Fee: \$300.00 (Non-Refundable)

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 3/15/17

Address of property to be resubdivided: 214/216 Lafayette St. 70053

From: Current
Legal Description: 4 & 5 Square 3 Village of Gretna

To: Proposed
Legal Description: 4A Square 3 Village of Gretna

Applicant's Name: James J. Buras Phone No. 504-367-9395

Applicant(s) E-Mail: ebburas@bellsouth.net

Address: 102 Leighton St., Gretna, LA 70053

Owner of Record: James J. Buras Phone No. 504-367-9395

Owner's E-Mail: ebburas@bellsouth.net

Address: 102 Leighton St., Gretna, LA 70053

Give brief explanation reason for Resubdivision: Renovation to single family home
Currently situated on 2 lots.

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED (Yes or No)	Date	DATE COMPLETED	DATE NOT COMPLETED
Plot Plan / Survey - Current				
Notarized Affidavit				
Registered Letters (If applicable)				
Posted Area				
City Engineer Review				
Ordinance drafted				

APPROVED FOR PRESENTATION

Angela M. Russell
Planning & Zoning Official

3/20/17
Date reviewed and approved

REMARKS:

Combine 2
lots into 1 lot of
record

I AFFIRM THAT THE INFORMATION GIVEN IN
THIS APPLICATION TO BE TRUE & CORRECT
(PLEASE SIGN AND DATE BELOW)

James J. Buras
Signature of Applicant/Owner of Record

JAMES J. BURAS

PRINT YOUR NAME

Owner

Title

MARCH 16 2017

Dated

NOTE: Please read & follow instruction sheet attached.

BURK-KLEINPETER, INC.

To: Council Members - City of Gretna
From: David Boyd, P.E.
Subject: **Resubdivision Ordinance Report**
214-216 Lafayette St.
Date: May 10, 2017

This re-subdivision request was introduced at the April 12, 2017 Mayor and Council Regular Meeting. We have reviewed the subject re-subdivision request and offer the following observations:

Existing Conditions

The existing properties consist of Lots 4 & 5 Square 3 Village of Gretna Subdivision. The property is defined by 2nd St. to the North, Lavoisier St. to the West, 3rd St. to the South, Lafayette St. to the East.

Proposed Re-subdivision

It is proposed to combine the property from Lots 4 & 5 Square 3 Village of Gretna Subdivision into Lot 4A Square 3 Village of Gretna Subdivision. The owner would like to renovate a single-family home located on 2 lots.

Comments

The re-subdivision of the lots is requested to convert the two lots into 1 lot zoned C-1 Neighborhood Commercial District. The re-subdivision meets all the requirements of both R-1 and C-1 zoning. The 4125 square foot minimum (9060 square feet) as well as side, front and rear yard requirements. The re-subdivision meets the requirements set forth in the zoning ordinance and is recommended for approval.

City of Gretna

Appeal Request

Re: Historic District Commission

Request date: 4-3-17

1112 Monroe Street
Address of Property

Jack Bradley
Name of Applicant

Contact Phone: 504-495-5399 E-mail address: Jack1582001@yahoo.com

Per the Gretna Code of Ordinances, *Sec. 32-11.- Appeals.*

Sec. 32-11. - Appeals.

- (a) Any person or persons aggrieved by any decision, act or proceedings of the historic district commission shall have a right to an appeal before the city council for reversal or modification thereof; such appeal shall be lodged with the city clerk, and the mayor, or presiding officer of the city council, shall have the right to stay all further action until the city council shall have had an opportunity to rule thereon. Any such appeal shall be taken within five days, exclusive of holidays and weekends from date of the written decision, and the city council may consider said appeal at its next general or special meeting, but, in any event, not more than 45 days thereafter. The city council may affirm a decision of the historic district commission by majority vote of all its members. The city council shall have the right to reverse, change or modify any decision of the historic district commission by majority vote of all its members.

I hereby appeal to the Gretna City Council the decision of the Historic District Commission on:

4/3/17: Denial to install driveway strips and Aprons.

Jack P Bradley

Signature of appellant

Jack P Bradley
(PLEASE PRINT NAME)

Norma J. Cruz
City Clerk

Appeal request
received on: 4-3-17
Date

Appeal hearing
Scheduled for: 4-12-17 Council/Regular Meeting



CITY OF GRETNA
HISTORIC DISTRICT COMMISSION

DENIAL

1112 Monroe Street

PROPERTY ADDRESS

Jack Bradley

NAME OF APPLICANT

Work Denied: Installation of driveway strips
and aprons.


Signature of HDC Chairperson

4/3/17
Date

City Ordinance Sec. 52-11 Appeals

Any person or persons aggrieved by any decision, act or proceedings of the Historic District Commission shall have a right to an appeal before the City Council for reversal or modification thereof; such appeal shall be lodged with the City Clerk, and the Mayor, or presiding officer of the City Council, shall have the right to stay all further action until the City Council shall have had an opportunity to rule thereon. Any such appeal shall be taken within 5 days, exclusive of holidays and weekends from date of the written decision, and the City Council may consider said appeal at its next general or special meeting, but, in any event, not more than forty-five days thereafter. The City Council may affirm a decision of the Historic District Commission by majority vote of all its members. The City Council shall have the right to reverse, change or modify any decision of the Historic District Commission by majority vote of all its members.

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com



COD-17-0001

BURK-KLEINPETER, INC.

To: Hon. Belinda Constant, Mayor; Honorable Council Members Rau, Crosby, Hinyub, Miller and Berthelot

From: David Boyd P.E., Burk-Kleinpeter, Inc.

Subject: Monthly Project Status Report

Date: May 10, 2017

Gretna Police Headquarters Renovation Phase III

Awarded to Stallings Construction. Assembling signed contract documents.

Garden Park Subdivision Street Signage

Bid opening Wednesday, May 17, 2017 9:45 am.

Gretna Wastewater Treatment Plant Digester Roof Removal and Sludge Disposal

1151.73 tons of sludge has been removed. The roof has been removed. Final remediation work is underway.

Precipitator #2 Rehabilitation, replacing the metal basin with fiberglass

Contract documents have been assembled. Awaiting the signatures from the ARD contractor. Once these signatures have been received, the City of Gretna will sign and a pre-construction meeting will be scheduled.

Stumpf Boulevard Sewer Force Main

Contract documents have been assembled and sent out to Fleming Construction for signatures. Once these signatures have been received, the City of Gretna will sign and a pre-construction meeting will be scheduled.

4th Street Extension

Site work is underway.

Gretna Bike Path

We are awaiting any final comments from DOTD.

Stumpf Blvd. at West Bank Expressway Road Failure-Drainage Project

Cost estimates to close in the canal and divert a portion of the flow directly to Whitney Canal via Dupas Street, Friedrichs Road or Hawkins Street have been prepared. Currently the city is in litigation with Command Construction and a permanent solution (filling in the canal with box culverts) will be presented at an upcoming meeting.

Downtown Gretna Lighting

Meetings have been held with the Mayor and Councilman Hinyub to discuss phasing in the new lighting along Huey P. Long Avenue. The lighting project will take place in 3 phases. Phase 1 will use the previously bought light poles and Luminaires from 6th Street to Third St. The farmer's market area may require a different type of lighting i.e. canopy lights but they will be in the same spirit as the pre-bought lighting. Phase 2 will be between 3rd Street and First Street. We will use the pre-bought lighting where possible but additional arched lighting may be required due to the width of the street in this area. The arched lighting will be in the same spirit as the pre-bought lighting. The plan is to roll this lighting work into the Downtown Drainage Project when funding becomes available. This lighting will be a separate pay item so as not to intermingle state funding for the Downtown Drainage. The final phase will be from 11th Street to the West Bank Expressway.

Gretna Kiosks at City Hall

Costs to design the Kiosk installation have been submitted to H3HC. Total project costs are in the process of being submitted to the City.

25th Street Canal Project Grant Writing-Engineering Design Request for Proposals

Project was awarded to Arcadis-BKI on March 29, 2017.

City of Gretna
Department of Inspection and Code
Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Designation	Issued Date	Permit Number	Contractor	Zone	Site Address	Estimated Value	Description	Paid
Commercial: New Construction (Com)	4/20/2017	2017-1417	WALTCO GENERAL CONTRACTORS L.L.C.	C-1 (Neighborhood Commercial District)	1336 Stumpf Blvd	\$300,000.00	Construction of a new automatic carwash as per code and requirements. Portion of equipment room shall be elevated to the ABFE and the auto carwash area may be at grade but shall always remain open on the two sides as indicated in plans for perpetuity and shall be certified to be flood- proofed by FEMA standards and criteria. You are required to have City of Gretna approved plans on site at the time of all inspections. All trades shall file under this permit. You are required to have permit on site throughout completion of construction and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$1,525.00

City of Gretna
Department of Inspection and Code
 Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Commercial: New Construction (Com)	4/28/2017	2017-1387	Barriere Construction - Andrew Keightley		331 Richard Street U	\$30,000.00	Work Office/Construction Trailer - LA18 - 4th Street Extension - Richard Street to Burmaster - This is an installation of a temporary work trailer to be placed at this location while the 4th Street extension is under way and shall be removed upon completion of the 4th street extension. 4th Street extension is a City Project. Permission to use this location at this address and site was granted by the owner with the Contractor.		
						\$330,000.00		\$1,525.00	
Residential: Accessory Building (Res)	4/17/2017	2017-1344	TOP QUALITY CONSTRUCTION, INC.	R-1 (Single Family Residenital District)	22 Colony Rd	\$50,000.00	Installation of a 20x25 cabana/accessory structure with 6'-8"x11'4" (4' deep) in ground pool as per code and requirements. All trades shall file under this permit number. You are required to post permit in window visible from street, print and have on site City of Gretna approved plans, and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$275.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Residential: Accessory Building (Res)	4/13/2017	2017-1424	Complete Construction - Chris Cuccia	R-1 (Single Family Residenital District)	1104 9th street	\$30,000.00	Installation of a 596 sq.ft. (under City limit of 600sq.ft) accessory structure to a primary single family structure (R-1) bearing the address of 1109 10th street. Accessory structure will have plumbing and electricity and a garage (garage shall be flood vented as per requirements). Accessory structure SHALL NOT INCLUDE A STOVE/OVEN and SHALL NOT be utilized as a secondary living space. Awaiting HDC review April 3, 2017. All trades shall file under this permit number. You are required to post Certificate and Permit in window visible from street, print City of Gretna Approved plan (plans are still being reviewed) on site at the time of inspections and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org. Adding Panel on an Accessory Structure installing a new A/C system with electric heat	\$175.00
						\$80,000.00		\$450.00

City of Gretna
Department of Inspection and Code
Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

**Residential: New Single
Family Residence (Res)**

4/5/2017	2016-990	LNL ENTERPRISES, INC. - Leonard Lott	R-1 (Single Family Residenital District)	722 16th st	\$90,000.00	Single Family New Construction, slab on grade, cement board siding, hip roof residence as per code requirements and ABFE. Shall request all inspections through the mygovernmentonline. Please have the City of Gretna Approved Plans at the time of inspections. Install new 200amp electrical service ,circuits ,receptacles and lighting Install water heater,electric furnace Install 2.5 ton a/c system Install new sewer and potable water systems for 2 baths kitchen sink,dishwasher and clothes washer	\$475.00	
4/5/2017	2016-991	LNL ENTERPRISES, INC. - Leonard Lott	R-1 (Single Family Residenital District)	724 16th St	\$90,000.00	Single Family NEw Cons- truction, slab on grade, ce- ment board siding, hip roof residence as per code requi- rements and ABFE. Shall request all inspections through the mygovernmentonline. Please have the City of Gretna Approved Plans at the time of inspections. New electrical service Install electric water heater,electric furnace,and oven Install 2.5 ton a/c system Install new sewer and potable water syst- ems for 2 bath, kitchen sink, dishwasher, clothes washer.	\$475.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

4/5/2017	2016-992	LNL ENTERPRISES, INC. - Leonard Lott	R-1 (Single Family Residenital District)	726 16th St	\$90,000.00	Single Family New Construction, slab on grade, cement board siding, hip roof residence as per code requirements and ABFE. Shall request all inspections through the mygovernmentonline. Please have the City of Gretna Approved Plans at the time of inspections. Install new 200 amp electrical service,circuits,receptacles ,and lighting Install new electric water heater,oven and furnace Install new 2 ton A/C system Install new sewer and potable water system for 2 bath,kitchen sink,dishwasher,and clothes washer	\$475.00	
5/2/2017	2017-1462	SILVA CONSTRUCTION, LLC	R-1 (Single Family Residenital District)	329 12th St.	\$110,000.00	New construction of a single-family residence dwelling as per code, requirements and Advisory Base Flood Regulations (ABFE). You are required to print and have this permit and the City of Gretna Approved plans on site at all times	\$575.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

						\$380,000.00		\$2,000.00	
Residential: Renovations (Res)	4/17/2017	2017-1450	Plaisance Builders, Inc. - Maria Plaisance	R-1 (Single Family Residenital District)	10 Mason St.	\$35,404.00	Interior renovations as per code and requirements. Only framing layout change is at linen closet at bathroom Exterior renovations to include cement board and stucco as per code and requirements. Cost of improvements are proven to be under 50% of the Fair Market Value. All trades shall file under this permit number. You are required to print and post permit and place in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org . partial rewire and service increase	\$200.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Residential: Renovations (Res)	4/19/2017	2017-1481	RENOVATIONS PLUS, INC.	R-1 (Single Family Residenital District)	1114 Amelia St	\$21,340.00	Bathroom renovation and paneling removal to be replaced with sheetrock at dining & living rooms, new back door as per code and requirements. Address is in the Historic District; however, door replacement does not appear to be visible from street. You are required to print and post permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org . Bathroom Renovation, add two (2) new circuits replacing tub with shower	\$130.00	
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City of Gretna
Department of Inspection and Code

Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Residential: Renovations (Res)	5/2/2017	2017-1358	Christina Benn	GO-1 (General Office District)	1133 Monroe Street	\$44,000.00	Additions to existing layout and installation of whole new roof system over extended layout with new columns, renovations, new window and doors to a single family dwelling as per code and requirements. Post certificate and permit in window visible from street. City of Gretna approved plans shall be printed and on site at the time of all inspections. All trades shall file under this permit. Request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$245.00	

City of Gretna
Department of Inspection and Code

Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Residential: Renovations (Res)	5/2/2017	2017-1414	DIMACCO BUILDERS, L.L.C.	R-1 (Single Family Residenital District)	417 Fairfield Ave	\$110,000.00	No Exterior work, interior work only. Remove and Replace bathroom cabinets, Install a closet system in the master Closet, Remove and Replace Plumbing fixtures, Remove and Replace Electrical fixtures, Remove and Replace ceiling fans, Remove and Replace ceramic flooring in the bathrooms, Lay Tile floors in three bedrooms, Remove and Replace wood floor in the Master bedroom, Remove and Replace the existing intercom system, Remove wall paper, float, texture, and paint. Paint ceilings, walls, and trim. Cost of Improvements are under FEMA regulations of 50%. All trades shall file under this permit number. You are required to print and post permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$575.00	
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City of Gretna
Department of Inspection and Code

Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Residential: Renovations (Res)	5/2/2017	2017-1425	MORSE HOMES, INC.	R-2 (Two-Family Residential District)	1113 10th Street	\$60,000.00	Renovations of interior and exterior to existing structure with porch addition as per code and requirements. Elevation Certificate indicates the structure is at the required ABFE. Received approval at the April 3, 2017 meeting. All trades shall file under this permit number. You are required to have City of Gretna Approved plans on site at the time of all inspections. You are required to post Certificate and Permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$325.00	
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City of Gretna
Department of Inspection and Code

Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

Residential: Renovations (Res)	4/24/2017	2017-1479	HERKES RENOVATIONS, LLC	R-2 (Two- Family Residential District)	2311 CLAIRE AVE	\$35,300.00	Interior and Exterior renovation and repair due to smoke and fire damage as per code and requirements. Only framing layout change is a hall closet to accommodate HVAC chase and installation of two new windows. Cost of improvements are under FEMA regulations of 50% of the FMV lest the land. ALL TRADES ARE REQUIRED TO FILE UNDER THIS PERMIT NUMBER. You are required to print and post permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonlin e.org.	\$200.00	
						\$306,044.00		\$1,675.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 4/4/2017 12:00:00 AM thru 5/4/2017 12:00:00 AM

esidential: Repairs (Res)	4/26/2017	2017-1487	Hyman Bartolo Contractors - Hyman Bartolo		7 Colony	\$25,857.00	Remodel kitchen, repair termite damage around door and windows, replace windows to match existing, install new flooring, plumbing, cabinets as per code and requirements. You are required to print and post permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonlin e.org.	\$155.00	
	4/28/2017	2017-1518	N/A	R-1 (Single Family Residenital District)	428 9th Street	\$28,000.00	Repairs from Leveling House (drywall, tile, and swapping kitchen cabinets) as per code and requirements. You are required to print and post permit visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonlin e.org.	\$165.00	
						\$53,857.00		\$320.00	
Total						\$1,149,901.00		\$5,970.00	



MEMO

TO: Mayor Belinda C. Constant Council Members

FROM: Danny Lasyone

DATE: May 10, 2017

RE: Status reports - Citywide maintenance and public improvements projects

District 1

- Neutral ground maintenance (ongoing)
- City Sweeper cleaning streets district wide
- Blew out drain lines and cleaned out drain boxes with vector truck at 400 block of Ocean Avenue, 8th Street and Richard Street, 1017 Rupp Street, 1704 Hancock Street, Cook Street & O'Connor Street and 809 Franklin Street
- Asphalt repairs completed at Rupp Street and Hancock Street
- Hancock Street Canal Drainage Project competed
- Repaired the 23" x 49" drain box at 1116 Cook Street

District 2

- Blew out drain lines and cleaned out drain boxes with vector truck at 2nd Street & Lafayette Street, 5th Street & Huey P. Long Avenue, 816 Gulf Drive, 1121 Newton Street and 800 block of Weyer Street
- Neutral ground maintenance (ongoing)
- Sweep walking path on levee (ongoing)
- City Sweeper cleaning streets district wide
- Cleaning catch basins district wide (ongoing)
- Cut and trimmed Huey P. Long Avenue
- Asphalt repairs completed at 201 Ocean Avenue
- Repaired 4 ft. of 15" drain pipe and a 24" x 24" drain box at 908 Weyer Street

District 3

- Blew out drain lines and cleaned drain boxes with vector truck at 2420 Stafford Street, 2700 block of Huey P. Long Ave., Hero Dr. from 21st Street to 23rd Street, & 23rd Street & Newton Street
- City Sweeper cleaning streets district wide
- Cut and trimmed grass at Belleview Park, City Park and the observatory
- Grocery carts picked up weekly district wide
- Cleaning catch basins district wide (ongoing)
- Asphalt repairs completed at 23rd Street and Huey P. Long Avenue
- Removed debris from the 25th Street Canal
- Repaired the 24" x 36" drain box at 816 24th Street

District 4

- Blew out drain lines and cleaned drain boxes with vector truck at
- Grocery carts picked up weekly district wide
- City sweeper cleaning streets district wide
- Neutral ground maintenance (ongoing)
- Cleaning catch basins district wide (ongoing)
- Trimmed bamboo on Timberlane Drive (ongoing)

Citywide

- Sign maintenance
- Drain maintenance
- Grass cutting
- WPA ditch cleaning in Districts 1 and 2 with city crews
- Pickup of grocery carts weekly

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION MEETING
Monday, May 1, 2017

**TO: Mayor Belinda Constant, Council Members Wayne Rau, Milton Crosby,
Mike Hinyub, Mark Miller and Jackie Berthelot**

**From: Z. Dieterich, Chairman
Danika Gorrondonna, City Building Official**

**Members Present: Historian: Mary Lou Eichhorn
At Large: Virginia Gaudet
Architect: Paula Peer
District 1: Rudy Smith
District 2: Zach Dietrich
District 3: Peter Spera
District 4: Dan Rosenthal**

Members Absent: None

Consent Agenda Applications

412 Lavoisier Street - COA-17-0039 Issued.

Applicant: Kelly Steele For: Awning on rear of residence.

213 Wiedman Street - COA-17-0040 Issued.

Applicant: Michael Hinyub For: Iron handrails for residence.

Consent Agenda Approved 6-0.

Applications for Discussion

1321 – 1323 Franklin Street - COA-17-0041 Issued.

Applicant: Starletis Goodwin For: Iron handrails for residence.

Approved 6-0

318 Newton Street - COA-17-0042 Issued.

Applicant: Keenon LeBlanc For: Removal of vinyl siding to expose wood. Replacement of existing porch and steps terracotta tile with brick.

Approved 7-0.

Further preliminary conference to discuss handrails for residence and appropriate placement of same.

500 9th Street - COA-17-0043 Issued.

Applicant: Rattanasak Chotikarnkul For: Renovations to existing mixed-use structure for restaurant. Brief discussion concerning removal of windows along side alley and placement of exterior sign.

Approved 7-0.

1024 – 1026 6th Street - COA-17-0044 Issued.

Applicant: Bilal Zughayer For: Renovations to existing structure including removal of vinyl siding and replacing with Hardi-board and installation of two front windows. Brief discussion regarding window height needing to match door heights, cornices and shutters.

Approved 7-0.

1031 10th Street - COA-17-0045 Issued.

Applicant: Donna Accardo For: Installation of new windows, door and garage door to existing residence.

Approved 6-0. Ms. Peer Recused.

538 Weyer Street - COA-17-0046 Issued.

Applicant: Colin Van Wingen For: Exterior renovations to existing residence including rear addition, replacement of side windows and awnings. Brief discussion regarding appropriate style of the existing altered structure and awnings on same.

Approved 6-0. Mr. Spera Recused.

Applicant: Dina Lalley

For: Doors and fence.

Motion to Convert to Preliminary Conference Approved 7-0.

Applicant: Tamara Moffett

For: Changes to previously approved renovations including window trellis and replacement with patio cover.

Approved 6-0.

Applicant: Maria Plaisance

For: Renovations to Existing Residence

Four votes taken:

Vote One - All submitted renovations as modified by HDC, excluding the front façade.

Approved 5-1.

Dissenting vote due to shutters not being historically appropriate for structure.

Vote Two – Front Façade Option 1 – 0-6 Vote

Vote Three - Front Façade Option 2 – 0-6 Vote

Vote Four - Front Façade Option 3 – 6-0 Vote – Approved.

Front Façade Option 3 was to leave the front façade intact as it presently sits without any changes to door placement or installation of windows, shutters or other inappropriate elements.

Applicant: Mindy Cook - COA-17-0048 Issued.

For: Revisions to previously approved renovations

including window and door placement.

Approved 6-0.

Chairman



REPORT

TO: MAYOR BELINDA C. CONSTANT
COUNCILMEN RAU, CROSBY, HINYUB, MILLER AND BERTHELOT
NORMA J. CRUZ, CITY CLERK
MARK MORGAN, CITY ATTORNEY

FROM: ANGEL GONZALES, CODE ENFORCEMENT COORDINATOR

DATE: MAY 10, 2017

RE: DEPARTMENT OF CODE ENFORCEMENT

Code Enforcement issues in the City of Gretna are addressed by one of our two Code Enforcement Officers. The Westbank Expressway divides the City into a North side, monitored by Brandon Couvillion, and a South side, monitored by Leo Washington.

The Code Enforcement Office has been monitoring and addressing the following violations since April 12, 2017

1	Animal Control
1	Basketball Goals on city streets
0	Boats/recreational vehicles in the front yard
0	Businesses operating without a license
0	Disposal of grass
0	Dumpsters without an enclosure
2	Front yard parking
127	High weeds/grass
0	Junked/inoperable vehicles tagged
1	Persons responsibility
0	Graffiti prohibited
0	Maintenance of a nuisance
0	Major vehicle repair
2	MS4 violation
0	No utility service
0	Obstruction of walk/street
13	Pictures
0	Prohibited signs
8	Property maintenance deficiencies
0	Sign in disrepair
13	Stop work orders (Work without a building permit)
0	Storage of vehicles awaiting repair
0	Temporary sign erected without a permit
1	Swimming pool sanitation
46	Trash/debris
0	Unsafe conditions
4	Vacant/derelict properties
2	Zoning violations
25	Signs removed from the ROW, utility poles, public places etc.
<u>222</u>	TOTAL INCIDENTS

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 24, 25 and 26, Square 11, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lots 24A and 26A, Square 11, Suburban Park Subdivision, per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017. Municipal Address: 1811 O'Connor Street

WHEREAS, Pearl Homes Construction Company, Inc. (Brian C. Scott) is the owner of record of Lots 28 and 29, Square 10, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owner has resubdivided **Lots 24, 25 and 26, Square 11**, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lots 24A and 26A, Square 11, Suburban Park Subdivision, as per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 24, 25 and 26, Square 11, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lots 24A and 26A, Square 11, Suburban Park Subdivision, as per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017, be and the same is hereby approved.

SECTION II: The mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstained:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

A Resubdivision of Lots 24, 25, & 26 into Lots 24A and 26A.

Ordinance No. _____ Mayor _____

Date Adopted: _____
Burk-Kleinpeter, Inc., City Engineers



Note:
Improvements may not be to scale for clarity.
The dimensions shown prevail over scale.
90° Lot angles as per plan of sub.

Scale: $1'' = 30'$

*Gilbert, Kelly & Couturie', Inc., Professional Land Surveying
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121*



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____
Adopted on: _____
District No. _____, Councilman _____
Certified mail cost \$6.59 x _____: \$ _____
(Non-Refundable) fee \$ 300.00
TOTAL DUE: \$ _____

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 5/1/17

Address of property to be resubdivided: 1811 O'CONNOR ST 7005

From: Current

Legal Description: 24 25 26 Sg 11 Suburban Park Sub
Lot(s) Square Subdivision

To: Proposed

Legal Description: 24A 26A Sg 11 Suburban Park
Lot(s) Square Subdivision

Applicant's

Name: BRIAN SCOTT Contact Phone No. 504 415-9907

Applicant(s)

Address: 136 PAIN ST Gretna LA 70056 E-Mail: pearl.homes@att.net

Owner of

Record: Pearl Homes Contact Phone No. 504 415-9907

Owner's

Address: 136 PAIN ST Gretna LA 70056 E-Mail: pearl.homes@att.net

Give brief explanation / reason for resubdivision: Combine 3 lots into 2 so as to build 20 residences

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey (Current)				
Notarized Affidavit				
Applicable Certified letters (\$6.59 each)				
Address area posted				
Review by City Engineer				
Ordinance drafted				

APPROVED FOR PRESENTATION

Azalea M. Russell
Approval of Planning & Zoning Official

5/1/17
Review and approval date

REMARKS: Combine 3 lots into 2 lots

RECEIVED

MAY 01 2017

CITY OF GRETNA
MAYOR'S OFFICE

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Signature of Applicant/Owner of Record

PRINT YOUR NAME

Title

Dated

NOTE: Please read & follow instruction sheet attached.