

**THE CITY OF GRETNA
MAYOR AND CITY COUNCIL REGULAR MEETING**



**Gretna City Hall
740 2nd Street, Gretna, LA 70053
Council Chambers - 2nd Floor
June 14, 2017 - 5:30 PM
AGENDA**

- 1. Call to Order and Roll Call**
- 2. Invocation and Pledge of Allegiance**
- 3. Opening Remarks by the Mayor.**
- 4. Presentations:**
 - A. Recognition - Evandus Lambert - Councilman Crosby
 - B. Father Rick Day, St. Joseph Catholic Church - Proclamation
 - C. Historic Preservation Showcase:
(305 Huey P. Long Avenue) - Sylinda and William Ward
 - D. Certificate of Recognition - Kalee Jo Banks
 - E. Certificate of Recognition - Ronald Arso, Jr. - 70m "Parish Champion" in track.
 - F. Recognition of New Businesses:
- 5. Bid(s) received:**
 - A. Official Journal for City of Gretna, LA - Raylyn C. Stevens, Finance Director
(July 1, 2017 to June 30, 2018)
- 6. Variance Request(s):**
 - A. 1001-1003 7th Street - Mark K. Gunnell, Applicant
For: Side yard on a corner lot. (District 2)
 - B. 935 Newton Street - Stefanie and Michael Cronin, Applicants
For: Side yard fence on corner lot. (District 2)
- 7. CONSENT AGENDA:**
 - A. Approval of Meeting Minutes:**
May 10, 2017 Regular meeting and May 24, 2017 Special Meeting.

B. Event Request(s):

- (1) River Shack Tavern Gretna - Saturday, July, 29, 2017

C. Alcoholic Beverage Permit Application(s):

- (1) Holly's Po-Boys & Cuban Cuisine, 629 Derbigny Street- Jesus and Holly Garcia, Applicants - Change of ownership & name. (Packaged beer only) (District 2)

D. Adoption of Ordinance(s) by Consent:

- (1) An ordinance approving the resubdivision of Lots 24, 25 and 26, Square 11, Suburban Park Subdivision, Gretna, Louisiana INTO Lots 24A and 26A, Square 11, Suburban Park Subdivision, per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017.

Address: 1811 O'Connor Street

Sponsor: Councilman Crosby

E. Adoption of Resolution(s) by Consent:

- (1) A resolution authorizing Mayor Belinda C. Constant to execute for and on behalf of the City of Gretna, an Intergovernmental Agreement (IGA) with Jefferson Parish for State Homeland Security Program (SHSP) - FY 16, in an amount not to \$17,000; to improve the emergency and disaster response capabilities of local units of governments.

Requested by: Administration

Sponsor: Councilman Rau

8. Consideration and Adoption of Ordinances(s):

- 1. An ordinance as amended, amending the Gretna Code of Ordinances, Chapter 58 –Zoning and subdivisions; by adding a new category titled Screening and Fencing.

Requested by: Administration

Sponsor: Councilman Hinyub

9. Historic District Commission Appeals:

- A. 1112 Monroe Street - Jack Bradley, Applicant
Denial - Installation of driveway strips and aprons. (District 1)

10. Reports:

- A. Police Department Report
- B. City Engineer Status Report
 - (1) Monthly Status report for June 14, 2017 - David Boyd, City Engineer (BKI).
- C. Departmental Reports distributed:
 - (1) Public Works Council Meeting Report
 - (2) Historic District Commission Report.
 - (3) Code Enforcement report.
 - (4) Building Department report.

D. Council District Reports:

11. Introduction of Ordinances:

- A. An ordinance approving the resubdivision of Lots 17, 18 and Part of Lot 19, Square 20, Village of Mechanickham Subdivision, Gretna, Louisiana INTO Lot 18-A, Square 20, Village of Mechanickham Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 4, 2017.

Municipal: 517 Huey P. Long Avenue Sponsor: Councilman Hinyub

- B. An ordinance approving the resubdivision of Lots 27, 28 and 29, Portion A, Hero Subdivision, Gretna, Louisiana INTO Lots 27A and 27B, Portion A, Hero Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated July 5, 2016.

Address: 1819-1820 Claire Avenue Sponsor: Councilman Miller

- C. An ordinance approving the resubdivision of Lot 43-A2, Square 43, Village of Gretna Subdivision, Gretna, Louisiana INTO Lots 43-A3 and 43-A4, Square 43, Village of Gretna Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 18, 2017.

Address: 2208 Lafayette Street Sponsor: Councilman Berthelot

- D. An ordinance approving resubdivision of Lots 1 and 2, Square 10, Brooklyn Bass Subdivision; Lots 8A and 10A, Square 11, Brooklyn Bass Subdivision, Gretna, Louisiana INTO Lots 1B, Square 10, Brooklyn Bass Subdivision; and Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, per the plan of survey and resubdivision of Dufrene Surveying and Engineering, Inc., dated April 15, 2016.

**Location: Front Street between Ocean Avenue and Hamilton Street
Sponsors: Councilman Crosby and Councilman Hinyub**

- E. An ordinance to amend the Gretna Code of Ordinances, Chapter 12.-Businesses, Article I -In General, more particularly Section 12-4.-Vending Machines; Sub paragraph (1).

Requested by: Administration Sponsor: Councilman Hinyub

- F. An ordinance to amend Gretna Code of Ordinances, Chapter 58.- Zoning and subdivisions; more particularly amending Section 58-119.-Neighborhood commercial district, C-1; Sub-paragraph (b).

Requested by: Administration Sponsor: Councilman Rau

- G. An ordinance declaring office equipment surplus property, and no longer needed for public purposes and to authorize the sale of said surplus property at a public auction. (2)

Requested by: Administration Sponsor: Councilman Rau

12. Citizens Addressing the Mayor and City Council.

13. Executive Session

- A. Personnel matter.

14. Adjournment.

ADVERTISEMENT FOR BIDS



City of Gretna

Official Journal for City of Gretna, Louisiana

The Mayor and City Council of the City of Gretna, Louisiana are hereby soliciting sealed proposals from publishers qualified to be selected as the Official Journal of the City of Gretna.

The deadline for submitting sealed proposals by publishers is **10:00 a.m., Thursday, June 1, 2017.** Sealed proposals may be submitted prior to that date to the Mayor's Office - Room 102, Gretna City Hall Building, 740 2nd Street, Gretna, Louisiana.

Specifications may be obtained from the Office of the City Clerk - Room 111, Gretna City Hall Building, 740 2nd Street, Gretna, Louisiana.

CITY OF GRETNA, LOUISIANA

(S) BELINDA C. CONSTANT
MAYOR

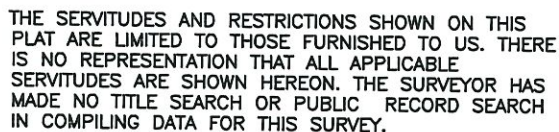
Publish: The Times-Picayune
May 10, 2017
May 17, 2017
May 24, 2017

A Resubdivision of Lots 24, 25, & 26 into Lots 24A and 26A.

Approved by the Mayor and City Council of the City of Gretna, Louisiana

Ordinance No. _____ Mayor _____

Date Adopted: _____
Burk-Kleinpeter, Inc., City Engineers



Note:
Improvements may not be to scale for clarity.
The dimensions shown prevail over scale.
90° Lot angles as per plan of sub.

Date: April 12, 2017

Scale: 1" = 30'

*This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LXI, Chapter 25 for a Class "C" survey.
Made at the request of Pearl Homes.*

*Gilbert, Kelly & Couturie', Inc., Professional Land Surveying
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121*



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____
Adopted on: _____
District No. _____, Councilman _____
Certified mail cost \$6.59 x _____: \$ _____
(Non-Refundable) fee \$ 300.00
TOTAL DUE: \$ _____

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 5/1/17

Address of property to be resubdivided: 1811 O'CONNOR ST 7005

From: Current

Legal Description: 24 25 26 Sg 11 Suburban Park Sub
Lot(s) Square Subdivision

To: Proposed

Legal Description: 24A 26A Sg 11 Suburban Park
Lot(s) Square Subdivision

Applicant's

Name: BRIAN SCOTT Contact Phone No. 504 415-9907

Applicant(s)

Address: 136 PAIN ST Gretna LA 70056 E-Mail: pearl.homes@att.net

Owner of

Record: Pearl Homes Contact Phone No. 504 415-9907

Owner's

Address: 136 PAIN ST Gretna LA 70056 E-Mail: pearl.homes@att.net

Give brief explanation / reason for resubdivision: Combine 3 lots into 2 so as to build 2 residences

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey (Current)				
Notarized Affidavit				
Applicable Certified letters (\$6.59 each)				
Address area posted				
Review by City Engineer				
Ordinance drafted				

APPROVED FOR PRESENTATION

Azalea M. Russell
Approval of Planning & Zoning Official

5/1/17
Review and approval date

REMARKS: Combine 3 lots into 2 lots

RECEIVED

MAY 01 2017

CITY OF GRETNA
MAYOR'S OFFICE

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Signature of Applicant/Owner of Record

PRINT YOUR NAME

Title

Dated

NOTE: Please read & follow instruction sheet attached.

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 24, 25 and 26, Square 11, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lots 24A and 26A, Square 11, Suburban Park Subdivision, per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017. Municipal Address: 1811 O'Connor Street

WHEREAS, Pearl Homes Construction Company, Inc. (Brian C. Scott) is the owner of record of Lots 28 and 29, Square 10, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owner has resubdivided **Lots 24, 25 and 26, Square 11**, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lots 24A and 26A, Square 11, Suburban Park Subdivision, as per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 24, 25 and 26, Square 11, Suburban Park Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lots 24A and 26A, Square 11, Suburban Park Subdivision, as per the plan of survey and resubdivision of Gilbert, Kelly & Couturie, Inc., dated April 12, 2017, be and the same is hereby approved.

SECTION II: The mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstained:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

BURK-KLEINPETER, INC.

To: Hon. Council Members - City of Gretna
From: David Boyd, P.E.
Subject: **Resubdivision Ordinance Report - 1811 O'Connor Street**
Date: June 14, 2017

This re-subdivision request was introduced at the May 10, 2017 Mayor and Council Regular Meeting. We have reviewed the subject re-subdivision request and offer the following observations:

Existing Conditions

The existing properties consist of Lots 24, 25 & 26 Square 11 Suburban Park Subdivision. The property is defined by Milton St. to the North, Palfrey St. to the West, Porter St. to the South, O'Connor St. to the East.

Proposed Re-subdivision

It is proposed to combine the property from Lots 24, 25 & 26 Square 11 Suburban Park Subdivision into Lots 24A & 26A Square 11 Suburban Park Subdivision. The owner would like to combine the 3 lots into 2 lots to build 2 residences.

Comments

The re-subdivision of the lots is requested to convert the 3 lots into 2 lot zoned R-1 Single Family Residential District. The re-subdivision does not meet the 5000 square foot lot area requirement of R-1 zoning (4688 square feet) however there is a beneficial enhancement to combining 3 very small lots into 2 larger lots. It does meet the requirements for side yard requirement of 5' (8'), front yard requirement of 20', and rear yard requirement of 15' (approx. 35'). The re-subdivision meets the requirements set forth in the zoning ordinance and is recommended for approval.

SQ. NO. 11, SUBURBAN PARK SUB.
JEFFERSON PARISH, LA (GRETNA)

A Resubdivision of Lots 24, 25, & 26 into Lots 24A and 26A.

PALFREY ST. SIDE

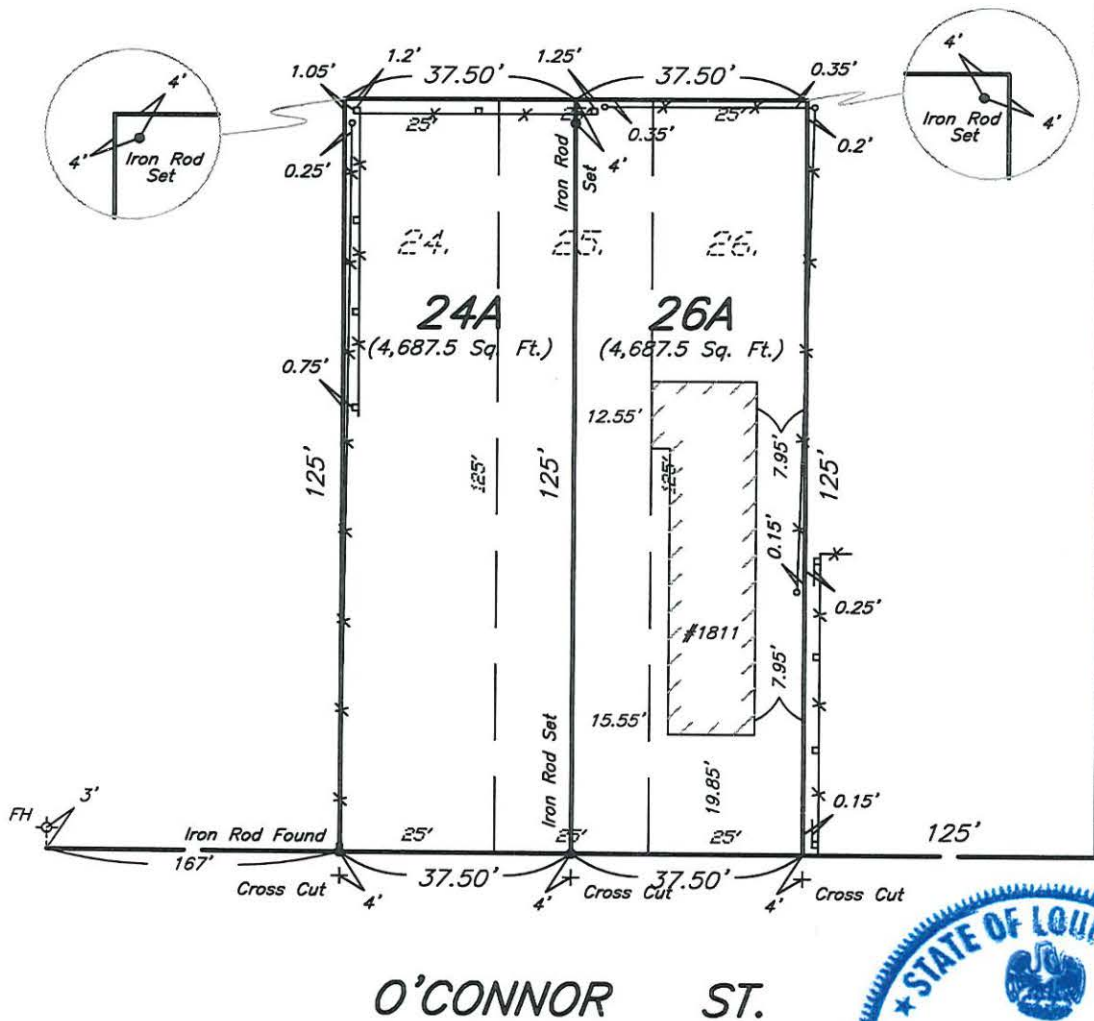
Approved by the Mayor and City Council of the City of Gretna, Louisiana

Ordinance No. _____ Mayor _____

Date Adopted: _____ Burk-Kleinpeter, Inc., City Engineers

PORTER ST. SIDE

MILTON ST.



O'CONNOR ST.



THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

Note: Improvements may not be to scale for clarity. The dimensions shown prevail over scale. 90° Lot angles as per plan of sub.

Date: April 12, 2017

Scale: 1" = 30'

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LXI, Chapter 25 for a Class "C" survey. Made at the request of Pearl Homes.

Gilbert, Kelly & Couturie', Inc., Professional Land Surveying
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

Clint Simoneaux

On motion by **Councilman _____** and seconded by **Councilman _____**, the following resolution was offered:

RESOLUTION NO. 2017

A resolution authorizing Mayor Belinda C. Constant to execute for and on behalf of the City of Gretna, an Intergovernmental Agreement (IGA) with Jefferson Parish for State Homeland Security Program (SHSP) - FY 16, in an amount not to \$17,000.00; to improve the emergency and disaster response capabilities of local units of governments. Said IGA commenced September 1, 2016 and shall end February 28, 2019.

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the City of Gretna and Jefferson Parish and are authorized to enter into this agreement pursuant to La. R.S. 33:1324 which permits any parish, municipality or political subdivision of the state, or any combination thereof, to make agreements between or among themselves for police, fire, and health protection; and

WHEREAS, the purpose of this intergovernmental agreement is to improve the emergency and disaster response capabilities of local units of governments; and

WHEREAS, the Parish has received Federal grant funds from the Governor’s Office of Homeland Security and Emergency Preparedness (GOHSEP) under the State Homeland Security Program (SHSP) - FY 16; and

WHEREAS, Jefferson Parish agrees to provide the City of Gretna with grant funding in the form of reimbursement for Mobile Command Post video component upgrades to include six (6) LED-backlit LCD monitors with mounts, two (2) HDMI cables, one (1) control system processor with mount, eight (8) keypads, and one (1) PTZ camera in an amount not to exceed seventeen thousand dollars (\$17,000.00); and

WHEREAS, the City of Gretna wishes to enter into an Intergovernmental Agreement with Jefferson Parish receive grant funded equipment for the City of Gretna’s Police Department.

NOW, THEREFORE, BE IT RESOLVED, by the Council of the City of Gretna, Louisiana, acting as legislative authority for said City, that:

Mayor Belinda C. Constant is hereby authorized to execute for and on behalf of the City of Gretna, an Intergovernmental Agreement (IGA) with Jefferson Parish for State Homeland Security Program (SHSP) - FY 16, in an amount not to \$17,000.00; to improve the emergency and disaster response capabilities of local units of governments. Said IGA commenced September 1, 2016 and shall end February 28, 2019.

The foregoing resolution was submitted to a vote, and the vote thereon was as follows:

Yeas: Councilmen

Nays:

Abstained:

Absent:

ADOPTED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by **Councilman**_____ and seconded by **Councilman** _____, the following Ordinance as amended was offered:

ORDINANCE NO.

An ordinance as amended amending the Gretna Code of Ordinances, Chapter 58 –Zoning and subdivisions; by adding a new category titled Screening and Fencing.

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the City of Gretna has an obligation to provide its citizens with ordinances that clearly describe permitted activities in the City.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

The Gretna Code of Ordinances Chapter 58 -Zoning and Subdivisions; by adding a new category Screening & Fencing is hereby amended to read:

1. General Provisions

1.1. Jurisdiction

- a. These regulations shall apply to all the area located within the corporate limits of the City of Gretna, Louisiana. All developments shall meet minimum standards and requirements of these regulations, as amended.
- b. This ordinance, or any amendment thereto, shall not affect the validity of any building permit lawfully issued prior to the effective date of the ordinance, or any amendment thereto, provided that the permit is valid upon the effective date of the adoption of this ordinance or any amendment thereto.
- c. This ordinance, or amendment thereto, shall not affect the validity of variances granted prior to the effective date of this ordinance, or amendment thereto. Said variances granted shall remain in effect after the effective date of this ordinance, and shall constitute variances to the applicable provisions of this ordinance.

1.2. Purpose

- a. This Screening & Fencing Ordinance is adopted for the purpose of the following:
 - i. Promote the public health, safety, and general welfare,
 - ii. Preserve the character of each area within the City of Gretna,
 - iii. Provide traffic safety.

1.3. Minimum Requirements

- a. The requirements of this Screening and Fencing Ordinance shall be considered as the minimum requirements for the promotion of the public health, safety, and general welfare.

1.4. Conflicting Provisions

- a. All development must comply with relevant Federal and State regulations.
- b. Whenever any provision of this Screening and Fencing Ordinance conflicts from provisions in any other Chapter of the City of Gretna Code of Ordinances, the provisions of this Screening and Fencing Ordinance shall apply.
- c. Where, in any case, different sections of this Screening and Fencing Ordinance specify different requirements, the more restrictive shall apply as determined by the Administrator. Where there is conflict between a general requirement and a specific requirement, the specific requirement shall be applicable.

1.5. Nonconforming Fences and Walls

- a. A lawful fence or wall existing as of the effective date of this zoning code or any amendment to this zoning code, may continue to be used for any purposes permitted in the district provided it is in conformance with the provisions of this section.
- b. A nonconforming fence or wall may be maintained or repaired provided no expansion of the nonconformity occurs.
- c. A nonconforming fence or wall shall not be expanded.
- d. A nonconforming fence or wall which is damaged to 50 percent or less may be repaired provided all construction is in compliance with current construction codes.
- e. If the damage of a nonconforming exceeds 50 percent, restoration or improvement shall not be permitted unless the restoration results in a fence or wall conforming to all applicable requirements of this Fencing and Screening Ordinance.

1.6. Severability

- a. Should any provision of this Screening and Fencing Ordinance be decided by the courts to be unconstitutional or invalid, that decision shall not affect the validity of this Screening and Fencing Ordinance other than the part declared to be unconstitutional or invalid.

2. Definitions

2.1. The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

- a. Class A Tree – A tree species included in Table 2.1: Class A Trees

Table 2.1: Class A Trees	
Scientific Name	Common Name
<i>Acer rubrum</i> var. <i>drummondii</i>	Maple, Swamp Red
<i>Carya illinoensis</i>	Pecan
<i>Celtis laevigata</i>	Hackberry
<i>Fagus grandifolia</i>	American Beech
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Ginkgo biloba</i>	Ginkgo
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Magnolia grandiflora</i>	Magnolia, Southern
<i>Nyssa sylvatica</i>	Black Gum
<i>Pinus elliotii</i>	Pine, Slash
<i>Pinus glabra</i>	Pine, Spruce
<i>Pinus palustris</i>	Pine, Longleaf
<i>Pinus taeda</i>	Pine, Loblolly
<i>Platanus occidentalis</i>	Sycamore
<i>Quercus acutissima</i>	Oak, Sawtooth
<i>Quercus alba</i>	Oak, White
<i>Quercus lyrata</i>	Oak, Overcup
<i>Quercus michauxii</i>	Oak, Swamp Chestnut
<i>Quercus nuttallii</i>	Oak, Nuttall
<i>Quercus phellos</i>	Oak, Willow
<i>Quercus shumardii</i>	Oak, Shumard
<i>Quercus virginiana</i>	Oak, Southern Live
<i>Taxodium ascendens</i>	Cypress, Pond
<i>Taxodium distichum</i>	Cypress, Bald
<i>Ulmus alata</i>	Elm, Winged
<i>Ulmus americana</i>	Elm, American

- b. Class B Tree – A tree species included in Table 2.2: Class B Trees

Table 2.2: Class B Trees	
Scientific Name	Common Name
<i>Betula nigra</i>	River Birch
<i>Carpinus caroliniana</i>	Ironwood
<i>Chionanthus virginicus</i>	Fringe Tree
<i>Crataegus opaca</i>	Mayhaw
<i>Lagerstroemia indica</i>	Crepe Myrtle
<i>Ilex opaca</i>	Holly, American
<i>Ilex vomitoria</i>	Yaupon
<i>Ilex x attenuata</i> 'Fosteri'	Holly, Fosters
<i>Ilex x attenuata</i> 'Savannah'	Holly, Savannah
<i>Magnolia virginiana</i>	Magnolia, Sweetbay
<i>Myrica cerifera</i>	Waxmyrtle
<i>Ostrya virginiana</i>	American Hop Hornbeam
<i>Pistacia chinensis</i>	Pistachio
<i>Prunus caroliniana</i>	Cherry Laurel

- c. DBH, diameter breast height – the tree trunk diameter measured at four and a half (4.5) feet above the ground.

- d. Earth berm – mounds or walls of earth molded into landforms within landscape areas and covered with plant material or durable mulch so that bare soil is not visible. Earth berms are used for screening and/or buffering and should be constructed so to prevent soil erosion.
- e. Fence – a structure construction of wood, metal, masonry, or other rigid manmade composite materials that imitates wood, metal, or masonry, which divides two contiguous properties, or is placed on the property to divide an area or portion of land from another. Fences shall be structurally sound and durable. No fragile, readily flammable materials shall be constitute a part of any fence, nor shall such material be used as an adjunct, attachment, or supplement to any fence.
- f. Fence, ornamental - a fence designed in such a manner, and of such material, that the main purpose is to decorate or enhance the appearance of the front or side yard setback in a residential area. Ornamental fences may include hedges. Fences consisting of chain link mesh, welded or woven wire or sheet metal are excluded under this definition.
- g. Lot – a designated parcel, tract, or area of land established by plat, subdivision, deed, or ordinance.
- h. Lot, corner – a lot abutting upon two or more streets at their intersection.
- i. Lot, interior – a lot other than a corner lot.
- j. Lot lines – the property lines bounding a lot.
- k. Lot lines, front – the property line fronting a roadway right-of-way which provides the principle access to the property.
 - i. In the case of a corner lot, the front lot line is the lot line abutting the street which is used by the U.S. Postal Service for the delivery of mail to the structure located on the property. If the lot does not have a structure, the owner may select which lot line abutting a street is the front lot line.
- l. Outdoor customer area – a defined outdoor area of a commercial or institutional use which is intended for the use of customers. Outdoor customer areas may provide outdoor furniture including seating, tables, and trashcans.
- m. Outside storage – Outside storage means the physical presence of any personal property not fully enclosed within a structure. “Outdoor storage” means and includes, but shall not be limited to, the following:
 - i. Inoperable motor vehicles and farm, commercial and industrial equipment of all types;
 - ii. Inoperable or unlicensed recreational vehicles;
 - iii. Junk, imported waste, and discarded or salvaged materials;
 - iv. Dismantled vehicles and vehicle parts, including commercial and industrial farm machinery or parts thereof, tires and batteries;
 - v. Scrap metal, including salvaged structural steel;
 - vi. Salvaged lumber and building materials;
 - vii. Salvaged commercial or industrial trade fixtures;
 - viii. Operable or inoperable industrial or commercial equipment or tools.
 - ix. New building materials and supplies or any project for which no building permit has been issued;
 - x. New or used furniture or appliances;
 - xi. Bottles, cans and paper;
 - xii. Boxes, cable spools, and packing crates; and
- n. Parking area – an area of a lot used as an off-street parking facility, enclosed or unenclosed, including parking spaces and access drives and legally designated areas of public streets.
- o. Vehicular use area – land upon which vehicles traverse and all areas used for the display or parking of any and all types of vehicles, boats, or heavy construction equipment, including, but not limited to service bays, loading and unloading areas, and all of street parking areas.
- p. Yard – an open space that lies between the principal or accessory building or buildings and the nearest lot line. Such yard is unoccupied and unobstructed from the ground upward except as may be provided for in this chapter.
- q. Yard, front – a space extending the full width of the lot between any building and the front lot line, and measured perpendicular to the building at the closest point to the front lot line. Such front yard is unoccupied and unobstructed from the ground upward.
- r. Yard, rear – a space extending the full width of the lot between the principal building and the rear lot line, and measured perpendicular to the building at the closest point of the rear lot line. Such rear yard is unoccupied and unobstructed from the ground upward. On all lots, the rear yard shall be at the opposite end of the lot from the front yard.

- s. Yard, side – a space extending from the front yard to the rear yard between the principal building and the side lot line measured perpendicular from the side lot line to the closest point of the principal building. Such side yard is unoccupied and unobstructed from the ground upward.

3. Fence Regulations

3.1. Lot Fencing Standards

Along lot lines, fences may be erected in compliance with the following requirements.

- a. A side or rear yard fence or wall shall not exceed eight (8) feet in height, except in cases where a fence is to be built along a sloping grade, then:
 - i. the maximum height may be averaged across stepped, six (6) foot segments to allow the fence to follow the natural rise and fall of the slope; or,
 - ii. for a uniform height fence along a sloping grade, fence height may be increased one (1) inch for every twenty (20) feet in fence length; and,
 - iii. in either case, no portion of the fence shall exceed nine (9) feet.
- b. Columns of rear and side yard fences or walls, if spaced not less than five (5) feet apart, shall not exceed nine (9) feet in height.
- c. A side yard fence shall not extend in front of the front corners of any residence.
- d. A front yard fence or wall shall not exceed four (4) feet in height.
- e. In GO-1, H-1, BC-1, BC-2, C-1, C-2, and MUCD districts, front yards shall not be fenced, with the following exceptions:
 - i. Any fence not taller than four (4) feet measured from sidewalk elevation may be erected to enclose allowed outdoor customer areas along street frontages.
 - ii. Dumpsters and recycling containers shall be fenced as set forth in Section 4.2: Dumpsters and Recycling Containers.
- f. In R-1 and R-2 districts front yards ~~may shall not~~ be fenced, with the following exceptions:
 - i. Unless the lot immediately adjoining on either side has a fence in the front yard. In this case, the front yard fence may not exceed a height of four (4) feet as measured from the sidewalk or the height of the higher adjoining fence, whichever is lower. Front yards shall not be fenced in R-1 and R-2 districts located south of the Westbank Expressway and in Old Garden Park, as bound by the Westbank Expressway to the south, Evergreen Street to the west, 5th Street to the north, and Stumpf Boulevard to the east. The following exceptions apply:
 - 1. A front yard fence not taller than four (4) feet measured from the sidewalk elevation may be erected on corner lots.
 - 2. A front yard fence may be erected on a lot where both adjacent lots have existing front yard fences which are in compliance with the provisions of this ordinance. The front yard fence may not exceed the height of the exiting front yard fence of any adjacent lot or four (4) feet measured from the sidewalk elevation, whichever is lower.
 - ii. A front yard fence not taller than four (4) feet measured from the sidewalk elevation may be erected on corner lots where the adjoining lot which shares the same front yard orientation, has an existing front yard fence.
- g. All fences and walls shall not exceed three (3) feet in height within clear vision areas as defined in Section 6: Sight Triangle.
- ~~h. For the purpose of this paragraph measurement shall be made as follows:~~
 - i. The height shall be measured from the natural adjacent grade;
 - ii. The top of a chain wall shall not exceed six (6) inches measured from the adjacent grade on the outside; or
 - iii. The top of a retaining wall that has been properly permitted.

3.2. General Fence Design Standards

- a. All fences facing streets public right-of-way shall be constructed of wood, wrought or cast metal and expose the finished side, minimizing public view of nondecorative posts, horizontal posts, cross members and similar unfinished components. Additions are underlined; deletions are strikethrough.

- i. The Administrator may allow alternative fence materials of similar appearance and durability as allowed under this paragraph.
- b. Chain link security fencing may be established on side and rear yards that do not face a street.
- c. Barbed and razor wire shall not be allowed, barbed wire may be used except in in M-1 and M-2 districts, and for the protection of critical facilities, as determined by the Administrator. Where barbed and razor wire is used, it shall be screened with a five (5) feet planted buffer strip. Buffer planting requirements of Section 5: Buffer Planting Area shall apply. Fencing incorporating barbed wire shall meet the following design standards:
 - i. Where barbed wire is used, it shall be screened with a five (5) feet planted buffer strip. Buffer planting requirements of Section 5: Buffer Planting Area shall apply; and,
 - ii. Barbed wire must be at a height of at least eight (8) feet from the nearest interior adjacent grade.
- ~~d. The Administrator may allow alternative fence materials of similar appearance and durability as allowed under this paragraph.~~
- d. A chain wall shall be constructed of concrete or masonry and shall not exceed a height of twelve (12) inches, as measured from the outside adjacent grade, with a minimum width of six (6) inches. Such chain wall shall be constructed in a manner as to effectively withstand the soil and water pressures exerted against it. The chain wall shall extend below the lowest adjacent grade to a depth equal to the height of chain wall. In cases where a chain wall is not sufficient to prevent water flowing onto adjacent lots, a retaining wall, exceeding twelve (12) inches in height, may be used at the determination of the Administrator. A retaining wall shall be designed and stamped by a design professional.
- e. For the purposes of this Screening and Fencing Ordinance, fence measurement shall be made as follows:
 - i. Fence height shall be measured from the nearest interior adjacent grade of the permit holder’s property and shall include the height of a chain wall; or,
 - ii. The top of a retaining wall that has been properly permitted, as measured from the nearest interior adjacent grade of the higher elevation.
- f. A fence exceeding a height of eight (8) feet shall be accompanied by stamped design specifications from a design professional and shall only be allowed for screening purposes in non-residential zoning districts.

4. Screening Requirements

4.1. Vehicular Use Areas

- a. The provisions of this paragraph shall be applicable to all non-residential uses.
- b. On side and rear lot lines of the lot adjacent to any residential lot, vehicular use areas shall be screened by a planted buffer strip, as defined in [Section 5: Buffer Planting Area](#). In addition to buffer plantings, an opaque fence, not taller than eight (8) feet in height shall be provided.
- c. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - i. The planted area shall be at least equal to the required setback, but in no case less than five (5) feet wide.
 - ii. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
 - iii. The planting strip shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.

Additions are underlined; deletions are ~~strikethrough~~.



Figure 4.1: Vehicular Use Areas

- d. Vehicular use areas located within the City’s Historic Districts, as defined in [Sec. 32-5. - Same—Areas of Jurisdiction](#) of the [City of Gretna Code of Ordinances, Chapter 32 - Historic Preservation](#), shall be screened from the public right-of-way by a planted buffer strip of not less than three (3) feet width and a masonry wall, or wrought iron fence, or a combination thereof, of not less than two (2) feet and not more than four (4) feet in height, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where the barrier shall be not more than three (3) feet in height. The barrier shall be subject to the design review of the City of Gretna Historic District Commission.
 - i. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - 1. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
 - 2. The planting strip shall contain one (1) Class B Tree for every fifteen (15) linear feet.

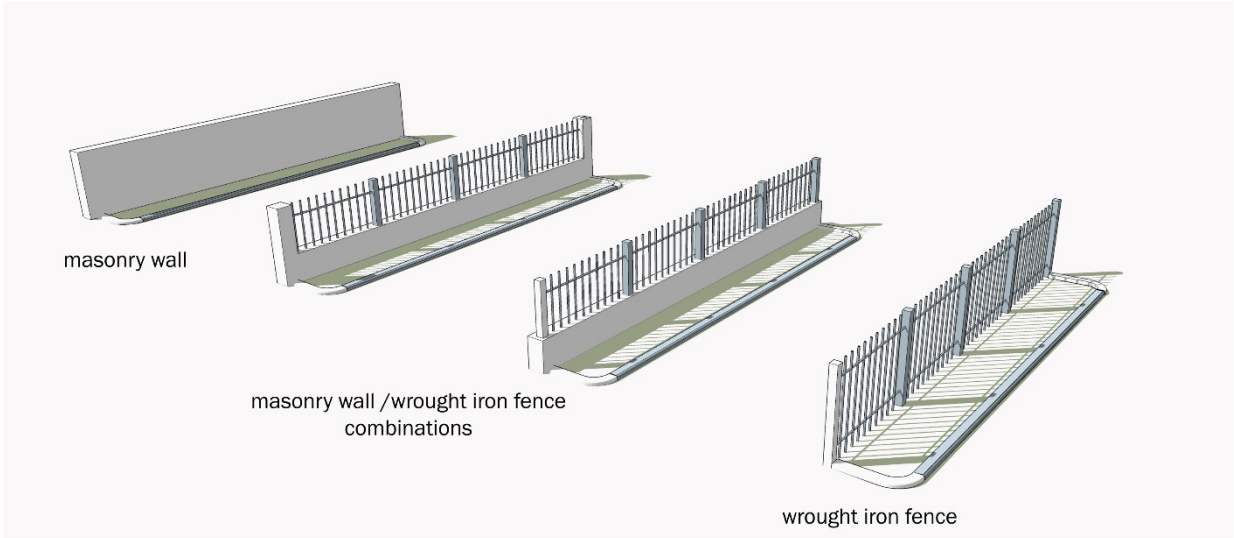


Figure 4.2: Historic Screening Examples

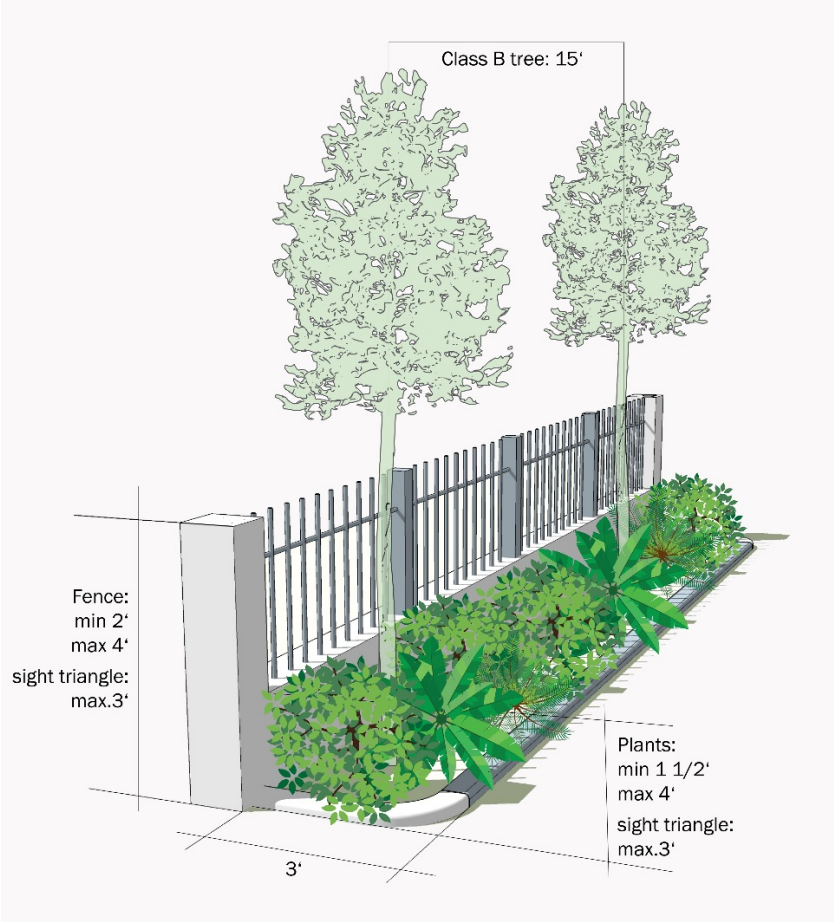


Figure 4.3: Historic District Screening Dimensions

- 4.2. Dumpster and Recycling Containers
 - a. Dumpsters and recycling containers shall be fully enclosed on all sides by a solid fence, a masonry wall, or principal structure wall six (6) feet in height. The enclosure shall be gated.
 - b. The materials used for screening, including the enclosure, shall use similar materials and colors of the principal building.
- 4.3. Utilities
 - a. Above ground public utilities, with the exception of utility poles, shall be screened by a continuous hedge of no less than three (3) feet in height if surrounded by at least three (3) feet of exposed soil or grass. A setback of no less than one and one-half (1.5) feet must be provided around equipment to allow for property operation and maintenance of the equipment.
 - b. On non-residential lots mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened from view at the front property line and the side property line if the property is a corner lot. Exterior screening materials shall be the same as the predominant exterior materials of the principal building.
- 4.4. Outside Storage Areas
 - a. All outside storage of commercial and industrial uses must provide a solid fence made of wood or brick, or masonry wall. The fence must be of such height that all outside storage is screened from public view. No sheet metal fence shall be allowed.

5. Buffer Planting Area

5.1. Buffer planting areas shall be required between different uses and/or districts in accordance with [Table 5.1: Buffer Planting Area Requirements](#).

Table 5.1: BUFFER PLANTING AREA REQUIREMENTS					
ADJACENT LAND USE OR ZONE	PROPOSED DEVELOPMENT				
	RESIDENTIAL	COMMERCIAL, INSTITUTIONAL, & MIXED USE	LIGHT INDUSTRIAL	HEAVY INDUSTRIAL	PARKING LOT
RESIDENTIAL USES & ZONES (R-1, R-1A, R-1MH, R1-TH, R-2, R-3, OTR)	NR	10'	10'	25'	10'

COMMERCIAL , INSTITUTIONAL & MIXED-USE USES & ZONES (BC-1, BC-2, C-1, C-2, GO-1, H-1, MUCD)	10‘	NR	10‘	25'	NR
LIGHT INDUSTRIAL USE & ZONES M-1	10‘	10‘	NR	25'	NR
HEAVY INDUSTRIAL USE & ZONE M-2	25'	25'	25'	NR	NR
PARKING LOT	10‘	NR	NR	NR	NR
PUBLIC RIGHT OF WAY	NR	NR	NR	15'	NR

- a. The minimum width listed in Table 5.1: Buffer Planting Area Requirements indicates the total required buffer between the properties. Provision of the buffer is the sole responsibility of the applicant for the proposed development.
- b. The buffer zone shall consist of an area not less than the required depth measured at right angles to the property line(s) along the entire length of a contiguous to the property line adjacent to the more restrictive zoning district.
- c. The buffer planting area is required to be provided in conjunction with the issuance of a building permit for new construction on a development site or when there is a change in land use.
- d. Trees in buffers that are healthy and of desirable species from Tables 2.1 and 2.2, and six (6) inches at DBH or greater shall be preserved regardless of the number of said trees. All trees required to be preserved shall be indicated on the landscape and tree preservation plan.
- e. The buffer yard shall be planted as follows:
 - i. The buffer zone shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.
 - ii. Plantings shall be a minimum of four (4) feet in height from the ground during installation and a minimum of six (6) feet mature.
- f. A 100% sight obscured fence or wall of eight (8) feet in height, erected on the border of the buffer yard area which lies inside the lot, may be provided in lieu of planting in the buffer area.
- g. The property owner shall maintain landscaping required by this ordinance in accordance with the following standards:
 - i. Use of Required Landscape Area. No required landscape area shall be used for accessory structures, garbage or trash collection, parking, or any other functional use contrary to the intent and purpose of this article.
 - ii. All required landscaping, excluding trees, shall be watered if needed.
 - iii. Replacement of Dead Materials. The property owner shall replace required plants which die. Replacements shall be installed at the earliest possible time within a planting season, and replacements shall be as shown on the approved landscape plan.

6. Sight Triangle

- a. All fences and buffers shall conform to the Louisiana DOTD standards and be located so as not to cause an obstruction to motorists.
- b. A sight triangle measuring ten (10) feet ~~feet along the property line by a depth of ten (10) feet shall be established at intersections and access ways~~ along the edge of roadway by a depth of ten (10) feet from the point closest to the edge of roadway where vehicular or bicycle travel lanes intersect, shall be established at intersections and access ways. No fences, wall, or plantings over three (3) feet shall be allowed in this sight triangle.

Additions are underlined; deletions are strikethrough.

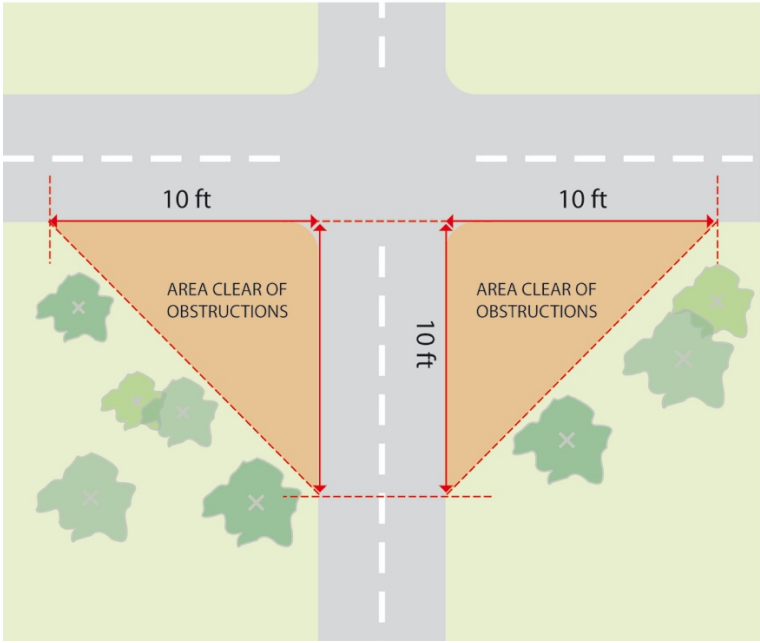
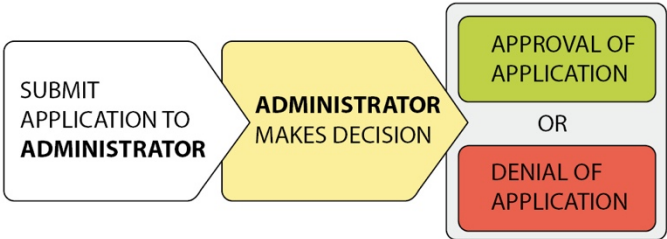


Fig. 6.1: Sight Triangle

7. Permit Procedure



- 7.1. When Required
- a. A fence permit is required for all fences and walls that are newly erected or replaced after (insert effective date of this ordinance) within the jurisdiction of the City of Gretna, except the following.
 - i. The fence or wall is part of a new development or substantial redevelopment which requires a site plan review as lined out in [Sec. 58-70. - Site plan review process of the City of Gretna Code of Ordinances](#).
 - ii. The fence or wall is part of a new development or redevelopment that requires the submittal of a landscape plan, as regulated in [Chapter 58 – Zoning and Subdivisions of the City of Gretna Code of Ordinances](#).
 - b. It shall be unlawful to construct, erect, alter, relocate, or display any fence or wall without first obtaining a fence permit from the Administrator.
- 7.2. Application and Fees
- a. An application for a Fence Permit shall be filed in writing with the Administrator and contain all information requested by the Administrator.
 - b. Applications must be submitted on forms in such numbers as required by the Administrator.
 - c. Applications shall be complete and sufficient for processing before the Administrator is required to review the application.
 - d. The Administrator may require the submission of information additional to that listed in this section, if determined as necessary to decide whether or not the fence as proposed will comply with all of the requirements of this Fencing and Screening Ordinance.
 - e. Applications shall include the following.
 - i. Written consent of the owner of the property, or his agent, granting permission for the construction of the fence or wall;
 - ii. Name, address, and telephone number of the property owner, business owner, and the fence or wall contractor;
 - iii. Address of the lot, or lots, on which the fence or wall is to be erected;

- iv. Zoning designation of the lot, or lots, on which the fence or wall is to be erected.
 - v. Site plan of the lot, or lots, on which the fence or wall is to be erected, including the following.
 - 1. Exact position of the fence or wall in relation to nearby buildings, structures, and/or property lines;
 - 2. Height of the fence or wall, measured as set forth in [Paragraph 3.1: Lot Fencing](#)
 - 3. Linear feet of the fence or wall
 - 4. Type, material, and color of the fence or wall
 - 5. Any electrical permit required for gates, if applicable.
 - f. The Administrator may require that the fence or wall plans be signed by a structural engineer licensed by the State of Louisiana.
 - g. Upon the filing of an application for a fence permit, the Administrator shall grant, deny, or reject the permit within forty-five (45) days from the application date. The applicant shall receive notice by hand delivery or by mailing notice to the address on the permit on or before the forty-fifth day.
 - h. The fees for permitting shall be established by the City of Gretna Planning and Zoning Commission and can only be amended by the City Council.
- 7.3. Review Criteria
- a. The proposed fence must meet the requirements of this Screening & Fencing Ordinance
 - b. In deciding to approve, approve with conditions, or deny the proposed fence permit, the Administrator shall consider relevant comments of all interested parties.
 - c. The decision of the Administrator must be consistent with prior decisions.
- 7.4. Effect of Denial.
- a. The denial of a fence permit application shall ban the subsequent application for the same fence or wall for a period of twelve (12) months.
- 7.5. Expiration.
- a. A fence permit shall remain in effect for six (6) months from issuance date, and if the fence or wall is not completed within those six months, the permit shall expire.

Provided that a majority of the City Council of the City of Gretna have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstain:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the
Mayor on

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by **Councilman**_____ and seconded by **Councilman** _____, the following Ordinance was offered:

ORDINANCE NO.

**An ordinance amending the Gretna Code of Ordinances, Chapter 58 –
Zoning and subdivisions; by adding a new category titled Screening and
Fencing.**

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the City of Gretna has an obligation to provide its citizens with ordinances that clearly describe permitted activities in the City.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

The Gretna Code of Ordinances Chapter 58 -Zoning and Subdivisions; by adding a new category Screening & Fencing is hereby amended to read:

1. General Provisions

1.1. Jurisdiction

- a. These regulations shall apply to all the area located within the corporate limits of the City of Gretna, Louisiana. All developments shall meet minimum standards and requirements of these regulations, as amended.
- b. This ordinance, or any amendment thereto, shall not affect the validity of any building permit lawfully issued prior to the effective date of the ordinance, or any amendment thereto, provided that the permit is valid upon the effective date of the adoption of this ordinance or any amendment thereto.
- c. This ordinance, or amendment thereto, shall not affect the validity of variances granted prior to the effective date of this ordinance, or amendment thereto. Said variances granted shall remain in effect after the effective date of this ordinance, and shall constitute variances to the applicable provisions of this ordinance.

1.2. Purpose

- a. This Screening & Fencing Ordinance is adopted for the purpose of the following:
 - i. Promote the public health, safety, and general welfare,
 - ii. Preserve the character of each area within the City of Gretna,
 - iii. Provide traffic safety.

1.3. Minimum Requirements

- a. The requirements of this Screening and Fencing Ordinance shall be considered as the minimum requirements for the promotion of the public health, safety, and general welfare.

1.4. Conflicting Provisions

- a. All development must comply with relevant Federal and State regulations.
- b. Whenever any provision of this Screening and Fencing Ordinance conflicts from provisions in any other Chapter of the City of Gretna Code of Ordinances, the provisions of this Screening and Fencing Ordinance shall apply.
- c. Where, in any case, different sections of this Screening and Fencing Ordinance specify different requirements, the more restrictive shall apply as determined by the **Administrator**. Where there is conflict between a general requirement and a specific requirement, the specific requirement shall be applicable.

1.5. Nonconforming Fences and Walls

- a. A lawful fence or wall existing as of the effective date of this zoning code or any amendment to this zoning code, may continue to be used for any purposes permitted in the district provided it is in conformance with the provisions of this section.
- b. A nonconforming fence or wall may be maintained or repaired provided no expansion of the nonconformity occurs.
- c. A nonconforming fence or wall shall not be expanded.
- d. A nonconforming fence or wall which is damaged to 50 percent or less may be repaired provided all construction is in compliance with current construction codes.
- e. If the damage of a nonconforming exceeds 50 percent, restoration or improvement shall not be permitted unless the restoration results in a fence or wall conforming to all applicable requirements of this Fencing and Screening Ordinance.

- 1.6. Severability
- a. Should any provision of this Screening and Fencing Ordinance be decided by the courts to be unconstitutional or invalid, that decision shall not affect the validity of this Screening and Fencing Ordinance other than the part declared to be unconstitutional or invalid.

2. Definitions

- 2.1. The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

- a. Class A Tree – A tree species included in Table 2.1: Class A Trees

Table 2.1: Class A Trees	
Scientific Name	Common Name
<i>Acer rubrum</i> var. <i>drummondii</i>	Maple, Swamp Red
<i>Carya illinoensis</i>	Pecan
<i>Celtis laevigata</i>	Hackberry
<i>Fagus grandifolia</i>	American Beech
<i>Fraxinus pennsylvanica</i>	Green Ash
<i>Ginkgo biloba</i>	Ginkgo
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Magnolia grandiflora</i>	Magnolia, Southern
<i>Nyssa sylvatica</i>	Black Gum
<i>Pinus elliotii</i>	Pine, Slash
<i>Pinus glabra</i>	Pine, Spruce
<i>Pinus palustris</i>	Pine, Longleaf
<i>Pinus taeda</i>	Pine, Loblolly
<i>Platanus occidentalis</i>	Sycamore
<i>Quercus acutissima</i>	Oak, Sawtooth
<i>Quercus alba</i>	Oak, White
<i>Quercus lyrata</i>	Oak, Overcup
<i>Quercus michauxii</i>	Oak, Swamp Chestnut
<i>Quercus nuttallii</i>	Oak, Nuttall
<i>Quercus phellos</i>	Oak, Willow
<i>Quercus shumardii</i>	Oak, Shumard
<i>Quercus virginiana</i>	Oak, Southern Live
<i>Taxodium ascendens</i>	Cypress, Pond
<i>Taxodium distichum</i>	Cypress, Bald
<i>Ulmus alata</i>	Elm, Winged
<i>Ulmus americana</i>	Elm, American

- b. Class B Tree – A tree species included in Table 2.2: Class B Trees

Table 2.2: Class B Trees	
Scientific Name	Common Name
<i>Betula nigra</i>	River Birch
<i>Carpinus caroliniana</i>	Ironwood
<i>Chionanthus virginicus</i>	Fringe Tree
<i>Crataegus opaca</i>	Mayhaw
<i>Lagerstroemia indica</i>	Crepe Myrtle
<i>Ilex opaca</i>	Holly, American
<i>Ilex vomitoria</i>	Yaupon
<i>Ilex x attenuata</i> 'Fosteri'	Holly, Fosters
<i>Ilex x attenuata</i> 'Savannah'	Holly, Savannah
<i>Magnolia virginiana</i>	Magnolia, Sweetbay
<i>Myrica cerifera</i>	Waxmyrtle
<i>Ostrya virginiana</i>	American Hop Hornbeam
<i>Pistacia chinensis</i>	Pistachio
<i>Prunus caroliniana</i>	Cherry Laurel

- c. DBH, diameter breast height – the tree trunk diameter measured at four and a half (4.5) feet above the ground.
- d. Earth berm – mounds or walls of earth molded into landforms within landscape areas and covered with plant material or durable mulch so that bare soil is not visible. Earth berms are used for screening and/or buffering and should be constructed so to prevent soil erosion.
- e. Fence – a structure construction of wood, metal, masonry, or other rigid manmade composite materials that imitates wood, metal, or masonry, which divides two contiguous properties, or is placed on the property to divide an area or portion of land from another. Fences shall be structurally sound and durable and in compliance with provisions of the currently adopted International Building Code. No fragile, readily flammable materials shall be constitute a part of any fence, nor shall such material be used as an adjunct, attachment, or supplement to any fence.
- f. Fence, ornamental - a fence designed in such a manner, and of such material, that the main purpose is to decorate or enhance the appearance of the front or side yard setback in a residential area. Ornamental fences may include hedges. Fences consisting of chain link mesh, welded or woven wire or sheet metal are excluded under this definition.
- g. Lot – a designated parcel, tract, or area of land established by plat, subdivision, deed, or ordinance.
- h. Lot, corner – a lot abutting upon two or more streets at their intersection.
- i. Lot, interior – a lot other than a corner lot.
- j. Lot lines – the property lines bounding a lot.
- k. Lot lines, front – the property line fronting a roadway right-of-way which provides the principle access to the property.
 - i. In the case of a corner lot, the front lot line is the lot line abutting the street which is used by the U.S. Postal Service for the delivery of mail to the structure located on the property. If the lot does not have a structure, the owner may select which lot line abutting a street is the front lot line.
- l. Outdoor customer area – a defined outdoor area of a commercial or institutional use which is intended for the use of customers. Outdoor customer areas may provide outdoor furniture including seating, tables, and trashcans.
- m. Outside storage – Outside storage means the physical presence of any personal property not fully enclosed within a structure. “Outdoor storage” means and includes, but shall not be limited to, the following:
 - i. Inoperable motor vehicles and farm, commercial and industrial equipment of all types;
 - ii. Inoperable or unlicensed recreational vehicles;
 - iii. Junk, imported waste, and discarded or salvaged materials;
 - iv. Dismantled vehicles and vehicle parts, including commercial and industrial farm machinery or parts thereof, tires and batteries;
 - v. Scrap metal, including salvaged structural steel;
 - vi. Salvaged lumber and building materials;
 - vii. Salvaged commercial or industrial trade fixtures;
 - viii. Operable or inoperable industrial or commercial equipment or tools.
 - ix. New building materials and supplies or any project for which no building permit has been issued;
 - x. New or used furniture or appliances;
 - xi. Bottles, cans and paper;
 - xii. Boxes, cable spools, and packing crates; and
- n. Parking area – an area of a lot used as an off street parking facility, enclosed or unenclosed, including parking spaces and access drives and legally designated areas of public streets.
- o. Vehicular use area – land upon which vehicles traverse and all areas used for the display or parking of any and all types of vehicles, boats, or heavy construction equipment, including, but not limited to service bays, loading and unloading areas, and all of street parking areas.
- p. Yard – an open space that lies between the principal or accessory building or buildings and the nearest lot line. Such yard is unoccupied and unobstructed from the ground upward except as may be provided for in this chapter.
- q. Yard, front – a space extending the full width of the lot between any building and the front lot line, and measured perpendicular to the building at the closest point to the front lot line. Such front yard is unoccupied and unobstructed from the ground upward.
- r. Yard, rear – a space extending the full width of the lot between the principal building and the rear lot line, and measured perpendicular to the building at the closest point of the rear lot line. Such rear yard is unoccupied and unobstructed from the ground upward. On all lots, the rear yard shall be at the opposite end of the lot from the front yard.

- s. Yard, side – a space extending from the front yard to the rear yard between the principal building and the side lot line measured perpendicular from the side lot line to the closest point of the principal building. Such side yard is unoccupied and unobstructed from the ground upward.

3. Fence Regulations

3.1. Lot Fencing

Along lot lines, fences may be erected in compliance with the following requirements.

- a. A side or rear yard fence or wall shall not exceed eight (8) feet in height.
- b. Columns of rear and side yard fences or walls, if spaced not less than five (5) feet apart, shall not exceed nine (9) feet in height.
- c. A side yard fence shall not extend in front of the front corners of any residence.
- d. A front yard fence or wall shall not exceed four (4) feet in height.
- e. In GO-1, H-1, BC-1, BC-2, C-1, C-2, and MUCD districts, front yards shall not be fenced, with the following exceptions:
 - i. Any fence not taller than four (4) feet measured from sidewalk elevation may be erected to enclose allowed outdoor customer areas along street frontages.
 - ii. Dumpsters and recycling containers shall be fenced as set forth in [Section 4.2: Dumpsters and Recycling Containers](#).
- f. In R-1 and R-2 districts front yards may be fenced, with the following exceptions:
 - i. Front yards shall not be fenced in R-1 and R-2 districts located south of the Westbank Expressway and in Old Garden Park, as bound by the Westbank Expressway to the south, Evergreen Street to the west, 5th Street to the north, and Stumpf Boulevard to the east. The following exceptions apply:
 - 1. A front yard fence not taller than four (4) feet measured from the sidewalk elevation may be erected on corner lots.
 - 2. A front yard fence may be erected on a lot where both adjacent lots have existing front yard fences which are in compliance with the provisions of this ordinance. The front yard fence may not exceed the height of the existing front yard fence of any adjacent lot or four (4) feet measured from the sidewalk elevation, whichever is lower.
- g. All fences and walls shall not exceed three (3) feet in height within clear vision areas as defined in [Section 6: Sight Triangle](#).
- h. For the purpose of this paragraph measurement shall be made as follows:
 - i. The height shall be measured from the natural adjacent grade.
 - ii. The top of a chain wall shall not exceed six (6) inches measured from the adjacent grade on the outside; or
 - iii. The top of a retaining wall that has been properly permitted.

3.2. Fence Design Standards

- a. All fences facing streets shall be constructed of wood, wrought or cast metal.
- b. Chain link security fencing may be established on side and rear yards that do not face a street.
- c. Barbed and razor wire shall not be allowed, except in M-1 and M-2 districts, and for the protection of critical facilities, as determined by the **Administrator**. Where barbed and razor wire is used, it shall be screened with a five (5) feet planted buffer strip. Buffer planting requirements of [Section 5: Buffer Planting Area](#) shall apply.
- d. The **Administrator** may allow alternative fence materials of similar appearance and durability as the allowed under this paragraph.

4. Screening Requirements

4.1. Vehicular Use Areas

- a. The provisions of this paragraph shall be applicable to all non-residential uses.
- b. On side and rear lot lines of the lot adjacent to any residential lot, vehicular use areas shall be screened by a planted buffer strip, as defined in [Section 5: Buffer Planting Area](#). In addition to buffer plantings, an opaque fence, not taller than eight (8) feet in height shall be provided.
- c. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - i. The planted area shall be at least equal to the required setback, but in no case less than five (5) feet wide.

- ii. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
- iii. The planting strip shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.



Figure 4.1: Vehicular Use Areas

- d. Vehicular use areas located within the City's Historic Districts, as defined in [Sec. 32-5. - Same—Areas of Jurisdiction](#) of the [City of Gretna Code of Ordinances, Chapter 32 - Historic Preservation](#), shall be screened from the public right-of-way by a planted buffer strip of not less than three (3) feet width and a masonry wall, or wrought iron fence, or a combination thereof, of not less than two (2) feet and not more than four (4) feet in height, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where the barrier shall be not more than three (3) feet in height. The barrier shall be subject to the design review of the City of Gretna Historic District Commission.
 - i. Vehicular use areas adjacent to the public right-of-way shall be screened by a planting strip along the entire length of the perimeter of the street facing area. The planting strip shall be planted as follows:
 - 1. Shrubs and plants shall be a minimum of thirty-six (36) inches in height from the ground during installation and a maximum of four (4) feet at maturity, except within clear vision areas as defined in [Section 6: Sight Triangle](#), where planting and shrubs shall be not more than three (3) feet in height.
 - 2. The planting strip shall contain one (1) Class B Tree for every fifteen (15) linear feet.

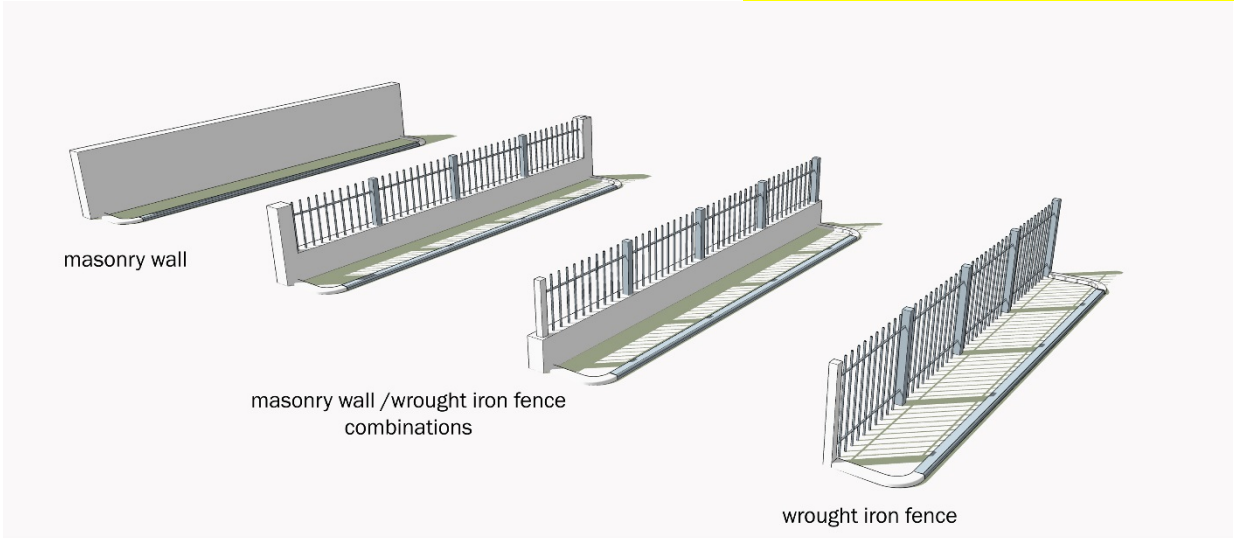


Figure 4.2: Historic Screening Examples

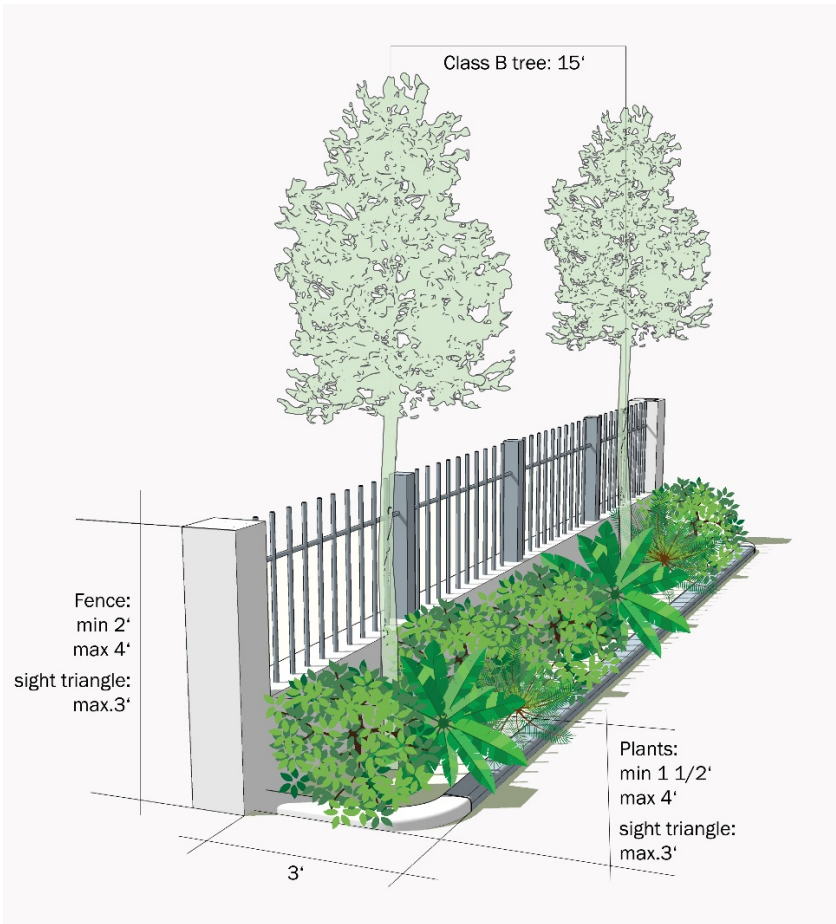


Figure 4.3: Historic District Screening Dimensions

4.2. Dumpster and Recycling Containers

- a. Dumpsters and recycling containers shall be fully enclosed on all sides by a solid fence, a masonry wall, or principal structure wall six (6) feet in height. The enclosure shall be gated.
- b. The materials used for screening, including the enclosure, shall use similar materials and colors of the principal building.

4.3. Utilities

- a. Above ground public utilities, with the exception of utility poles, shall be screened by a continuous hedge of no less than three (3) feet in height if surrounded by at least three (3) feet of exposed soil or grass. A setback of no less than one and one-half (1.5) feet must be provided around equipment to allow for property operation and maintenance of the equipment.
- b. On non-residential lots mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened from view at the front property line and the side property line if the property is a corner lot. Exterior screening materials shall be the same as the predominant exterior materials of the principal building.

4.4. Outside Storage Areas

- a. All outside storage of commercial and industrial uses must provide a solid fence made of wood or brick, or masonry wall. The fence must be of such height that all outside storage is screened from public view. No sheet metal fence shall be allowed.

5. Buffer Planting Area

5.1. Buffer planting areas shall be required between different uses and/or districts in accordance with [Table 5.1: Buffer Planting Area Requirements](#).

Table 5.1: BUFFER PLANTING AREA REQUIREMENTS					
ADJACENT LAND USE OR ZONE	PROPOSED DEVELOPMENT				
	RESIDENTIAL	COMMERCIAL, INSTITUTIONAL, & MIXED USE	LIGHT INDUSTRIAL	HEAVY INDUSTRIAL	PARKING LOT
RESIDENTIAL USES & ZONES (R-1, R-1A, R-1MH, R1-TH, R-2, R-3, OTR)	NR	10’	10’	25’	10’
COMMERCIAL , INSTITUTIONAL & MIXED-USE USES & ZONES (BC-1, BC-2, C-1, C-2, GO-1, H-1, MUCD)	10’	NR	10’	25’	NR
LIGHT INDUSTRIAL USE & ZONES M-1	10’	10’	NR	25’	NR
HEAVY INDUSTRIAL USE & ZONE M-2	25’	25’	25’	NR	NR
PARKING LOT	10’	NR	NR	NR	NR
PUBLIC RIGHT OF WAY	NR	NR	NR	15’	NR

- a. The minimum width listed in [Table 5.1: Buffer Planting Area Requirements](#) indicates the total required buffer between the properties. Provision of the buffer is the sole responsibility of the applicant for the proposed development.
- b. The buffer zone shall consist of an area not less than the required depth measured at right angles to the property line(s) along the entire length of a contiguous to the property line adjacent to the more restrictive zoning district.
- c. The buffer planting area is required to be provided in conjunction with the issuance of a building permit for new construction on a development site or when there is a change in land use.
- d. Trees in buffers that are healthy and of desirable species from [Tables 2.1 and 2.2](#), and six (6) inches at DBH or greater shall be preserved regardless of the number of said trees. All trees required to be preserved shall be indicated on the landscape and tree preservation plan.
- e. The buffer yard shall be planted as follows:

i. The buffer zone shall contain one (1) Class A Tree for every twenty-five (25) linear feet and one (1) Class B Tree for every fifteen (15) linear feet.

ii. Plantings shall be a minimum of four (4) feet in height from the ground during installation and a minimum of six (6) feet mature.
- f. A 100% sight obscured fence or wall of eight (8) feet in height, erected on the border of the buffer yard area which lies inside the lot, may be provided in lieu of planting in the buffer area.
- g. The property owner shall maintain landscaping required by this ordinance in accordance with the following standards:

i. Use of Required Landscape Area. No required landscape area shall be used for accessory structures, garbage or trash collection, parking, or any other functional use contrary to the intent and purpose of this article.

ii. All required landscaping, excluding trees, shall be watered if needed.

iii. Replacement of Dead Materials. The property owner shall replace required plants which die. Replacements shall be installed at the earliest possible time within a planting season, and replacements shall be as shown on the approved landscape plan.

6. Sight Triangle

- a. All fences and buffers shall conform to the Louisiana DOTD standards and be located so as not to cause an obstruction to motorists.
- b. A sight triangle measuring ten (10) feet along the property line by a depth of ten (10) feet shall be established at intersections and access ways. No fences, wall, or plantings over three (3) feet shall be allowed in this sight triangle.

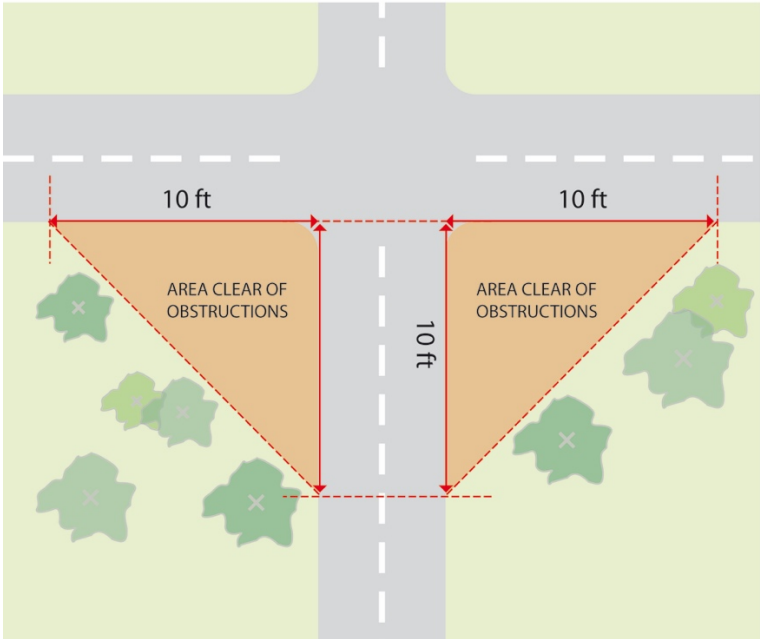
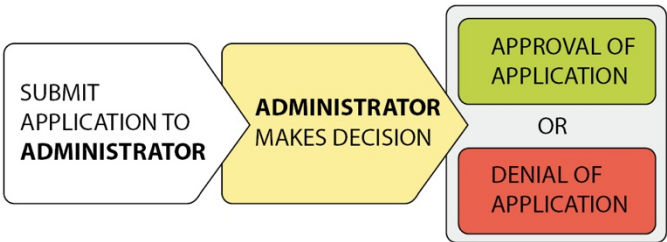


Fig. 6.1: Sight Triangle

7. Permit Procedure



7.1. When Required

- a. A fence permit is required for all fences and walls that are newly erected or replaced after (insert effective date of this ordinance) within the jurisdiction of the City of Gretna, except the following.
 - i. The fence or wall is part of a new development or substantial redevelopment which requires a site plan review as lined out in Sec. 58-70. - Site plan review process of the City of Gretna Code of Ordinances.
 - ii. The fence or wall is part of a new development or redevelopment that requires the submittal of a landscape plan, as regulated in Chapter 58 – Zoning and Subdivisions of the City of Gretna Code of Ordinances.
- b. It shall be unlawful to construct, erect, alter, relocate, or display any fence or wall without first obtaining a fence permit from the Administrator.

7.2. Application and Fees

- a. An application for a Fence Permit shall be filed in writing with the Administrator and contain all information requested by the Administrator.
- b. Applications must be submitted on forms in such numbers as required by the Administrator.
- c. Applications shall be complete and sufficient for processing before the Administrator is required to review the application.
- d. The Administrator may require the submission of information additional to that listed in this section, if determined as necessary to decide whether or not the fence as proposed will comply with all of the requirements of this Fencing and Screening Ordinance.

- e. Applications shall include the following.
 - i. Written consent of the owner of the property, or his agent, granting permission for the construction of the fence or wall;
 - ii. Name, address, and telephone number of the property owner, business owner, and the fence or wall contractor;
 - iii. Address of the lot, or lots, on which the fence or wall is to be erected;
 - iv. Zoning designation of the lot, or lots, on which the fence or wall is to be erected.
 - v. Site plan of the lot, or lots, on which the fence or wall is to be erected, including the following.
 - 1. Exact position of the fence or wall in relation to nearby buildings, structures, and/or property lines;
 - 2. Height of the fence or wall, measured as set forth in Paragraph 3.1: Lot Fencing
 - 3. Linear feet of the fence or wall
 - 4. Type, material, and color of the fence or wall
 - 5. Any electrical permit required for gates, if applicable.
- f. The Administrator may require that the fence or wall plans be signed by a structural engineer licensed by the State of Louisiana.
- g. Upon the filing of an application for a fence permit, the Administrator shall grant, deny, or reject the permit within forty-five (45) days from the application date. The applicant shall receive notice by hand delivery or by mailing notice to the address on the permit on or before the forty-fifth day.
- h. The fees for permitting shall be established by the City of Gretna Planning and Zoning Commission and can only be amended by the City Council.

7.3. Review Criteria

- a. The proposed fence must meet the requirements of this Screening & Fencing Ordinance
- b. In deciding to approve, approve with conditions, or deny the proposed fence permit, the Administrator shall consider relevant comments of all interested parties.
- c. The decision of the Administrator must be consistent with prior decisions.

7.4. Effect of Denial.

- a. The denial of a fence permit application shall ban the subsequent application for the same fence or wall for a period of twelve (12) months.

7.5. Expiration.

- a. A fence permit shall remain in effect for six (6) months from issuance date, and if the fence or wall is not completed within those six months, the permit shall expire.

Provided that a majority of the City Council of the City of Gretna have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstain:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the
Mayor on

Ordinance returned from the
Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

City of Gretna

Appeal Request

Re: Historic District Commission

Request date: 4-3-17

1112 Monroe Street
Address of Property

Jack Bradley
Name of Applicant

Contact Phone: 504-495-5399 E-mail address: Jack1582001@yahoo.com

Per the Gretna Code of Ordinances, *Sec. 32-11.- Appeals.*

Sec. 32-11. - Appeals.

- (a) Any person or persons aggrieved by any decision, act or proceedings of the historic district commission shall have a right to an appeal before the city council for reversal or modification thereof; such appeal shall be lodged with the city clerk, and the mayor, or presiding officer of the city council, shall have the right to stay all further action until the city council shall have had an opportunity to rule thereon. Any such appeal shall be taken within five days, exclusive of holidays and weekends from date of the written decision, and the city council may consider said appeal at its next general or special meeting, but, in any event, not more than 45 days thereafter. The city council may affirm a decision of the historic district commission by majority vote of all its members. The city council shall have the right to reverse, change or modify any decision of the historic district commission by majority vote of all its members.

I hereby appeal to the Gretna City Council the decision of the Historic District Commission on:

4 / 3 / 17 : Denial to install driveway strips and Aprons.

[Signature]

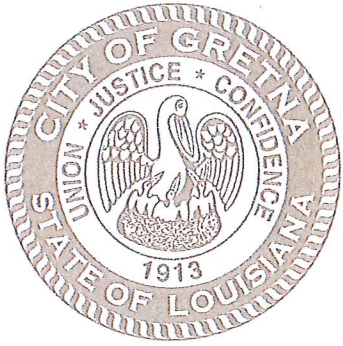
Signature of appellant

Jack P Bradley
(PLEASE PRINT NAME)

Appeal request
received on: 4-3-17
Date

[Signature]
City Clerk

Appeal hearing
Scheduled for: 4-12-17 Council/Regular Meeting



CITY OF GRETNA
HISTORIC DISTRICT COMMISSION

DENIAL

1112 Monroe Street

PROPERTY ADDRESS

Jack Bradley

NAME OF APPLICANT

Work Denied: Installation of driveway strips
and aprons.


Signature of HDC Chairperson

4/3/17
Date

City Ordinance Sec. 52-11 Appeals

Any person or persons aggrieved by any decision, act or proceedings of the Historic District Commission shall have a right to an appeal before the City Council for reversal or modification thereof; such appeal shall be lodged with the City Clerk, and the Mayor, or presiding officer of the City Council, shall have the right to stay all further action until the City Council shall have had an opportunity to rule thereon. Any such appeal shall be taken within 5 days, exclusive of holidays and weekends from date of the written decision, and the City Council may consider said appeal at its next general or special meeting, but, in any event, not more than forty-five days thereafter. The City Council may affirm a decision of the Historic District Commission by majority vote of all its members. The City Council shall have the right to reverse, change or modify any decision of the Historic District Commission by majority vote of all its members.

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com



COD-17-0001

BURK-KLEINPETER, INC.

To: Hon. Belinda C. Constant, Mayor
Hon. Council Members Rau, Crosby, Hinyub, Miller and Berthelot

From: David Boyd P.E., Burk-Kleinpeter, Inc.

Subject: Monthly Project Status Report

Date: June 14, 2017

Gretna Police Headquarters Renovation Phase III

Pre-Construction meeting was held on June 1, 2017 and Notice to Proceed was issued.

Garden Park Subdivision Street Signage

Re-advertised Wednesday, June 31, 2017. Bid Opening scheduled for Wednesday June 21, 2017 at 10 AM.

Gretna Wastewater Treatment Plant Digester Roof Removal and Sludge Disposal

Project is complete minus some additional coating work on the piping and tank. Waiting for cost proposal from BLD services, to do this work.

Precipitator #2 Rehabilitation, replacing the metal basin with fiberglass

Pre-Construction meeting was held on May 15, 2017 and Notice to Proceed was issued May 22, 2017. Demolition Work is underway.

Stumpf Boulevard Sewer Force Main

Pre-construction meeting with Fleming Construction has been scheduled for June 13, 2017.

4th Street Extension

Site work is underway.

Gretna Bike Path

We are awaiting any final comments from DOTD.

Stumpf Boulevard at Westbank Expressway Road Failure-Drainage Project

Cost estimates to close in the canal and divert a portion of the flow directly to Whitney Canal via Dupas Street, Friedrichs Road or Hawkins Street have been prepared. Currently the city is in litigation with Command Construction and a permanent solution (filling in the canal with box culverts) will be presented at an upcoming meeting.

Downtown Gretna Lighting

Currently working towards 30% design for 6/21/17. The 30% will include luminaire and pole selections, pole location layouts, and photometric report. Preliminary photo metrics were run to determine optimum pole spacing. At this time, progressing with the layout of poles along Huey P. Long Avenue using spacing criteria and coordinating with driveways, building facades, and infrastructure.

Gretna Kiosks at City Hall

Costs to design the Kiosk installation have been submitted to H3HC. Total project costs are in the process of being submitted to the City.

25th Street Canal Project Grant Writing-Engineering Design Request for Proposals

Project was awarded to Arcadis-BKI on March 29, 2017.

Stop Sign Study 4th Street (La.18) and Huey P. Long Avenue

DOTD has been contacted and am awaiting their direction on getting a DOTD study to justify the stop sign installation. Councilman Hinyub has been included in the correspondence.



City of Gretna Public Works Department

MEMO

**TO: Mayor Belinda C. Constant
City Council Members**

FROM: Danny Lasyone

DATE: June 14, 2017

RE: Status reports - Citywide maintenance and public improvements projects

District 1

- Neutral ground maintenance (ongoing)
- City Sweeper cleaning streets district wide
- Blew out drain lines and cleaned out drain boxes with vactor truck at 500 & 532 Franklin Avenue, 1009 Perry Street, 400 block of Cook Street, 305 & 317 Virgil Street, 1001, 1116 & 1101 Solon Street and 902 & 1028 Kepler Street
- Asphalt repairs completed at Perry Street and Madison Street
- Mucked out and removed debris out of the Hancock Street Canal

District 2

- Blew out drain lines and cleaned out drain boxes with vactor truck at Huey P. Long Avenue from 5th Street to 6th Street, 67 & 69 Willow Drive, 5th Street & Holly Drive, 216 & 229 Lafayette Street, 409 Amelia Street, 10th Street & Fried Street and Vernon Street & Willow Drive
- Neutral ground maintenance (ongoing)
- Sweep walking path on levee (ongoing)
- City Sweeper cleaning streets district wide
- Cleaning catch basins district wide (ongoing)
- Cut and trimmed Huey P. Long Avenue
- Asphalt repairs completed at 810 Lafayette Street and 109 & 1166 Hamilton Street
- Mucked out and removed debris out of Gov. Hall Street Canal from 9th Street to the Westbank Expressway

District 3

- Blew out drain lines and cleaned drain boxes with vactor truck at 3345 Hero Drive, 64 & 68 Mason Street, 520 Fairfield Avenue, 600 & 605 Adee Lane and 2735 Huey P. Long Avenue
- City Sweeper cleaning streets district wide
- Cut and trimmed grass at Belleview Park, City Park and the observatory
- Grocery carts picked up weekly district wide
- Cleaning catch basins district wide (ongoing)
- Asphalt repairs completed at 2616 Rose Drive, 24th Street & Rose Drive and 1719 Stafford Street
- Repaired a 15' drain pipe and a 24" x 24" drain box at 823 24th Street

District 4

- Blew out drain lines and cleaned drain boxes with vactor truck at 507 25th Street, Linda Court & Howard Street, Tulip Drive & James Court, 178 & 180 Willow Drive, 314 Gretna Boulevard, 62 & 64 Marie Drive and 107 Kennedy Drive
- Grocery carts picked up weekly district wide
- City sweeper cleaning streets district wide
- Neutral ground maintenance (ongoing)
- Cleaning catch basins district wide (ongoing)
- Trimmed bamboo on Timberlane Drive (ongoing)
- Asphalt repair completed at Colony Road and Timberlane Drive

Citywide

- Sign maintenance
- Drain maintenance
- Grass cutting
- WPA ditch cleaning in Districts 1 and 2 with city crews
- Pickup of grocery carts weekly

**CITY OF GRETNA
HISTORIC DISTRICT COMMISSION MEETING
MONDAY, June 5, 2017**

TO: Hon. Mayor Belinda Constant, Honorable Council Members Wayne Rau, Milton Crosby, Mike Hinyub, Mark Miller and Jackie Berthelot

**From: Z. Dieterich, Chairman
Danika Gorrondonna, City Building Official**

**Members Present: Historian: Mary Lou Eichhorn
At Large: Virginia Gaudet
Architect: Paula Peer
District 1: Rudy Smith
District 2: Zach Dietrich
District 3: Peter Spera
District 4: Dan Rosenthal**

**Members Absent:
None**

Consent Agenda Applications

710 Amelia Street - COA-17-0050 Issued.

Applicant: Alfred Rousselle

For: Iron handrails, gutters, wood fence and gate.

810 Lafayette Street - COA-17-0051 Issued.

Applicant: George Kleinpeter Jr.
approved renovation plans.

For: Revision to location of side door and window on previously

Consent Agenda Approved 6-0.

Applications for Discussion

1130 Lafayette Street -

Applicant: Monica Moreira

For: Monument Sign

Converted to Preliminary Conference – Applicant Not Present - Approved 7-0

Discussion regarding the historic appropriateness of sign proposed, placement on property, illumination and other questions needing clarification.

1121 8th Street - COA-17-0052 Issued.

Applicant: Brad Sullivan

For: Construction of rear concrete patio and installation of freestanding gazebo.

Approved 7-0.

728 Burmaster Street - COA-17-0053 Issued.

Applicant: Jacob Kennedy

For: Modifications to side porch installed by prior owner including installation of wood spindles and changing of stair treads to meet building code.

Approved 7-0.

1030 11th Street - COA-17-0054 Issued.

Applicant: Dawn Laufenberg & Sue Bankston For: Renovations to existing structure including removal of aluminum windows and replacement with vinyl windows to match existing light pattern of wood windows on the structure, removal of gutters on shed.

Approved 7-0.

1321 – 1323 Franklin Street – COD-17-0002 Issued.

Applicant: Starletia Goodwin

For: Installation handrails to front porch.

Denied 7-0.

Handrails consistent with HDC guidebook previously approved at residence. Due to hardship applicant submitted differing handrails for consideration. Alternate handrails were deemed to be not historically appropriate and application was denied.

935 Newton Street - COA-17-0055 Issued.

Applicant: Stefanie Cronin

For: Rear yard privacy fence and extension of existing side yard fence.

Approved 7-0.

214-216 Lafayette Street - COA-17-0056 Issued.

Applicant: Michael Bell

For: Renovation to existing multi family residence to become single family home and construction of rear yard garage.

Approved 7-0.

1104 9th Street – COD-17-0003 Issued.

Applicant: Chris Cuccia

For: Extensive change to previously approved accessory structure.

Denied 5-2.

Approved free-standing accessory structure was connected to main residence in a non-historically appropriate fashion. Approved garage door was replaced with two French doors which were also deemed to be not historically appropriate.

1337 Madison Street

Applicant: Dina Lalley

For: Front Doors, Front Fence and renovations to rear of residence.

Converted to preliminary conference to discuss: Continued preliminary conference concerning need for applicants to submit proposed rear schematic and product information for windows and doors, simpler proposed fence finals and options for front doors.

Motion to Convert to Preliminary Conference Approved 7-0.

Submitted by: Z. Dieterich, Chairman



REPORT

TO: MAYOR BELINDA C. CONSTANT
COUNCILMEN RAU, CROSBY, HINYUB, MILLER AND BERTHELOT
NORMA J. CRUZ, CITY CLERK
MARK MORGAN, CITY ATTORNEY

FROM: ANGEL GONZALES, CODE ENFORCEMENT COORDINATOR

DATE: JUNE 14, 2017

RE: DEPARTMENT OF CODE ENFORCEMENT

Code Enforcement issues in the City of Gretna are addressed by one of our two Code Enforcement Officers. The Westbank Expressway divides the City into a North side, monitored by Brandon Couvillion, and a South side, monitored by Leo Washington.

The Code Enforcement Office has been monitoring and addressing the following violations since May 10, 2017

1	Animal Control
0	Basketball Goals on city streets
1	Boats/recreational vehicles in the front yard
0	Businesses operating without a license
0	Disposal of grass
0	Dumpsters without an enclosure
0	Front yard parking
46	High weeds/grass
0	Junked/inoperable vehicles tagged
1	Persons responsibility
0	Graffiti prohibited
1	Maintenance of a nuisance
0	Major vehicle repair
0	MS4 violation
0	No utility service
0	Obstruction of walk/street
3	Pictures
0	Prohibited signs
7	Property maintenance deficiencies
0	Sign in disrepair
3	Stop work orders (Work without a building permit)
0	Storage of vehicles awaiting repair
1	Temporary sign erected without a permit
1	Swimming pool sanitation
46	Trash/debris
0	Unsafe conditions
2	Vacant/derelict properties
1	Zoning violations
30	Signs removed from the ROW, utility poles, public places etc.
<u>118</u>	TOTAL INCIDENTS

City of Gretna
Department of Inspection and Code
Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Designation	Issued Date	Permit Number	Contractor	Zone	Site Address	Estimated Value	Description	Paid	Apply Online
Commercial: Remodeling Renovations (Com)	5/19/2017	2017-1406	RON SPARKS INC.	BC-2 (Business Core District)	62 Westbank Expressway	\$263,433.00	Renovation of existing building for the retail sale of automotive parts and accessories as per code and requirements. Cost of improvements are under 50% of the FMV. All trades shall under this permit number. Sign permit shall be filed under another permit. City of Gretna approved plans shall be printed and on site at all inspections. You are required to post permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org. repiping in plumbing and relocating mop sink Remodel of vacant space.	\$1,340.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Commercial: Remodeling Renovations (Com)	5/12/2017	2017-1510	JASPER CAVALIER CONTRACTOR SERVICES - ANTHONY FRANKOVICH	C-1 (Neighborhood Commercial District)	500 9th street	\$60,000.00	First phase for exterior improvements and interior demolition. HDC reviewed, approved and issued a Certificate of Appropriateness on May 1, 2017. NO TRADE WORK SHALL BE PERFORMED UNDER THIS PERMIT. Cost of improvements are under 50% of the FMV. City of Gretna approved plans shall be printed and on site at all inspections. You are required to post Certificate and Permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$325.00	

City of Gretna
Department of Inspection and Code
 Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Commercial: Remodeling Renovations (Com)	6/2/2017	2017-1552	THE ROSS GROUP CONSTRUCTION CORPORATION - Ricky Graves	BC-1 (Business Core District)	91 Westbank Expressway Suite 490	\$425,000.00	TI build out of vacant cold, dark shell. New interior partitions, finishes, HVAC, plumbing, lighting. No exterior construction except for a ramp at egress door to comply with accessibility code. All trades shall file under this permit number. You are required to have City of Gretna approved plans printed and on site at all inspections. You are required to post permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$2,150.00	
	5/26/2017	2017-1569	WESTBANK ROOFING CO., INC.	R-1 (Single Family Residenital District)	701 Amelia Street	\$120,000.00	Replacement of roof to match existing on main building as per code and requirements. No change to aesthetics there fore not HDC is required. The added canopy is not within this scope of work. You are required to post permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org	\$625.00	

City of Gretna

Department of Inspection and Code

Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Commercial: Remodeling Renovations (Com)	6/2/2017	2017-1578	Ahern Fire Protection a div. of J. F. Ahern Co. - Jeremy Olson	M-2 (Special Industrial District)	82 1st Street	\$460,000.00	Install two wet ESFR Overhead Sprinkler Systems in existing storage warehouse, Install 1 wet overhead system within existing wood frame office, Install 1 wet overhead system in new pump room & install one 2000gpm @95psi diesel fire pump, Install 1 in-rack all per code and requirements. You are required to have permit posted and visible from street. All trades shall file under this permit. Your are required to have the City of Gretna approved plans on site at the time of all inspections and request ALL INSPECTIONS via www.mygovernmentonline.org .	\$2,325.00	
						\$1,328,433.00		\$6,765.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Residential: New Single Family Residence (Res)	6/7/2017	2016-1227	LESLIE HOMES, INC. - Baldassaro, Vincent Jr.	R-2 (Two-Family Residential District)	1126 6th Street	\$93,100.00	New construction of a 1330 SF single family residence as per code, requirements and ABFE regulations. HDC reviewed and approved and issued a Certificate of Appropriateness on Dec. 27th, 2016 and was approved with modifications. Project was suspended for a period of time at the request of the owner. Comments addressed by architect see letter sent 5.31.17. All trades shall file under this permit. City of Gretna approved plans shall be printed and on site at the time of all inspections. You are required to have certificate and permit on site for the duration and completions of project and to request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org . Permit shall meet the requirements R312.1 Guards.	\$490.00	
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City of Gretna
Department of Inspection and Code
 Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Residential: New Single Family Residence (Res)	6/1/2017	2017-1434	DEJESUS CONSTRUCTION COMPANY, INC.	R-1 (Single Family Residenital District)	736 Newton Street	\$595,000.00	New Construction of a Single family dwelling as per code, requirements, and Advisory Base Flood Elevations regulations. HDC reviewed, approved and issued a Certificate of Appropriateness on 4.3.2017. All trades are required to file under this permit number. You are required to have your permit, Certificate and City of Gretna approved plans on site at all times and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org . install temp pole	\$3,000.00	
						\$688,100.00		\$3,490.00	
Residential: Renovations (Res)	6/6/2017	2016-798	COMMANDO ENTERPRISE LLC - Richard Elwin Boatwright	R-1 (Single Family Residenital District)	946 12th Street	\$20,162.00	Electrical, light fixtures, plumbing, hvac, insulation, sheetrock, cabinets, countertops, vanity and toilet, doors, and trim all per code and requirements. Must call for inspections.	\$130.00	

City of Gretna
Department of Inspection and Code
Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Residential: Renovations (Res)	6/8/2017	2017-1530	Pintail Contracting Services LLC - Jeffrey Lemoine	C-1 (Neighborhood Commercial District)	538 Weyer St	\$62,740.00	Renovation of existing double shotgun type home into a new single family home. Demolition of rear lean to with new addition to include rear porch. Exterior windows will be replaced, exterior doors at Weyer to be renovated, new exterior doors at back and new awning and fixed planters at front. Modification to interior walls and new interior walls. All per code and requirements. Cost of improvements are under 50% of the Fair Market Value of the structure. HDC reviewed, approved, and issued a Certificate of Appropriateness on May 1, 2017. City of Gretna approved plans shall be printed and on site at the time of all inspections. All trades shall file under this permit. You are required to post Certificate and permit in window visible from street and request ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org .	\$340.00	

City of Gretna
Department of Inspection and Code
 Permits Issued from 5/10/2017 12:00:00 AM thru 6/9/2017 12:00:00 AM

Residential: Renovations (Res)	5/15/2017	2017-1534	nancy mole	R-1 (Single Family Residenital District)	61 marie drive	\$60,000.00	Rear addition to a single family dwelling as per code and requirements. Cost of construction is under 50% of the FMV. City of Gretna Approved plans shall be printed and on site at the time of all inspections. All trades shall file under this permit number. You are required to post permit in window visible from street and REQUEST ALL REQUIRED INSPECTIONS via www.mygovernmentonline.org.	\$325.00	
						\$142,902.00		\$795.00	
Total						\$2,159,435.00		\$11,050.00	

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 17, 18 and Part of Lot 19, Square 20, Village of Mechanickham Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lot 18-A, Square 20, Village of Mechanickham Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 4, 2017. Municipal Address: 517 Huey P. Long Avenue

WHEREAS, Sydney D. Jones III and Melissa W. Jones are the owners of **Lots 17, 18 and Part of Lot 19, Square 20, Village of Mechanickham Subdivision**, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owner has resubdivided Lots 17, 18 and Part of Lot 19, Square 20, Village of Mechanickham Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 18-A, Square 20, Village of Mechanickham Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 4, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 17, 18 and Part of Lot 19, Square 20, Village of Mechanickham Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lot 18-A, Square 20, Village of Mechanickham Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 4, 2017, be and the same is hereby approved.

SECTION II: The Mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

- Yeas: **Councilmen**
- Nays:
- Absent:
- Abstained:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the Mayor on

Ordinance returned from the the Mayor on

SQUARE 20
VILLAGE OF MECHANICKHAM
CITY OF GRETN
JEFFERSON PARISH, LA.

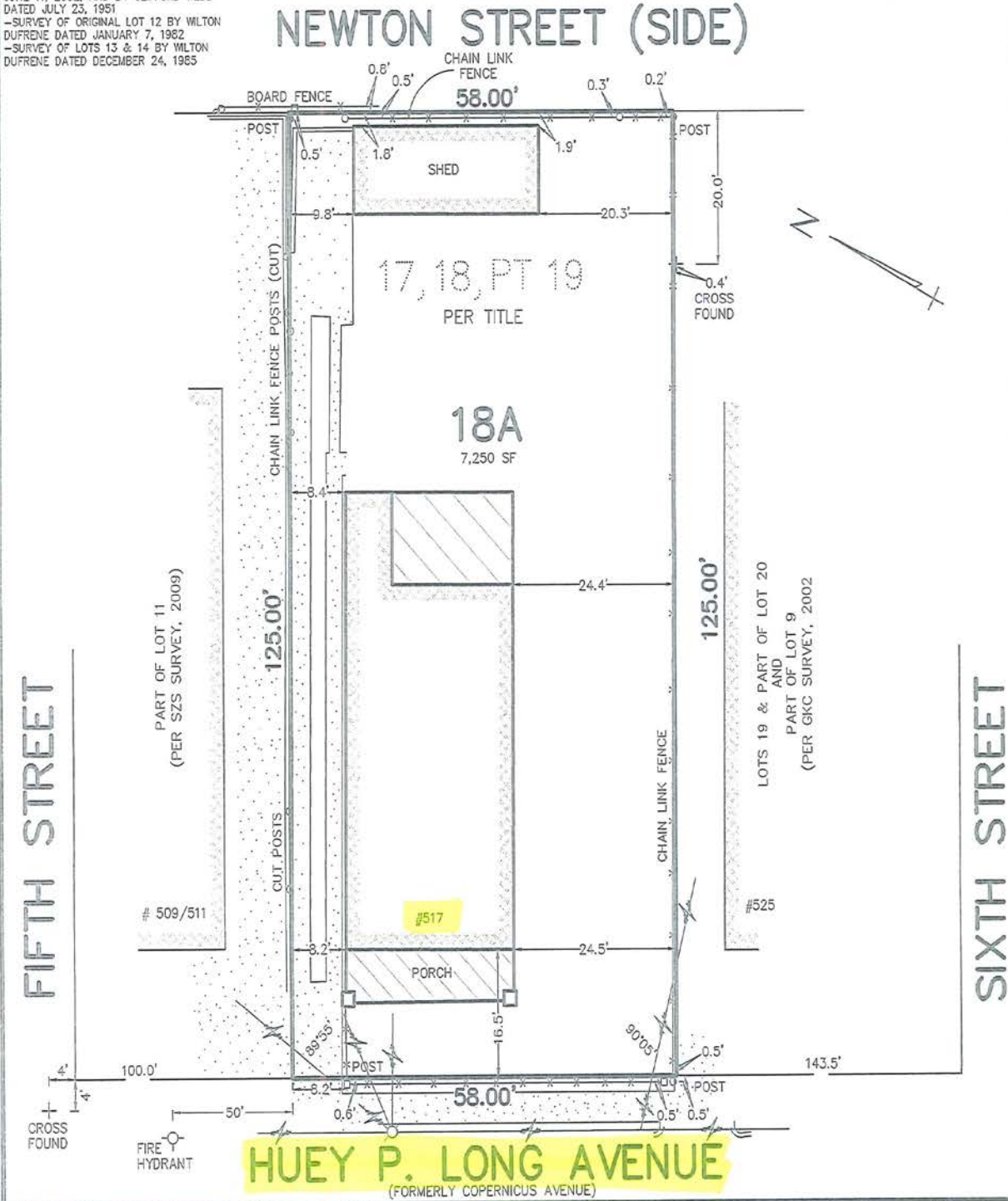
THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE:
-RESUBDIVISION FOR LOTS 15-A & 16-A BY DUFRENE SURVEYING & ENGINEERING, DATED SEPTEMBER 4, 1996
-SURVEY OF PART OF ORIGINAL LOT 11 BY SZS CONSULTANTS, DATED NOVEMBER 19, 2009
-SURVEYS OF ORIGINAL LOT 9 BY GKC DATED JUNE 11, 2002, AND BY CLIFFORD WEBB DATED JULY 23, 1951
-SURVEY OF ORIGINAL LOT 12 BY WILTON DUFRENE DATED JANUARY 7, 1982
-SURVEY OF LOTS 13 & 14 BY WILTON DUFRENE DATED DECEMBER 24, 1985

Approved by the Mayor and the City Council of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____



MAY 4, 2017
RESUBDIVISION OF LOTS 17, 18, AND PART OF LOT 19 INTO LOT 18A
SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS C SURVEY, MADE AT THE REQUEST OF SIDNEY D. JONES, III & MELISSA WILLIAMS JONES.

DUFRENE SURVEYING & ENGINEERING INC.
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com



JOB# 17-000208
SCALE: 1" = 20'

Jonathan P. Dufrene
GRETN\MECHANICKHAM\S020-LT17(RESUB).DWG



APPLICATION FOR RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____
 Adopted on: _____
 District No. ____, Councilman _____
 Certified mail cost \$6.59 x ____: \$ _____
 (Non-Refundable) fee \$ 300.00
TOTAL DUE: \$ _____

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 5/15/17

Address of property to be resubdivided: 517 HUEY P. LONG AVE. GRETN, LA 70053

From: Current

Legal Description: 17, 18 and part of 19, 20 Village of Mechanickham
Lot(s) Square Subdivision

To: Proposed

Legal Description: 18 A Village of Mechanickham
Lot(s) Square Subdivision

Applicant's Name: SIDNEY D. JONES III & MELISSA W. JONES Contact Phone No. 434-316-3883

Applicant(s) Address: 517 HUEY P. LONG AVE., GRETN, LA 70053 E-Mail ashcam928@yahoo.com

Owner of Record: SIDNEY D. JONES III & MELISSA W. JONES Contact Phone No. 434-316-3883

Owner's Address: 517 HUEY P. LONG AVE., GRETN, LA 70053 E-Mail ashcam928@yahoo.com

Give brief explanation / reason for resubdivision: RENOVATION / ADDITION TO PRESENT HOME

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey (Current)				
Notarized Affidavit				
Applicable Certified letters (\$6.59 each)				
Address area posted				
Review by City Engineer				
Ordinance drafted				

APPROVED FOR PRESENTATION

Azalea M. Russell
 Approval of Planning & Zoning Official

Review and approval date

REMARKS: Combining multiple lots of record into one lot.

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Melissa W. Jones
 Signature of Applicant/Owner of Record

MELISSA W. JONES
 PRINT YOUR NAME

OWNER
 Title

4-3-17
 Dated

NOTE: Please read & follow instruction sheet attached.

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving the resubdivision of Lots 27, 28 and 29, Portion A, Hero Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lots 27A and 27B, Portion A, Hero Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated July 5, 2016. Municipal Address: 1819-1821 Claire Avenue

WHEREAS, Eric Covell, Et Al are the owners of Lots 27, 28 and 29, Portion A, Hero Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owners have resubdivided Lots 27, 28 and 29, Portion A, Hero Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO Lots 27A and 27B, Portion A, Hero Subdivision**, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated July 5, 2016, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 27, 28 and 29, Portion A, Hero Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO Lots 27A and 27B, Portion A, Hero Subdivision**, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 18, 2017, be and the same is hereby approved.

SECTION II: The Mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstained:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

PORTION A
HERO SUBDIVISION
CITY OF GRETNA
JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

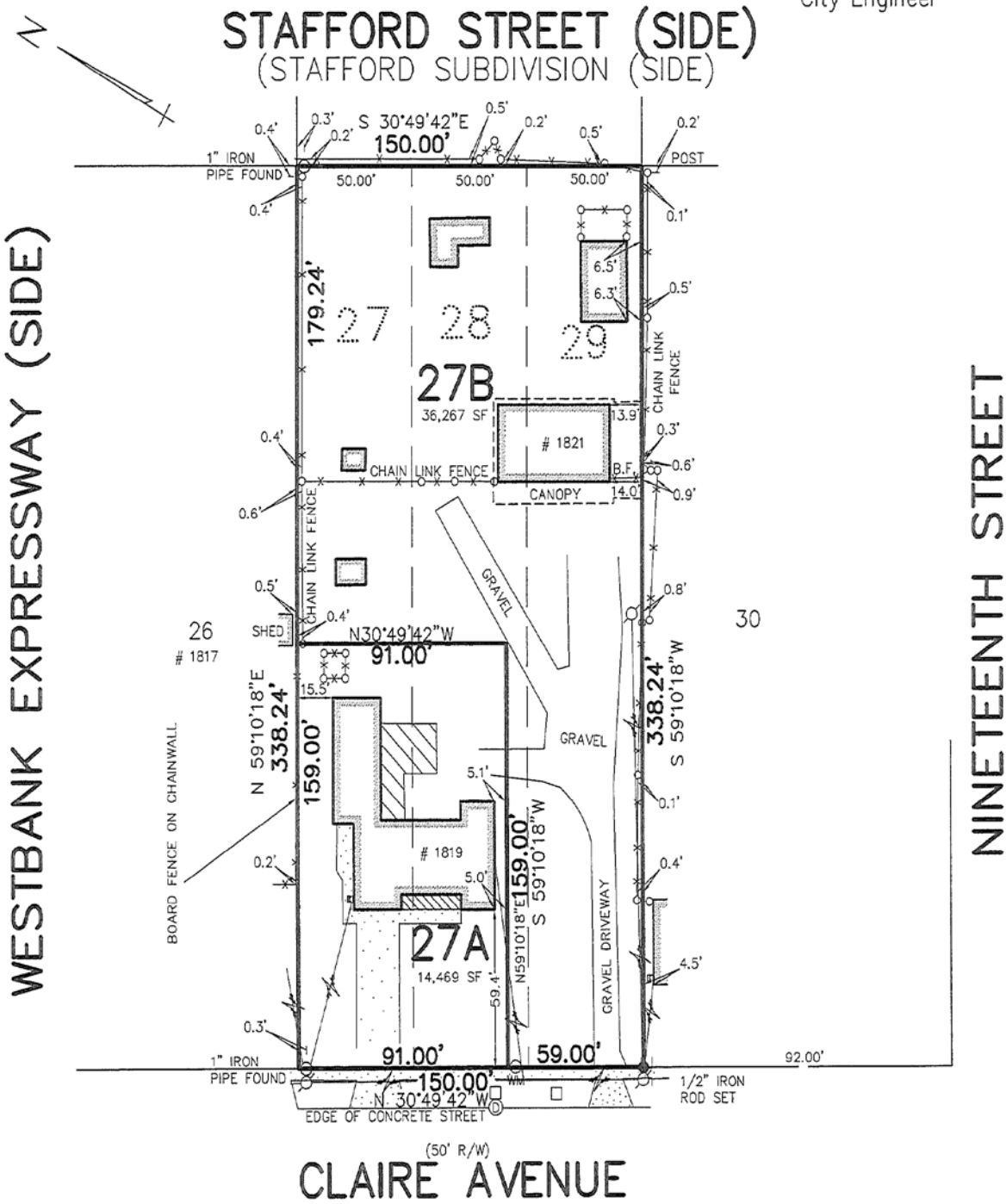
BEARINGS ARE BASED ON RECORD BEARINGS.

REFERENCE: RESUBDIVISION OF LOT 25 OF SECTION A BY DUFRENE SURVEYING & ENGINEERING, INC. DATED FEBRUARY 17, 2005.

Approved by the Mayor and the City Council
of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____



REVISED MAY 16, 2017

JULY 5, 2016

RESUBDIVISION OF LOTS 27, 28, AND 29
INTO INTO LOTS 27A & 27B
SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF
MARY PATRICIA LABORIE COVELL, BARBARA COVELL ADAMS,
ERIC COVELL, GRETA COVELL GLOVEN, LON BOUDREAUX, JR.
& ELLEN BOUDREAUX HAUN.



**DUFRENE SURVEYING
& ENGINEERING INC.**

JOB# 16-000318
SCALE: 1"= 60'

1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com

VL GRETNA/HERO/PORTION A-LT27A,27B(RESUB).DWG



APPLICATION FOR RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____

Adopted on: _____

District No. _____

Fee: **\$300.00 (Non-Refundable)**

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 5/22/2017Address of property to be resubdivided: 1819-1821 Claire Avenue, Gretna, LA 7005 3

From: **Current**
 Legal Description: 27, 28 & 29 A Hero/Claire
Lot(s) Square Subdivision

To: **Proposed**
 Legal Description: 27A & 27B A Hero/Claire
Lot(s) Square Subdivision

Applicant's Name: Eric Covell, et al. Phone No. 504.912.5300

Applicant(s) E-Mail: jbheli@notaheli.com

Address: 12216 Highway 23, Belle Chasse, LA 70037

Owner of Record: see attached Exhibit "A" Phone No. 504.834.3788

Owner's E-Mail: tracy@molalsonlaw.com
 Address: see attached Exhibit "A" Tracy Mc-Cullough, Paralegal

Give brief explanation reason for Resubdivision: Succession-family agreement

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey - Current	✓		RECEIVED	
Notarized Affidavit	✓			
Registered Letters (If applicable)			MAY 23 2017	
Posted Area			CITY OF GRETNA MAYOR'S OFFICE	
City Engineer Review				
Ordinance drafted				

APPROVED FOR PRESENTATION

Angela M. Russell
 Planning & Zoning Official

5/23/17
 Date reviewed and approved

REMARKS: Combine 3 lots of record into 2 lots

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Eric Covell
 Signature of Applicant/Owner of Record

Eric Covell

PRINT YOUR NAME

Applicant/co-owner
 Title

May 22, 2017
 Dated

NOTE: Please read & follow instruction sheet attached.

On motion by **Councilman** _____ and seconded by **Councilman** _____, the following ordinance was introduced:

ORDINANCE NO.

**An ordinance approving the resubdivision of Lot 43-A2, Square 43, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lots 43-A3 and 43-A4, Square 43, Village of Gretna Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 18, 2017.
Municipal Address: 2208 Lafayette Street**

WHEREAS, Barak C. Cilluffo is the owner of Lot 43-A2, Square 43, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; and

WHEREAS, the aforesaid owner has resubdivided Lot 43-A2, Square 43, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO Lots 43-A3 and 43-A4, Square 43, Village of Gretna Subdivision**, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 18, 2017, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lot 43-A2, Square 43, Village of Gretna Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO Lots 43-A3 and 43-A4, Square 43, Village of Gretna Subdivision**, as per the plan of survey and resubdivision of Dufrene Surveying & Engineering Inc., dated May 18, 2017, be and the same is hereby approved.

SECTION II: The Mayor of the City of Gretna is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**
Nays:
Absent:
Abstained:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

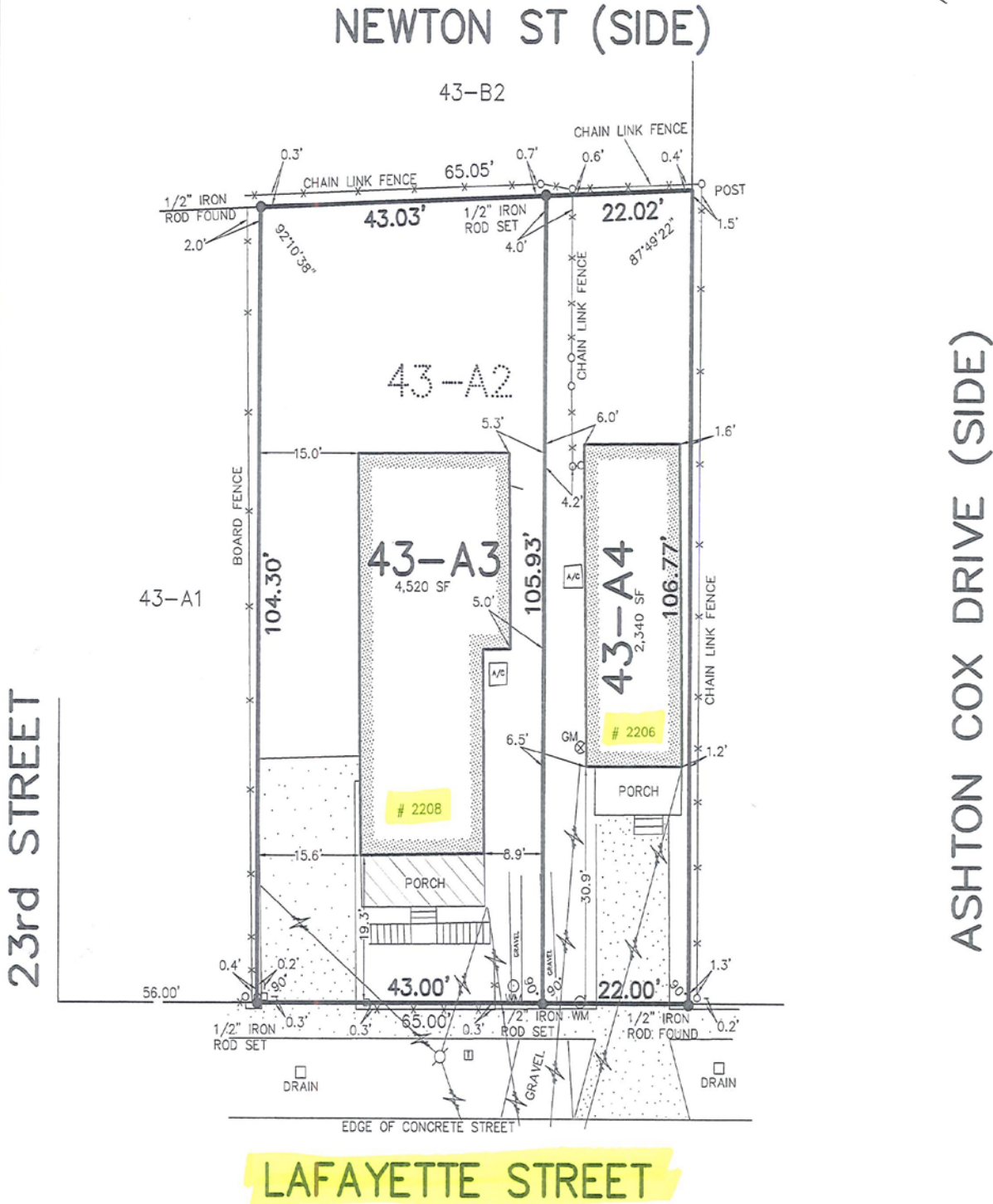
**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

SQUARE 43
VILLAGE OF GRETNA
CITY OF GRETNA
JEFFERSON PARISH, LA.

Approved by the Mayor and the City Council
of the City of Gretna.
Date _____ Mayor _____
Ordinance No. _____ City Engineer _____

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY
ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION
FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL
APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON.
THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD
SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE: RESUBDIVISION PLAN
BY GKC DATED NOV 9, 1999



RESUBDIVISION OF LOT 43-A2
INTO LOTS 43-A3 AND 43-A4

MAY 18, 2017

SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF
BARAK C. CILLUFFO.



DUFRENE SURVEYING
& ENGINEERING INC.

1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com

JOB# 17-000315
SCALE: 1"= 20'



[Signature]

VL GRETN/VILLAGE OF GRETN/5043-4T43-A2(RESUB).DWG



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: _____
Adopted on: _____
District No. ____, Councilman _____
Certified mail cost \$6.59 x ____: \$ _____
~~P~~ (Non-Refundable) fee \$ 300.00 ~~P~~
TOTAL DUE: \$ _____

Referred by: _____

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: 5/23/17

Address of property to be resubdivided: 2208 Lafayette St. Gretna, La. 70053

From: **Current** Legal Description: 43-A2 ^{Lot(s)} Square 43 ^{Square} Village of Gretna ^{Subdivision}

To: **Proposed** Legal Description: 43-A3 + 43-A4 ^{Lot(s)} Square 43 ^{Square} Village of Gretna ^{Subdivision}

Applicant's Name: Barak Cilluffo Contact Phone No. (504) 338-7895

Applicant(s) Address: 311 Amelia St. Gretna, La. 70053 E-Mail barakcilluffo@gmail.com

Owner of Record: Victory Real Estate Investments Contact Phone No. (504) 338-7895

Owner's Address: 311 Amelia St. Gretna, La. 70053 E-Mail barakcilluffo@gmail.com

Give brief explanation / reason for resubdivision: There are two separate existing homes currently on the same property and I would like to legally resubdivide them.

FOR OFFICE USE ONLY:

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey (Current)				
Notarized Affidavit				
Applicable Certified letters (\$6.59 each)				
Address area posted				
Review by City Engineer				
Ordinance drafted				

APPROVED FOR PRESENTATION

Azalea M. Russell
Approval of Planning & Zoning Official

5/23/17
Review and approval date

REMARKS: Subdivide one lot into 2 lots of record

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Barak Cilluffo
Signature of Applicant/Owner of Record

Barak Cilluffo
PRINT YOUR NAME

5/23/17
Title
Dated

NOTE: Please read & follow instruction sheet attached.

RECEIVED

MAY 23 2017

CITY OF GRETNAL
MAYOR'S OFFICE

On motion by Councilman _____ and seconded by Councilman _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance approving resubdivision of Lots 1 and 2, Square 10, Brooklyn Bass Subdivision; Lots 8A and 10A, Square 11, Brooklyn Bass Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana INTO Lots 1B, Square 10, Brooklyn Bass Subdivision; and Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, per the plan of survey and resubdivision of Dufrene Surveying and Engineering, Inc., dated April 15, 2016.

Location: Front Street (Between Ocean Avenue and Hamilton Street)

WHEREAS, Front Street in the City of Gretna, Louisiana between Hamilton Street and Ocean Avenue was a dedicated and undeveloped street; and

WHEREAS, the City of Gretna, Louisiana has previously declared that portion of Front Street between Hamilton Street and Ocean Avenue as no longer needed for a valid public purpose; and

WHEREAS, the City of Gretna utilized LSA R.S. 48:701 to revoke and set aside the dedication of that portion of Front Street between Hamilton Street and Ocean Avenue; resulting in the land previously known as Front Street to revert to the present owners of the land contiguous thereto as set forth in survey dated April 16, 2016; and

WHEREAS, the City of Gretna, Louisiana is the owner of a portion of Front Street and wishes to resubdivide adjacent Lots 1 and 2, Square 10, Brooklyn Bass Subdivision; Lots 8A and 10A, Square 11, Brooklyn Bass Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana; (301-303; 313-315 & 317 Ocean Avenue; 12-14 1st Street); and

WHEREAS, the City has resubdivided Lots 1 and 2, Square 10, Brooklyn Bass Subdivision; AND Lots 8A and 10A, Square 11, Brooklyn Bass Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lots 1B, Square 10, Brooklyn Bass Subdivision; AND Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying and Engineering, Inc., dated April 15, 2016, and desires approval of same, all in accordance with ordinances relative to same.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Gretna, Louisiana acting as legislative authority for said City, that:

SECTION I: The plan of resubdivision of Lots 1 and 2, Square 10, Brooklyn Bass Subdivision; AND Lots 8A and 10A, Square 11, Brooklyn Bass Subdivision, City of Gretna, Parish of Jefferson, State of Louisiana **INTO** Lots 1B, Square 10, Brooklyn Bass Subdivision; AND Lots 8B and 10B, Square 11, Brooklyn Bass Subdivision, as per the plan of survey and resubdivision of Dufrene Surveying and Engineering, Inc., dated April 15, 2016, be and the same is hereby approved.

SECTION II: The mayor of the City of Gretna, Louisiana is hereby authorized, empowered and directed to sign and execute all acts, plans and documents necessary and proper in the premises to give full force and effect to this ordinance.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk's presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

SQUARE 10 AND 11
BROOKLYN BASS SUBDIVISION
CITY OF GRETN
JEFFERSON PARISH, LA

HAMILTON STREET (SIDE)

Approved by the Mayor and the City Council
of the City of Gretna.

Date _____ Mayor _____

Ordinance No. _____ City Engineer _____

BROAD STREET (SIDE)

LOT 1 AND PART OF 2 ARE DESCRIBED AS:
BROOKLYN BASS SUBDIVISION (PLAN)
VILLAGE OF BROOKLYN (TITLE & HOTARD 1973)
BROOKLYN (DHMECOURT 1890 ATTACHED TO A SALE
BY JOHN BASS SEPT 30, 1890)

APRIL 15, 2016
RESUBDIVISION OF LOTS 1 AND 2 SQUARE 10, LOTS 8A
AND 10A SQUARE 11, AND A PORTION OF FORMER FRONT
STREET, INTO LOT 1B SQUARE 10, AND LOTS 8B, AND 10B
SQUARE 11, BROOKLYN BASS SUBDIVISION.
SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF CITY OF GRETN.

- LEGEND
- OVERHEAD UTILITY LINES
 - SEWER MANHOLE
 - WATER METER
 - FIRE HYDRANT



THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED
TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS
NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS
ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR
PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

DUFRENE SURVEYING
& ENGINEERING INC.
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-388-6330 PH.
504-388-6334 FAX
dufrenesurveying.com

TILDON J. DUFRENE, JR.
REG. NO. 06563
REGISTERED
PROFESSIONAL
SURVEYOR
STATE OF LOUISIANA

T-5272-S2



APPLICATION
FOR
RESUBDIVISION

FOR OFFICE USE ONLY

Introduced on: 6-14-17
Adopted on: 7-12-17
District No. 1 & 2, Co. Crosby & Hinyub
Fee: \$300.00 (Non-Refundable)

Referred by: W. J. LeBlanc, Attorney

I AM REQUESTING A RESUBDIVISION ORDINANCE FOR: (PLEASE PRINT) DATE: May 30, 2017

Address of property
to be resubdivided: (Front Street) 301-303, 313-315, 317 Ocean Ave. / #12-14 1st St., a 70053.

From: Current
Legal Description: Lots 1 & 2, Square 10 AND Lots 8A & 10A, Square 11, and Portion of former Front Street

To: Proposed
Legal Description: Lot 10 and Lots 8B and 10B, Square 11, Brooklyn Bass

Applicant's
Name: CITY OF GRETN, LOUISIANA Phone No.: (504) 363-1504

Applicant(s)
E-Mail: arousell@gretnala.com

Address: P. O. BOX 404, GRETN, LA 70053 OFFICE OF PLANNING AND ZONING

Owner of
Record: CITY OF GRETN, LOUISIANA Phone No. (504) 363-1504

Owner's
Address: P. O. BOX 404, GRETN, LA 70053 E-Mail: arousell@gretnala.com

Give brief explanation
reason for Resubdivision: Undedication of a Portion of Front Street (Between Ocean Avenue and Hamilton Street.

FOR OFFICE USE ONLY

SPECIAL REQUIREMENTS:	REQUIRED		DATE COMPLETED	DATE NOT COMPLETED
	(Yes or No)	Date		
Plot Plan / Survey - Current	✓	4/15/16		
Notarized Affidavit				
Registered Letters (If applicable)	✓	5/12/17		
Posted Area	✓	4/19/17		
City Engineer Review				
Ordinance drafted	✓			

APPROVED FOR PRESENTATION

Agalia M. Russell
Planning & Zoning Official
4/19/17
Date reviewed and approved
REMARKS: Undedication of a portion of property into 3 adjacent parcels of property

I AFFIRM THAT THE INFORMATION GIVEN IN THIS APPLICATION TO BE TRUE & CORRECT (PLEASE SIGN AND DATE BELOW)

Signature of Applicant/Owner of Record
Belinda C. Constant
PRINT YOUR NAME
Mayor
Title
5/30/2017
Dated

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: **Councilmen**

Nays:

Absent:

Abstained:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

Ordinance Presented to the
Mayor on

**MAYOR
CITY OF GRETN
STATE OF LOUISIANA**

Ordinance returned from the
the Mayor on

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

**CITY CLERK
CITY OF GRETN
STATE OF LOUISIANA**

Amend Chapter 12. Businesses Re: Vending machines in HD

On motion by **Councilman** _____ and seconded by **Councilman**_____,
the following ordinance was offered:

ORDINANCE NO.

An ordinance to amend the Gretna Code of Ordinances, Chapter 12.-Businesses, Article I -In General, more particularly Section 12-4.-Vending Machines; Sub paragraph (1).

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the City of Gretna promotes the preservation of the character of the Historic Districts in the City of Gretna; and

NOW, THEREFORE, BE IT ORDAINED by the City Council acting as legislative authority for the City of Gretna, that:

Chapter 12.-Businesses, Article I. -In General; more particularly Section 12-4.-Vending Machines; Sub-paragraph (1) is amended to read:

Sec. 12-4. -Vending machines.

Vending machines may be permitted on the exterior of a structure if the following conditions are met:

- 1. The property is zoned general commercial (C-2) **and not located in a historic districtas set forth in Section 32-5 of this code.**

Additions are underlined; deletions are ~~strikethrough~~.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance was submitted to a vote, and the vote thereon was as follows:

Yeas:

Nays:

Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the
Mayor on

Ordinance returned from the
Mayor on

CITY CLERK

CITY CLERK

On motion by **Councilman** _____ and seconded by **Councilman** _____,
the following ordinance was offered:

ORDINANCE NO.

An ordinance to amend Gretna Code of Ordinances, Chapter 58.- Zoning and subdivisions; more particularly amending Section 58-119.-Neighborhood commercial district, C-1; Sub-paragraph (b).

WHEREAS, the City of Gretna has an interest in the health, welfare and safety of the citizens of the City of Gretna; and

WHEREAS, the City of Gretna has an obligation to provide its citizens with ordinances that clearly describe permitted activities in the City.

NOW, THEREFORE, BE IT ORDAINED by the City Council acting as legislative authority for the City of Gretna, that:

Code of Ordinances Chapter 58. -Zoning and subdivisions; more particularly Section 58-119. -Neighborhood commercial district, C-1, Sub-paragraph (b) is amended to read:

Sec. 58-119. - Neighborhood commercial district, C-1.

(b) Permitted uses. In C-1 districts, only the following uses of property shall be permitted:

(34) Embalming, cremation and burial preparation services provided that:

a. No funeral, visitation, ceremonial or religious services are provided and;

b. Approval is obtained from the city council.

Additions are underlined; deletions are ~~strikethrough~~.

Provided that a majority of the City of Gretna Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless the Mayor returns the same, unsigned, to the Clerk during that ten-day period.

This ordinance was submitted to a vote, and the vote thereon was as follows:

Yeas:

Nays:

Absent:

ADOPTED:

APPROVED:

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance presented to the
Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

**MAYOR
CITY OF GRETNA
STATE OF LOUISIANA**

Ordinance returned from the
Mayor on

**CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA**

On motion by Councilman _____ and seconded by Councilman _____, the following ordinance was introduced:

ORDINANCE NO.

An ordinance declaring office equipment surplus property, and no longer needed for public purposes and to authorize the sale of said surplus property at a public auction. (2)

WHEREAS, the City of Gretna, Louisiana has declared certain office equipment surplus property; and

WHEREAS, the old office equipment is unnecessary to the daily operation of the City; and

WHEREAS, it is necessary to replace old equipment, in order to continue to provide the citizens of Gretna with quality daily services.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority for the City of Gretna, that:

SECTION 1. The following office equipment is designated surplus property by the City of Gretna’s Public Utilities and Administration and should be sold at a public auction to the highest bidder:

PUBLIC UTILITIES AND ADMINISTRATION

Description	Model Number	Serial Number
Precision Incubator	Model # 51221106	Serial # 603011602
Precision Lab Oven	Model # 31626	Serial # S-698100806
Killark Mini Refrigerator	Model # SPJ-13875/GRB	Serial # 26401
Lab-Line Mini Refrigerator	Model # 3550	Serial # 1595-982
HP Photosmart 7510 scanner/fax/copy		Serial # CN1BB250BQ
Aficio SP C420DN printer		
HP Office Jet printer/fax/copier	Model # 710	
Brothers typewriter ML 100	Model ML100	Serial # B7K756187
Brothers typewriter EM530	Model BEM530	Serial # J58931769
Ram Tough Tray lap top computer vehicle mount		

Provided that a majority of the City Council have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day following the Clerk’s presentment of the same to the Mayor, in accordance with Louisiana R.S. 33:406(c)(2) unless the Mayor returns the same, unsigned to the Clerk during that ten-day period.

This ordinance having been submitted to a vote, the vote thereon was as follows:

Yeas: Councilmen

Nays:

Absent:

Abstain:

ADOPTED:

APPROVED:

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

MAYOR
CITY OF GRETNA
STATE OF LOUISIANA

Ordinance presented to the Mayor on

Ordinance returned from the Mayor on

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA

CITY CLERK
CITY OF GRETNA
STATE OF LOUISIANA