

**THE CITY OF GRETNA  
HISTORIC DISTRICT COMMISSION  
MEETING**

**740 2nd Street, Gretna, LA 70053  
2nd Floor Council Chambers  
February 27, 2017 - 2:00 PM**

**AGENDA**

**AGENDA ITEM(S):**

**1. Call to Order/Roll Call**

**2. CONSENT AGENDA for Certificate of Appropriateness:**

A. 706 Amelia Street

**Demolition of existing shed at property line, replacing shed with fence to match existing - Betty Berger, Applicant (District 2)**

B. 418 4th Street

**Removal/demolition of all accessory structures -Roy C. Bayhi, Applicant (District 2)**

**3. Properties with current request for Certificate of Appropriateness:**

A. 431 Franklin Street

**Installation of sign - Austin R. Banks, Applicant (District 1)**

B. 430 Hamilton Street

**Remove window and install patio canopy - Enzo Pallitta, Applicant (District 1)**

C. 929 Lafayette Street

**Installation of new graphics and panels for existing commercial signage - Stacie Chittom, Applicant (District 2)**

D. 700 Monroe Street

**Demolition of rear portion of structure and rehabilitate building - John Stringer, Applicant (District 1)**

E. 529 3rd Street

**Exterior renovations - Tamara Moffett, Applicant (District 2)**

F. 424-426 6th Street

**Install doors, railings at stairs and porch - Royce Ehret Jr., Applicant (District 2)**

G. 433-435 Hancock Street

**Install 2 new driveways, new flatwork & stairs-Maria Plaisance, Applicant (Dist.1)**

H. 1133 Monroe Street

**Exterior renovations and & additions, to include squaring off 3 sides of existing structure, adding all new roof, doors, windows and columns - Christina Benn, Applicant (District 1)**

I. 1019 4th Street

**Sign - Tina Batiste, Applicant (District 2)**

J. 960 11th Street

**Install railings - Cait M. Howerton, Applicant (District 2)**

#### **4. Adjourn**



**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**706 Amelia Street**

**(District 2)**

**For: Demolition of existing shed @  
property ling, replacing shed with fence to  
match existing**

**Betty Berger, Applicant**

**Submitted: February 06, 2017**



# Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

#1314

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

- ☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.



As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 706 AMELIA ST. GRETNA, LA. 70053

Renovation: \_\_\_\_\_

New Construction: \_\_\_\_\_

Demolition: ✓

Age of Structure: EXACT UNKNOWN  
ESTIMATE 1980

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other SHED-TERMITE DAMAGE

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other SLANTED ROOF-

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

Elevations:

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Betty L. Berger Date: 2/6/2017

Applicant's Name: BETTY L. BERGER

Address: 63 DERBES DR. GRETNA, LA. 70053

Phone No: (504) 301-2299 Cell No: (504) 236-3113

**For Office Use Only:**

Date of Application: 2/6/2017

Substantive Change: Yes \_\_\_\_\_ No ☒

Inventory Number: 678

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ☒

Historic District Commission meeting date: Feb. 27<sup>th</sup> 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)



# City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

## **Mayor**

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Wayne A. Rau

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### **Parks and Recreation**

Amie Hebert

### **Information Technology**

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on FEB 27, 2017 at <sup>2.00</sup>~~4.00~~ pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: BETTY L. BERGER

Date: 2 / 1 / 2017

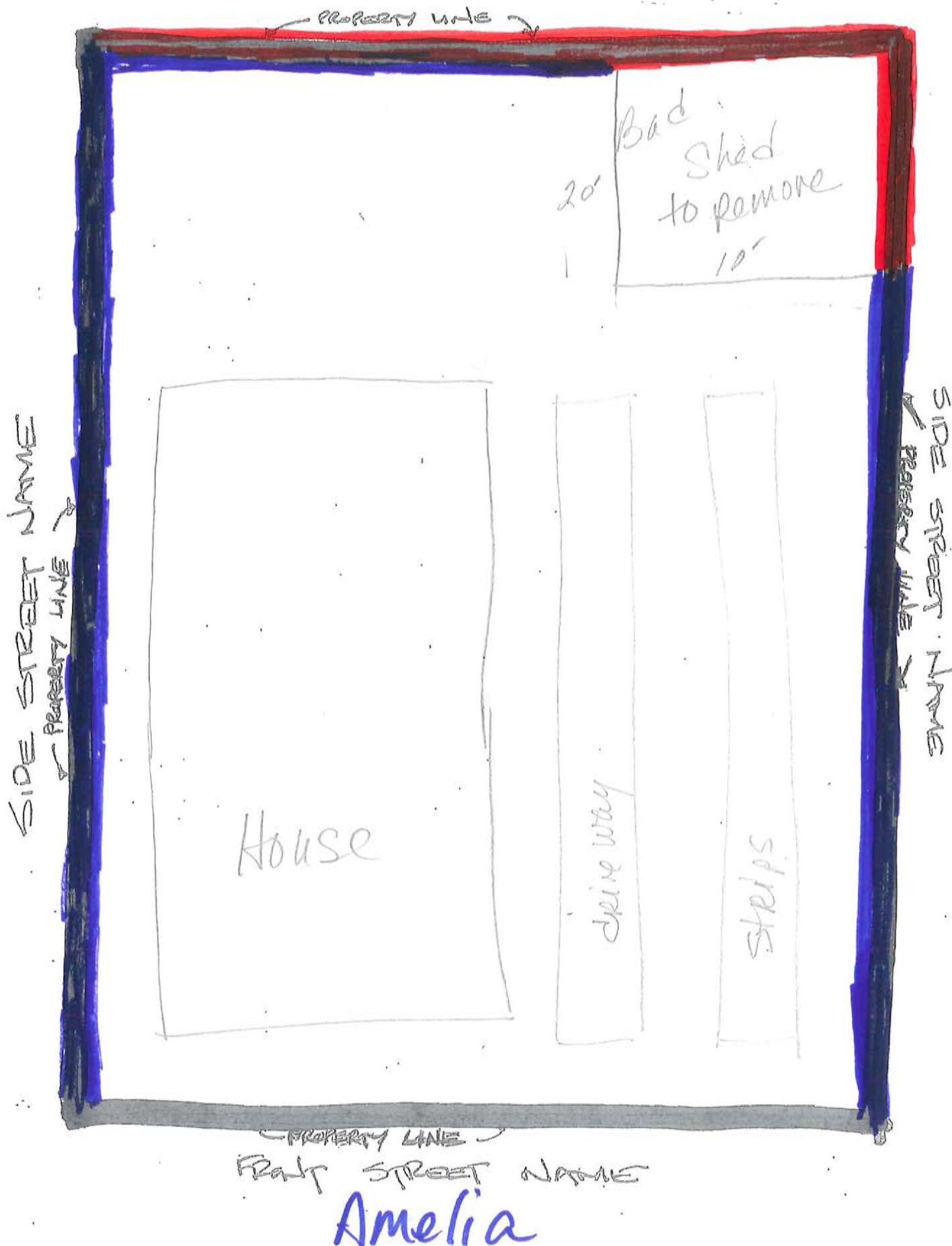
Address: 63 DERBES DR.  
GRETN, LA. 70053





FRONT OF HOUSE  
706 AMELIA

Blue pre-existing fence wood fence  
Red proposed wood fence to match existing





Front Left Side



SIDE VIEW WITH SEVERE TERMITE DAMAGE  
SHED MEASURES 10' X 20'



Looking in from  
Neighbors yard ON Right  
of delapidated Shed!



THIS IS THE SHED ~~WITH~~ <sup>ON</sup> THE PROPERTY  
LINE ~~AT~~ <sup>AT</sup> THE HOUSE ON THE CORNER OF  
7TH & AMELIA.



WHITE VINYL is side of SHED ON PROPERTY LINE  
OF NEIGHBOR ON SIDE OF PROPERTY AS SEEN  
FROM 7TH STREET.  
I PROPOSE TO BUILD FENCE TO MATCH EXISTING  
FENCE.



TERMITE  
DAMAGE OF  
INSIDE BEAMS  
UNDER SHEET ROCK





**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**418 4<sup>th</sup> Street**  
**(District 2)**

**For: Removal / demolition of all accessory  
structures**

**Roy C Bayhi, Applicant**  
**Submitted: February 20, 2017**





**Historic District Application for Certificate of Appropriateness**  
**Governed by Ordinance No. 4653 Adopted 2-11-15**

#1349

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

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**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

**Applications must be filed no later than 14 calendar days prior** to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 418 4th Street

Renovation: \_\_\_\_\_

New Construction: \_\_\_\_\_

Demolition: ☒ \_\_\_\_\_

Age of Structure: 40+

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other Portable buildings  
wood

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other Portable

**Exterior materials proposed:**

Roof Shingles

Soffit Siding

Fascia Siding

Siding YES

Masonry N/A

Porches N/A

Balconies N/A

Handrails wood

Type of exterior lighting fixtures: N/A

Style of windows: Trailers has 3 slid windows. Buildings: NONE

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: N/A



Elevations:

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Roy C. Bayhi Date: 2/20/17

Applicant's Name: ROY C. BAYHI

Address: Salem Church 418 4<sup>th</sup> Street

Phone No: 504-717-8535 Cell No: 504-717-8535

**For Office Use Only:**

Date of Application: 2/20/2017

Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_ Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ☒

Historic District Commission meeting date: 2.27.2017 @ 2:00PM

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)



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### **Information Technology**

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on 2/27/17 @ 2:00 PM at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

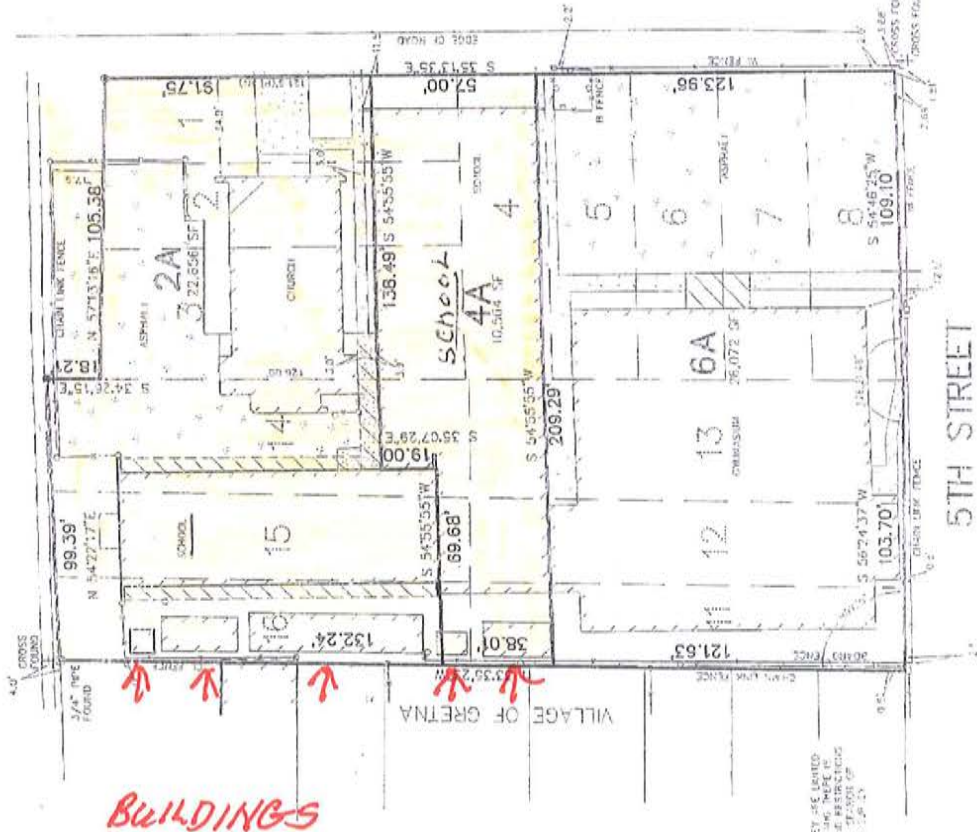
Applicant: Salem Church: Roy C. Bayhi

Date: 2/20/17

Address: 418 4<sup>th</sup> Street

SQUARE 8  
VILLAGE OF NEW GRETN  
JEFFERSON PARISH, LA

4TH STREET



BUILDINGS

LAFAYETTE STREET (SIDE)

AMELIA STREET

SCALE IN FEET

Approved by the Mayor and the City Council  
of the City of Gretna.

Date \_\_\_\_\_ Mayor \_\_\_\_\_

Ordinance No. \_\_\_\_\_ City Engineer \_\_\_\_\_

JANUARY 17, 2012

RESUBDIVISION OF LOTS 1, 2, 3, 4, 5, 6, 7 AND 8, SQUARE 8  
VILLAGE OF NEW GRETN AND LOTS 11, 12, 13, 14, 15 AND 16,  
SQUARE 8 VILLAGE OF NEW GRETN. SURVEYED IN ACCORDANCE  
WITH THE LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY  
SURVEYS FOR A CLASS C SURVEY, MADE AT THE REQUEST OF  
SALEM LUTHERAN CHURCH AND SCHOOL.

DUFRENE SURVEYING  
& ENGINEERING INC.

1124 LAMARION BOULEVARD, HARVEY, LA 70058  
504-266-2004 FAX  
info@dufrenesurveying.com

RECORDS ARE BASED ON THE LOUISIANA  
COORDINATE SYSTEM OF 1983, ZONE 18N

THE SURVEYING AND MEASUREMENTS WERE MADE BY THE SURVEYOR  
AND THE SURVEYOR HAS REVIEWED THE RECORDS AND HAS  
NO REASON TO BELIEVE THAT THE RECORDS ARE  
IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR  
BOUNDARY SURVEYS FOR A CLASS C SURVEY, MADE AT THE REQUEST OF  
SALEM LUTHERAN CHURCH AND SCHOOL.

STATE OF LOUISIANA

THOMAS J. DUFRENE, JR.  
REGISTERED PROFESSIONAL  
REGISTERED NO. 04563

1/17/12



# Salem Lutheran Church & School

418 4TH & AMELIA STREET  
GRETNA, LOUISIANA 70053  
OFFICE: 367-5126 • SCHOOL: 367-5144 • FAX: 367-5128  
WWW.SALEMLS.ORG

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February 20, 2017

Gretna Historic District Commission

Subject: Demolition of portable buildings (They are not Historic Buildings).

To Whom It May Concern,

I have checked the back minute files and from what I can ascertain, these portable buildings started arriving on our property back in 1970, which is about 47 years ago. As you can see in the photos, these buildings have no historic value and no historic architectural value. With demolishing these buildings and clearing this section of our property, it would create approximately 2,844 sq. feet of green space, eventually in the future. We feel like this would add to the beautification of the Historical District.

Blessings,



Roy C. Bayhi - President  
Evangelical Lutheran Salem Church  
418 4<sup>th</sup> Street  
Gretna, LA. 70053

Cell# 504-717-8535



**"... since we have been justified through faith, we have peace with God through our Lord Jesus Christ" Rom. 5:1**





Looking from Fourth St. this is on the side of the school building. Area from front to back is approximately 18 feet wide by 158 feet deep and is about 2,844 sq. feet of area that the five buildings take up.



First Building 8' X 8'





**Second Building 12' X 26'**



**Third Building is a Trailer 14' X 60'**





**Third Building Trailer 14' X 60'**



**Fourth Building 8' X 8'**





**Fifth Building 12' X 14'**



**This is looking from first building towards the back on the fence line.**





**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**431 Franklin Street**  
**(District 1)**

**For: Installation of sign**

**Austin R. Banks, Applicant**

**Submitted: February 03, 2017**



**Historic District Application for Certificate of Appropriateness**  
**Governed by Ordinance No. 4653 Adopted 2-11-15**

#1359

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In addition to the information on the cover sheet, please provide the following:

Re: Address 431 Franklin Street (Church)

Renovation: N/A

New Construction: Proposed <sup>new</sup> Sign on Front Lawn

Demolition: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

" Request Sign on Front Lawn "

Exterior materials proposed:

Roof N/A Soffit Made of Vinyl

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: N/A

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

Elevations:

Front Space: N/A ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

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Applicant's Signature: Austin R Banks Date: 2/3/17

Applicant's Name: Austin Ray Banks

Address: 14 Gladiola Ct, Marrero, LA 70072

Phone No: (504) 348-1948 Cell No: (504) 348-329-1443

**For Office Use Only:**

Substantive Change: Yes ✓ No sign Date of Application: 2/3/2017

Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ✓

Historic District Commission meeting date: Feb. 27<sup>th</sup> 2017 @ 2:00

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

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Applicant: Austin R. Banks

Date: 2-3-17

Address: 431 Franklin Street, Gretna, LA

# Franklin Street

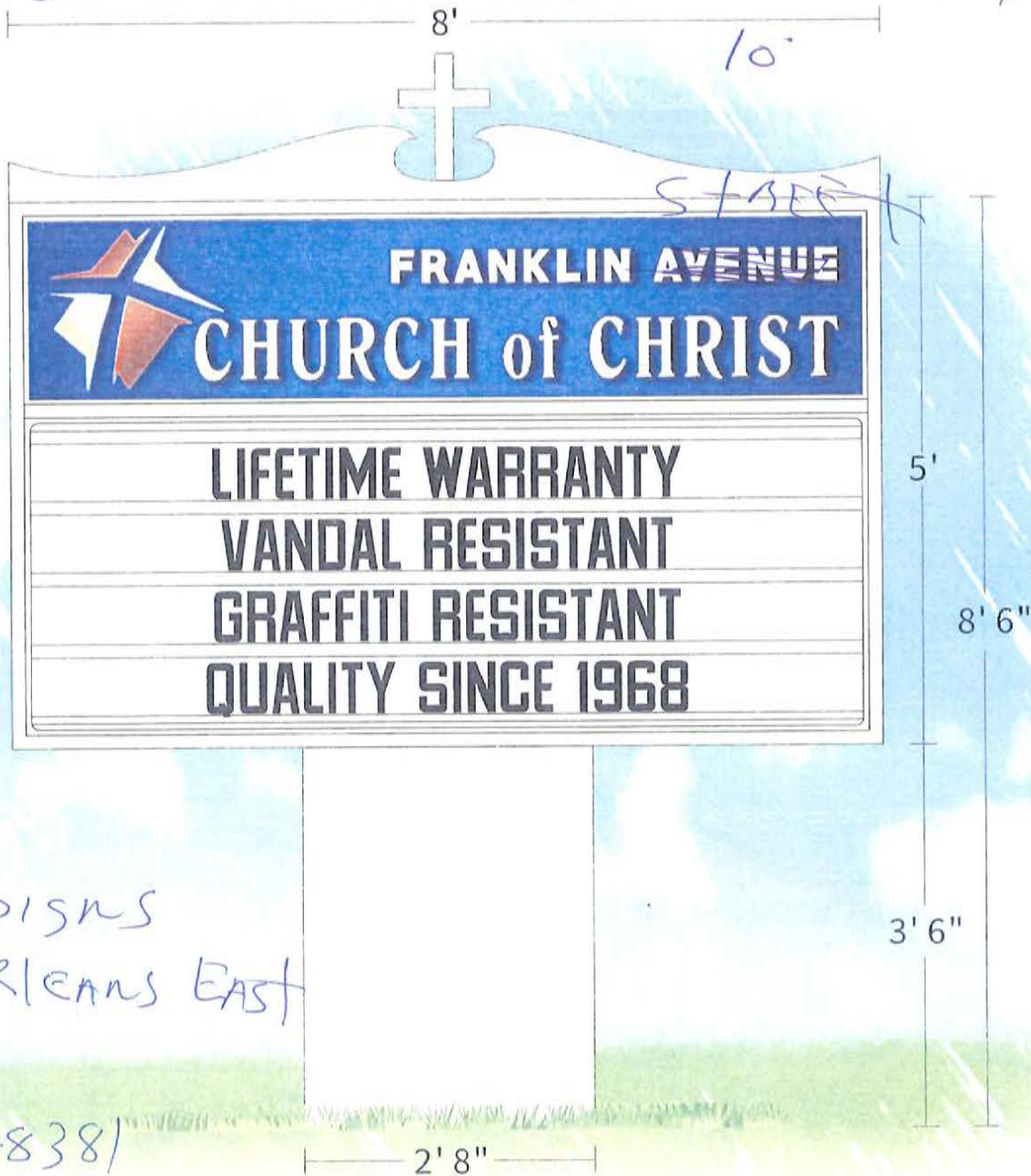
CHURCH OF CHRIST



C L SOLL - Custom  
CHANGABLE

Signs Now NEW ORLEANS.COM

DATE JOSEPHEN  
(504)  
416-5867  
45+ Years  
EXPERIENCE



ANNOUNCER 58  
CABINET SIZE: 5'x8'  
Tracking: 4 Rows of 6"

PAGE ONE

Vinyl Color: Photoreal  
Text Color:  
Cowling Text Vinyl:

Paint Color: Almond  
Draft: White  
SIGN DESIGN #

Approved as shown

Date \_\_\_\_\_  
Approved with listed changes

Date \_\_\_\_\_

GRAPHICS DISCLAIMER: This custom artwork is not intended to provide an exact match between ink, vinyl, paint, or LED color. Brickwork, masonry and landscaping is not included in the proposal. Measurements shown are approximations; dimensions of final product may vary. LED images shown are simulated to replicate optimum viewing distance. Sign is designed to be illuminated at all times. Sketches are based off of this premise.



5/8"=1'  
Sk: 886832-1  
Cust: 1849404  
1/23/2017  
O/c Miller  
PROPOSAL

ORIGINAL DESIGN DO NOT DUPLICATE

PH. 1-800-237-3928 - FAX 1-800-485-4280





ANNOUNCER 58  
CABINET SIZE: 5'x8'  
Tracking: 4 Rows of 6"

Vinyl Color: Photoreal  
Text Color:  
Printing Text Vinyl:

Paint Color: Almond  
Draft: White  
SIGN DESIGN #

PHICS DISCLAIMER: This custom artwork is not intended to provide an exact match between ink, vinyl, paint, or LED color. Brickwork, masonry, landscaping is not included in the proposal. Measurements shown are approximations; dimensions of final product may vary. LED images shown simulated to replicate optimum viewing distance. Sign is designed to be illuminated at all times. Sketches are based off of this premise.

Approved as shown

Date

Approved with listed changes

Date

PAGE TWO

 **stewart signs**  
America's Premier Sign Company

5/8"=1"  
Sk: 886832-1  
Cust: 1849404  
1/23/2017  
O/c Miller  
PROPOSAL

ORIGINAL DESIGN DO NOT DUPLICATE

PH. 1-800-237-3928 - FAX 1-800-485-4280



**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**430 Hamilton Street**

**(District 1)**

**For: Remove window and install patio  
canopy**

**Enzo Pallitta, Applicant**

**Submitted: February 06, 2017**





## Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit #2007-

For the purpose of the Historic Preservation District applications and permits, the following shall apply: 1312

☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.



**Substantive changes require review by the Historic District Commission**

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

**Applications must be filed no later than 14 calendar days prior** to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 430 Hamilton Gretna LA 70058

Renovation: ☒ Canopy / Windows

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

Exterior materials proposed:

Roof Tin Soffit Vinyl

Fascia Vinyl Siding Vinyl

Masonry Brick Porches Concrete

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

Elevations:

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 2-6-17

Applicant's Name: Enzo Pallitta

Address: 430 Hamilton

Phone No: (504) 722-0201 Cell No: (504) 722-0201

**For Office Use Only:**

Date of Application: 2/6/2017

Substantive Change: Yes \_\_\_\_\_ No ☒

Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ☒

Historic District Commission meeting date: (Feb. 27th @ 2:00 PM)

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

## **Mayor**

Belinda Cambre Constant

## **Councilmembers**

Wayne A. Rau

## **Councilman-at-Large**

Milton L. Crosby

## **District One**

Michael Hinyub

## **District Two**

Mark K. Miller

## **District Three**

Jackie J. Berthelot

## **District Four**

## **Departments**

### **Building and Regulatory**

Danika Gorrondona

### **Planning & Zoning**

Azalea M. Roussell

### **Office of Tax & Licenses**

Norma Cruz

### **Finance Department**

Raylyn Stevens

### **Human Resources**

David Neeb

### **Public Utilities**

Michael Baudoin

### **Public Works**

Danny Lasyone

### **Parks and Recreation**

Amie Hebert

### **Information Technology**

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on 2/27/2017 at 2:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: ENZO Pallitta

Date: 2/6/2017

Address: 430 Hamilton St.















**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**700 Monroe Street**

**(District 1)**

**For: Demolition of rear portion of  
structure to save structure and rehabilitate  
building**

**John Stringer, Applicant**

**Submitted: February 10, 2017**

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
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**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.



Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

**Applications must be filed no later than 14 calendar days prior** to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 700 Monroe Street

Renovation: \_\_\_\_\_

New Construction: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

Demolition: Rear portion of structure as indicated on plan.

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

Elevations:

Front Space:\_\_\_\_\_ft.      Side Space:\_\_\_\_\_ft.

Rear Space:\_\_\_\_\_ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:       Date: 2/10/17

Applicant's Name: JOHN CASEY STRUNGEN

Address: 2324 LAHARRE ST., NEW ORLEANS, LA 70119

Phone No: (504) 655-5577      Cell No: ( )

**For Office Use Only:**

Date of Application: 2/10/2017

Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_      Inventory Number:       

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ✓

Historic District Commission meeting date: 2/27/2017 @ 2:00pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

## Mayor

Belinda Cambre Constant

## Councilmembers

Wayne A. Rau

## Councilman-at-Large

Milton L. Crosby

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Raylyn Stevens

### Human Resources

David Neeb

### Public Utilities

Michael Baudoin

### Public Works

Danny Lasyone

### Parks and Recreation

Amie Hebert

### Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on February 27, 2017 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: [Signature]

Date: 2/10/17

Address: 700 MONROE ST., GRETN, LA 70053

Permit  
#1318

HISTORIC DISTRICT PERMIT  
APPLICATION FOR DEMOLITION

Section 52-9 of the Gretna Municipal Code lists the guidelines to be applied in evaluating applications for demolition of a building or landmark within the historic district. In considering the application for the demolition of a building or a landmark in the historic district the following shall be considered:

- a. The historic or architectural significance of the building.
- b. The importance of the building to the historic character of the district.
- c. The special character and aesthetic interest that the building adds to the district.
- d. The difficulty or impossibility of reproducing such a building because of the design, texture, material or detail.
- e. The future use of the site. Cost considerations in restoration. Whenever a property owner shows that a building classified as historic is incapable of earning any economic return on its value, as appraised by a qualified real estate appraiser, or if new construction can be demonstrated by a property owner to be the highest and best use of the building site, such building may be demolished provided, however, that before a demolition permit is issued, notice of proposed demolition shall be given three times during a period of 30 days to afford interested persons the opportunity to acquire or to arrange for the preservation of such buildings.

Sec. 52-9(4)

The Historic District Advisory Committee (HDAC) shall review all applications for demolition and report its recommendations to the Gretna City Council. As part of its monthly meeting the City Council shall hold a public hearing on each application.


Please provide the following information:

Address of building: 700 MONROE ST., GRETNA, LA 70053

Name of applicant: JOHN CODY STRINGER

Address of applicant: 2324 LAHARPE ST.  
NEW ORLEANS, LA 70119

Phone number: (504) 655-5577

Signature:  Date: 31 JAN 2017



Reason for permit for demolition: NONCONTRIBUTING ADDITION  
TO ORIGINAL HISTORIC STRUCTURE. ADDITION IS  
APPROXIMATELY 534 SQ FT AND IS IN DEPLORABLE  
CONDITION. IT IS A SAFETY HAZARD AND COMPROMISING  
THE INTEGRITY OF THE ORIGINAL STRUCTURE.  
ADDITION BEING DEMOLISHED IS NOT HIGHLY USABLE FROM PUBLIC  
RIGHT OF WAY.  
Age of structure: ORIGINAL STRUCTURE ≈ 1875, ADDITION ≈ 1970

Future use of site: OWNER- OCCUPIED SINGLE FAMILY  
RESIDENCE

Regarding the costs of restoration it is recommended that the applicant attach the following items: an appraisal of the structure, photographs of exterior and interior, engineering or structural reports, written repair/renovation estimates with detailed costs, termite inspection reports, and any other documents related to the costs of restoration.

FOR OFFICE USE ONLY:

~~CONTRIBUTING ELEMENT TO GRETNA NATIONAL REGISTER HISTORIC  
DISTRICT: (YES/NO) \_\_\_\_\_  
INVENTORY NUMBER: \_\_\_\_\_  
ARCHITECTURAL DESCRIPTION/COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_~~

~~DATE OF APPLICATION: \_\_\_\_\_~~

~~HDAC MEETING DATE: \_\_\_\_\_~~

~~PUBLIC HEARING AT CITY COUNCIL DATE: \_\_\_\_\_~~





















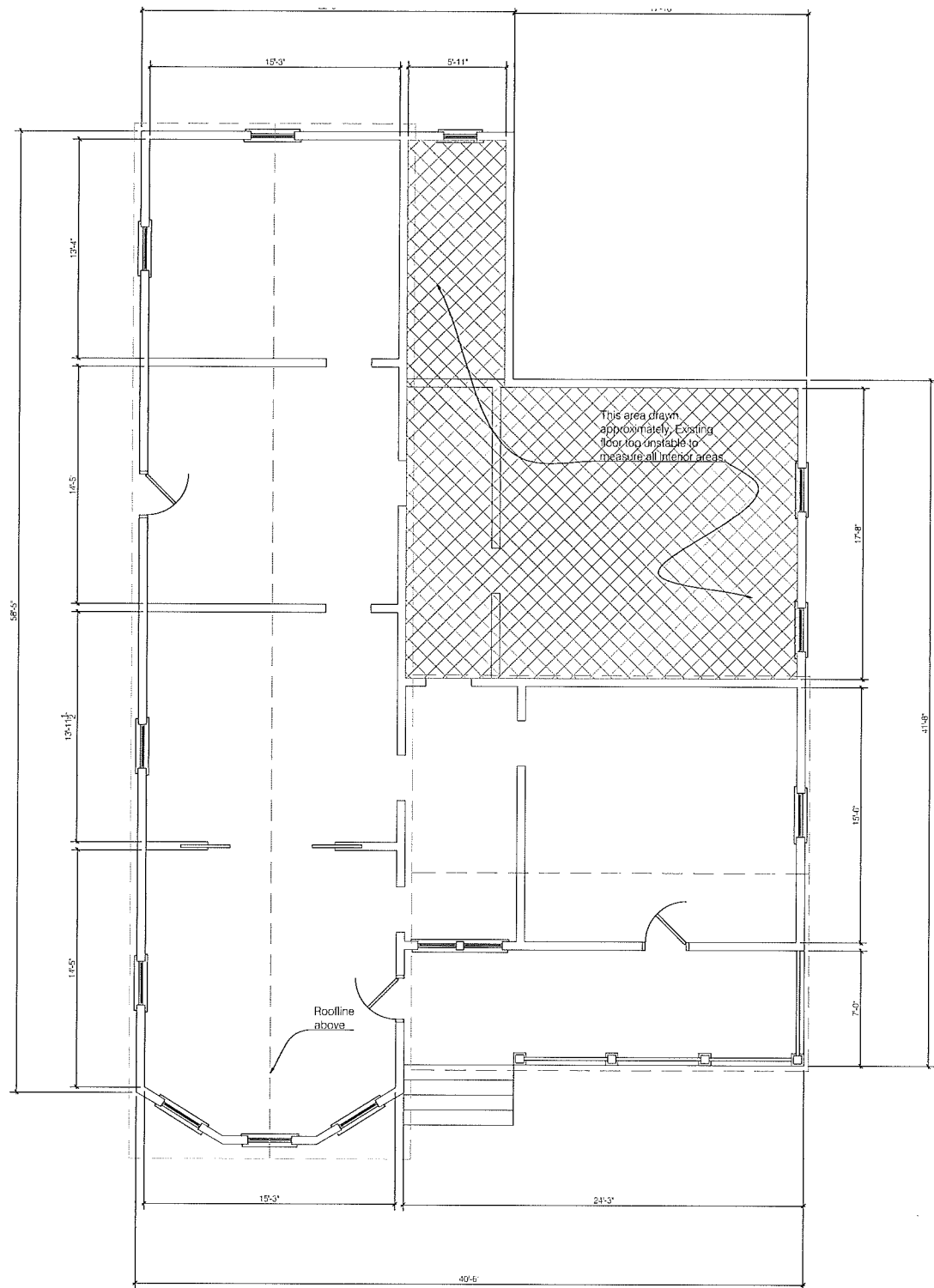




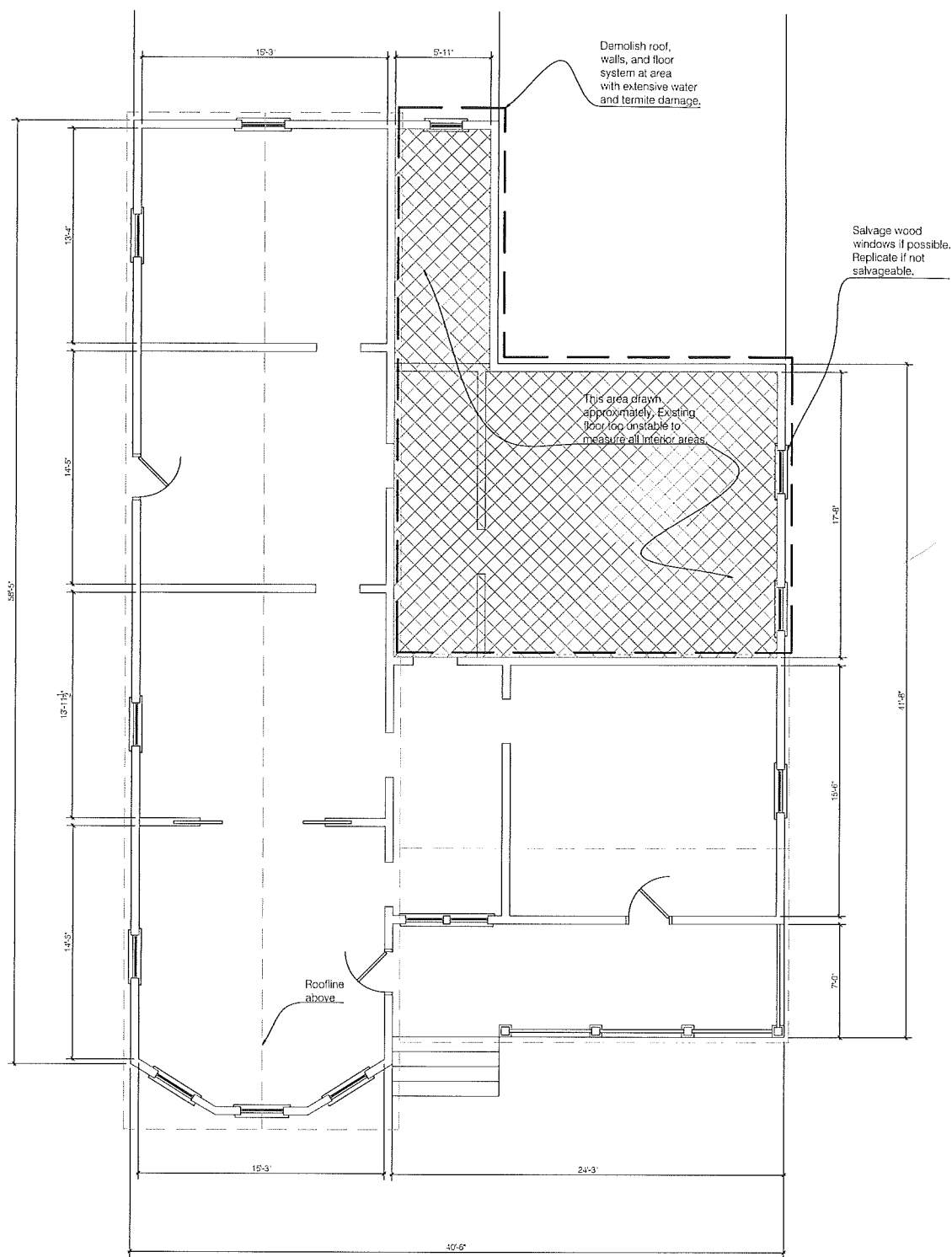








A 1.1 Existing Floor Plan  
1/4" = 1'-0"



A 1.2 Demo Floor Plan  
1/4" = 1'-0"

Existing  
and  
Demo  
Plans

2-7-17 date

700 Monroe  
Schematic Design Floor Plan

revisions


Southkick LLC  
523 Jefferson Ave  
New Orleans, LA 70115



**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

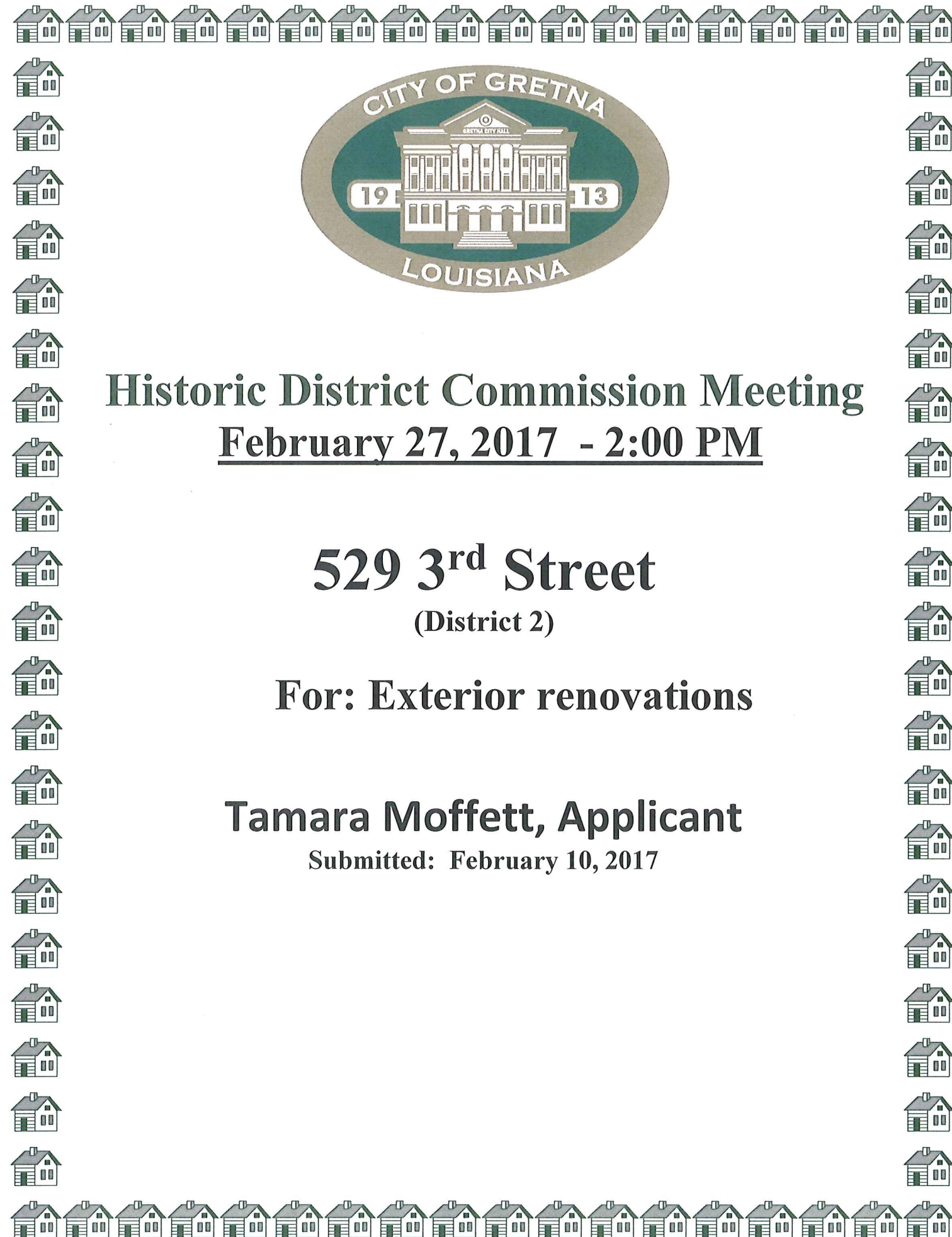
**529 3<sup>rd</sup> Street**

**(District 2)**

**For: Exterior renovations**

**Tamara Moffett, Applicant**

**Submitted: February 10, 2017**





#1340

**Historic District Application for Certificate of Appropriateness**

**Governed by Ordinance No. 4653 Adopted 2-11-15**

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

- ☐ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

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**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Elevations:

Front Space: 646 ft.      Side Space: 0 ft.

Rear Space: 2,726 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Tamara P. Moffett      Date: 02.10.17

Applicant's Name: Tamara P. Moffett

Address: 529 3rd St.

Phone No: ( ) \_\_\_\_\_      Cell No: 670 221.8649

For Office Use Only:

Date of Application: 2-15-2017

Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_      Inventory Number: 460

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No \_\_\_\_\_

Historic District Commission meeting date: \_\_\_\_\_

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## **Mayor**

Belinda Cambre Constant

## **Council Members**

Wayne A. Rau

## **Councilman-at-Large**

Milton L. Crosby

## **District One**

Michael Hinyub

## **District Two**

Mark K. Miller

## **District Three**

Jackie J. Berthelot

## **District Four**

## **Departments**

### **Building and Regulatory**

Danika Gorrondona

### **Planning and Zoning**

Azalea M. Roussell

### **City Clerk**

Norma J. Cruz

### **Finance & Tax Departments**

Raylyn C. Stevens

### **Human Resources**

David Neeb

### **Public Utilities**

Michael J. Baudoin

### **Public Works**

Daniel Lasyone

### **Parks and Recreation**

Amie H. Hebert

### **Information Technology**

Michael Wesley

I, Tamara Moffett the undersigned, have  
been informed of the Historic District Commission (HDC) meeting where my  
application for historic district appropriateness will be reviewed  
on Feb 27th 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work. A  
representative for the applied property is expected to attend the meeting. If  
unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because, while a  
project may be historically appropriate, it may not meet current Building and  
Zoning Code requirements.

Tamara P. Moffett

Signature of Applicant

Tamara P. Moffett

NAME OF APPLICANT (PLEASE PRINT)

529 3rd St (14085 HWY 23 - Belle Chasse, LA 70037)

Applicant's address

529 3rd St

Actual address of the property for review

Date: Feb 15, 2017



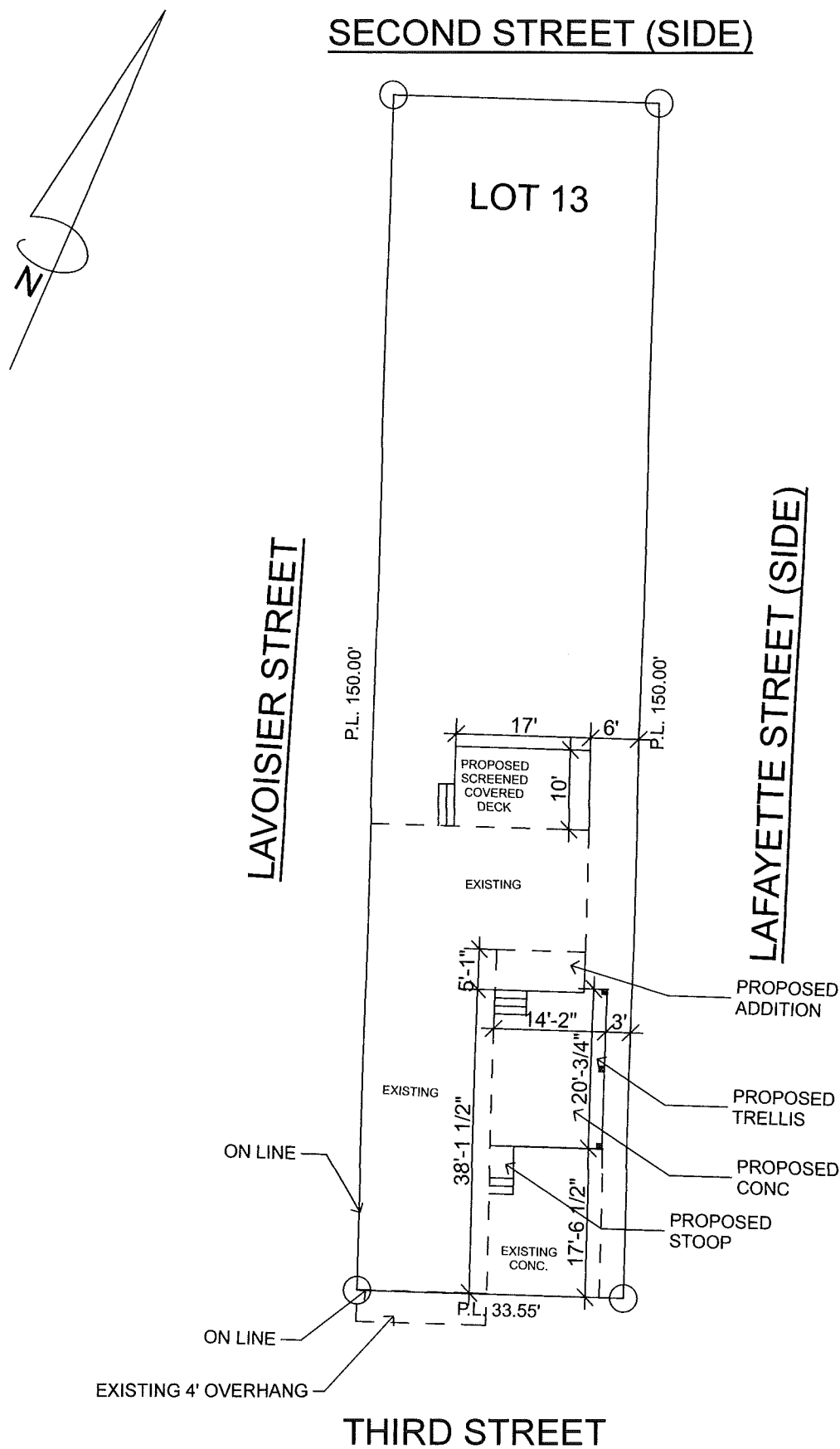












**SITE PLAN: 1"=20'-0"**  
**529 3rd. STREET GRETNA ,LA.70053**  
**LOT 13, SQ. 3,VILLAGE OF GRETNA,**  
**CITY OF GRETNA,**  
**JEFFERSON PARISH, LA.**

SITE NOTES:

1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND RESTRICTIONS PRIOR TO CONSTRUCTION.
2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.
3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS AND WALKS
5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.
6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.
7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.
8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT LEAST 4" THICK.
9. THIS IS NOT A SURVEY: CONTRACTOR/ OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT REQUIREMENTS.

NOTE:  
THIS DOCUMENT IS BASED UPON THE  
INFORMATION SHOWN ON SURVEY  
PROVIDED BY OWNER.  
NO PUBLIC RECORD OR TITLE RESEARCH  
WAS PREFORMED FOR THIS PROJECT.

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part without the written permission of J.E. Bruce  
Design Consultants, Inc.

NOTE:  
J.E. Bruce Design Consultants, Inc./  
Advance Design Group. Assumes no  
Liability for errors or omissions.  
All Information contained here in  
shall be confirmed prior to  
commencement of construction.

**ENGINEERING BY:**  
**David R. O'Reilly Engineering**  
**Consultants LLC**  
518 South Rampart Street  
New Orleans, Louisiana 70113  
(504) 782-2010 Lic# 34032

RESIDENCE: MOFFETT  
529 3rd. STREET GRETNA, LA. 70053

LOT 13, SQ. 3, VILLAGE OF GRETN,  
CITY OF GRETN,  
JEFFERSON PARISH, LA.

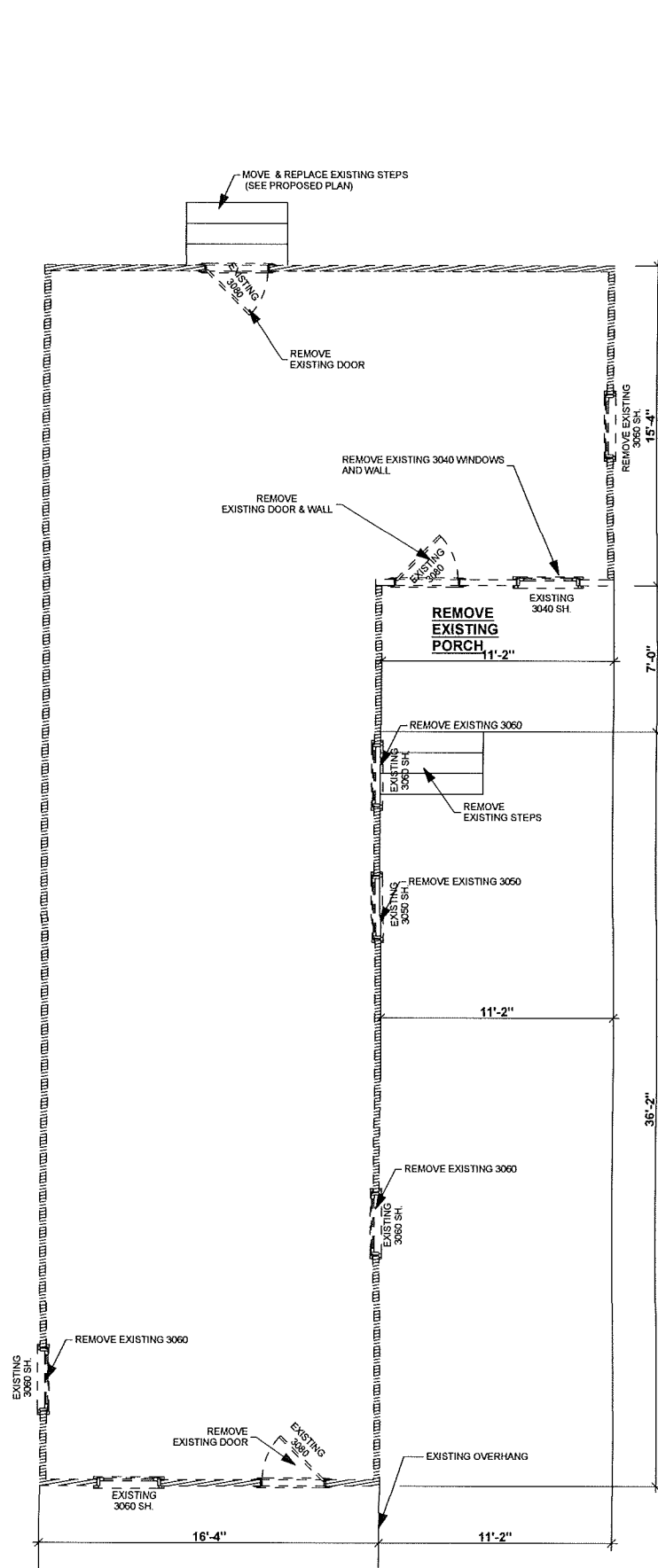
J.E. BRUCE DESIGN CONSULTANTS, INC.  
PHONE/ FAX: (504) 361-0308

600 2ND STREET  
GRETNA, LOUISIANA 70053  
desconss@bellsouth.net / desconinc.com

NT./ DATE:

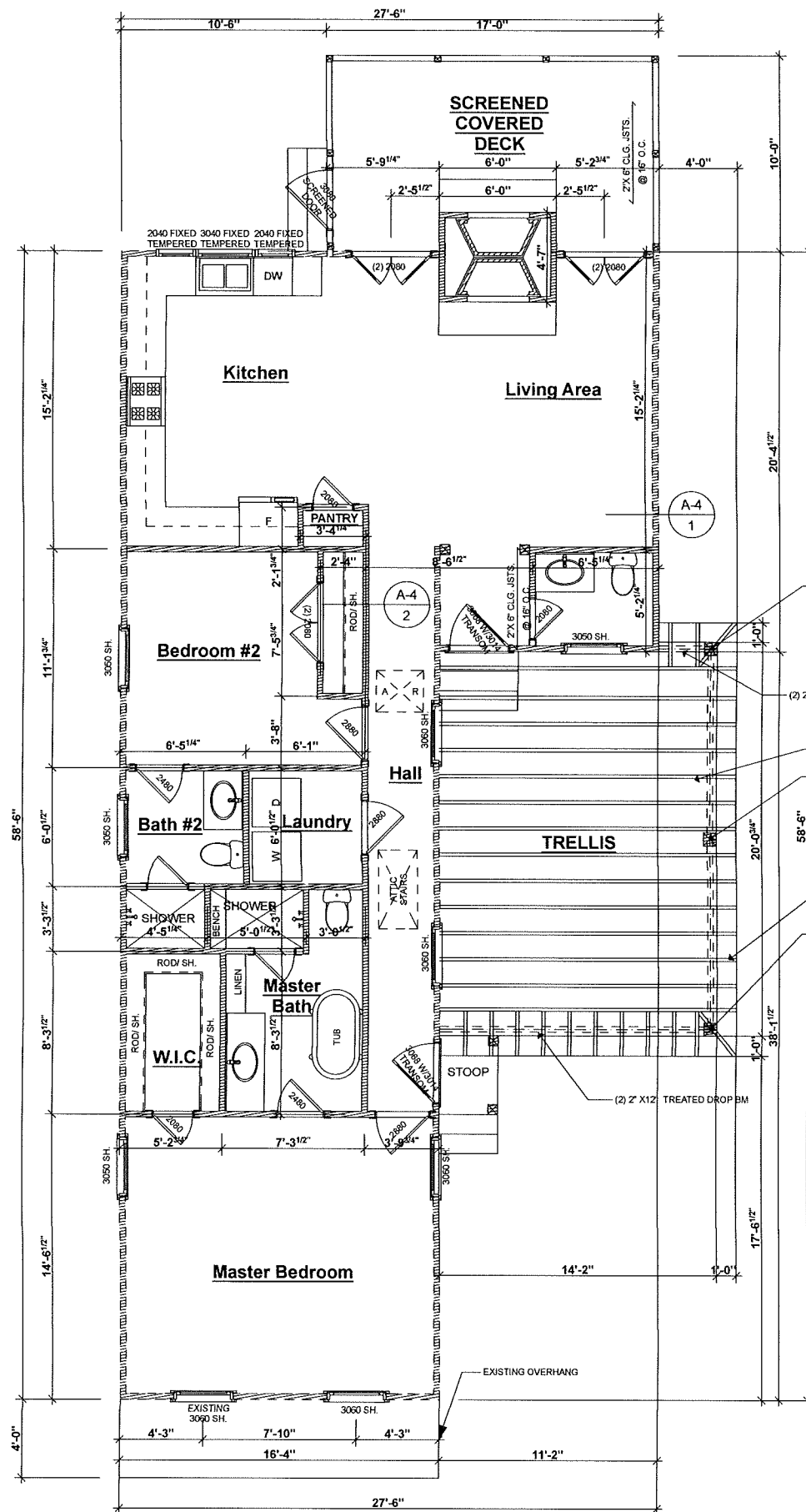
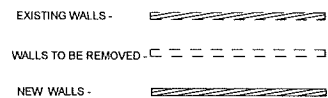
A-1





EXISTING FLOOR PLAN: 1/4"=1'-0"

EXISTING CLG HGT: 11'-0"



PROPOSED FLOOR PLAN: 1/4"=1'-0"

EXISTING CLG HGT: 11'-0"

THE STRUCTURE IS DESIGNED TO WITHSTAND 130 MPH WINDS AS INDICATED.

CONTACT INFO

OWNER/ CONTRACTOR  
TAMARA MOFFETT  
(678) 221-8649  
PLAN PREPARATION

J. E. BRUCE DESIGN CONSULTANTS  
600 SECOND STREET  
GRETNA, LA 70053  
JOHN BRUCE  
(504) 361-0308

ENGINEER OF RECORD

DAVID R. O'REILLY ENGINEERING  
CONSULTANTS LLC  
518 SOUTH RAMPART ST.  
NEW ORLEANS, LA 70113  
(504) 782-2010

AREAS

LIVING	1182
COV. DECK	170
TRELLIS	296
STOOP	12
TOTAL	1660

NOTE:  
THIS DOCUMENT IS BASED UPON THE  
INFORMATION SHOWN ON SURVEY  
PROVIDED BY OWNER.  
NO PUBLIC RECORD OR TITLE RESEARCH  
WAS PERFORMED FOR THIS PROJECT.

NOTES:

- ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF COLUMN, OR FACE OF BRICK.
- VERIFY ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION.
- ALL MATERIAL SHALL BE NEW AND U.L. LISTED.
- NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCES.
- CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR.
- CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES.
- CAULKING ON EXTERIOR SHALL BE THIOKAL CAULK.
- PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE 3 COATS. COLOR SELECTION BY OWNER.
- PROVIDE CLEAN-UP ON A REGULAR BASIS. NO TRASH STORED IN BUILDING.
- ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
- USE 6" STUDS AT ALL PLUMBING WALLS.
- GRANITE TOPS W/ 4" SPLASH IN KITCHEN.
- SIM. MARBLE TOPS W/ 4" SPLASH IN BATHS.
- NO FURRED CEILINGS UNLESS OTHERWISE NOTED.
- A/C MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN.
- W.H. MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN. PLUMBER SHALL PROVIDE CONTINUOUS RECIRCULATION SYSTEM.
- ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.
- EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS.
- WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR, MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH 20". PER R310.1, IRC 2012.
- EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. ON ANY FIRST FLOOR WINDOW THAT IS MORE THAN 44" FROM THE FINISHED GROUND LEVEL (NOT FINISHED FLOOR) IN ACCORDANCE WITH R 303.1, IRC 2012.
- ALL SLEEPING AREAS SHALL BE PROTECTED WITH UL-APPROVED SMOKE DETECTORS. THESE SHALL BE WIRED TO THE 110 VOLT HOUSE CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268. THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CEILING, DEPENDING ON WHERE MOUNTED.
- BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN.) 5 CYCLES PER HOUR PER R 303.3, IRC 2012.
- PREFABRICATED FIREPLACES SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL FRAMING MATERIAL TO BE #2 DENSE SYP.
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. IRC 2012 R 312.1.
- ALL LUMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.
- FOLLOW LOCAL BUILDING CODE FOR TERMITE AND DECAY PROTECTION.
- DEPTH OF NOTCHES AT ENDS OF FLOOR JOISTS NOT TO EXCEED 1/4" DEPTH.
- BRIDGING REQ'D BETWEEN FLOOR JOIST EXCEEDING 8FT. SPAN.
- DOUBLE FLOOR JOISTS REQ'D UNDER ALL WALLS.
- FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING.
- ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).
- WHERE DISCREPANCY BETWEEN DRAWINGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE.
- REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSIONS, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS PER R311.5.6.1 IRC 2012.
- THE MAXIMUM STAIR RISER HEIGHT SHALL BE 7 3/4" AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH R311.5.3.1 IRC 2012.
- ALL WINDOWS SHALL COMPLY WITH ARTICLE R 301.2.1.2 OF THE IRC 2012 ED REGARDING WIND BORNE DEBRIS, WHICH STATES THAT WOOD STRUCTURAL PANELS (PLYWOOD) WITH A MIN. THICKNESS OF 7/16 INCH OF MAXIMUM SPAN OF 6 FEET SHALL BE PERMITTED FOR OPENING PROTECTION. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL PROVIDED IN ACCORDANCE WITH LABEL R301.2.1.2.
- EXTERIOR WALL LOCATIONS ( WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY WITH R302, IRC 2012.
- UNDER STAIR PROTECTION (ENCLOSED ACCESS. SPACE UNDER STAIRS IN ACCORDANCE WITH R311.22, IRC 2012.
- OVERHANGS PROJECTING INTO REQUIRED SIDE YARD SHALL BE PROVIDED W/ 1-HR RATED SOFFIT CONSISTING OF 1 LAYER 5/8" X RATED GYP. BD. PER R 302 IRC 2012.
- PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.
- A MIN. TOTAL NET OPENING OF NOT LESS THAN 1 SQ. IN. FOR EVERY 1 SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF OPENING SHALL BE NO HIGHER THAN 1 FT. ABV. GRADE. OPENINGS TO BE PROVIDED AT LEFT WALL OF GARAGE & AT BASE OF GARAGE DOOR (390 SQ. IN. REQ'D. FOR GARAGE 1)
- VAPOR BARRIER SHALL BE REQUIRED AT OPEN CRAWL SPACES IN ACCORDANCE WITH GUIDELINES SET FORTH IN LSU AG CENTER PUB 3187 INSULATING RAISED FLOORS IN HOT, HUMID CLIMATES.

Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering the work. The plans will also meet the 2012 IRC.

David R. O'Reilly

LIN. NO. 34032

ENGINEERING BY:  
David R. O'Reilly Engineering  
Consultants LLC  
518 South Rampart Street  
New Orleans, Louisiana 70113  
(504) 782-2010  
Lic# 34032

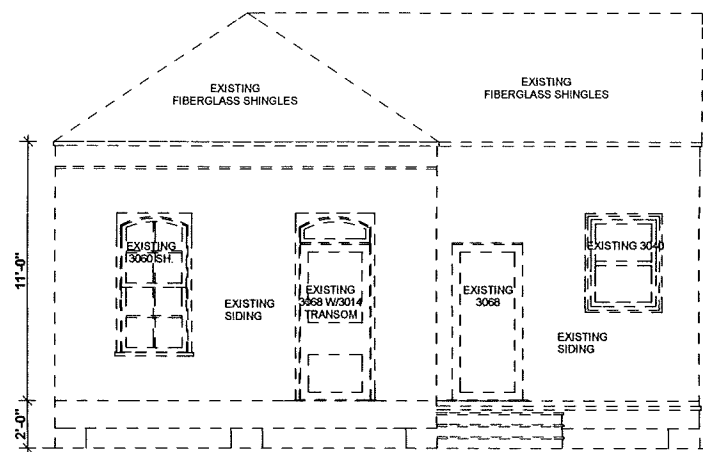
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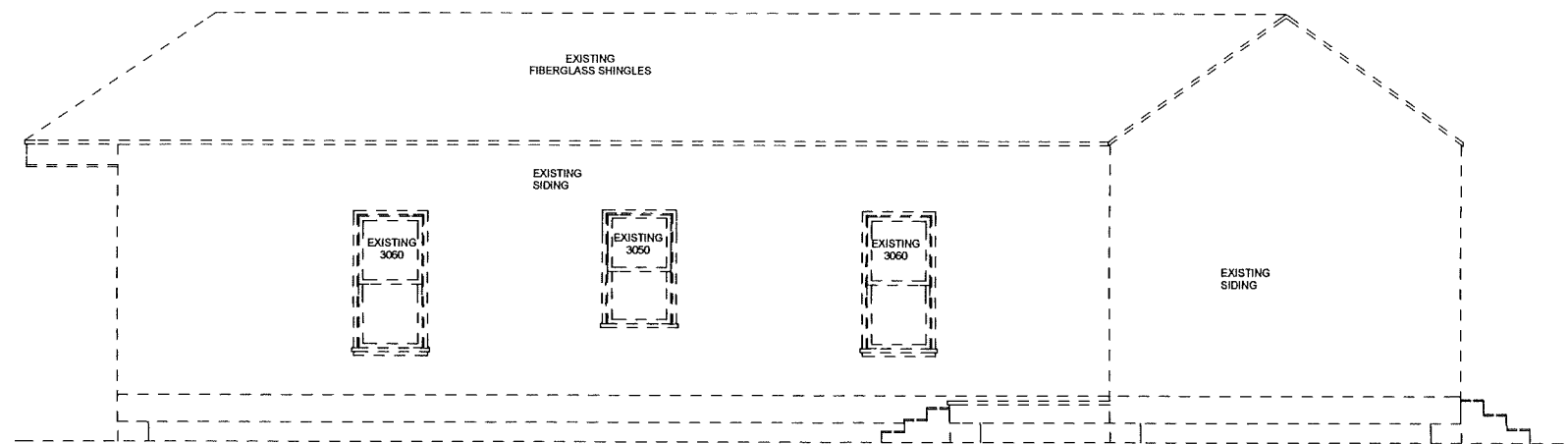
RESIDENCE: MOFFETT  
529 3rd. STREET GRETNA, LA. 70053  
LOT 13, SQ. 3, VILLAGE OF GRETNA,  
CITY OF GRETNA,  
JEFFERSON PARISH, LA.  
J.E. BRUCE DESIGN CONSULTANTS, INC.  
PHONE/ FAX: (504) 361-0308

600 2ND STREET  
GRETNA, LOUISIANA 70053  
descons@bellsouth.net / desconsinc.com

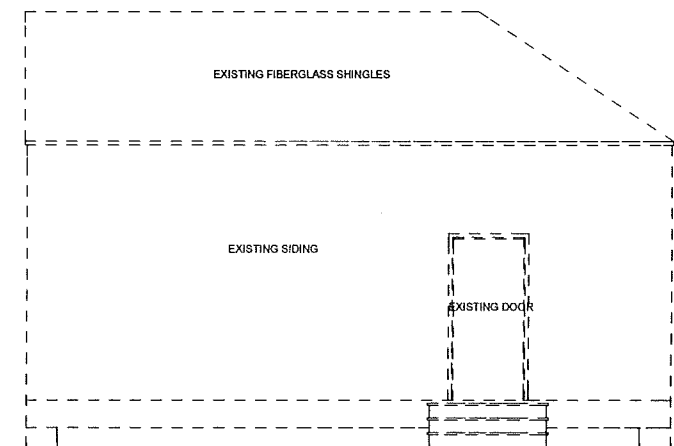
INT./ DATE:  
KTC/2/13/17



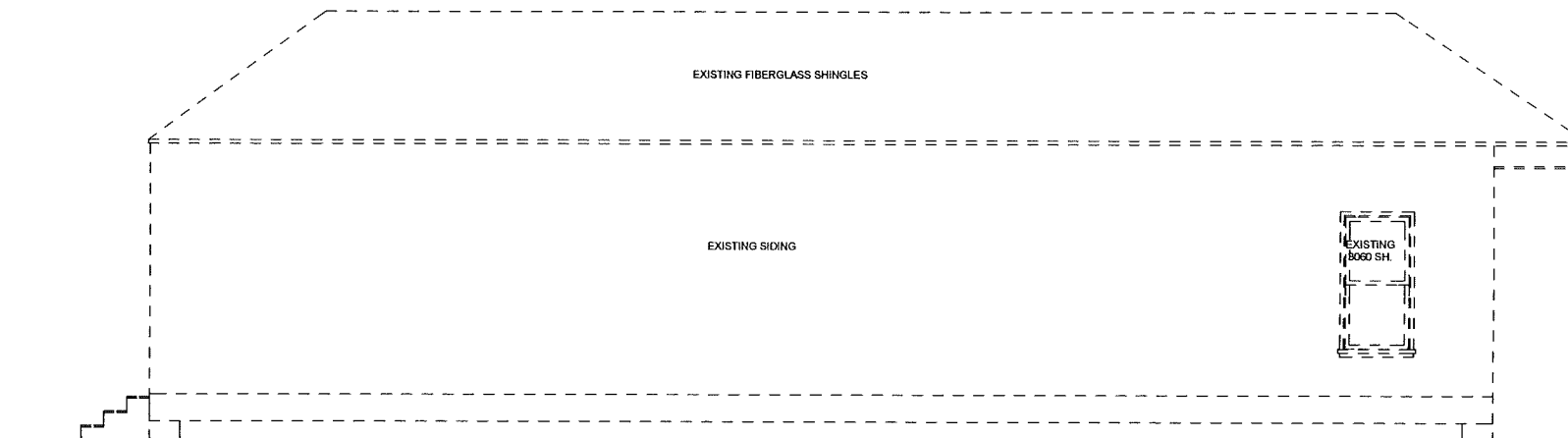
**EXISTING FRONT ELEVATION:** 1/4"=1'-0"



**EXISTING RIGHT SIDE ELEVATION:** 1/4"=1'-0"



**EXISTING REAR ELEVATION:** 1/4"=1'-0"



**EXISTING LEFT SIDE ELEVATION:** 1/4"=1'-0"

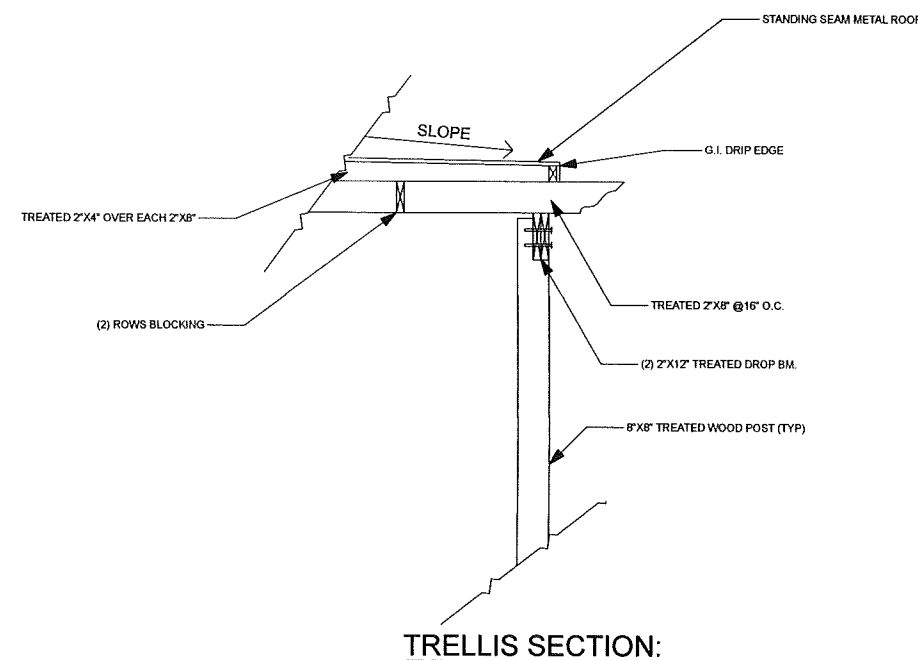
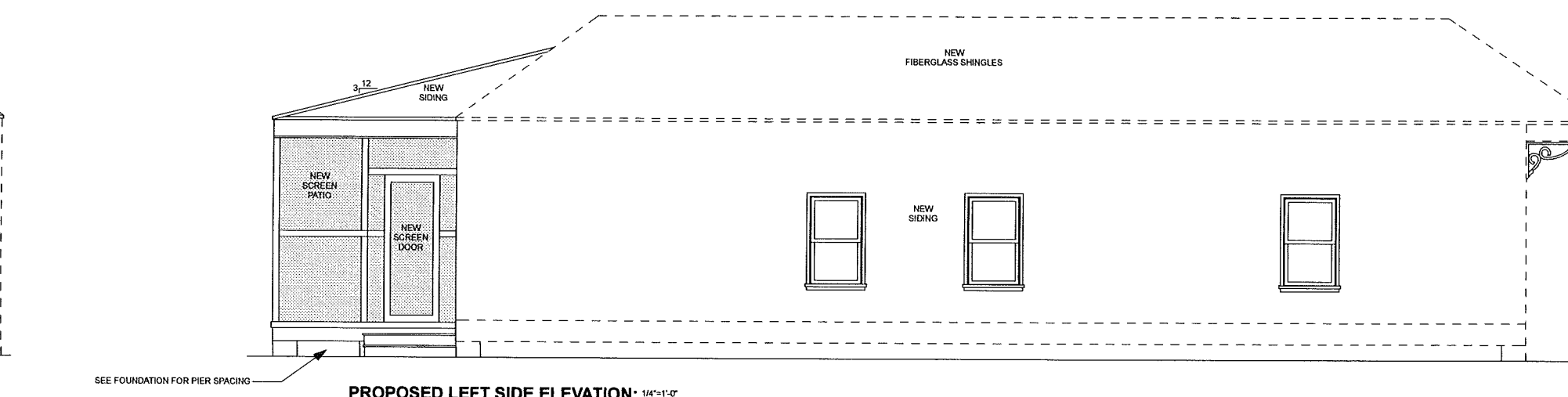
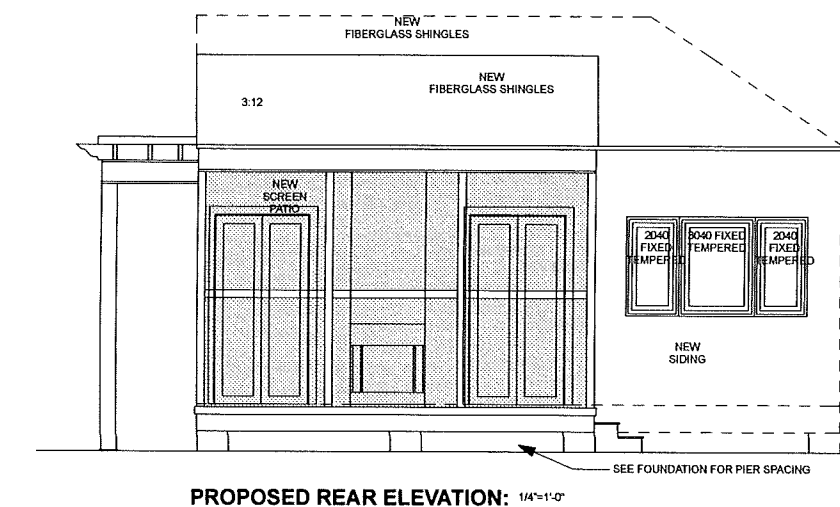
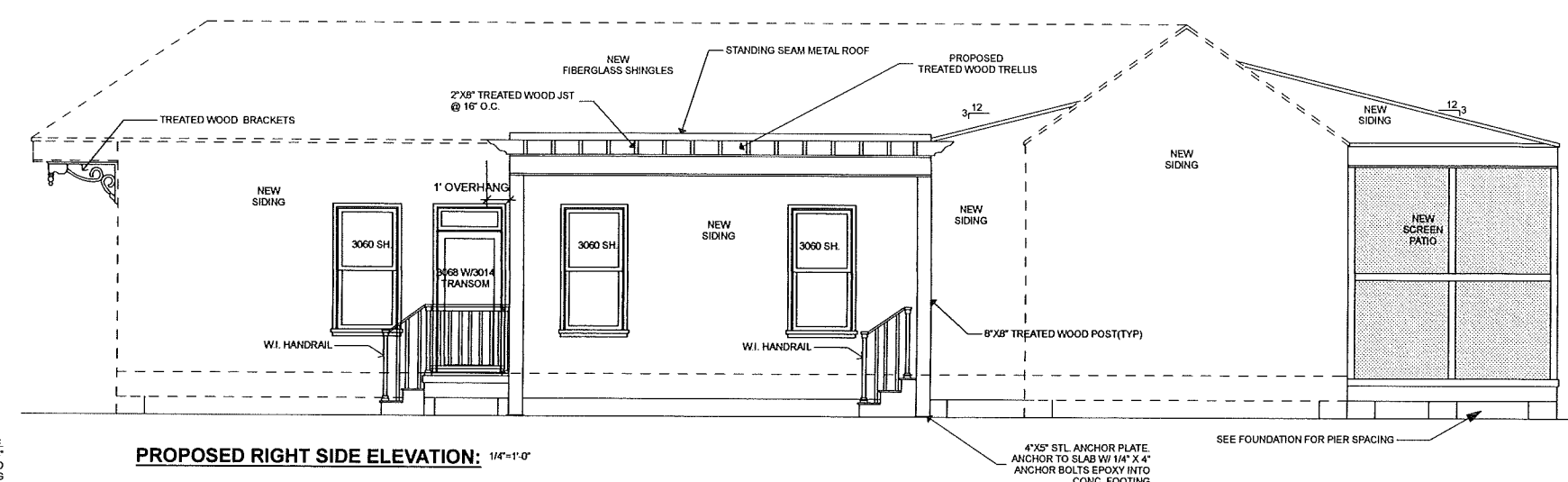
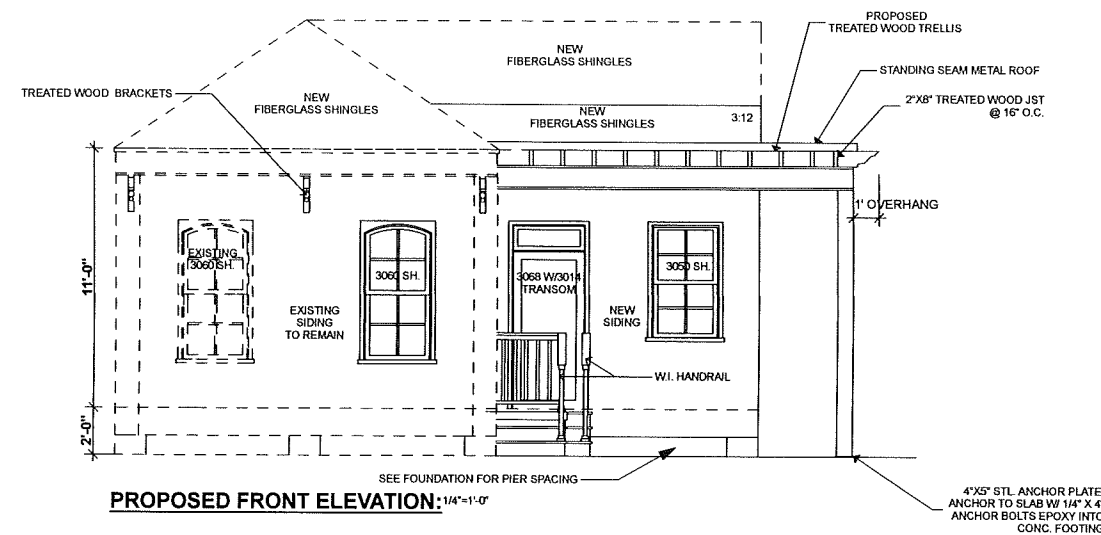
ENGINEERING BY:  
**David R. O'Reilly Engineering Consultants LLC**  
 518 South Rampart Street  
 New Orleans, Louisiana 70113  
 (504) 782-2010  
 Lic# 34032

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<b>RESIDENCE: MOFFETT</b>	INT./ DATE:
529 3rd. STREET GRETNA, LA.70053	KTC:2/13/17
LOT 13, SQ. 3,VILLAGE OF GRETNA, CITY OF GRETNA, JEFFERSON PARISH, LA.	
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETNA, LOUISIANA 70053 desconss@bellsouth.net / desconssinc.com	A-3





ENGINEERING BY:  
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<b>RESIDENCE: MOFFETT</b>	INT./DATE:
529 3rd. STREET GRETN, LA 70053	KTC/2/13/17
LOT 13, SQ. 3,VILLAGE OF GRETN, CITY OF GRETN, JEFFERSON PARISH, LA.	
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETN, LOUISIANA 70053 descons@bellsouth.net / desconsinc.com	

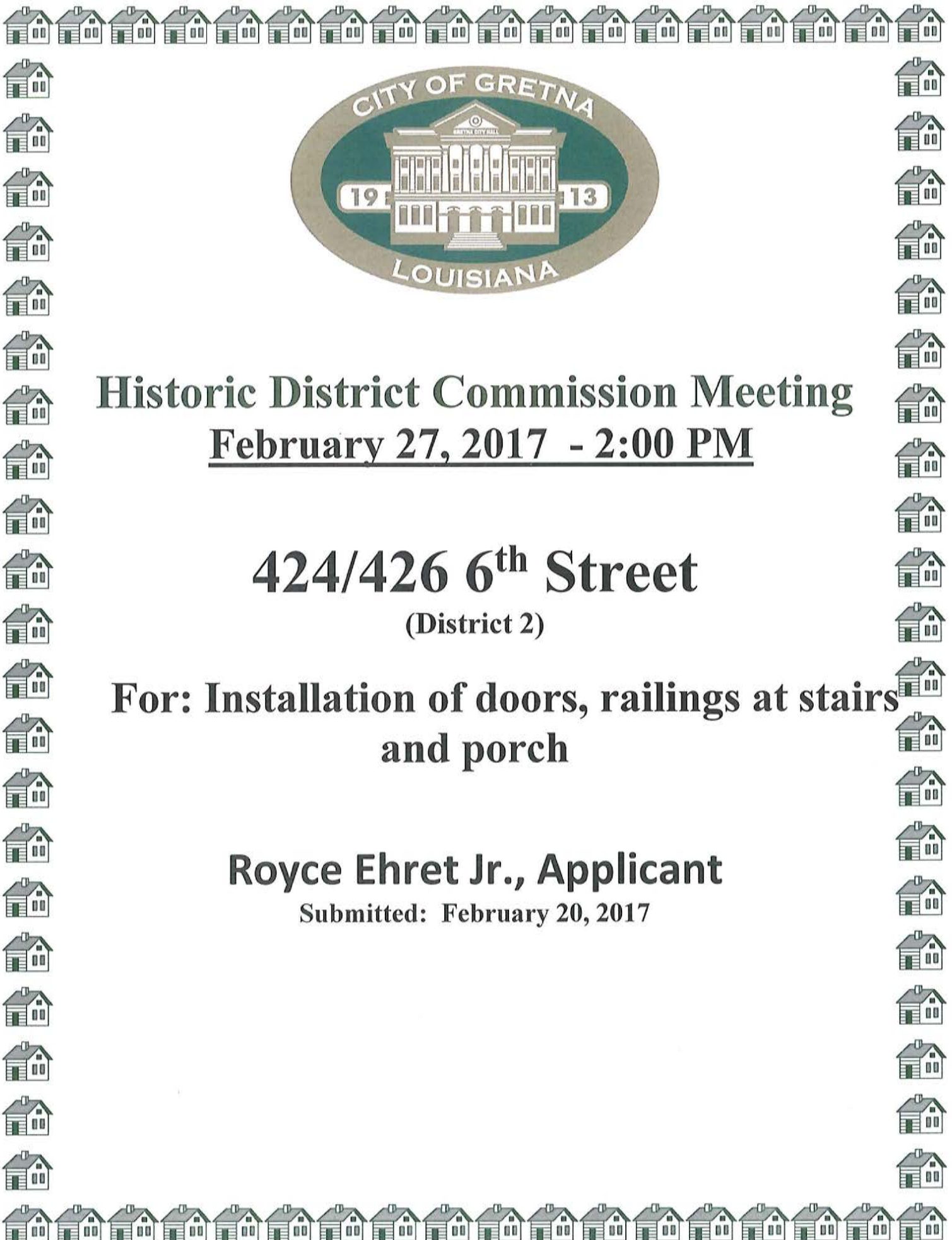


**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**424/426 6<sup>th</sup> Street**  
**(District 2)**

**For: Installation of doors, railings at stairs  
and porch**

**Royce Ehret Jr., Applicant**  
**Submitted: February 20, 2017**





Historic District Application for Certificate of Appropriateness  
Governed by Ordinance No. 4653 Adopted 2-11-15

#1357

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

- ☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- ☒ ▪ Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

**Applications must be filed no later than 14 calendar days prior** to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 424-426 Sixth St.

Renovation: Both doors, Both steps (brick), Railing Both side of each set of steps,  
New Construction: \_\_\_\_\_ Demolition: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun ☒ \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other Double Shotgun, bungalow details

Exterior materials proposed:

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry Brick front steps Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails Railings porch and steps

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: Arts and Craft doors

Describe any ornamental woodwork: \_\_\_\_\_



Elevations:

Front Space: 24 ft.

Side Space: 56 ft.

Rear Space: 24 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Royce Ehret, Jr. Date: 2-19-17

Applicant's Name: Royce Ehret, Jr.

Address: 501 Fairfield Ave Gretna, La 70056

Phone No: (504)

Cell No: (504) 237 3351

**For Office Use Only:**

Date of Application: 2-20-2017

Substantive Change: Yes ☒ No ☐

Inventory Number: # 659

Contributing Element to Gretna National Register Historic District: Yes ☒ No ☐

Historic District Commission meeting date: (2-27-2017 @ 2:00 PM)

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Google Maps 427 6th St



Image capture: Apr 2011 © 2017 Google

Gretna, Louisiana

Street View - Apr 2011





From: **Royce Ehret** royceehret@icloud.com  
Subject: **424- 426 Sixth St.**  
Date: **February 19, 2017 at 6:24 PM**  
To: royceehret@gmail.com

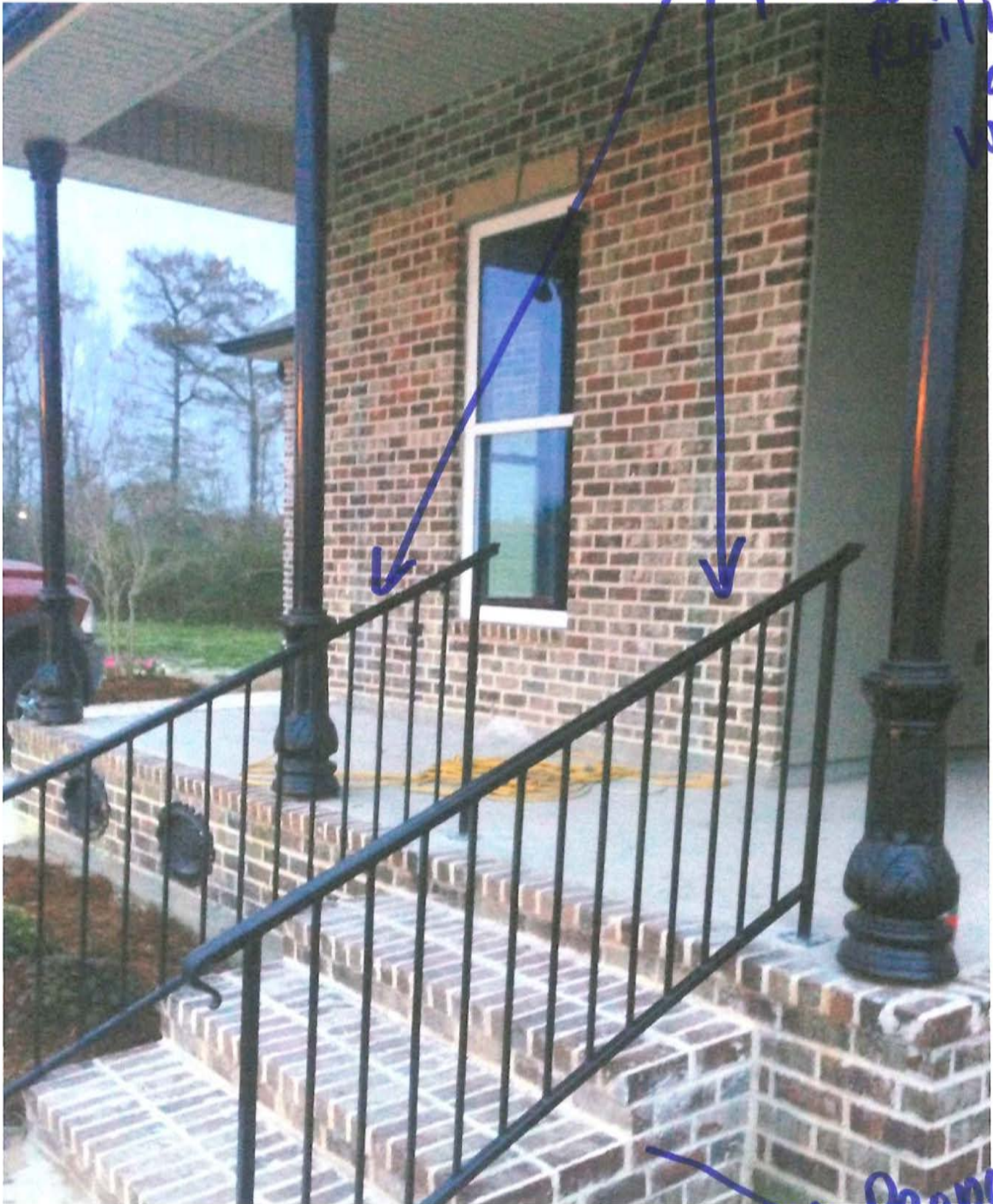


Sent from my iPhone



From: Royce Ehret royceehret@icloud.com  
Subject: Railing  
Date: February 19, 2017 at 4:21 PM  
To: royceehret@gmail.com

Proposed Handrailings  
ENCLOSE WITH  
PORCH  
same  
railings  
as  
well!

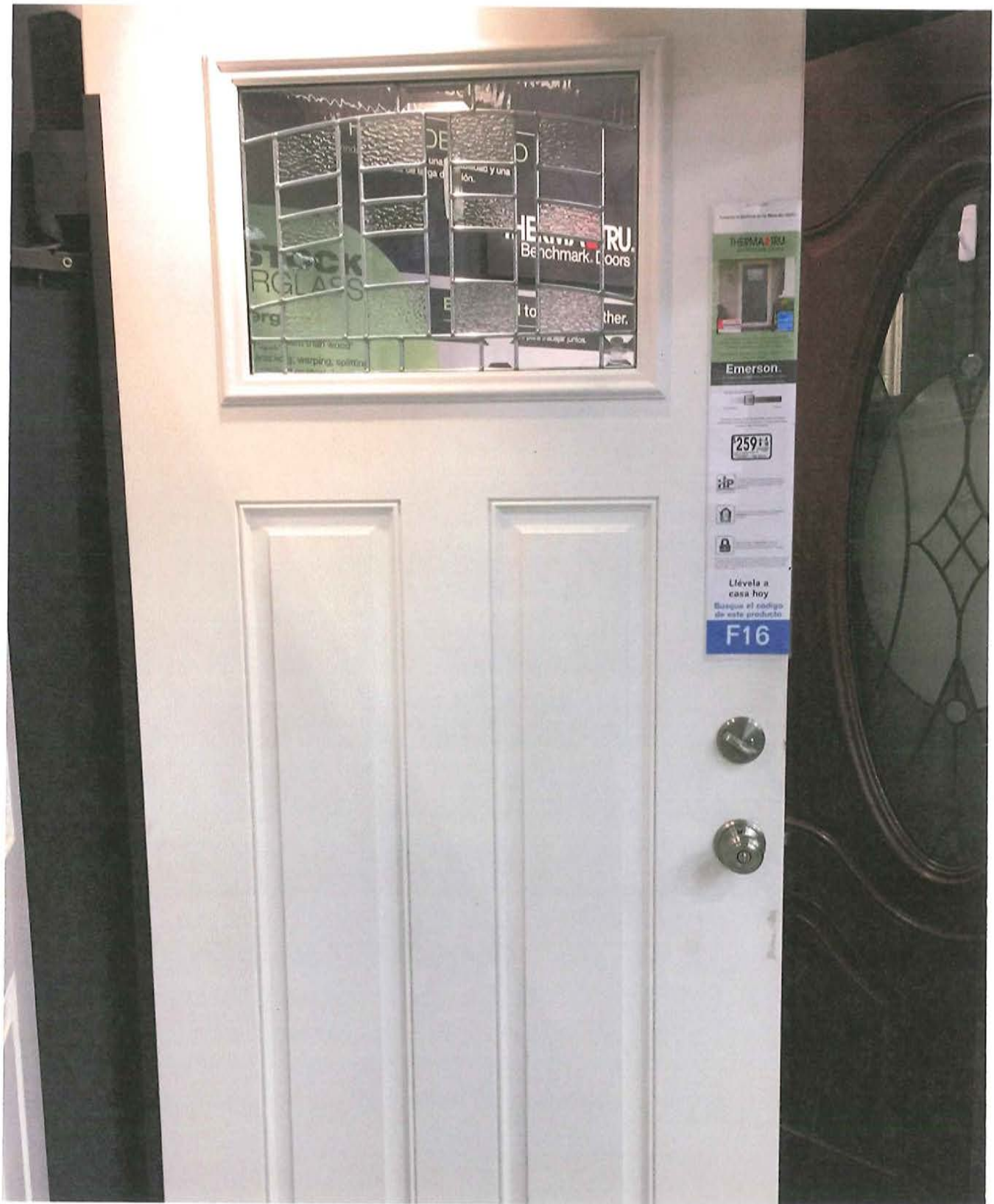


Proposed  
Steps



From: Royce Ehret royceehret@icloud.com  
Subject: Arts & Crafts Door  
Date: February 19, 2017 at 4:39 PM  
To: royceehret@gmail.com

Proposed DOOR  
For Both Sides!





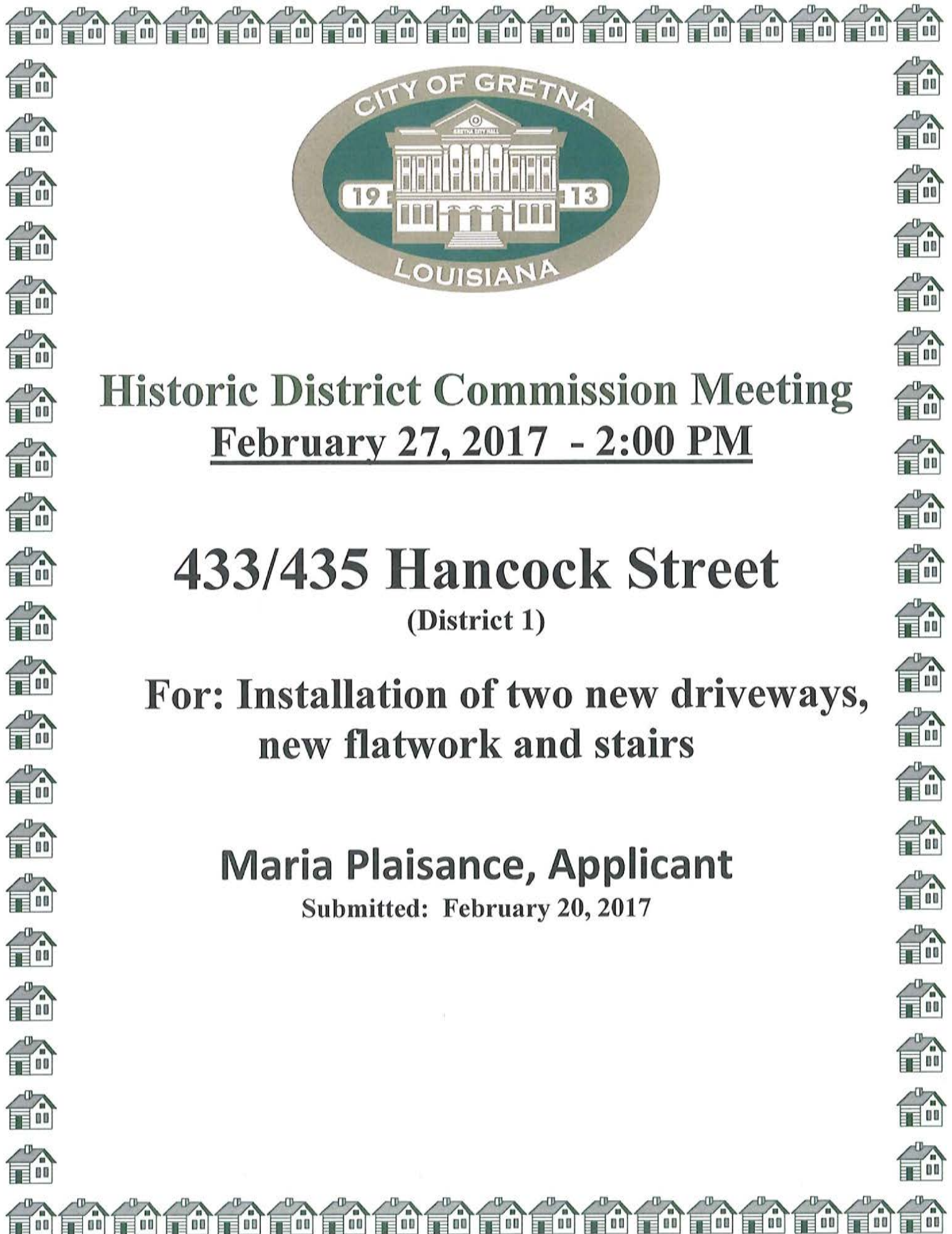
**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**433/435 Hancock Street**  
**(District 1)**

**For: Installation of two new driveways,  
new flatwork and stairs**

**Maria Plaisance, Applicant**

**Submitted: February 20, 2017**





# Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

# 1356

*purpose of the Historic Preservation District applications and permits, the following shall apply:*

☐ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☒ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

**Applications must be filed no later than 14 calendar days prior** to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 433-435 Hancock St.

Renovation: ✓ Driveway's (two)

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 80+

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow ✓

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_



Elevations:

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Maria Plaisance Date: 2/20/17

Applicant's Name: MARIA PLAISANCE

Address: 93 MARIE DR. GRETNA, LA 70053

Phone No: ( ) \_\_\_\_\_ Cell No: (504) 228-9557

**For Office Use Only:**

Date of Application: 2/20/17

Substantive Change: Yes \_\_\_\_\_ No ✓ Inventory Number: None

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ✓

Historic District Commission meeting date: 2.27.2017 @ 2:00 PM

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)



# City of Gretna

Second Street & Huey P. Long Avenue  
P. O. Box 404  
Gretna, Louisiana 70054-0404

## **Mayor**

Belinda Cambre Constant

## **Councilmembers**

Wayne A. Rau

## **Councilman-at-Large**

Milton L. Crosby

## **District One**

Michael Hinyub

## **District Two**

Mark K. Miller

## **District Three**

Jackie J. Berthelot

## **District Four**

## **Departments**

### **Building and Regulatory**

Danika Gorrondona

### **Planning & Zoning**

Azalea M. Roussel

### **Office of Tax & Licenses**

Norma Cruz

### **Finance Department**

Raylyn Stevens

### **Human Resources**

David Neeb

### **Public Utilities**

Michael Baudoin

### **Public Works**

Danny Lasyone

### **Parks and Recreation**

Amie Hebert

### **Information Technology**

Michael Wesley

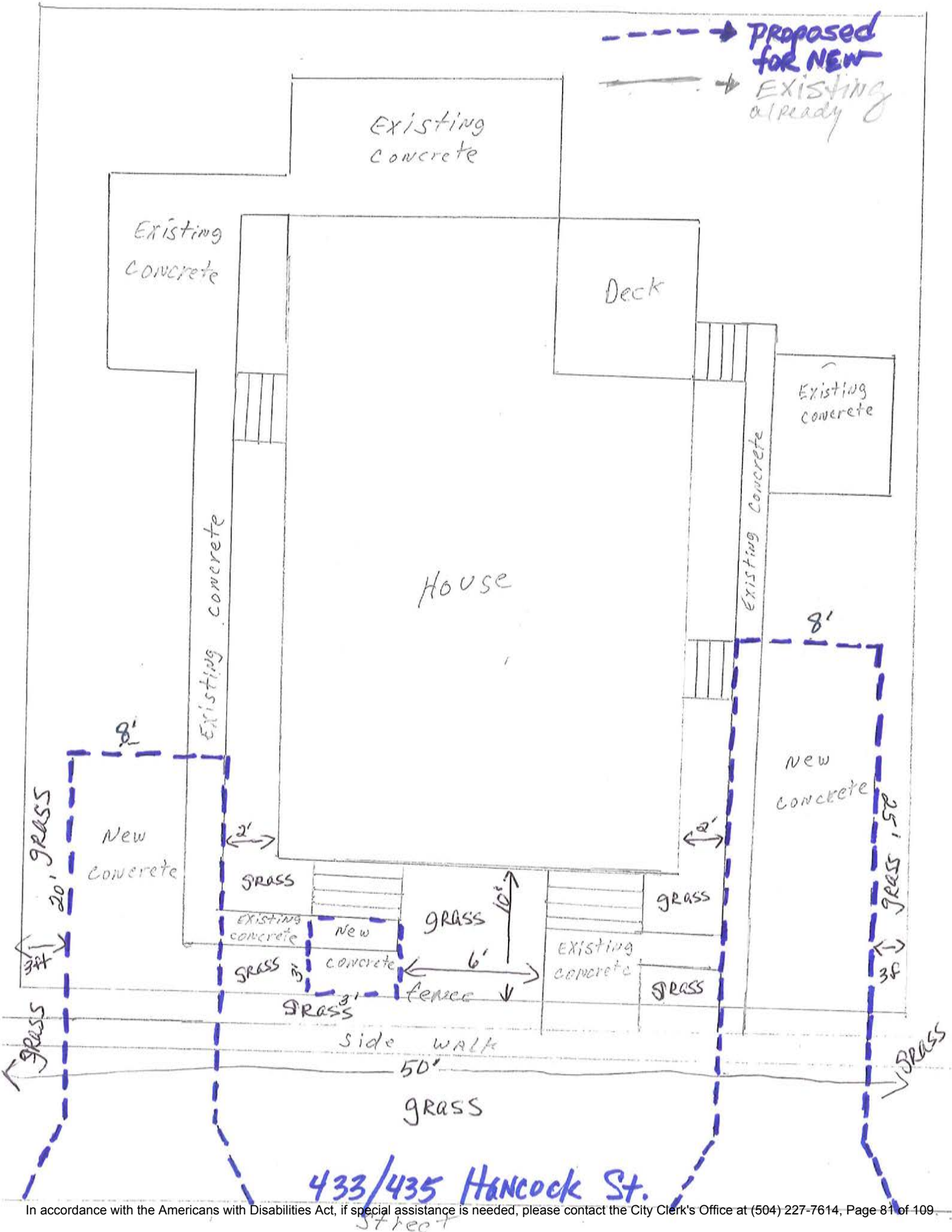
I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on 2/22/17 at ~~4:00~~<sup>2:00</sup> pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Maria Plaisance

Date: 2/20/17

Address: 433 - 435 Hancock St.





# FRANKLIN ST. SIDE

This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found that the above described property is not in a special flood hazard area.

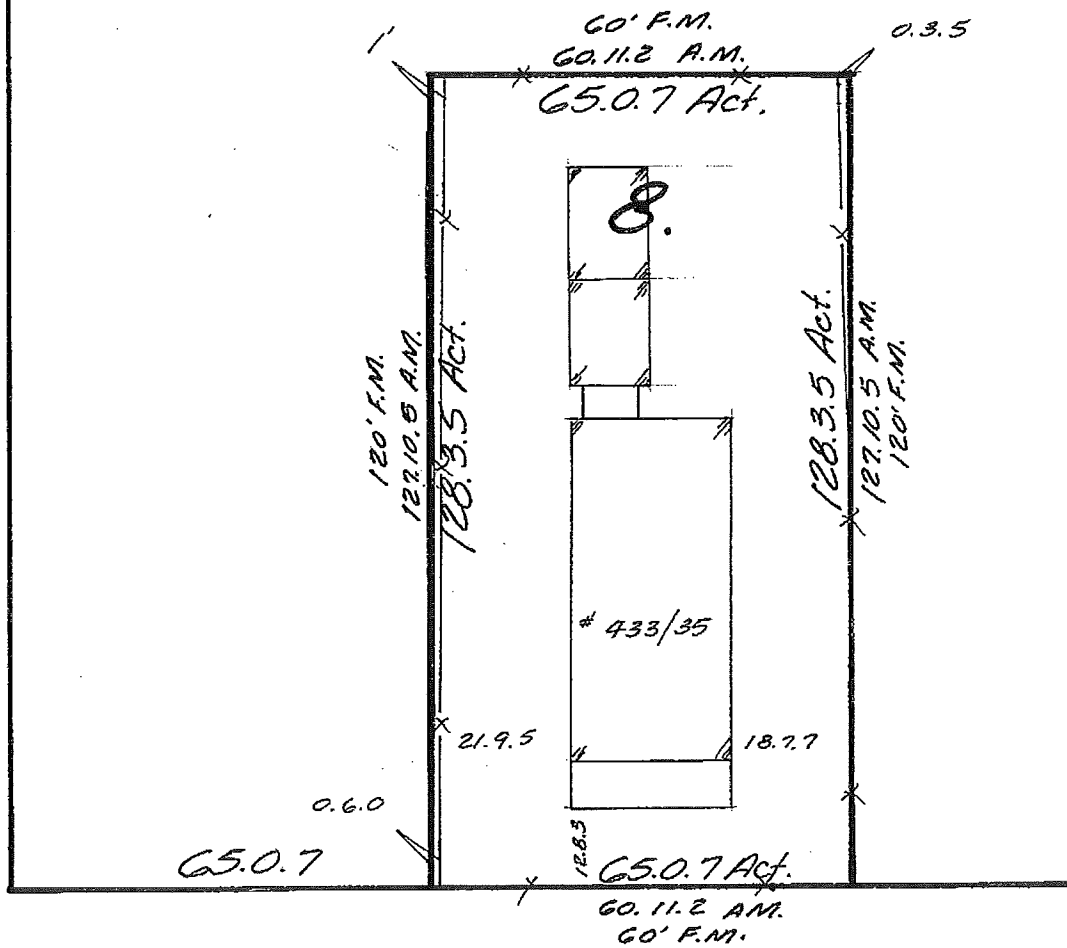
FIA ZONE "B"

SIDE

ST.

COLUMBUS

MC DONOUGH AVE.  
(Late Shepherds Row)



HANCOCK ST.

(Late Church St.)

April 21, 1987 Found as shown for Carol Newman for [Signature]



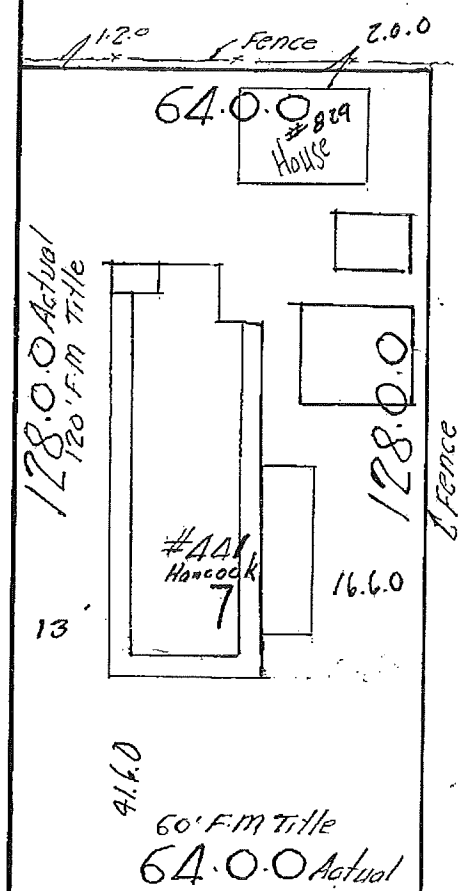
FRANKLIN ST. SIDE

SIDE

ST.

COLUMBUS

Mc DONOUGH (late Shepherd's Row) AVE.



HANCOCK ST.

August 29, 1967 Found as shown for Mrs. Aline J. Miles *AK*

New Orleans, La.  
December 10, 1948

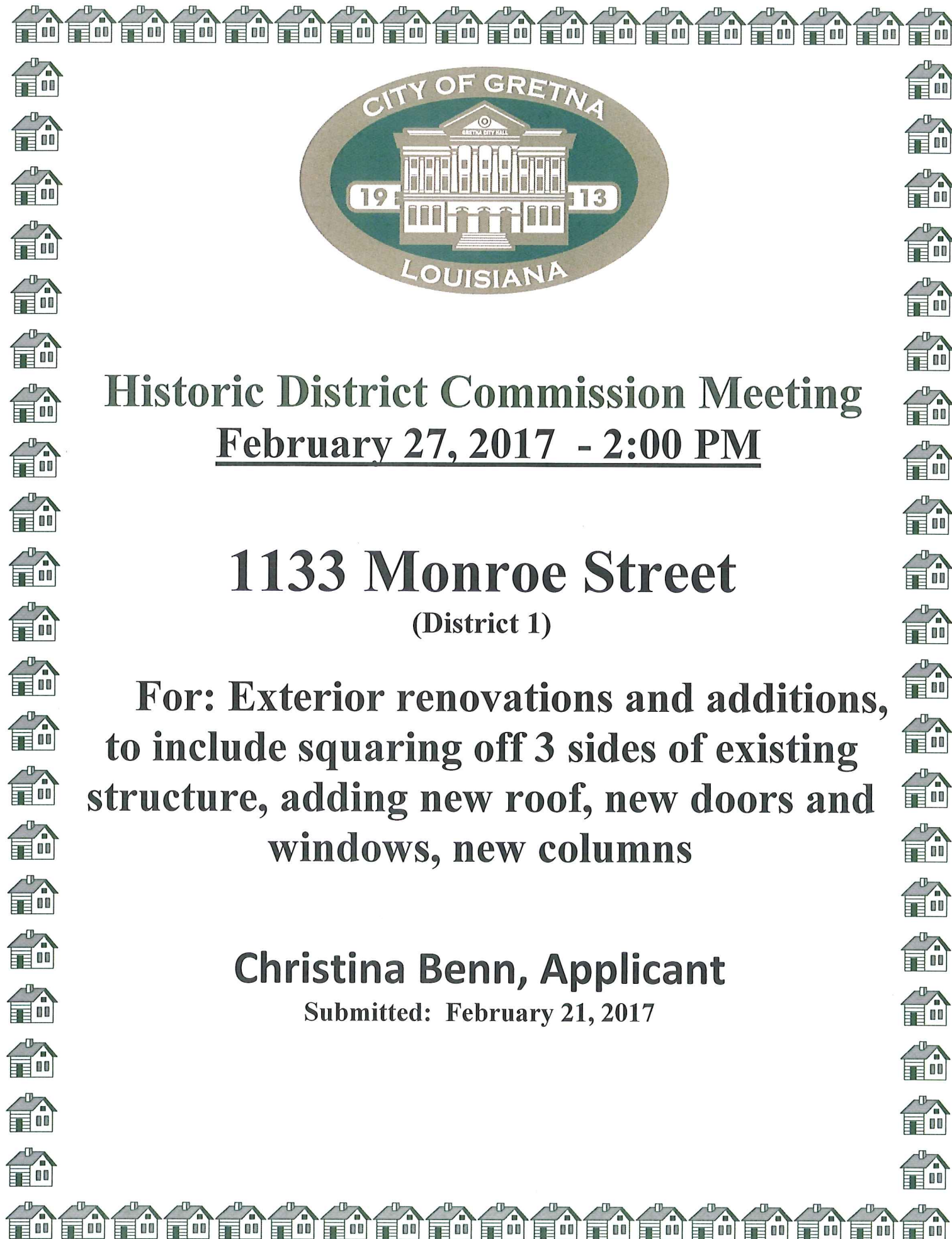


**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**1133 Monroe Street**  
**(District 1)**

**For: Exterior renovations and additions,  
to include squaring off 3 sides of existing  
structure, adding new roof, new doors and  
windows, new columns**

**Christina Benn, Applicant**  
**Submitted: February 21, 2017**





**Historic District Application for Certificate of Appropriateness**

Governed by Ordinance No. 4653 Adopted 2-11-15

# 1358

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

☐ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☒ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1133 Monroe St Gretna

Renovation: ☒ Roof, windows, the door, 3 corners to  
New Construction: add

Age of Structure: 30+ Demolition: new Roof!

Building Type:	Building Style:
Creole Cottage _____	Greek Revival _____
Shotgun _____	Italianate _____
Bungalow _____	New Orleans Bracketed _____
Other <u>Ranch</u> _____	Eastlake _____
	Colonial Revival _____
	Other <input checked="" type="checkbox"/> _____

Exterior materials proposed:

Roof <input checked="" type="checkbox"/>	Soffit _____
Fascia _____	Siding _____
Masonry _____	Porches _____
Balconies _____	Handrails _____

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_



Elevations:

Front Space:\_\_\_\_\_ft.      Side Space:\_\_\_\_\_ft.  
Rear Space:\_\_\_\_\_ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant’s Signature: CLY Benn      Date: 2/9/2017

Applicant’s Name: CHRISTINA Benn

Address: 1133 Monroe St

Phone No:( ) \_\_\_\_\_      Cell No: (504) 909 3359

For Office Use Only:

Date of Application: 2/21/2017

Substantive Change: Yes \_\_\_\_\_ No \_\_\_\_\_      Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ✓

Historic District Commission meeting date: 2/27/2017 @ 2:00pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau  
Councilman-at-Large  
Milton L. Crosby  
District One  
Michael Hinyub  
District Two  
Mark K. Miller  
District Three  
Jackie J. Berthelot  
District Four

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Planning and Zoning  
Azalea M. Roussell

### City Clerk

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### Finance & Tax Departments

Raylyn C. Stevens

### Human Resources

David Neeb

### Public Utilities

Michael J. Baudoin

### Public Works

Daniel Lasyone

### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

I, CHRISTINA BENN the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on Feb. 27th 2017 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

CBenn

Signature of Applicant

CBenn

NAME OF APPLICANT (PLEASE PRINT)

1133 Monroe St

Applicant's address

1133 Monroe St

Actual address of the property for review

Date: 2/15/2017



Google Maps 1126 Monroe St



Image capture: Jun 2015 © 2017 Google

Gretna, Louisiana

Street View - Jun 2015





Front View (Phase 2)  
Scale: 3/16" = 1'

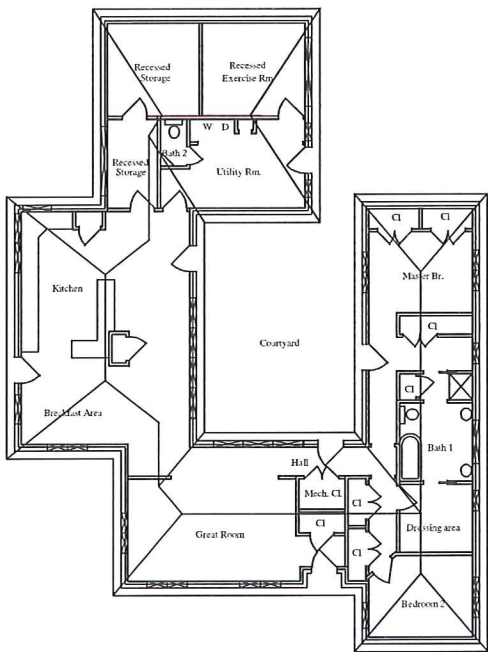
*Changing as close to what was approved in 2012*

1133 Monroe Street  
Gretna, LA

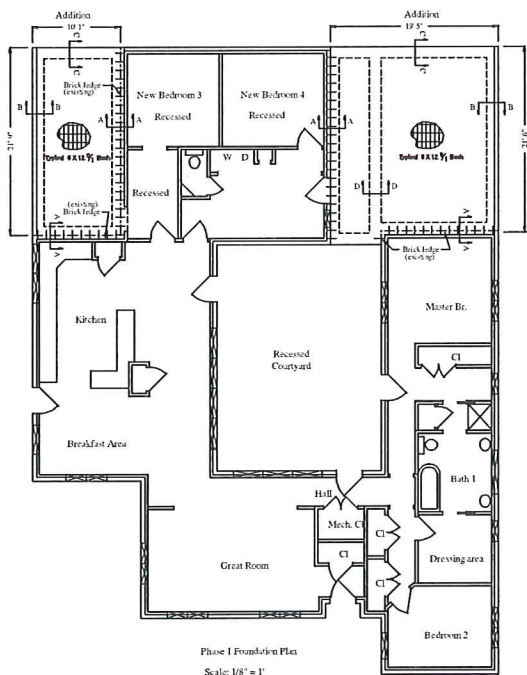
**Scope of Work:**

These plans and specifications cover the construction of two additions at the rear corners and one at the front left corner of the house at the above address. The construction shall be done in two phases. Phase II shall not

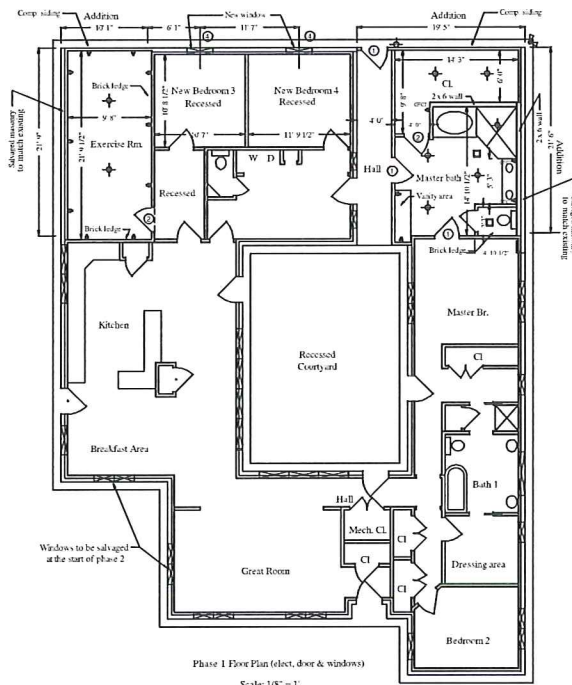




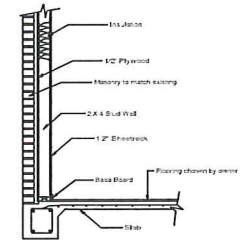
Existing Floor Plan  
Scale: 1/8" = 1'



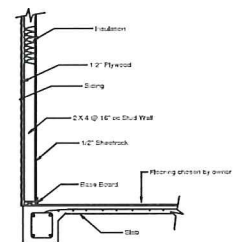
Phase 1 Foundation Plan  
Scale: 1/8" = 1'



Phase 1 Floor Plan (elect. & windows)  
Scale: 1/8" = 1'

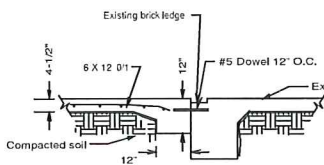


Typical Wall Section  
Not to Scale

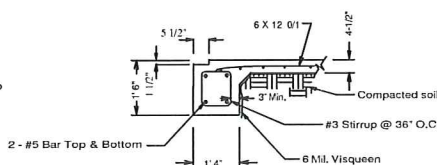


Typical Wall Section  
Not to Scale

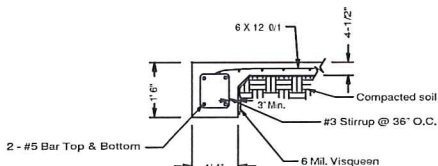
- 3/4" x 68" door  
Metal or wood
- 2 1/2" x 68" door
- 2 6" x 68" door
- 3/4" x 5 1/2" W.D. x 6 3/4" opening each  
15 SF. of natural light each
- Ceiling Light  
Wire for light & fan typical
- Light vent/heater  
vented to atmosphere
- Wall Light
- Double wall outlet
- Exterior flood lights



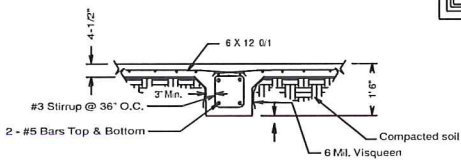
Section A-A  
Scale: 1/2" = 1'



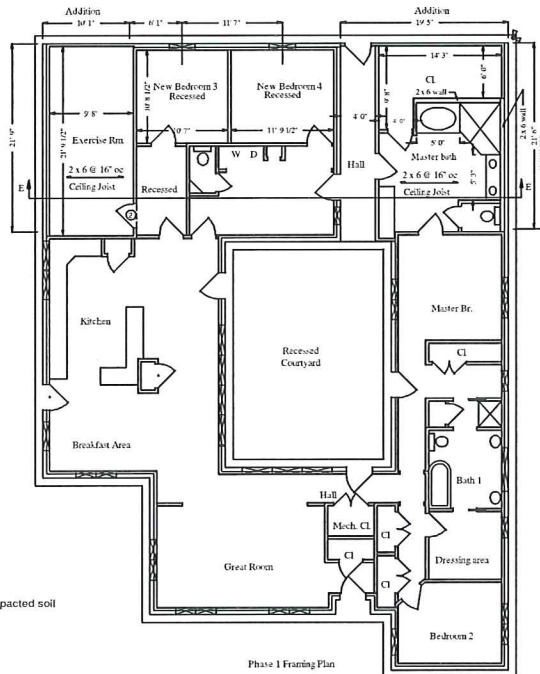
Section B-B  
Scale: 1/2" = 1'



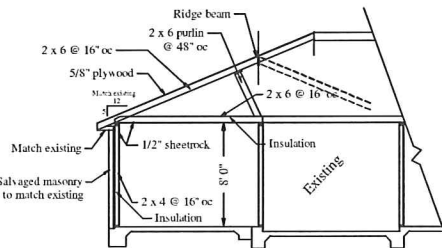
Section C-C  
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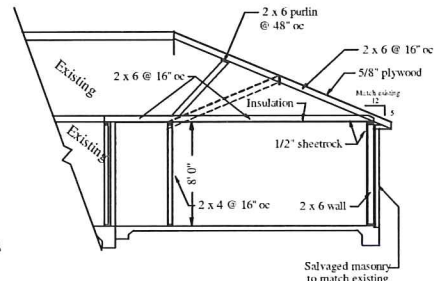
Section D-D  
Scale: 1/2" = 1'



Phase 1 Framing Plan  
Scale: 1/8" = 1'



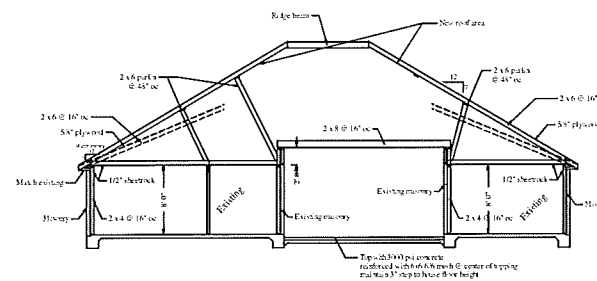
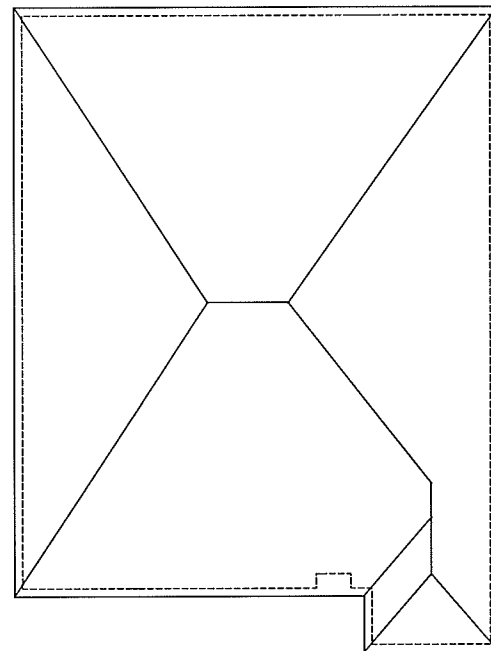
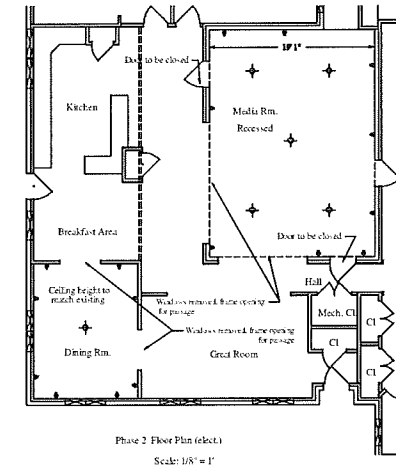
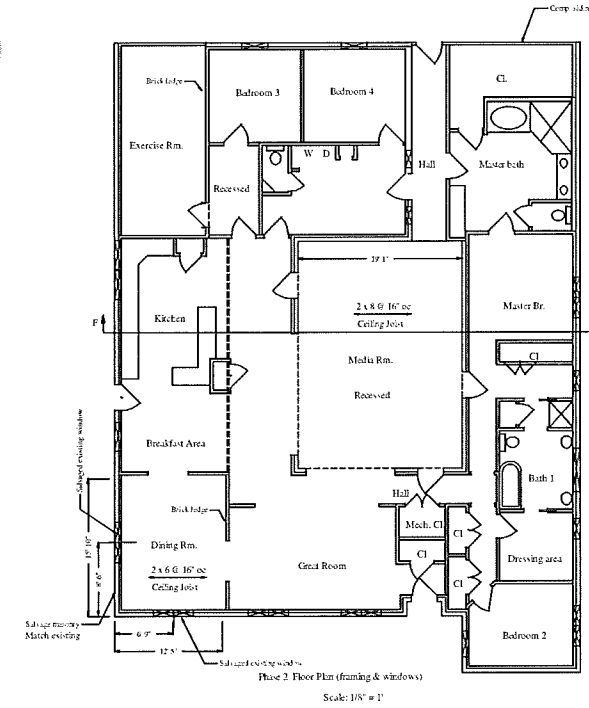
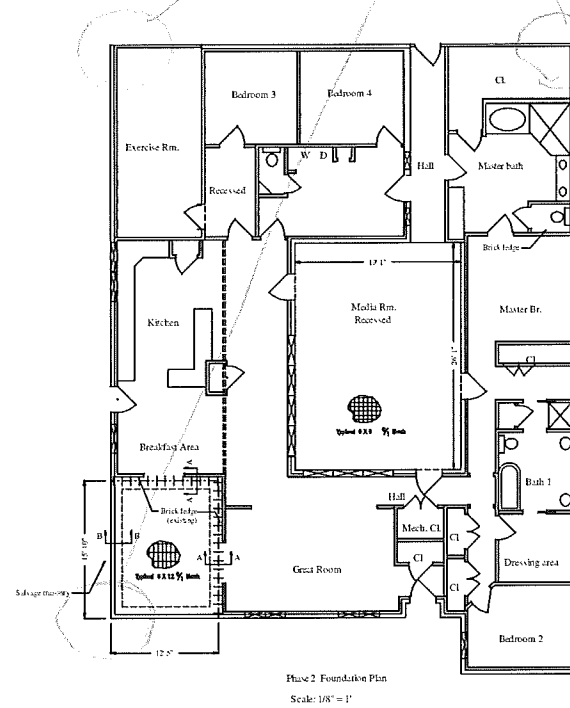
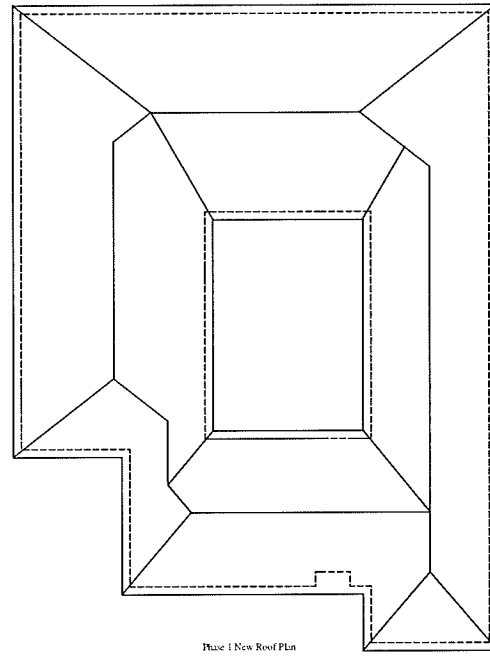
Section E-E  
Scale: 3/16" = 1'



THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION,  
TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH ALL CITY  
REQUIREMENTS. I WILL NOT BE GENERALLY ADMINISTERING THE WORK.

GILBERT ENGINEERING SERVICES LLC		
504-656-0926		
Title: House Addition Plan		
Address: 1133 Monroe Street Gretna, LA		
Client: Jeff & Christina Benn		
Date: 01/12/10	10-100	Sheet: 1 of 3

additional  
corners  
to place  
new roof



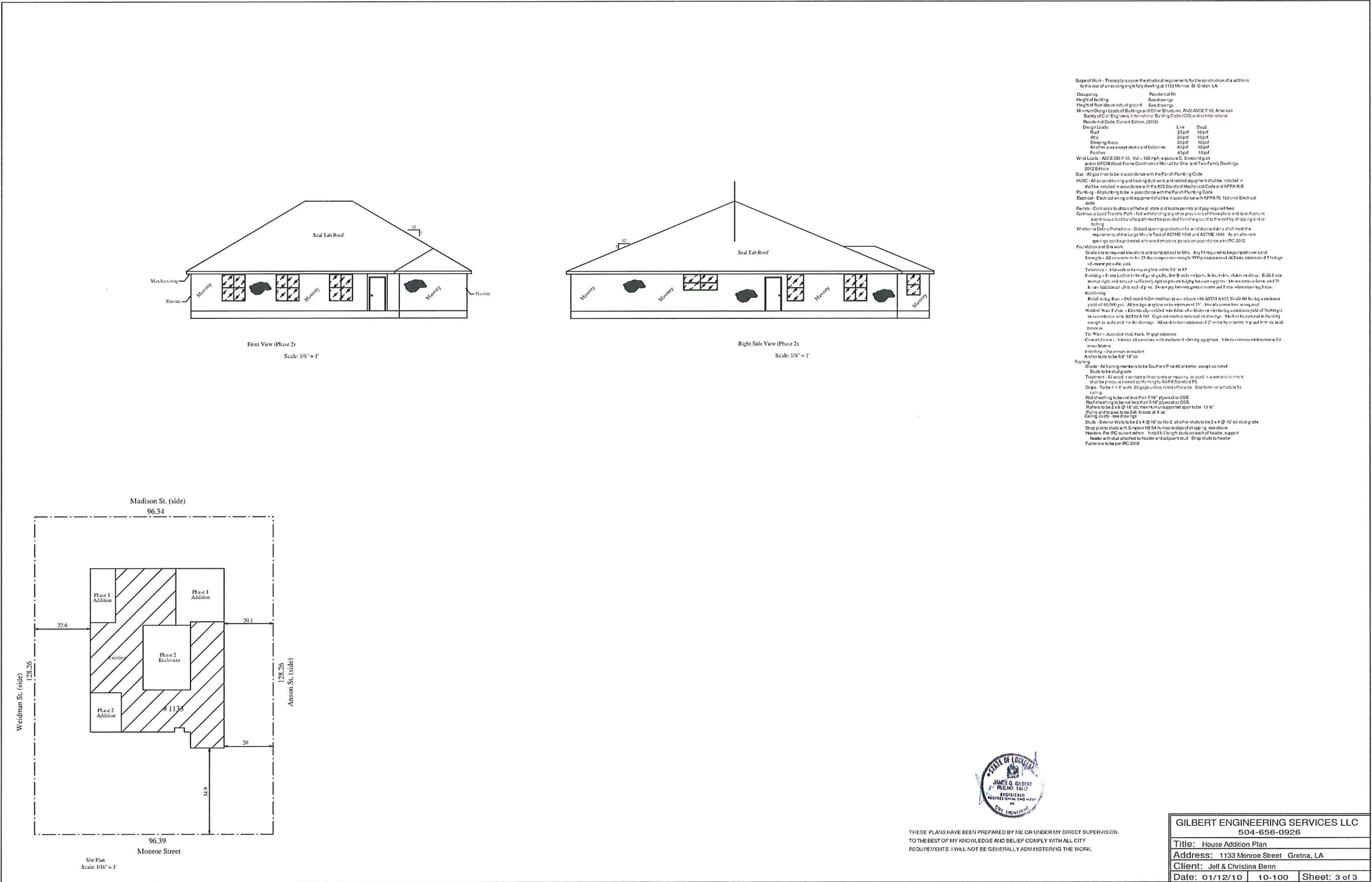
Section F-F  
Scale: 3/16" = 1"



THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION,  
TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH ALL CITY  
REQUIREMENTS. I WILL NOT BE GENERALLY ADV. FOSTERING THE WORK.

GILBERT ENGINEERING SERVICES LLC		
504-656-0926		
Title: House Addition Plan		
Address: 1133 Monroe Street Gretna, LA		
Client: Jeff & Christina Benn		
Date: 01/12/10	10-100	Sheet: 2 of 3

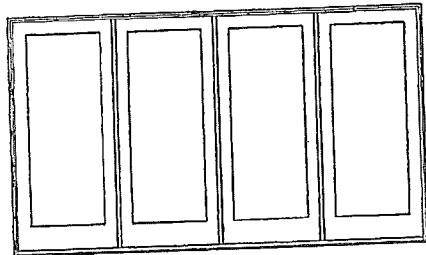




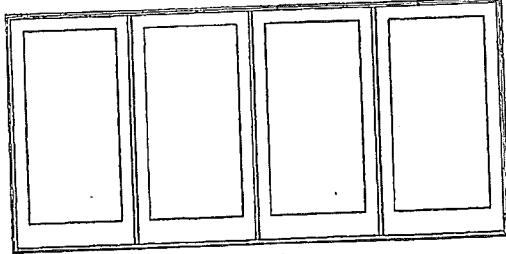
Clad Mas. Opg. (mm) 11-11 1/2 (3645)  
 Wood Mas. Opg. (mm) 12-2 1/8 (3712)  
 Rgh. Opg. (mm) 12-0 (3658)  
 Frame Size (mm) 11-11 (3632)  
 Glass Size (mm) 26 29/32" (683)

13-11 1/2 (4233)  
 14-2 1/8 (4321)  
 14-0 (4267)  
 13-11 (4242)  
 32 29/32" (836)

6-10 1/4 (2089)  
 6-11 9/16 (2122)  
 6-10 1/2 (2096)  
 6-10 (2083)  
 6-7 7/16 (1713)

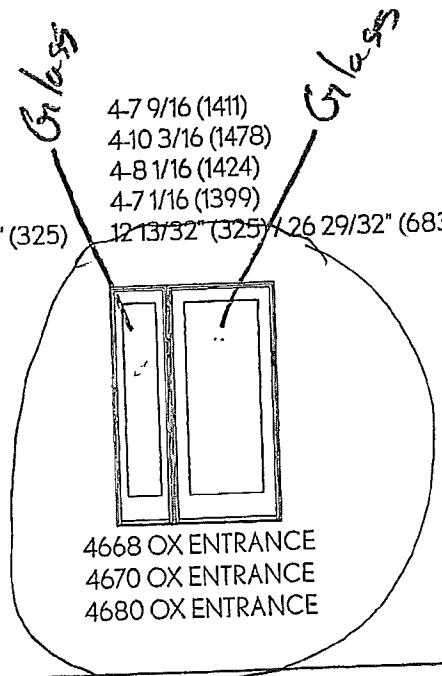


12068  
 12070  
 12080



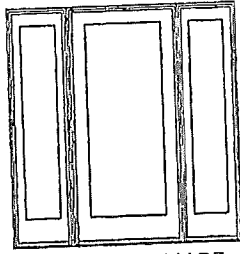
14068  
 14070  
 14080

Clad Mas. Opg. (mm) 4-7 9/16 (1411)  
 Wood Mas. Opg. (mm) 4-10 3/16 (1478)  
 Rgh. Opg. (mm) 4-8 1/16 (1424)  
 Frame Size (mm) 4-7 1/16 (1399)  
 Glass Size (mm) 26 29/32" (683) / 12 13/16" (325)



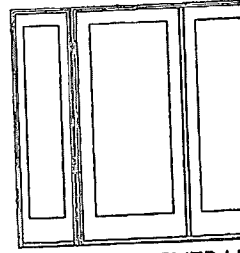
4668 OX ENTRANCE  
 4670 OX ENTRANCE  
 4680 OX ENTRANCE

6-1 1/8 (1857)  
 6-3 3/4 (1924)  
 6-15/8 (1870)  
 6-0 5/8 (1845)  
 12 13/32" (325) / 26 29/32" (683) / 12 13/32" (325)



6268 ENTRANCE  
 6270 ENTRANCE  
 6280 ENTRANCE

9-0 5/16 (275)  
 9-2 5/16 (2802)  
 9-0 13/16 (2764)  
 8-11 13/16 (2739)  
 12 13/32" (325) / 26 29/32" (683)



9268 ENTRANCE  
 9270 ENTRANCE  
 9280 ENTRANCE

Clad Ultimate Inswing French Door: CUIFD  
 Clad Ultimate Outswing French Door: CUOFD  
 Wood Ultimate Inswing French Door: WUIFD  
 Wood Ultimate Outswing French Door: WUOFD

ENTRANCE  
 DOOR





**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**1019 4<sup>th</sup> Street**

**(District 2)**

**For: Sign**

**Tina Batiste (Batiste Bail Bonds), Applicant**

**Submitted: February 21, 2017**



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**Substantive changes require review by the Historic District Commission**

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

**Applications must be filed no later than 14 calendar days prior** to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1019 4th (Batiste Bail Bonds)  
~~Renovation:~~ Storage & new Business Signs on exterior window.  
New Construction: \_\_\_\_\_ Demolition: \_\_\_\_\_  
Age of Structure: 1970's

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other Strip Business

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other ☒ \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_

Fascia \_\_\_\_\_

Masonry \_\_\_\_\_

Balconies \_\_\_\_\_

Soffit \_\_\_\_\_

Siding \_\_\_\_\_

Porches \_\_\_\_\_

Handrails \_\_\_\_\_

Vinyl  
4x4 Signs  
4' x 4 1/2"  
Both  
Windows

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

Elevations:

Front Space:            ft.

Side Space:            ft.

Rear Space:            ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Tina Batiste Date: 2/21/2017

Applicant's Name: Tina Batiste

Address: 1019 4th Street

Phone No: Cell 777-0152 Cell No: ( )           

**For Office Use Only:**

Date of Application: 2/21/2017

Substantive Change: Yes            No ✓

Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes            No ✓

Historic District Commission meeting date: 2/27/2017 @ 2:00 PM

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





# City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

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### **Planning & Zoning**

Azalea M. Roussel

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Norma Cruz

### **Finance Department**

Raylyn Stevens

### **Human Resources**

David Neeb

### **Public Utilities**

Michael Baudoin

### **Public Works**

Danny Lasyone

### **Parks and Recreation**

Amie Hebert

### **Information Technology**

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on Monday 2/27/2017 at <sup>2:00</sup>~~4:00~~ pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Tina Betiste

Date: 2/20/2017

Address: 1019 4<sup>th</sup> St Gretna La 70058

**From:** [Tina Batiste \(Batiste Bail bonds\)](#)  
**To:** [Maryam G. Bahman](#)  
**Subject:** 1019 4th street  
**Date:** Tuesday, February 21, 2017 2:59:33 PM

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Sent from my iPhone



**Maryam G. Bahman**

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**From:** Tina Batiste (Batiste Bail bonds) <tinaadele@gmail.com>  
**Sent:** Tuesday, February 21, 2017 2:59 PM  
**To:** Maryam G. Bahman  
**Subject:** IMG\_9801.JPG 1019 4th street



Sent from my iPhone



**Historic District Commission Meeting**  
**February 27, 2017 - 2:00 PM**

**960 11<sup>th</sup> Street**

**(District 2)**

**For: Installation of railings**

**Cait M. Howerton, Applicant**

**Submitted: February 22, 2017**





For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic Building** – a building at least fifty (50) years-old with significant architectural value and integrity

**Ordinary Repairs and Standard Maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important Criteria for New Construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive Change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

**Applications must be filed no later than 14 calendar days prior** to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 960 11<sup>th</sup> Street, Gretna, LA 70053

Renovation: Hand railings on front stoop

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

Building Type:

Creole Cottage X

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

Building Style:

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

Exterior materials proposed:

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails Wood

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_



Front Space: \_\_\_\_\_ ft.      Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Cait Newton Date: \_\_\_\_\_

Applicant's Name: CAIT M. HOWERTON, MBA

Address: 960 11th STREET, GRETNA, LA 70053

Phone No: ( ) \_\_\_\_\_ Cell No: (501) 802-0320

**For Office Use Only:**

Date of Application: 2/22/2017

Substantive Change: Yes \_\_\_\_\_ No ✓ Inventory Number: None

Contributing Element to Gretna National Register Historic District: Yes \_\_\_\_\_ No ✓

Historic District Commission meeting date: 2/27/2017 @ 2:00 Pm.

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor

Council Chamber. (Meetings held on the 2<sup>nd</sup> Wednesday of every month.)





♥ ardentlyashley, kbilladilla and 36 others  
caithowerton I already need to mow my grass.  
#homeowner #oldgretna













# City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

## Mayor

Belinda Cambre Constant

## Councilmembers

Wayne A. Rau

## Councilman-at-Large

Milton L. Crosby

## District One

Michael Hinyub

## District Two

Mark K. Miller

## District Three

Jackie J. Berthelot

## District Four

## Departments

### Building and Regulatory

Danika Gorrondona

### Planning & Zoning

Azalea M. Roussell

### Office of Tax & Licenses

Norma Cruz

### Finance Department

Raylyn Stevens

### Human Resources

David Neeb

### Public Utilities

Michael Baudoin

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Applicant: Cait HOWERTON

Date: 02/22/2017

Address: 960 11th STREET, GRETTA, LA 70053