THE CITY OF GRETNA HISTORIC DISTRICT COMMISSION

MEETING

740 2nd Street, Gretna, LA 70053 2nd Floor Council Chambers April 3, 2017 - 4:00 PM

AGENDA

AGENDA ITEM(S):

- 1. Call to Order/Roll Call
- 2. CONSENT AGENDA for Certificate of Appropriateness:
 - A. 516 Monroe Street
 For: Shed placement change (Formality) Jennifer Eure, Applicant (District 1)
 - B. 1327 Monroe Street For: Fence. - Kerry O'Connor, Applicant (District 2)
- 3. Properties with current request for Certificate of Appropriateness:
 - A. 1019 4th Street

For: Sign. - Tina Batiste, Applicant (District 2)

B. 1133 Monroe Street

For: Exterior renovations including stucco, columns, windows, sidelights and door. - Christina Benn, Applicant (District 1)

- C. 609 Franklin Street For: Driveway. - Jannell Alberts, Applicant (District 1)
- D. 1104 9th Street
 New construction of accessory structure. Chris Cuccia, Applicant (District 2)
- E. 1112 Monroe StreetFor: Install driveway strips and aprons.- Jack Bradley, Applicant (District 1)
- F. 1113 10th Street

Demolition of rear shed, addition of porch with side door, remove one window add one window and fence. - Bryan Bordelon, Applicant (District 2)

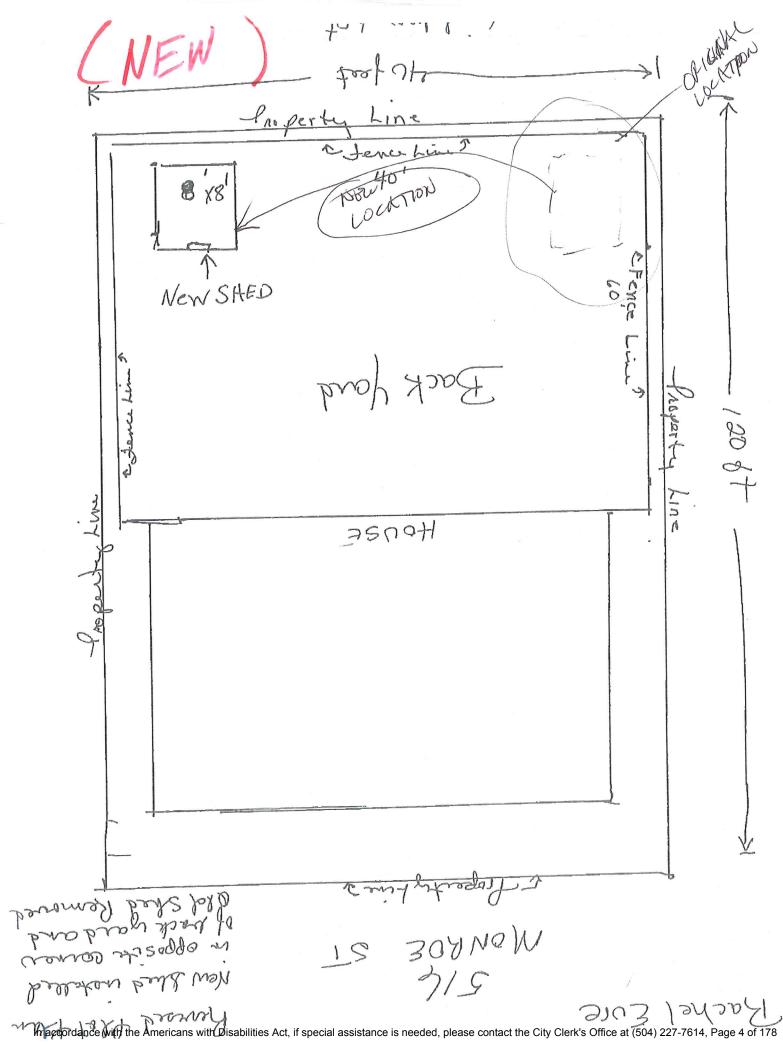
G. 736 Newton Street

New construction of single-family dwelling. - DeJesus Construction, Applicant (Dist. 2)

- H. 700 Monroe Street
 Addition to existing structure & renovations. Cody Stringer, Applicant (Dist.1)
- I. 122 Huey P. Long Avenue (Corner 2nd Street and Huey P. Long Avenue)
 Installation of ticket machine with canopy. David L. Colvin on behalf of Jefferson facilities, Inc. (District 2)
- J. 716 Dolhonde Street For: Renovations. - Karl Bosch, Applicant (District 2)
- K. 1126 9th StreetComplete demolition of all structures. City of Gretna, Applicant (District 2)
- L. 402 Monroe Street For: Renovations. - Zack Dieterich, Applicant (District 1)
- M. 605 Romain Street For: Renovations. - Zack Dieterich, Applicant (District 1)
- N. 621 Anson Street
 For: Renovations. Zack Dieterich, Applicant (District 1)
- 4. Adjourn

CITY OF GRETNA	
LOUISIANA	
Historic District Commission	
Meeting: <u>April 3, 2017</u>	
516 Monroe Street	
(District 1)	
For: Shad placement abanga (Formality)	
For: Shed placement change (Formality)	
Applicant: Jennifer Eure	
Submitted: August 6, 2017	
In accordance with the Americans with Disabilities Act. if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614. Par	e 3 of 178

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 3 of 178

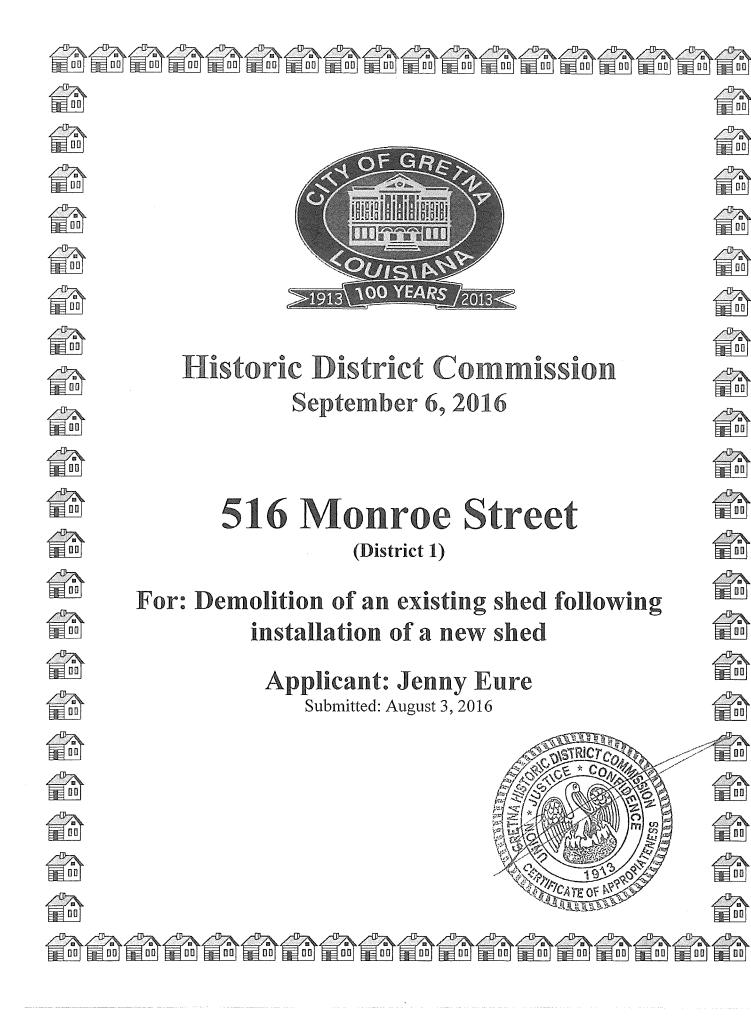


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In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 5 of 178

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NG N	CITY OF GRETNA	B
NG N	HISTORIC DISTRICT COMMISSION	S
S		S
S	CERTIFICATE OF APPROPRIATENESS	estestestestestestestes
NG NG	516 Monroe Street	R R
R	PROPERTY ADDRESS	ß
B		S
S		S
S	NAME OF APPLICANT	S
M		Q
NG NG	Work Approved: Installation of pre-Fab	N.
R	Storage Shed as Submitted.	R
NS	3107 age 311 as $363.001160.$	S
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NS IS	<u> </u>	B
B	Signature of HDC Chairperson Date	S.
B	Signature of Applicant Date	S
B	By signing this notice, the applicant/owner of the property certifies	S
S	that they acknowledge their legal responsibility for ensuring that	No la
NA NA	all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.	Į)
R	Any deviation or failure to comply with this certification as	S)(S
NISSISSI	stipulated shall be subject to an adjudicated hearing. NOT VALID UNLESS POSTED ON SITE	Š
B	Please address all questions to:	S
Ø	Gretna Department of Inspections	ENEXISTENED STENED STENED STENED
Ø	740 2nd Street, Room 113, Gretna, LA, 70053 (504) 363-1563 - www.gretnala.com COA-16-0101	Ø
B	(504) 363-1563 - www.gretnala.com COA-16-0101	Ø
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In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 7 of 178

Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

□ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.
- <u>Alteration</u> any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

<u>Demolition</u> - the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

<u>Ordinary Repairs and Standard Maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale grow volume, arrangement, site, plan, texture, material and exterior architectural textures of new constructions shall be in harmony with its surroundings and shall not impair the kilderic characte of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character substantice columns, porches, doors and exterior ornamental decorative

Page 1 of 3

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address SIL Monroe Street	GRETNA LA	
Renovation:		
Renovation:	NEW CONSTRUCTION	OUTSIDE SHED
Age of Structure:	Demontanii. Fio V	2 pre-existing delapadticky, Sheel
Building Type:	Building Style	
Creole Cottage	Greek Revival	- SUNDANCE SR-600
Shotgun	Italianate	- color sheffield any
Bungalow	Greek Revival Italianate New Orleans Bracketed	- white them
Other	Eastlake	
	Eastlake Colonial Revival Other Soffit	- NO MYNDOWS
	Other	- NO plumbing
Exterior materials proposed:		No elisteria
Roof	Soffit	- NO ELECTRAC
Fascia	Siding	
Masonry	Porches	
Balconies	Handrails	TIMIT
Type of exterior lighting fixtures: <u>NoNE</u>		TICE + C
Style of windows: NONE		
Type of exterior doors:		
Describe any ornamental woodwork:		
F	Page 2 of 3	1913 E OF APPROPHILIS

m	•
	levations:
1.1	coracions.

Front Space:	ft.	Side Space:	ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

public works must be applied for separatery.
Applicant's Signature: <u>JENNY EURE</u> Date: <u>8/3/16</u>
Applicant's Name: <u>Almy EURL</u>
Applicant's Name: Jenny EURL Address: 516 MONROE ST GRETNA LA
Phone No: $9/9 617 9031$ Cell No: $9/9 524 0040$
For Office Use Only: Date of Application: $3.3.16$
Substantive Change: Yes No Inventory Number:
Contributing Element to Gretna National Register Historic District: Yes No Historic District Commission meeting date: <u>1. (.)</u>
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)
F Ma ganny Eure will be out of town for Sept. 6th Meeting) and daughter can not miss Sept. 6th Meeting and daughter can not miss Work fine! "Please Note for HPC Meeting" Page 3 of 3



Buildings Since 1981

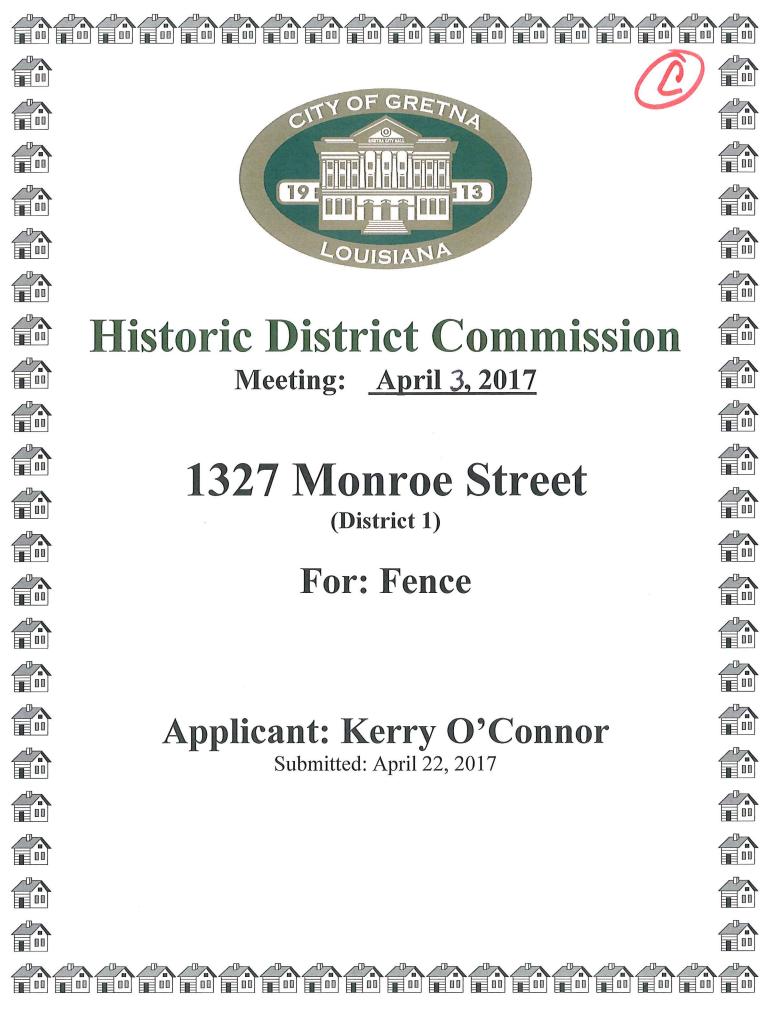
NAME Sundance SR-RAA		WxLxH	Base	w/Paint
		6'x8'x7'6"	\$1,249	\$1,394
		6'x10'x7'6"	\$1,449	\$1,594
		6'x12'x7'6"	\$1,629	\$1,774
	÷	≈=3'x8'x7'10″	\$1,479	\$1,679
		8'x10'x7'10"	\$1,689	\$1,889
		8'x12'x7'10"	\$1,889	\$2,089
<u> </u>		8'x14'x7'10"	\$2,099	\$2,299
	ĺ	8'x16 ' x7'10"	\$2,309	\$2,509
		10'x10'x8'2"	\$1,969	\$2,254
TUFFSHED		10'x12'x8'2"	\$2,209	\$2,494
5 YEAR	- CELLINGIA	10′x16′x8′2″	\$2,689	\$2,974
WADBINDY		10'x20'x8'2"	\$3,279	\$3,564
The Sundance Series SR-600 is our most popular		12′x12′x8′6″	\$2,539	1\$2,899
ranch style storage building, and has been a mainstay of the TUFF SHED line of products for years.		12′x16′x8′6″	\$35190101	15 60 04 79
6" Tall Galvanized Steel Foundation	, 	، محمد المحمد الم	A STAT	

6" Tall Galvanized Steel Foundation 🐁 5'8" Clear Interior Side 31 Please

- 4'x6' Steel Reinforced Shed Door
 Endwall Door Placement
 4" Block Sidewall Lave 4" Block Sidewall

ITE' # 1679. " all together uppliede of

Sundance TR-774	WxLxH	Base	w/Paint
CONTRACTOR E DA MORE	10'x12'x12'10"	\$3,049	\$3,404
Contraction of the second s	 10'x16'x12'10"	\$3,669	\$4,024
	 10'x20'x12'10"	\$4,289	\$4,644
	12′×12′×13′10″	\$3,939	\$4,389
	 12′×16′×13′10″	\$4,259	\$4,709
	12'x20'x13'10"	\$4,959	\$5,409
7 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	12'x24'x13'10"	\$5,649	\$6,099
	 16'x20'x15'10"	\$7,599	\$8,239
	 16'x24'x15'10"	\$8,769	\$9,409
S VEAR WARBANTY	 		



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Page 1 of 3

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In addition to the information on the cover sheet, please provide the following:

Re: Address 327 Monroe St					
Renovation:					
	Demolition:				
Age of Structure: NEIL					
Building Type:	Building Style:				
Creole Cottage 6 CEDAL	Greek Revival				
Shotgun	Italianate				
Bungalow	New Orleans Bracketed				
Other	Eastlake				
	Colonial Revival				
	Other				
Exterior materials proposed:					
Roof	Soffit				
Fascia	Siding				
Masonry	Porches				
Balconies	Handrails				
Type of exterior lighting fixtures:					
Style of windows:					
Type of exterior doors:					
Describe any ornamental woodwork:					

Page 2 of 3

Elevations: Front Space: ft. Side Space: ft.
Rear Space:ft.
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.
Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.
Applicant's Signature: Date: 32117
Applicant's Name: KERRY OCONVOR
Address: \$ 509 FAIRField AVE GIRETUA
Phone No: () Cell No: (504 342-6878
For Office Use Only: Date of Application: <u>3'22' ROIF</u>
Substantive Change: Yes No Inventory Number:
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: Appeil 3 Rel
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)

Page 3 of 3



Mayor

Belinda Cambre Constant

Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning & Zoning Azalea M. Roussell

Office of Tax & Licenses Norma Cruz

Finance Department Raylyn Stevens

Human Resources David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone
Parks and Recreation

Amie Hebert Information Technology Michael Wesley

City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

Applicant: KERRY OConnon

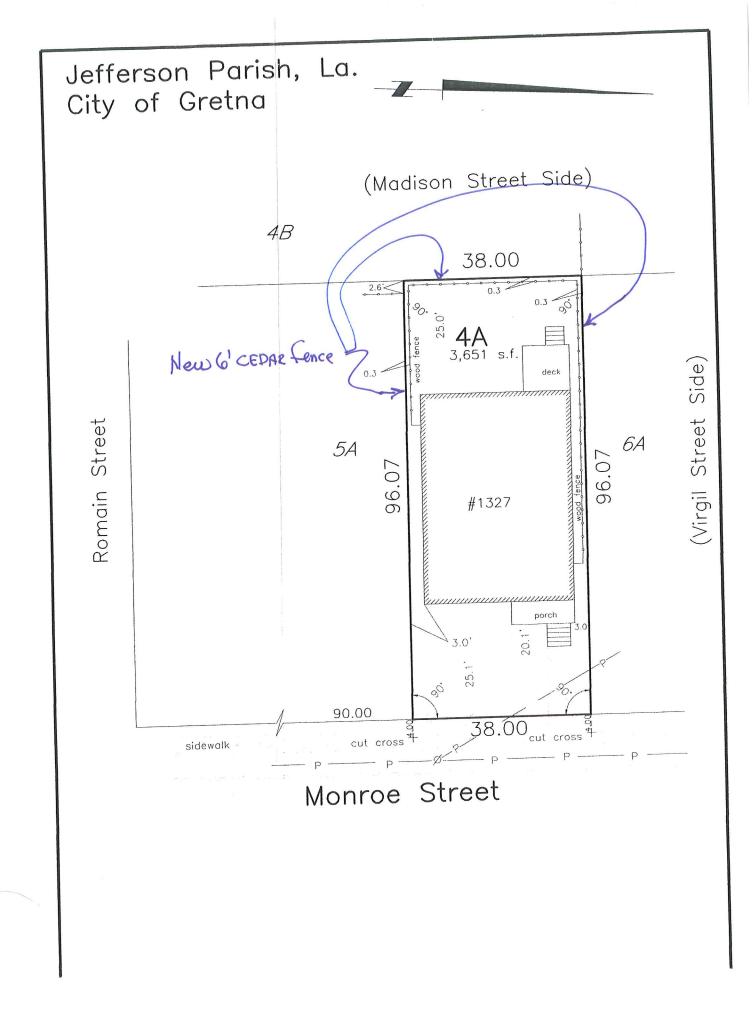
Date: 32117

Address: 1327 MonRUE St.











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In addition to the information on the cover sheet, please provide the following:

Re: Address 1019 492	(Batiste Bail Bi ness Stichers on ext	onds)	
Reportion Renovation	ress Stichers on ext	erion window.	
	n:		
Age of Structure: 19.70'S	Demolition:		
Building Type:	Building Style:		
Creole Cottage	Greek Revival		
Shotgun	Italianate		
Bungalow	New Orleans Bracketed		
Other Stelp Brisness	Eastlake		
	Colonial Revival		
	Other		
Exterior materials proposed:			
Roof	Soffit	Vilimal	
Fascia	Siding	- WIND	
Masonry	Porches	- History	
Balconies	Handrails		
Type of exterior lighting fixtures:		windows	
Style of windows:		P 7.522	
Type of exterior doors:	-		
Describe any ornamental woodwork:	_		

Elevations:		/				
3	Front Space:		ft.	Side Space:	~	ft.
	Rear Space:	/	ft			
	Real space.	/	11.			

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: TINA Batiste Date: 2/21/2017
Applicant's Name: TINA Batiste
Address: 1019 442 Street
Phone No: Cell No: ()
For Office Use Only: Date of Application: $2/21/2017$
Substantive Change: Yes No Inventory Number:Mone
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: 2/27/2017 @ 2:00 PM
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)



Mayor

Belinda Cambre Constant Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot **District** Four

Departments

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Office of Tax & Licenses Norma Cruz

Finance Department Raylyn Stevens

Human Resources David Neeb **Public Utilities**

Michael Baudoin

Public Works Danny Lasyone

Parks and Recreation Amie Hebert

Information Technology Michael Wesley

City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on Monday 2/27/2017 . at 4:00 pm on the second floor of City Half in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: //na B

12010

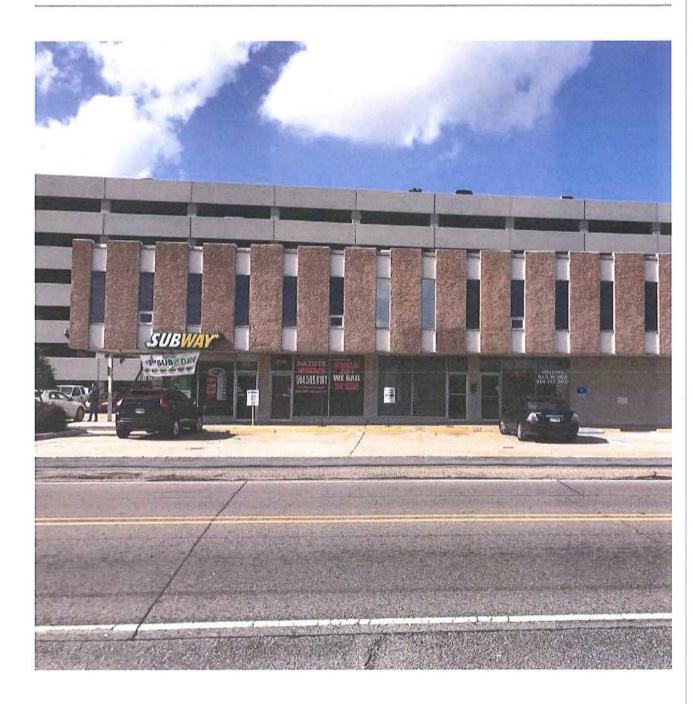
Address: 10194# St. Grenta La 10058

 From:
 Tina Batiste (Batiste Ball bonds)

 To:
 Maryam G. Bahman

 Subject:
 1019 4th street

 Date:
 Tuesday, February 21, 2017 2:59:33 PM



Sent from my iPhone

Maryam G. Bahman

From: Sent: To: Subject: Tina Batiste (Batiste Bail bonds) <tinaadele@gmail.com> Tuesday, February 21, 2017 2:59 PM Maryam G. Bahman IMG_9801.JPG 1019 4th street



Sent from my iPhone

pre-exist

8 3/22/17, 12:33 PM image1.JPG area with X will be removed from Window 21.5 ft length 4.4 ft width = 19.8 sq. ft Requ New the second 11

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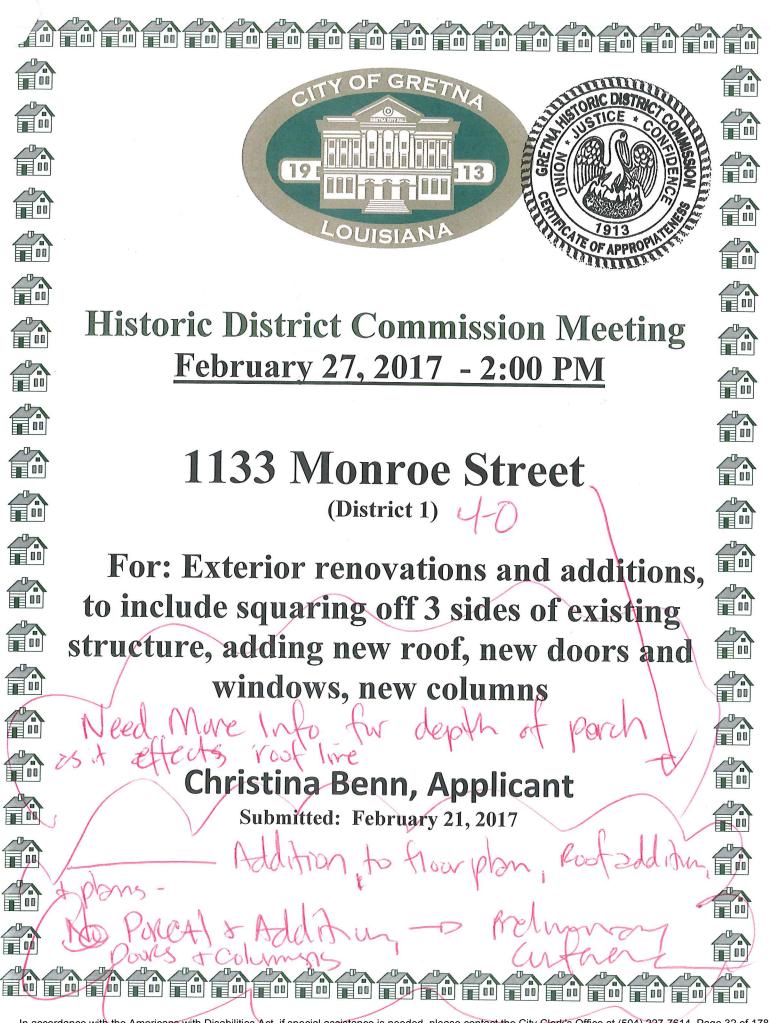
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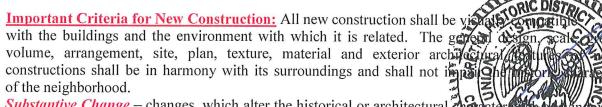
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- <u>Construction</u> the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.



<u>Substantive Change</u> – changes, which alter the historical or architectural change columns, porches, doors and exterior ornamental decore

Page 1 of 3

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sh	eet, please provide the following:	
Re: Address 1133 MonRO-e	Storetun	
Renovation: <u><i>Root iv</i></u> New Construction	eet, please provide the following: <u>Storetwo</u> <u>rinebows</u> , <u>the Aoon</u> , <u>3</u> Corners S ion: Demolition: <u>Men</u>	10
Age of Structure: <u>30</u> +	Demolition:	<u> </u>
Building Type:	Building Style: RUD	$\frac{1}{2}$
Creole Cottage	Greek Revival	"
Shotgun	Italianate	
Bungalow	New Orleans Bracketed	
Other <u>Ranch</u>	Eastlake	
	Colonial Revival	
Exterior materials proposed:	Other	
Roof_	Soffit	
Fascia	Siding	
Masonry	Porches	
Balconies	Handrails	
Type of exterior lighting fixtures:	Trandrans ORIC DISTRIC	
Style of windows:		
Type of exterior doors:		
Describe any ornamental woodwork:		
	Page 2 of 3	

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 34 of 178

Maryam G. Bahman

From:	Maryam G. Bahman
Sent:	Monday, March 13, 2017 5:08 PM
То:	coloring-house@peoplepc.com
Cc:	Danika Gorrondona; Maria Caulking; Maryam G. Bahman
Subject:	FW: plans 1133 Monroe st.
Attachments:	09-187 1133 Monroe St .Sheet 1.pdf; 09-187 1133 Monroe St .Sheet 2.pdf; 09-187 1133
	Monroe St .Sheet 3.pdf

Dear Ms. Benn,

Most important in the future please copy all your E-Mails to Danika and Maria as well as myself. I am not always in the office and that is why we have all of the Building Official's Office staff attached for good measure.

Are these three sheets just the revised plans for the roof?? I apologize but I am not very good at reading plans, I help with process of the permits.

If you would also upload any new information into your non-active permit that would be great to move things smoothly through as well.

Please do not hesitate to call the office if you have any questions I would be glad to help.

Sincerely, Maryam

Maryam Bahman Building Official's Office Gretna City Hall 504-363-1563

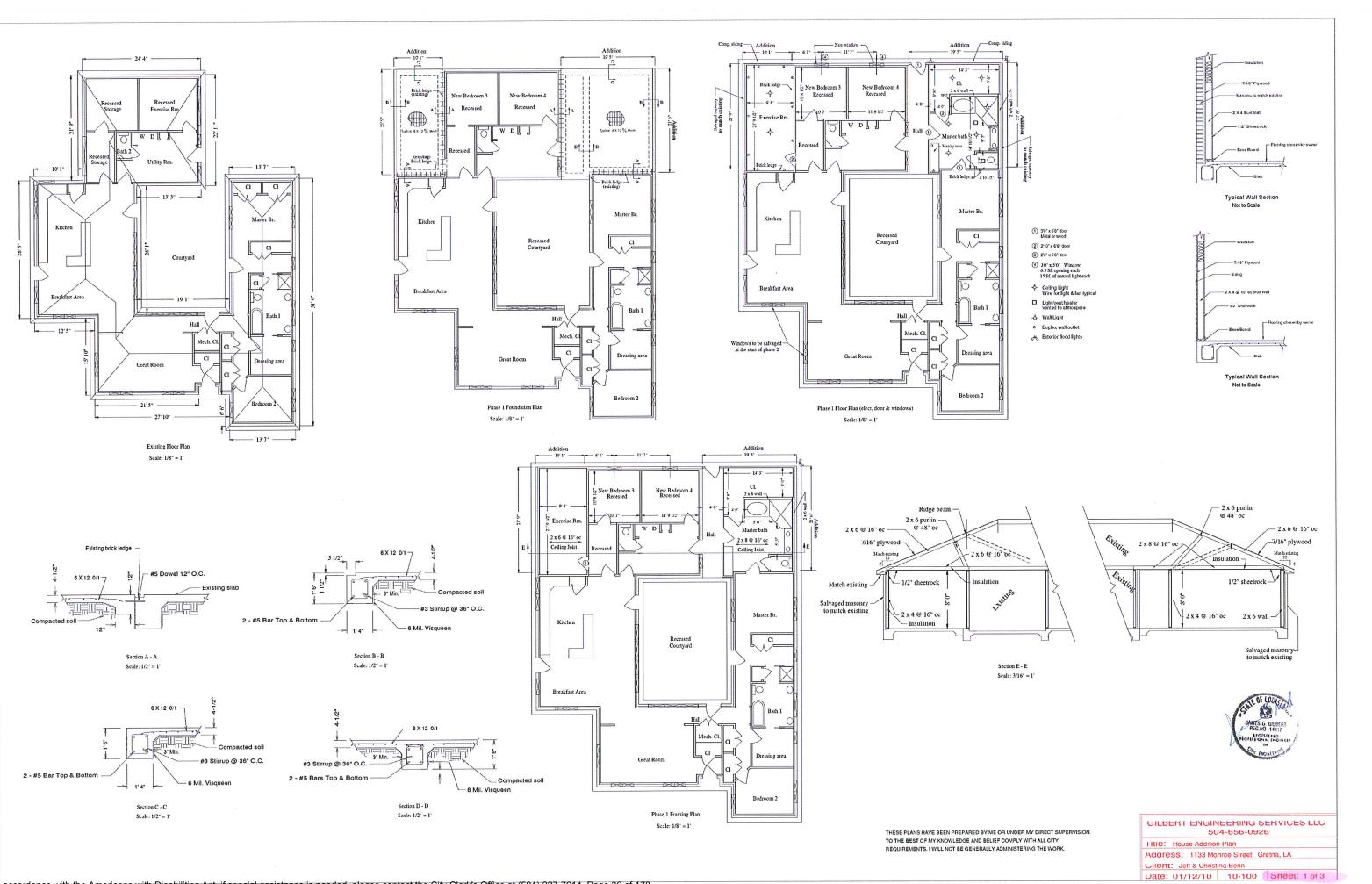
-----Original Message-----From: yours truly [mailto:coloring-house@peoplepc.com] Sent: Monday, March 13, 2017 11:46 AM To: Maryam G. Bahman <mgbahman@gretnala.com> Subject: plans 1133 Monroe st.

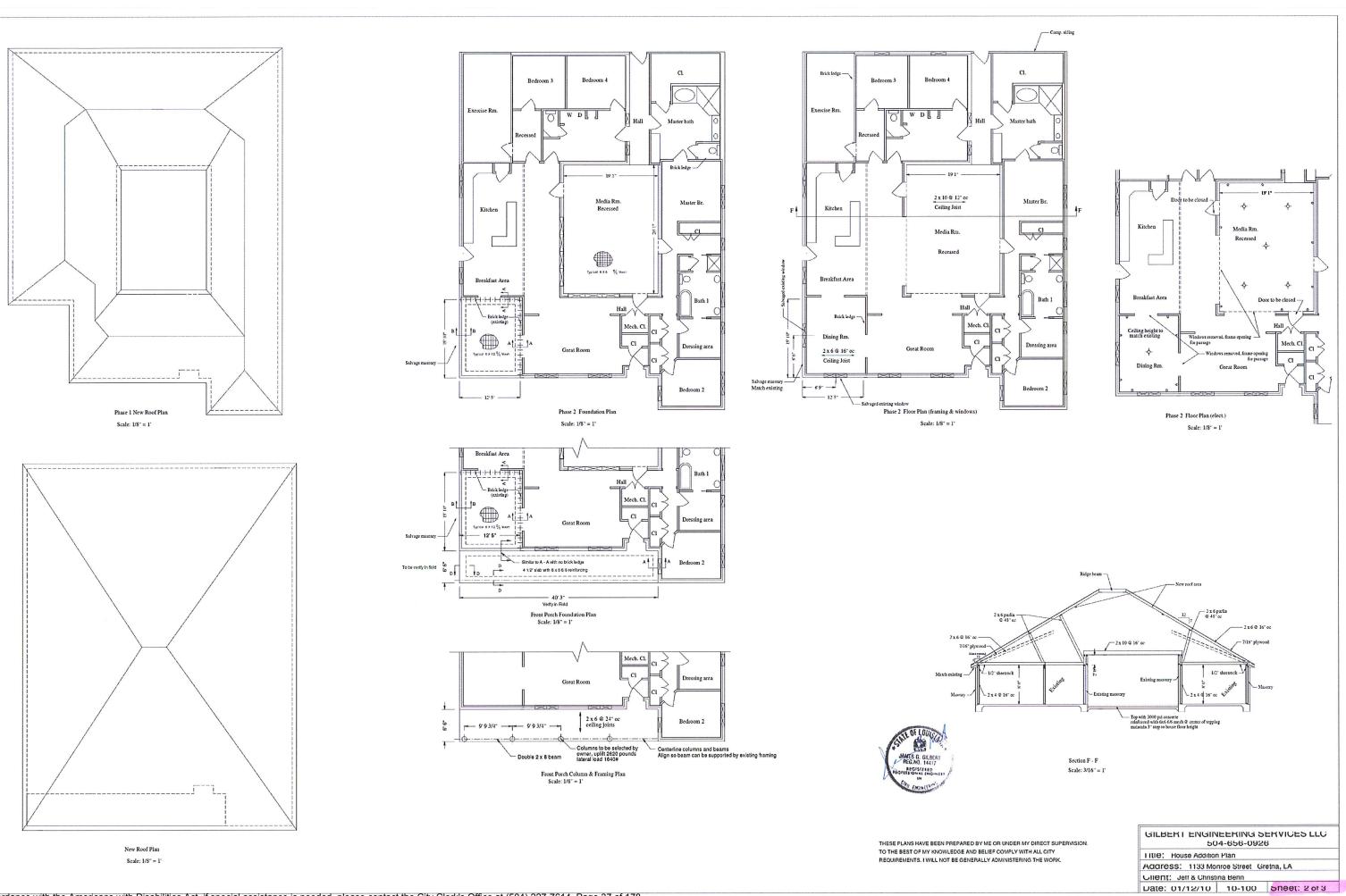
Please see Attached Revised Plans 3/13/2017

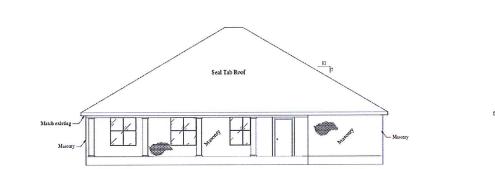
I will come in with the remaining information for (Stucco, Windows and Door) and sign the paperwork.

Christina Benn

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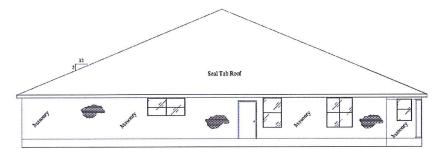




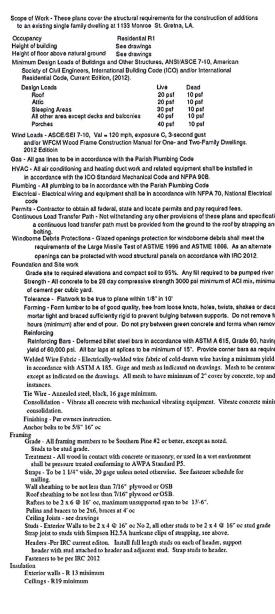


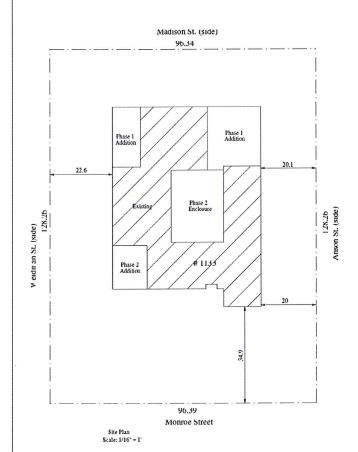
Front View (Phase 2)

Scale: 1/8" = 1'



Right Side View (Phase 2) Scale: 1/8" = 1"





THESE PLANS HAVE BEEN PREPARED BY ME OR UND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMP REQUIREMENTS. I WILL NOT BE GENERALLY ADMINIS

Scope of Work - These plans cover the structural requirements for the construction of additions to an existing single family dwelling at 1133 Monroe St. Gretna, LA.

Residential R1

Height of building See drawings Height of floor above natural ground See drawings Minimum Design Loads of Buildings and Other Structures, ANSI/ASCE 7-10, American Society of Civil Engineers, International Building Code (ICO) and/or International Residential Code, Current Edition, (2012).

	Live	Dead
	20 pst	10 psf
	20 pst	10 psf
veas	30 pst	10 psf
rea except decks and balconies	40 psf	10 psf
	40 psf	10 pst

Wind Loads - ASCE/SEI 7-10, Val = 120 mph, exposure C, 3-second gust and/or WFCM Wood Frame Construction Manual for One- and Two-Family Dwellings. 2012 Edition

Gas - All gas lines to be in accordance with the Parish Plumbing Code

HVAC - All air conditioning and heating duct work and related equipment shall be installed in in accordance with the ICO Standard Mechanical Code and NFPA 908. Plumbing - All plumbing to be in accordance with the Parish Plumbing Code

Electrical - Electrical wiring and equipment shall be in accordance with NFPA 70, National Electrical

code Permits - Contractor to obtain all federal, state and locate permits and pay required fees. Continuous Load Transfer Path - Not withstanding any other provisions of these plans and specifications a continuous load transfer path must be provided from the ground to the root by strapping and/or bolting. Windborne Debris Protections - Glazed openings protection for windoborne debris shall meet the requirements of the Large Missile Test of ASTME 1996 and ASTME 1866. As an alternate considers and he protected with burged structural canels on according with IRC 2012

openings can be protected with wood structural panels on accordance with IRC 2012.

Grandation and Site work Grade aite to required elevations and compact soit to 95%. Any fill required to be pumped river sand. Strength - All concrete to be 28 day compressive strength 3000 psi minimum of ACI mix, minimum of 5 ½ bags

Tolerance - Flatwork to be true to plane within 1/8" in 10"

Forming - Form lumber to be of good quality, free from loose knots, holes, twists, shakes or decay. Build forms mortar tight and braced sufficiently rigid to prevent bulging between supports. Do not remove forms until 24 hours (minimum) after end of pour. Do not pry between green concrete and forms when removing forms.

Reinforcing Bars - Deformed billet steel bars in accordance with ASTM A 615. Grade 60, having a minimum yield of 60,000 psi. All bar laps at splices to be minimum of 15". Provide corner bars as required. Welded Wire Fabric - Electrically-welded wire fabric of cold-drawn wire having a minimum yield of 70,000 psi in accordance with ASTM A 185. Gage and mesh as indicated on drawings. Mesh to be centered in the slab except as indicated on the drawings. All mesh to have minimum of 2^e cover by concrete, top and bottom, in all

Tie Wire - Annealed steel, black, 16 gage minimum.

The true - random event, ones, to gage minimum. Consolidation - Vibrate all concrete with mechanical vibrating equipment. Vibrate concrete minimum time for consolidation.



ER MY DIRECT SUPERVISION	1.
LY WITH ALL CITY	
TERING THE WORK	

GILBERT ENGIN	EEKING 5 4-656-092	
IIIIE: House Addition	Plan	
Address: 1133 Mor	nroe Street G	retna, LA
Glient: Jett & Christi	na Benn	
Uate: 01/12/10	10-100	Sneet: 3 of 3

Synthetic Conventional Plastering & Tiling

David Joseph Plastering

ESTIMATE:

Customer:Mrs. Christina Bend

Address: 1133 Monroe Street

Gretna, La.

WILL BE PLACING STUCCO AND PLASTERING AT THE ABOVE LOCATION, INCLUDING (4) COLUMNS WITH BANDS AND MATERIAL.

TOTAL COST \$4,500.00

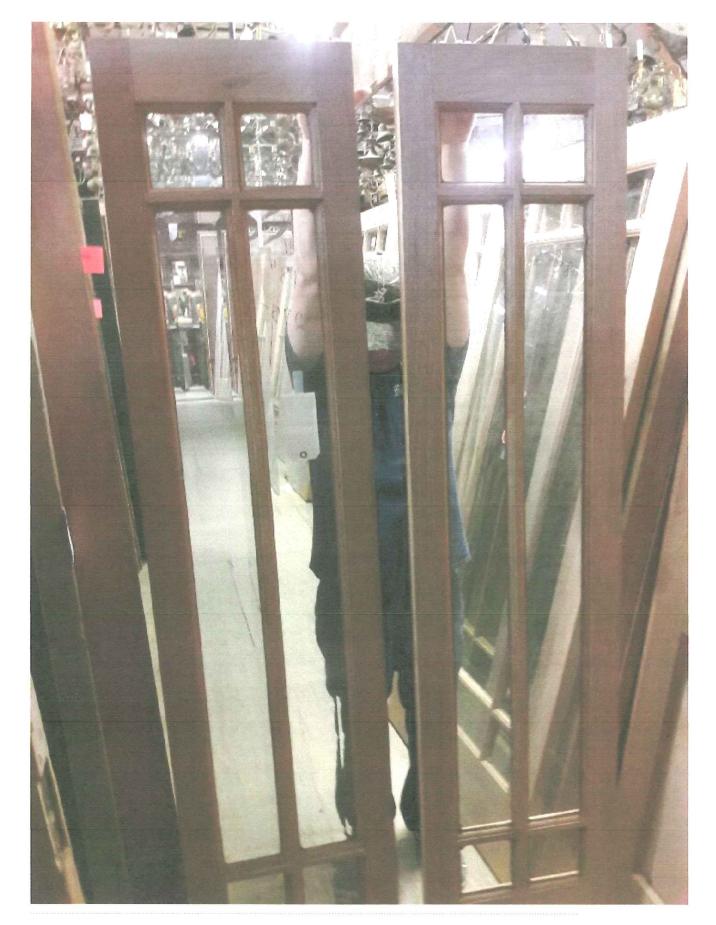
David Joseph

3/22/17dj

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Page 3 of 5



Windows

In accoldance/wite bename in a contraction of the second of the

Page 4 of 5



DOOR

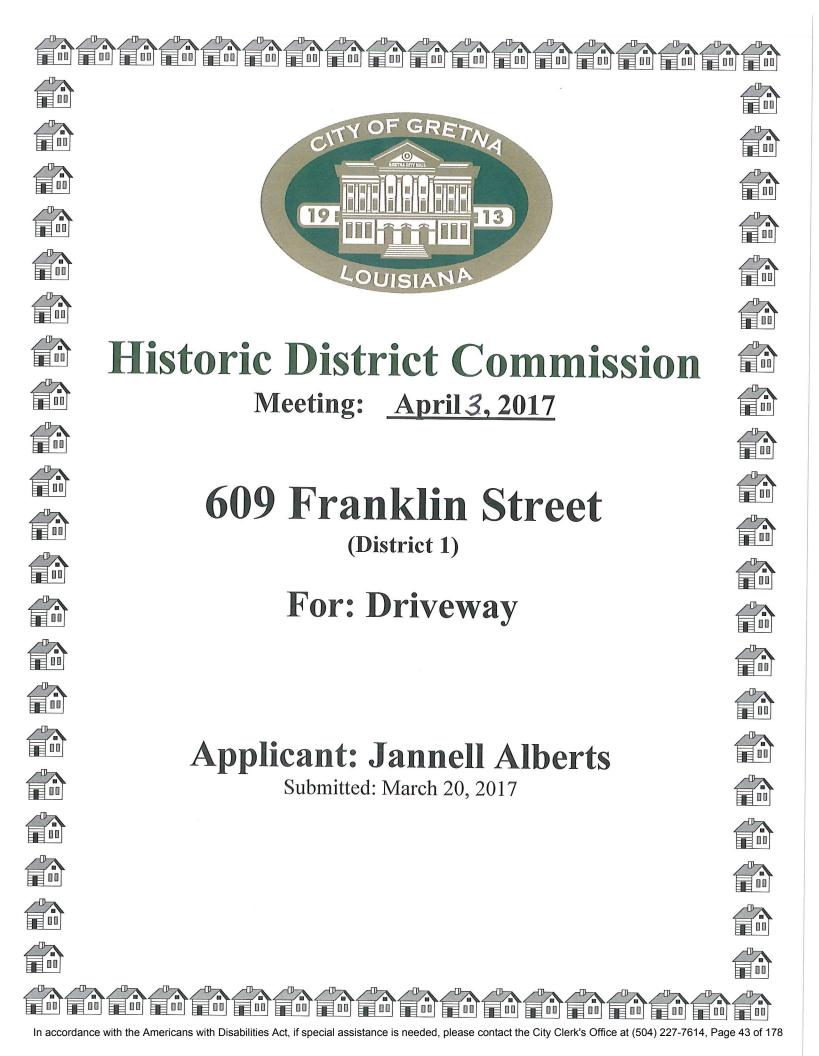
In accoldence//www.bon.antepieuro.heip.Disobilit/ex.ant/jopingrablesjstp???nisgred=24.693.ee.366711af25982lerk's Office at (504) 223,7264.420age 41 of 178





Bidelight

In accordance/www.cbenamerjoanepletpOisabilitionann/paintablesisteriansgedee24p7easexcode67 the2982 lerk's Office at (504) 2237844/28457 42 of 178



Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

□ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
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- <u>Alteration</u> any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark
- <u>Construction</u> the erection of any on site improvements on any parcel of ground
- **Demolition** the complete, partial or constructive removal of a building from any site
- *Historic Building* a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Page 1 of 3

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 609 Franklin	
	Demolition:
Age of Structure: <u>89 years old</u>	
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other Cape Col	Eastlake
	Colonial Revival
	Other
Exterior materials proposed:	
Roof	Soffit Deive Way Conclete
Fascia	
Masonry	Porches
Balconies	Handrails
Type of exterior lighting fixtures:	
Style of windows:	
Type of exterior doors:	
Describe any ornamental woodwork:	

Elevations:	Front Space:	ft.	Side Space:ft.
	Rear Space:	_ft.	

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:	Date: 03/20/17
Applicant's Name: Januar Albert	5
Address: 609 Franklin Ave	
Phone No:()	Cell No: 04284 te 75
For Office Use Only:	Date of Application: <u>3</u> ·30·3017
Substantive Change: Yes No	Inventory Number:
Contributing Element to Gretna National Register	Historic District: Yes No
Historic District Commission meeting date:	Appl 3rd @ 4.00 pm
Public Hearing to be held at the Council Regular	Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



Mayor Belinda Cambre Constant

Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning & Zoning Azalea M. Roussell

Office of Tax & Licenses Norma Cruz

Finance Department Raylyn Stevens

Human Resources David Neeb

Public Utilities Michael Baudoin

Public Works Danny Lasyone

Parks and Recreation Amie Hebert

Information Technology Michael Wesley

City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on _________ *BML*_________ at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Jannell Alberts Date: 03/20/17

Address: 609 Franklin AVe

Maryam G. Bahman

From:	Maryam G. Bahman
Sent:	Thursday, January 19, 2017 11:43 AM
То:	Danika Gorrondona
Cc:	Maria Caulking; Maryam G. Bahman; Azalea Roussell
Subject:	609 Franklin Ave(Was inactive permit #2016-1121) Driveway(Flatwork Proposed)

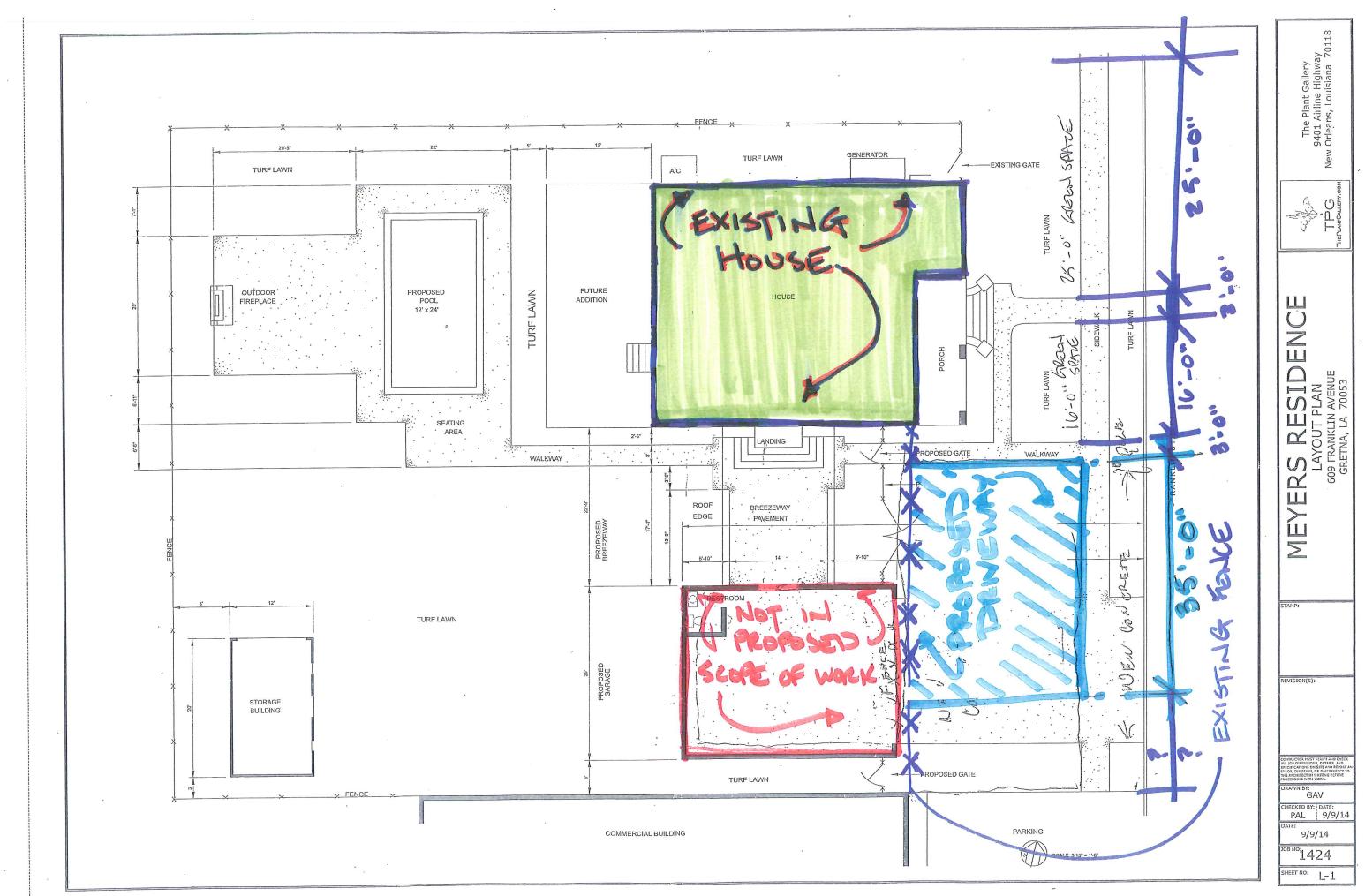
Please note that I spoke with Ms. Jannell Alberts today and she informed me that she will not pursue her flatwork(driveway) at this time. She will come back at a later time in the summer. Please note that she has paid for HDC(Historic District Committee) and has never gone before them. I have assured her that she will be able to utilize the money she has already paid(\$50.00dollrs, receipt scanned in this permit behind hdc application). I did discuss that she would still need to provide the measurements and setbacks of the proposed driveway to Mrs. Azalea when she does return to this project at a later date. Ms. Alberts states she does have them and will bring them at the time when she chooses to proceed with this permit. I explained to Ms. Alberts today that I would be withdrawing this permit today and if she cannot submit this exact permit back from her cue that she would be responsible to place a new permit when she is ready to proceed. (She was very understanding) I will inform Ms. Azalea and Danika about this address by email.(This is in the permit) Maryam

PS. I have copied all on this E-mail for good measure and remembrance when Ms. Alberts comes back to proceed with this driveway. Placing a copy of this E-mail in her address file as well. MGB

Maryam Bahman Building Official's Office Gretna City Hall 504-363-1563

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Sec. March



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 50 of 178

Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

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- *Construction* the erection of any on site improvements on any parcel of ground
- **Demolition** the complete, partial or constructive removal of a building from any site
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Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

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In addition to the information on the cover sheet, please provide the following:

Re: Address /104 Joh St	
Renovation:	$, \Lambda$
New Construction:	
Age of Structure: //ew	Demolition:
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other range	Eastlake
	Colonial Revival
Exterior materials proposed:	Other
Roof Tiber 6/455 Shing	105 Soffit HP
Fascia	Siding_
Masonry	Porches Norp
Balconies Non	Handrails None
Type of exterior lighting fixtures:	Flords on Carners
Style of windows:	mer of
Type of exterior doors: 6 fank	stat door
Describe any ornamental woodwork:	P
Pa	age 2 of 3 Flatwork prior
In accordance with the Americans with Disabilities Act, if special assis	tance is needed, please contact the Gity Olerry's Office at (504) 227-7614, page 52 of 178

Elevations:

Front Space:	ft.	Side Space:	ft.
Rear Space:	ft.		

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: This muccin Date: 3 23/17
Applicant's Name: Aris Mauria
Address: JJJ Dolhonde St bretha 1.4 10053
Phone No: 604 488 4394 Cell No: 604 453 - 3808
For Office Use Only:
Date of Application: $3/22/17$
Substantive Change: Yes No Inventory Number: Move
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: April 3rd @ 4.00 PM
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



Mayor Belinda Cambre Constant

Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning & Zoning Azalea M. Roussell

Office of Tax & Licenses Norma Cruz

Finance Department Raylyn Stevens

Human Resources David Neeb

Public Utilities Michael Baudoin

Public Works Danny Lasyone

Parks and Recreation Amie Hebert

Information Technology Michael Wesley

City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

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Applicant VECLA Date: Address:

Google Maps 1105 9th St



Image capture: Jul 2011 © 2017 Google

Gretna, Louisiana Street View - Jul 2011





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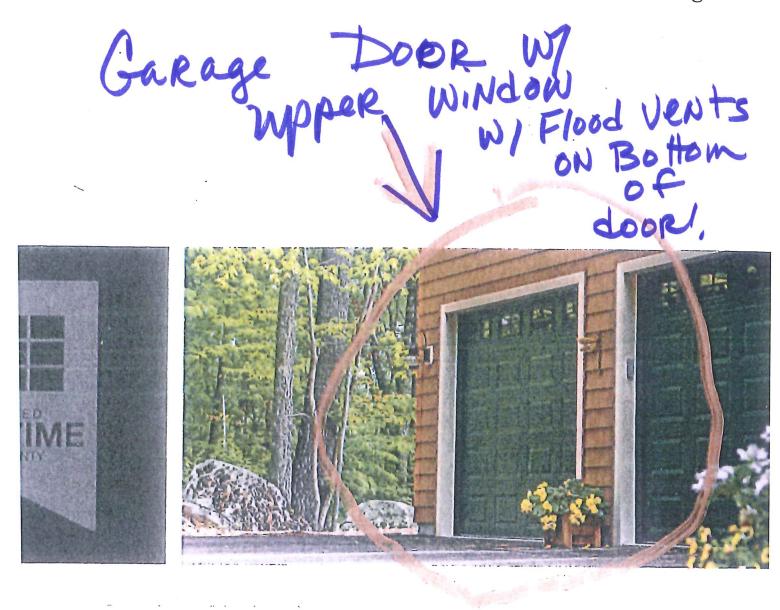






C.H.I. Raised Panel Steel Series Raise the standard.

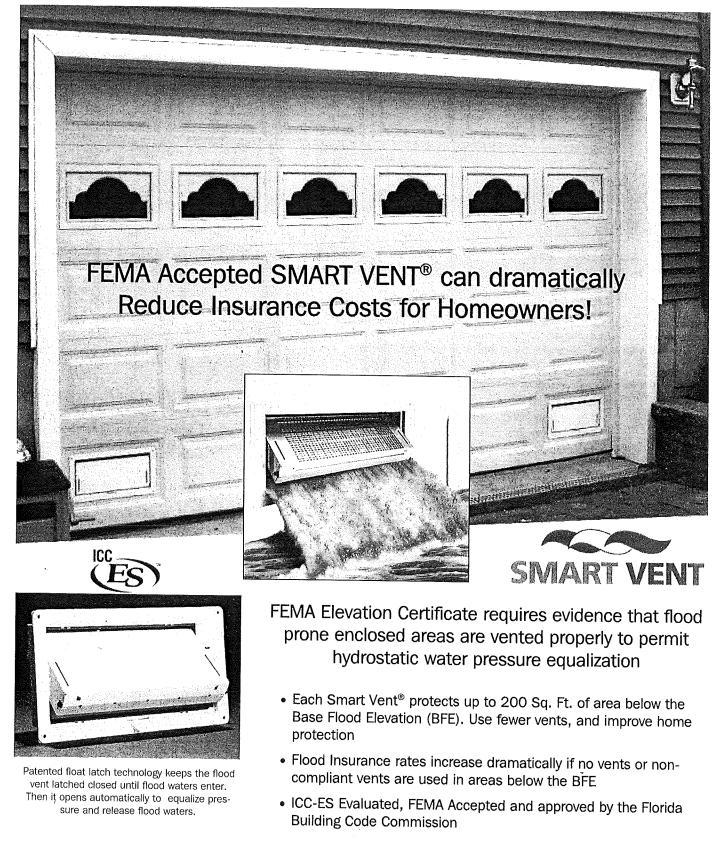
epth to your door design with C.H.I.'s raised panel design, avai short and long panel options. The raised panels start with a rec je, but the interior surface of each panel is brought slightly forw adding just a hint of definition to a classic door design.





FLOOD VENTS FF 1

Overhead Garage Door Flood Vents



FF 2 FLOOD VENTS

Overhead Garage Door Flood Vents

A typical garage (less than 600 sq. ft.) requires just 3 vents in total to be in compliance with NFIP requirements and building codes in a state of the state of the second s



How Smart Vent® Works

Flood Protection Only: For flood protection, the Smart Vent door is always latched closed until flood waters enter. Rising water lifts the patented internal float latch, releasing the flood door to rotate open. Flood water enters and exits, equalizing water pressure.

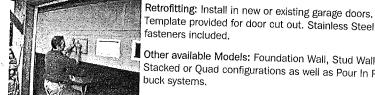


Two sizes of Insulated Smart Vent[®] are available for most panel sizes.

Additional options for frame or masonry side walls available.

Flood Protection And Ventilation: In addition to the flood protection, Dual Function Models have vent louvers that open and close automatically as Template makes installion temperatures change. Closed in cold weather, open in

simple and error free, warm weather for automatic garage ventilation.



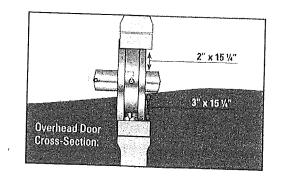
Mounting hardware

included

Template provided for door cut out. Stainless Steel fasteners included. Other available Models: Foundation Wall, Stud Wall,

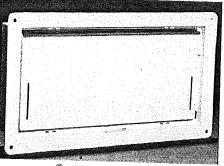
Stacked or Quad configurations as well as Pour In Place ouck systems.

Easy To Install: Install in insulated or non-insulated sectional or one piece doors. Cut out template & Stainless Steel fasteners included.

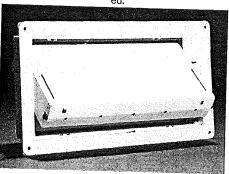




INSULATED MODEL



Smart Vent[®] stays latched closed until needed.

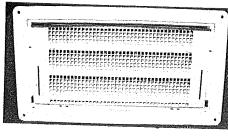


Patented float latch opens automatically in flooding situations to equalize pressure and release flood waters.



Smart Vent[®] is ICC-ES evaluated and a FEMA accepted Foundation Flood Vent product

DUAL FUNCTION MODEL



Special vent louvers in our Dual Function Models open automatically in warm weather, close in cold weather to vent the garage.



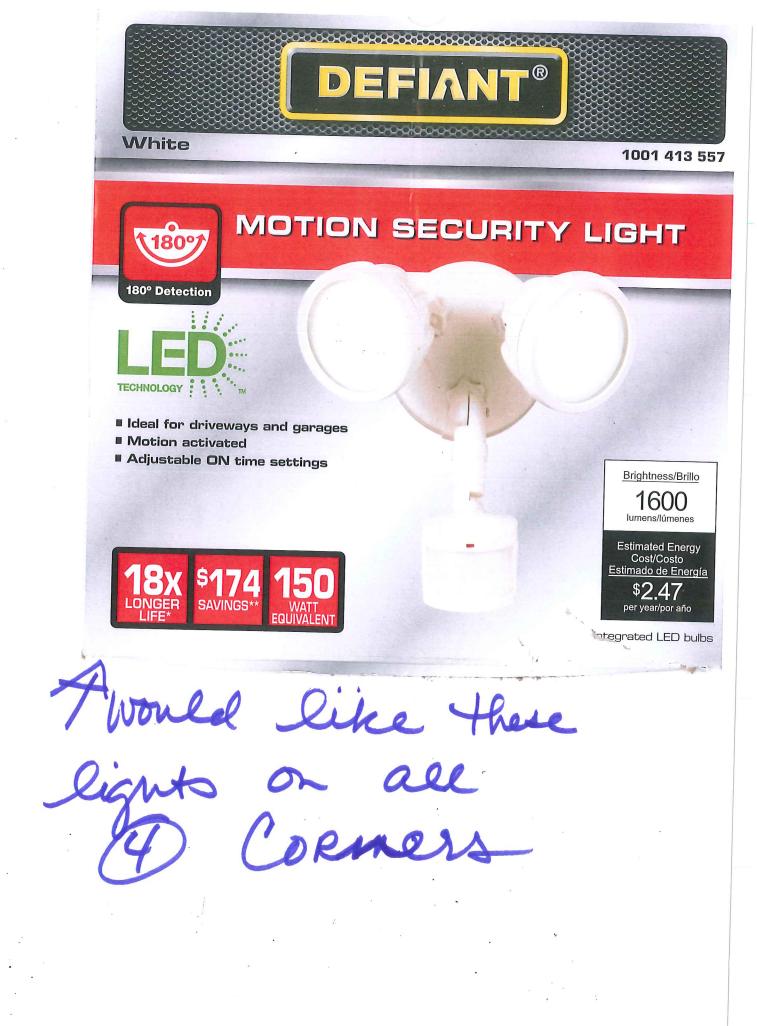
RE-SOURCE INDUSTRIES INC. 520 North Beach St. = Fort Worth, Texas 76111 817-222 BOX Clerk's Office at (504) 227-7614, Page 61 of 178

IERICAN DISC VER



"Light By Back Door"

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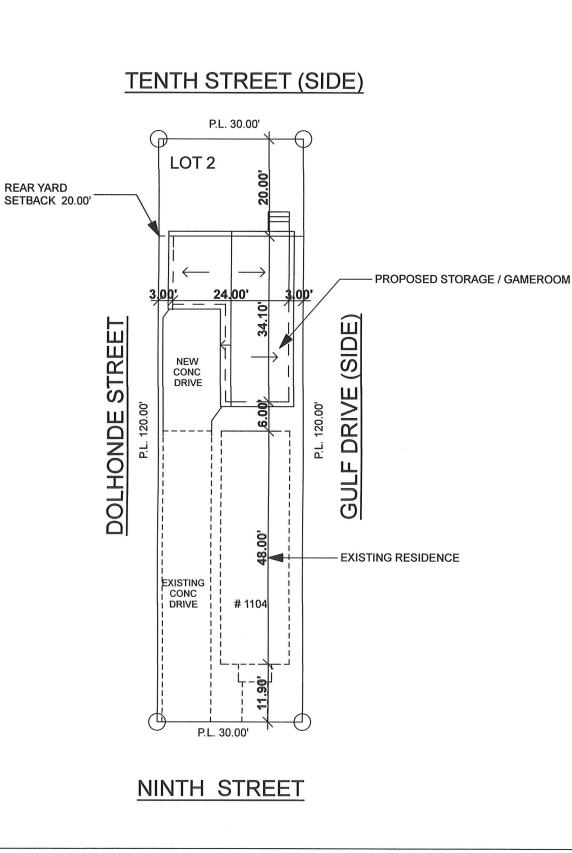


In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 63 of 178

SITE NOTES:

- AND WALKS

- LEAST 4" THICK.
- REQUIREMENTS.



SITE PLAN: 1"=20'-0"

LOT 2, SQ. 27, NEW MACHANICKHAM, CITY OF GRETNA, JEFFERSON PARISH, LA.

> NOTE: THIS DOCUMENT IS BASED UPON THE INFORMATION SHOWN ON SURVEY PROVIDED BY OWNER. NO PUBLIC RECORD OR TITLE RESEARCH WAS PREFORMED FOR THIS PROJECT.

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1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND **RESTRICTIONS PRIOR TO CONSTRUCTION.**

2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND **RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO** THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.

3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.

4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS

5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.

6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.

7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.

8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT

9. THIS IS NOT A SURVEY: CONTRACTOR/ OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT

ENGINEERING BY:

David R. O'Reilly Engineering Consultants LLC 518 South Rampart Street

New Orleans, Louisiana 70113 (504) 782-2010

Lic# 34032

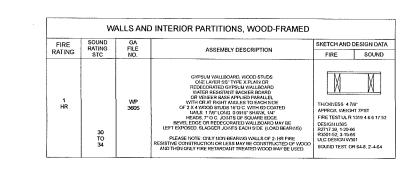
A-1

INT./ DATE: CUCCIA GARAGE / GAMEROOM 1104 NINTH STREET GRETNA, LA. 70053

LOT 2, SQ. 27, NEW MACHANICKHAM, CITY OF GRETNA, JEFFERSON PARISH, LA.

J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308

> 600 2ND STREET **GRETNA, LOUISIANA 70053** desconss@bellsouth.net / desconsinc.com



THE STRUCTURE IS DESIGNED TO

WITHSTAND 130 MPH WINDS AS INDICATED.

ALL FRAMING MATERIAL BELOW MIN B.F.E.

SHALL BE WATERPROOF

IRC R302.1 Exterior Walls

U2.1 EXERTOF Wails ction, projections, openings and penetrations of exterior walls of dwellings and y buildings shall comply with Table R302.1 (1); or dwellings equipped throughout automatic spinkler system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall comply where a statement of the system installed in accordance with Section P2904 shall be a statement of the system installed in accordance with Section P2904 shall be a statement of the system installed in accordance with Section P2904 shall be a statement of the system installed in accordance with Section P2904 shall be a statement of the system installed in accordance with Section P2904 shall be a statement of the system installed in accordance with Section P2904 shall be a statement of the system installed in accordance with Section P2904 shall be a statement of the system installed in accordance with section P2904 s with Table R302 1 (2)

- 1. Walls, projections, openings or penetrations in walls percendicular to the line used to
- Walls, projections, openings or perioritations in waits perpendicular to the line used to
 determine the fire separation distance.
 Walls of dwellings and accessory structures located on the same lot.
 Delached tool sheds and storage sheds, playhouses and similar structures exempted
 from permits are not required to provide wall protection based on location on the lot.
 Projections beyond the extensor wall shall not extend over the lot line
 Deteched garegas accessory to a dwelling located within 2 feet (610 mm) of a lot line
 are permitted to have cord eave projections not exceeding 4 inches (102 mm).
 Foundation vents installed in compliance with this code are permitted

	W	AC Table R302.1(1) Exterior Walls	
Exter	ior Wall Element	Minimum Fire-Resistance Rating	Minimum Fire Separation Distance
Walla	(Fire-resistance rated)	I-hour tested in accordance with ASTME 119 or UL 263 with exposure from both sides	< 5 feet
	(Not fire-resistance rated)	0 hours	≥ 5 feel
Projections	(Fire-resistance rated)	1 hour on the underside 5.2	\geq 2 feet to 5 feet
	(Not fire-resistance rated)	0 hours	5 feet
	Not allowed	N/A	< 3 feet
Openings in Walls	25% maximum of wall area <u>per story</u>	0 hours	3 feet
	Unlimited	0 hours	5 feet
0		Comply with Section R302.4	< 5 feet
Penetrations	All	None required	5 feet

- a. Roof eave fire-resistance rating shall be parmitted to be reduced to D hours on the underside of the eave if fire bycking is provided from the wall top pitter to the underside of the roof sheathing.
 b. Roof eave fure-resistance rating shall be permitted to be reduced to D hours on the underside of the eave provided no gable vent openings are installed.

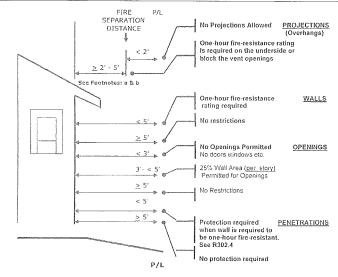
30"X30" ATTIC SCUTTLE

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(M) (SD)

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(SD)



When any portion of an eave or projection extends into the fire separation distance, it shall have the required protection back to the exterior wall

- a. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fire blocking is provided from the wall top plate to the underside of the roof sheathing.
- b. Roof cave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided no gable vent openings are installed.

When you use option "a" or "b" above, you will need to provide additional roof venting. Refer to IRC Section R806 for roof venting requirements.

ELECTRICAL NOTES:

- 1. ALL ELECTRICAL WORK MUST COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECRICAL CODE.
- 2. U.L. APPROVED SMOKE DETECTORS MUST BE INSTALLED, AND MUST BE WIRED TO A 110 V CIRCUIT. SMOKE DETECTORS MUST ALSO HAVE BATTERY BACKUP. CEILING MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 6" FROM THE WALL. WALL MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 9"OR MORE THAN 12" FROM THE CEILING, IN ACCORDANCE WITH R 314, IRC 2012.
- 3. BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENTLY TO EXCHANGE THE VOLUME OF AIR EQUAL TO FIVE CYCLES PER HOUR
- 4. A LIGHT ON A 110 VOLT CIRCUIT AND A CONVENIENCE OUTLET ON A 110 VOLT GFI CIRCUIT MUST BE INSTALLED IN THE ATTIC(S) NEAR MECHANICAL EQUIPMENT.
- 38. HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STARWAYS OF THREE OR MORE RISERS.SPIRAL STAIRWAYS 5. THE HVAC CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL HVAC EQUIPMENT AND DUCTWORK. THE HVAC WORK MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. 6. PROVIDE APPROVED CARBON MONOXIDE DETECTORS OF ITSIDE FACH SEPARATE ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSIONS, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS SHALL COMPLY W/ IRC 2012

ELECTRICAL LEGEND

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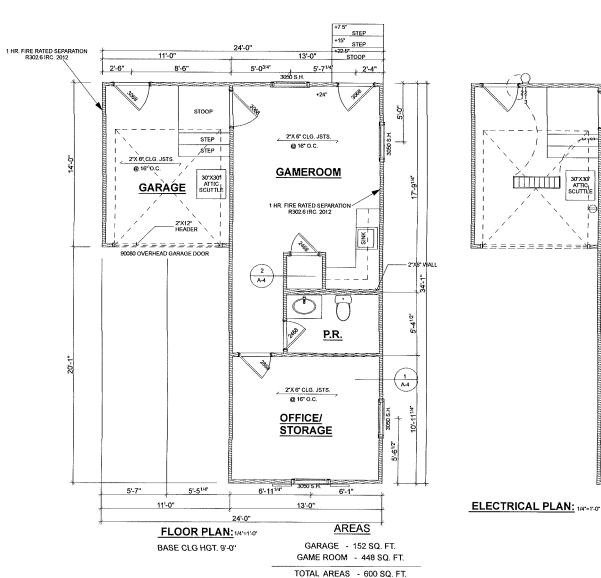
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CARBON MONOXIDE DETECTOR

Ø VENT LIGHT

FLUOR. LIGHT





- WALL MOUNT LIGHT
- CEILING FIXTURE LIGHT
- Ð RECEPTACI E

Note:

- SWITCH
- SWITCH-3-WAY
- SMOKE DETECTOR

Da

NOTES

1. ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF COLUMN, OR FACE OF BRICK.

- VERIFY ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION. ALL MATERIAL SHALL BE NEW AND U.L. LISTED. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
 ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCES.
- CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR
- CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES. CAULKING ON EXTERIOR SHALL BE THIOKAL CAULK.
- 10. PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE 3 COATS, COLOR SELECTION BY OWNER PROVIDE CLEAN-UP ON A REGULAR BASIS, NO TRASH STORED IN BUILDING.
- 12. ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE. 13. USE 6" STUDS AT ALL PLUMBING WALLS.
- 14. GRANITE TOPS W/ 4" SPI ASH IN KITCHEN
- 15. SIM. MARBLE TOPS W/ 4" SPLASH IN BATHS. 16. NO FURRED CEILINGS UNLESS OTHERWISE NOTED.
- 17, A/C MOUNTS IN ATTIC OVER G LORIP PAN & DRAIN
- 18. W.H. MOUNTS IN ATTIC OVER GL DRIP PAN & DRAIN. PLUMBER SHALL PROVIDE CONTINUOUS RECIRCULATION SYSTEM. 19. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING
- SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH. 20. EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR
- EMERGENCY EGRESS
- WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR, MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WDTH 20". PER R310.1, IRC 2012.
- 22. EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. ON ANY FIRST FLOOR WINDOW THAT IS MORE THAN 44" FROM THE FINISHED GROUND LEVEL (NOT FINISHED FLOOR)
- IN ACCORDANCE WITH R 303.1, IRC 2012. 23. ALL SLEEPING AREAS SHALL BE PROTECTED WITH UL-APPROVED SMOKE DETECTORS. THESE SHALL BE WIRED TO THE 110 VOLT HOUSE CURRENT AND MEET DESIGN CRITERIAAS REQUIRED BY UL DESIGN 208, THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CEILING, DEPENDING ON WHERE MOUNTED.
- BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN.) 5 CYCLES PER HOUR PER R 303.3, IRC 2012.
 PREFABRICATED FIREPLACES SHALL BE U.L. APPROVED AND SHALL BE INSTALLED
- PER MANUFACTURES RECOMMENDATIONS. 26. ALL FRAMING MATERIAL TO BE #2 DENSE SYP.
- 27. PORCHES, BALCONIES OR RAISED FLOOR SUBFACES LOCATED MORE THAN 30" ABOVE
- THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. IRC 2012 R 312.1.
- 28. ALL LUMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.
- 29. FOLLOW LOCAL BUILDING CODE FOR TERMITE AND DECAY PROTECTION. 30. DEPTH OF NOTCHES AT ENDS OF FLOOR JSTS NOT TO EXCEED 1/4" DEPTH
- 31. BRIDGING REO'D BETWEEN FLOOR JOIST EXCEEDING 8ET, SPAN
- 32. DOUBLE FLOOR JOISTS REQ'D UNDER ALL WALLS 33. FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING 34. ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURES'S SPECIFICATIONS. 35. ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).
- 36. WHERE DISCREPANCY BETWEEN DRAWINGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE 37. REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
- 39. THE MAXIMUM STAIR RISER HEIGHT SHALL BE 73/4 AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH IRC 2012.
- AOALL WINDOWS SHALL COMPLY WITH ARTICLE R 301.2.1.2 OF THE IRC 2012 ED REGARDING WIND BORNE DEBRIS, WHICH STATES THAT WOOD STRUCTURAL PANELS (PLYWOOD) WITH A MIN. THICKNESS OF 7/16 INCH OF MAXIMUM SPAN OF 6 FEET SHALL BE PERMITTED FOR OPENING PROTECTION. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL PROVIDED IN ACCORDANCE WITH LABEL R301.2.1.2.
- 41. EXTERIOR WALL LOCATIONS (WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY 42. UNDER STAIR PROTECTION (ENCLOSED ACCESS, SPACE UNDER STAIRS IN ACCORDANCE WITH
- R311.22 , IRC 2012.
- 43. OVERHANGS PROJECTING INTO REQUIRED SIDE YARD SHALL BE PROVIDED
 W1-HR RATED SOFFIT CONSISTING OF 1 LAYER 5/8" X RATED GYP. BD. PER R 302 IRC 2012.
 44. PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE
- SLEEPING AREA FOR ANY DWELLING MITHAN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED. 45. A MIN. TOTAL NET OPENING OF NOT LESS THAN 1 SQ. IN.FOR EVERY 1 SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF OPENING SHALL BE NO HIGHER THAN 1 FT. ABY, GRADE, OPENINGS TO BE PROVIDED AT LEFT WALL OF GARAGE & AT BASE OF GARAGE DOOR (390 SQ. IN. REQ'D, FOR GARAGE 1) 46. VAPOR BARRIER SHALL BE REQUIRED AT OPEN CRAWL SPACES IN ACCORDANCE WITH GUIDELINES
- SET FORTH IN LSU AG CENTER PUB 3187 INSULATING RAISED FLOORS IN HOT, HUMID CLIMATES.

Please be advised that these plans have
been designed by myself being a
registered Civil Engineer. I have
searched this chapter and the Louisiana
State Uniform Construction Code and to
e best of my knowledge and belief these
awings are in compliance therewith I take
Il responsibility for the contents of these
lans and not generally administering the

work. The plan	is will also meet the	
2012 IRC.		
vid R. OReilly	LIN NO 34	

032

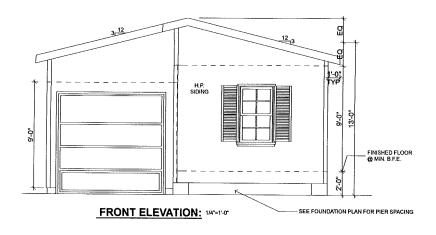
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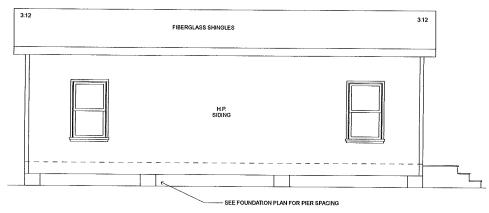
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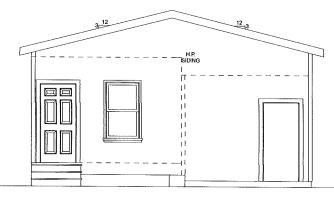
ENGINEERING BY: David R. O'Reilly Engineering Consultants LLC 518 South Rampart Street New Orleans, Louisiana 70113 (504) 782-2010 Lic# 34032

CUCCIA GARAGE / GAMEROOM	INT./ DATE:
1104 NINTH STREET GRETNA, LA. 70053	KTC:3/09/17
LOT 2, SQ. 27, NEW MACHANICKHAM, CITY OF GRETNA, JEFFERSON PARISH, LA.	
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETNA, LOUISIANA 70053 desconss@bellsouth.net / desconsinc.com	A-2

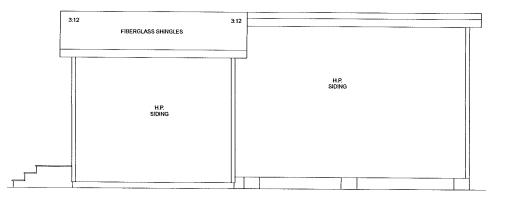




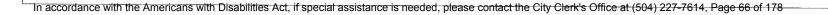
RIGHT SIDE ELEVATION: 1/4"=1'-0"



REAR ELEVATION: 1/4"=1"-0"



LEFT SIDE ELEVATION: 1/4"=1-0"



Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans,and not generally administering the work. The plans will also meet the 2012 IRC.

David R. OReiliy

LIN. NO. 34032

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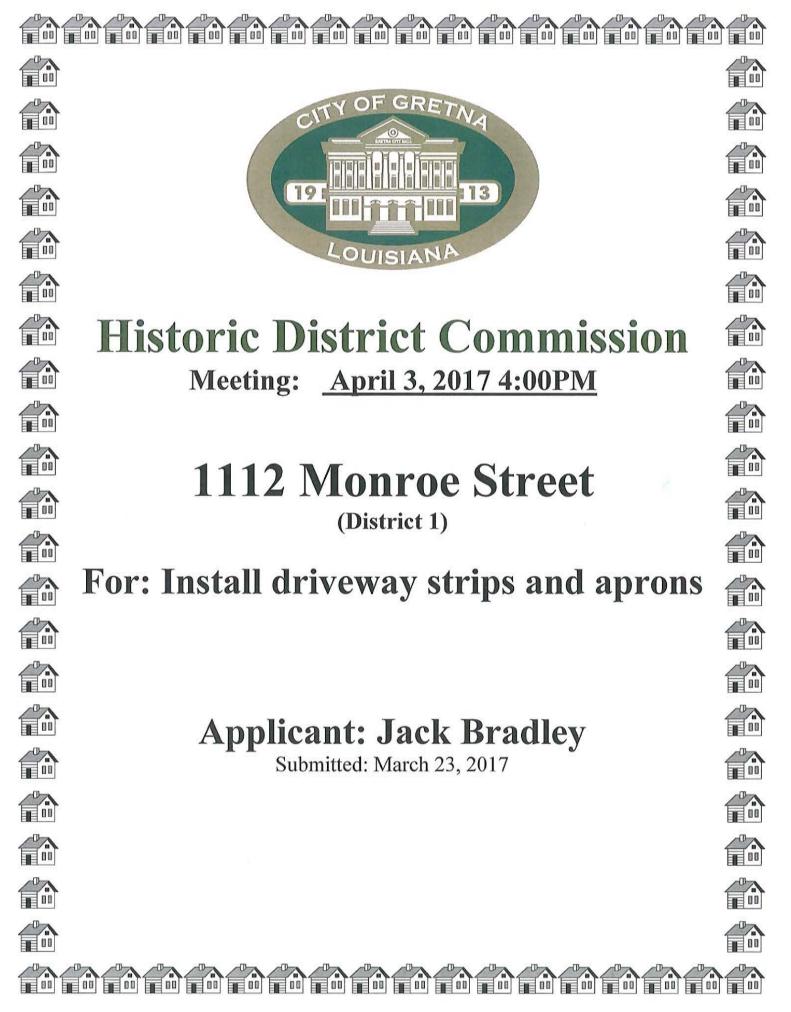
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600 2ND STREET GRETNA, LOUISIANA 70053 desconss@bellsouth.net / desconsinc.com	A-3



Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

□ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are Required for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

pase provide the following:
treet
Strips Usivercary
Demolition:
Building Style:
Greek Revival
Italianate
New Orleans Bracketed
Eastlake
Colonial Revival
Other
Soffit
Siding
Porches
Handrails

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: <u>Applicant's Signature</u> Applicant's Name: Juck Brack Address: 1112 Mappice 57	Date: 23 40 03-2017
Phone No: 604 495 - 5399	Cell No: () / (
For Office Use Only:	Date of Application: $3/23/17$
Substantive Change: Yes No	Inventory Number: Mone
Contributing Element to Gretna National Register	Historic District: Yes No
Historic District Commission meeting date:	April 3 RQ 2017 @ 4:00PM
Public Hearing to be held at the Council Regular M	feeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday	of every month.)



Mayor

Belinda Cambre Constant Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning & Zoning Azalea M. Roussell

Office of Tax & Licenses Norma Cruz

Finance Department Raylyn Stevens

Human Resources David Neeb

Public Utilities Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation Amie Hebert

Information Technology Michael Wesley

City of Gretna

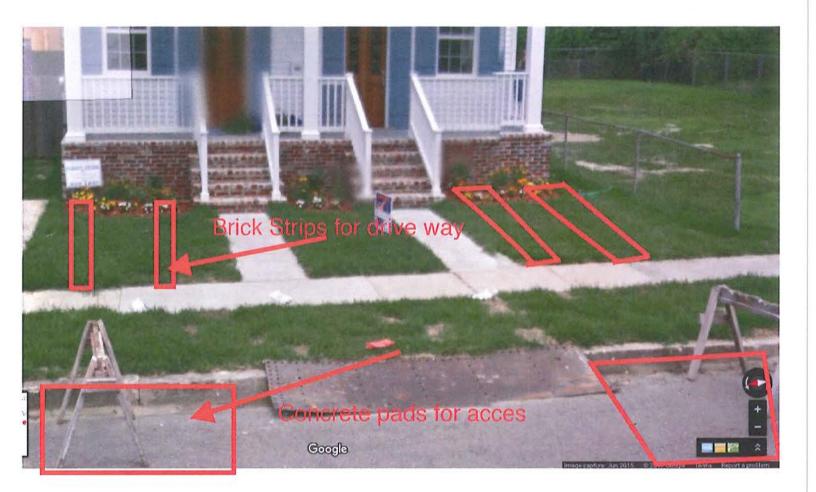
Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

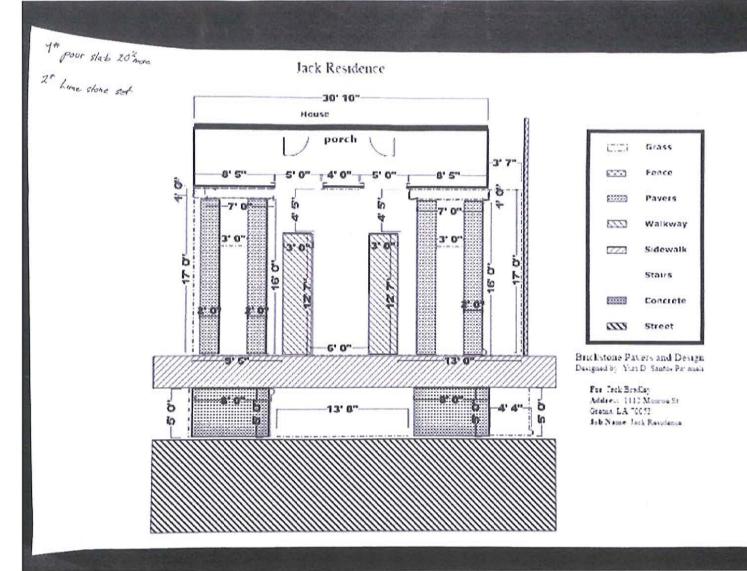
I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on <u>Applie 3Rd 1017</u> at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

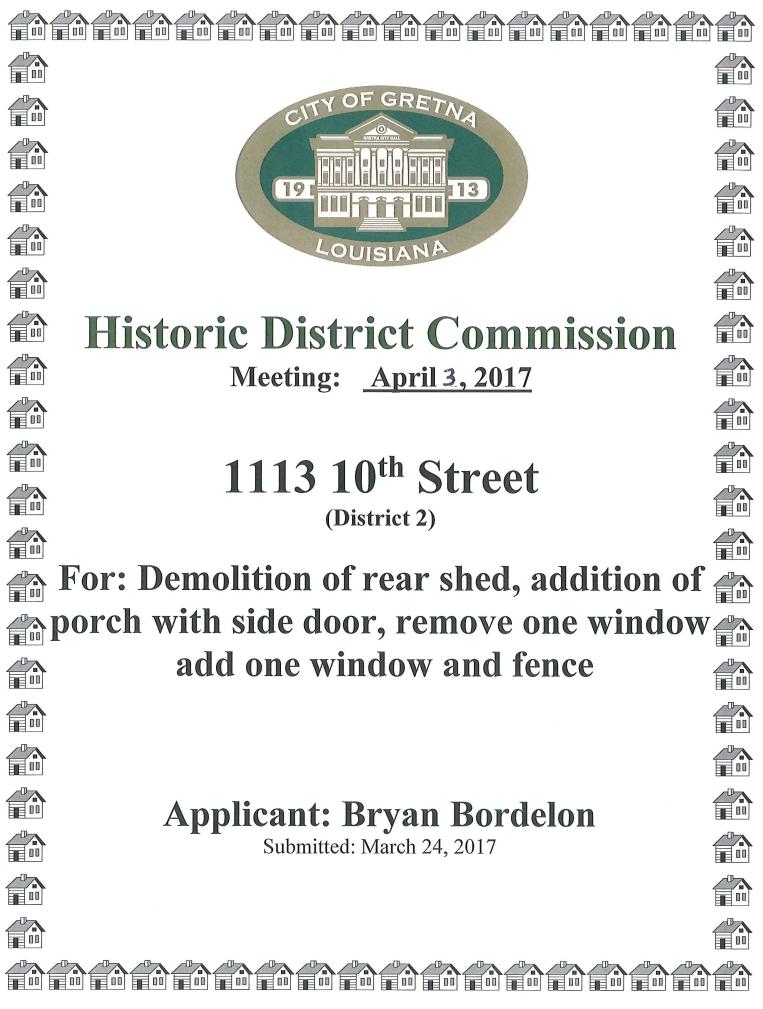
Applicant: < ach

Date: 3

112 Monroe S Address: _







In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 74 of 178

Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

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Historic District Permits are *Required* for the following activities:

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- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
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Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1113 10th St, (Sectina, LA 70153
New Construction:	
Age of Structure: 50^{+}	Demolition: Of Old Shed Q Kar & Property
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other	Eastlake
	Colonial Revival
Estavian materials managed	Other
Exterior materials proposed:	
Roof Seal tab	Soffit
Fascia	
Masonry	Porches addition of site porch (2 optimi)
Balconies	Handrails MetaL
Type of exterior lighting fixtures:	
Style of windows: ORIGINAL (Removin	ng I window & Adding pathroom window)
Type of exterior doors: front door of.	ganal, side door composite
Describe any ornamental woodwork:	
* chain Link fince to be Remore	d/ Replaced n/ TRM fence.
In accordance with the Americans with Disabilities Act, if special assistance	nge 2 of 3 Why Retry (Stan Jac J e is needed, please contact the City Clerk's Office at (504) 227-7614, Page 76 of 178

Elevations:	Front Space:	ft.	Side Space:	ft.
	Rear Space:			
information necessary fo	showing the proposed or the Historic District A	Advisory Comr	nittee and City Co	vings, photographs, descriptions or other nanges or new construction as would be uncil to make an informed decision.
Important: 7 to zoning re- public work Applicant's Applicant's	This information is for quirements or other Cit s must be applied for se Signature: Name: Name:	the purpose of y of Gretna per eparately. Boz deln	Historic District C mits such as: build	Commission review only. Matters relating ling, plumbing, electrical, mechanical and Date: $3 - 21 - 17$
Address:	18 Hney 1	. Long	Ave	2.15 005
Phone No:()		Cell No: (5")	343-0785
For Office	e Use Only:		Date of Appli	cation: $3 - 24 - 17$
Substantiv	e Change: Yes	No_V	Inventory Nur	mber: Mone
Contributi	ng Element to Gretna N	lational Regist	er Historic Distric	t: Yes No No 2
Historic D	istrict Commission me	eting date:	<u> </u>	The second struct and floor
Public Hea	aring to be held at the C	Council Regula	r Meeting; Gretna	City Hall, 740 2 nd Street, 2 nd floor
Council C	hamber. (Meetings held o	n the 2 nd Wednes	day of every month.)	



Mayor Belinda Cambre Constant

Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

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Michael Wesley

City of Gretna

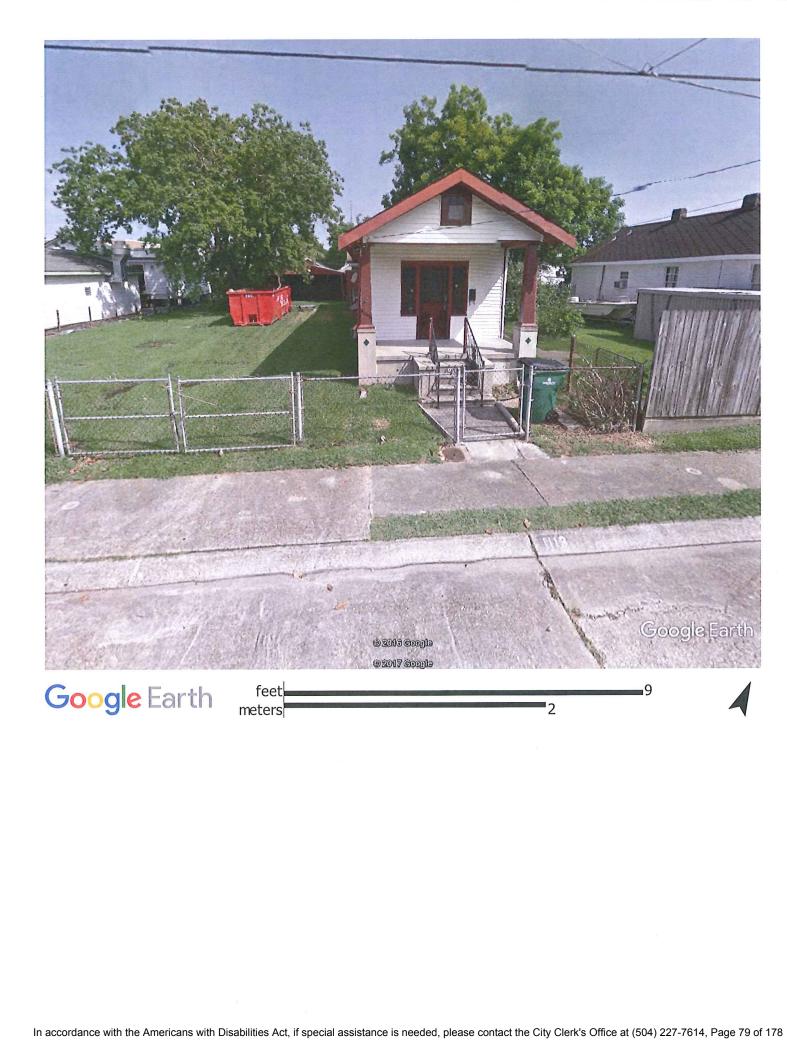
Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

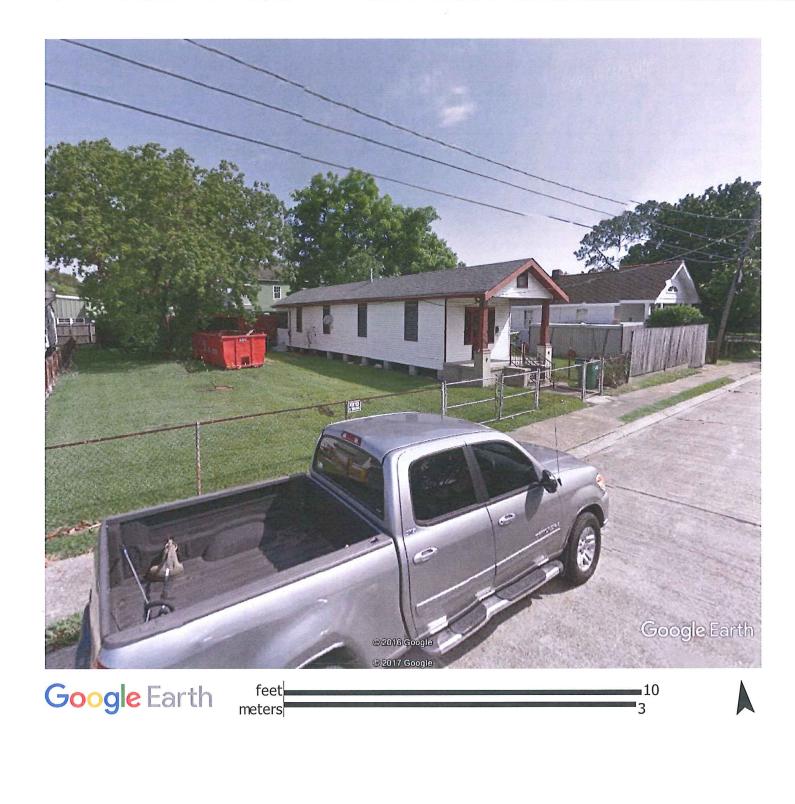
I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on _______ at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

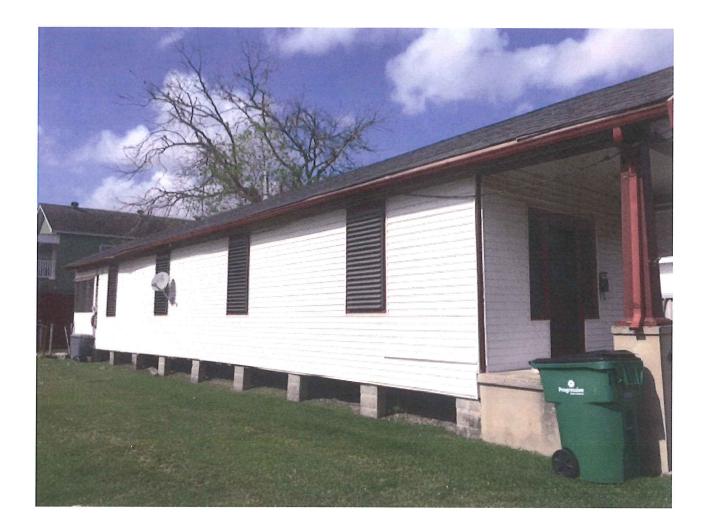
Applicant: PRYAN Bordelon

Date: 3-21-17

Address: 1113 10th St, GRetna, LA 70053







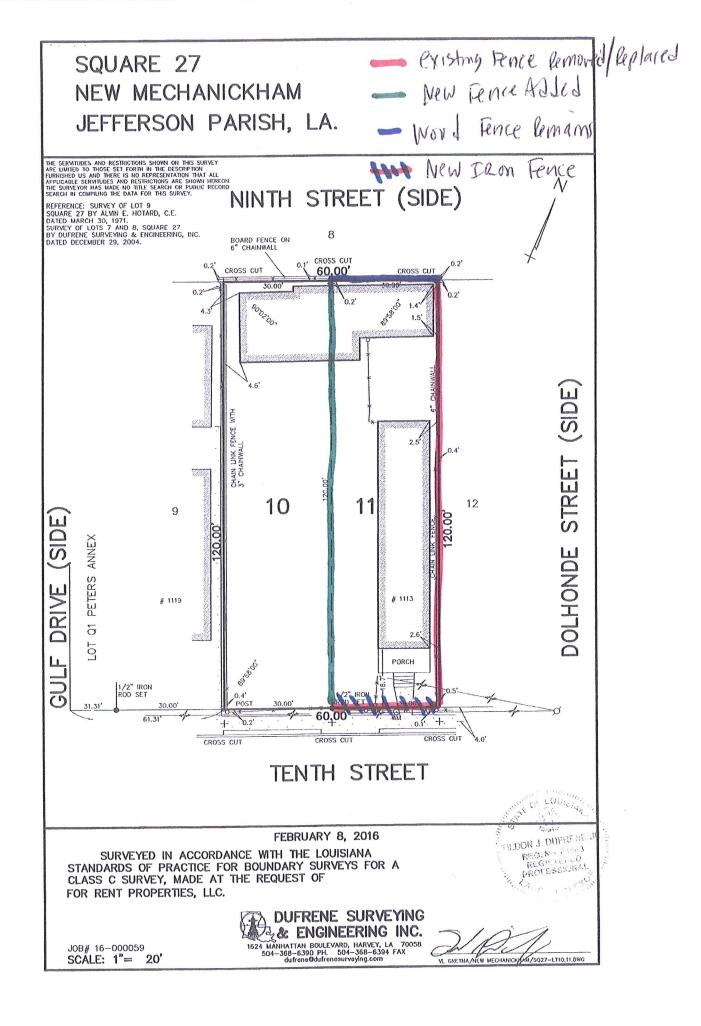
5

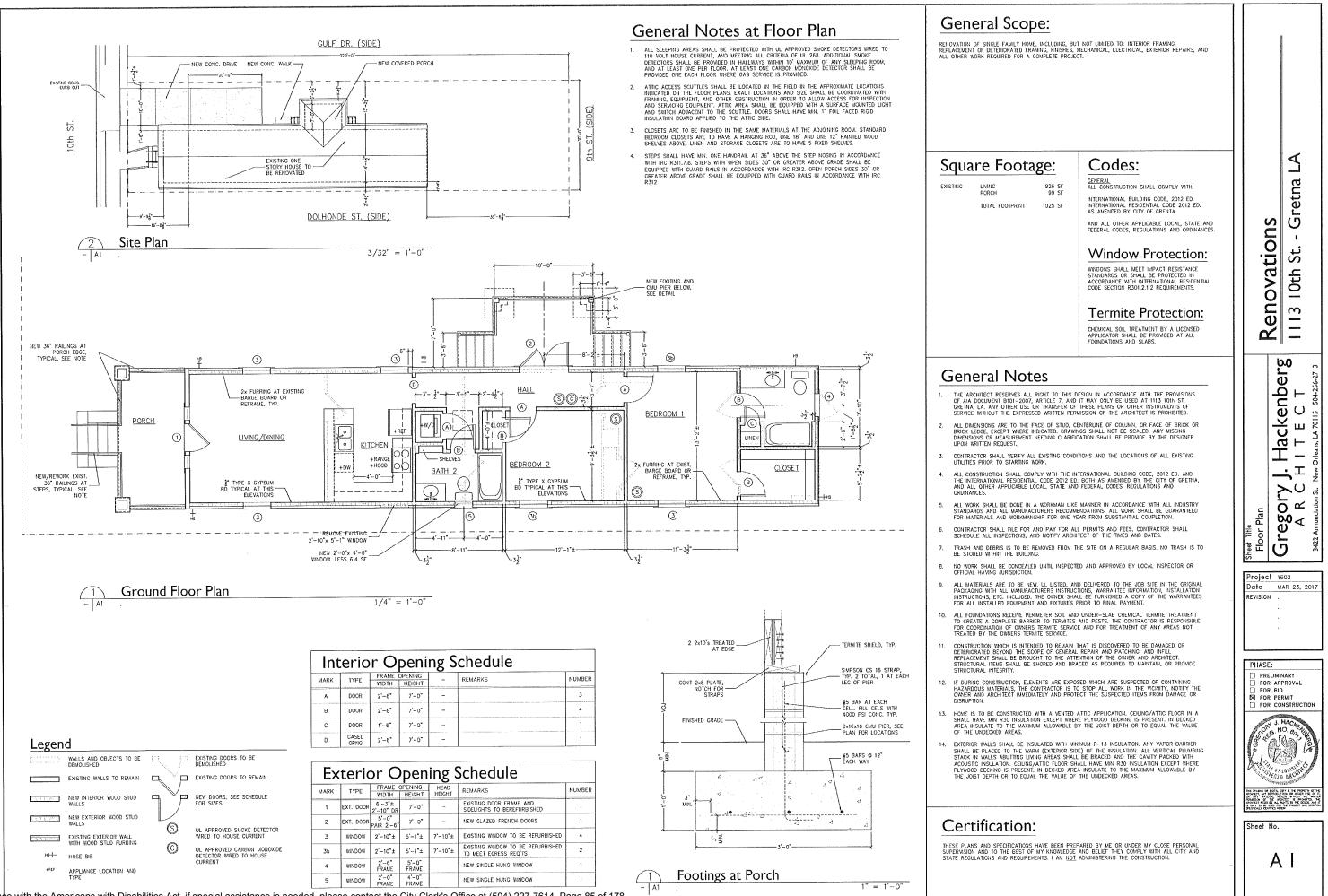


Sent from my iPhone

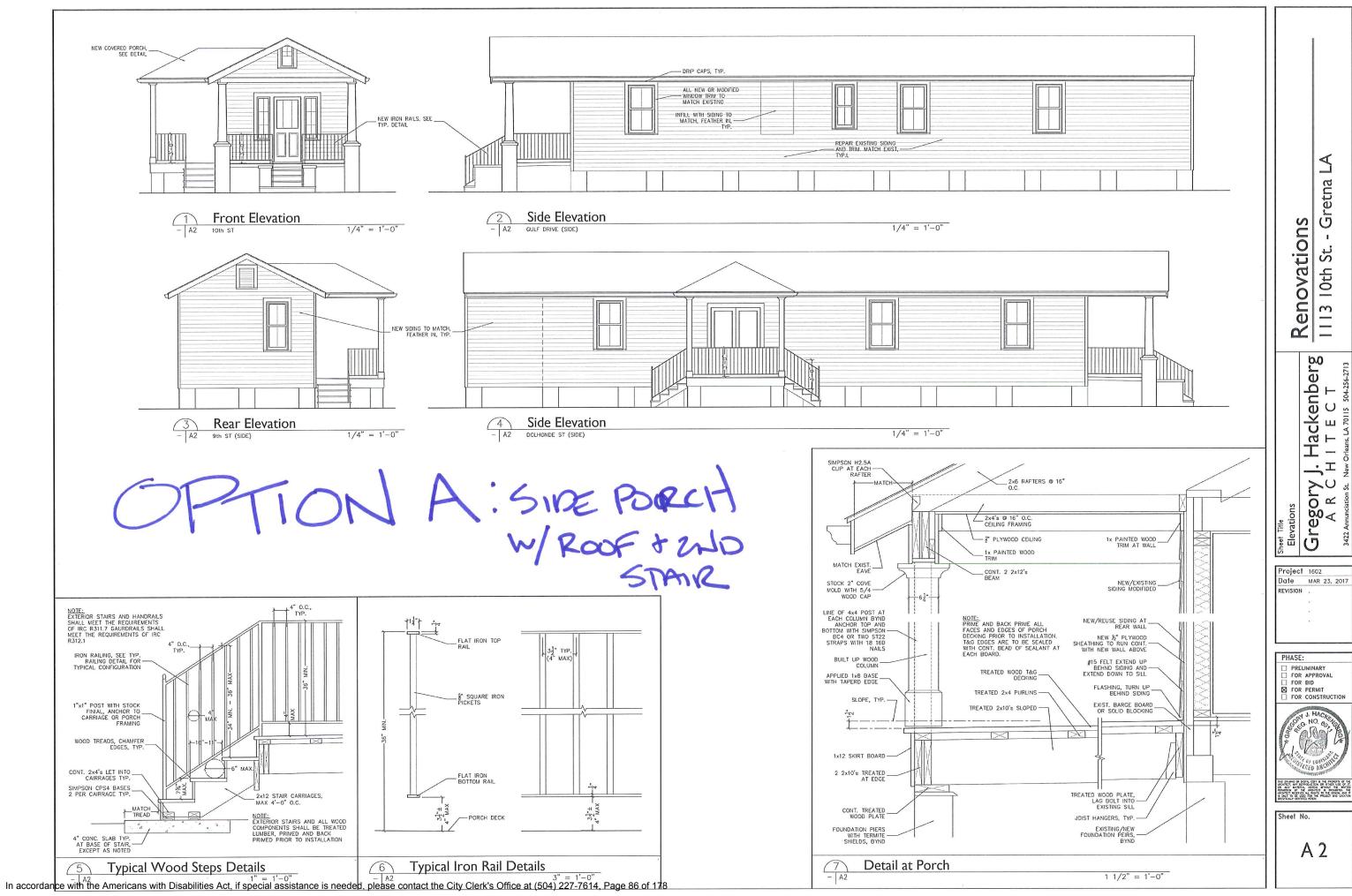
6



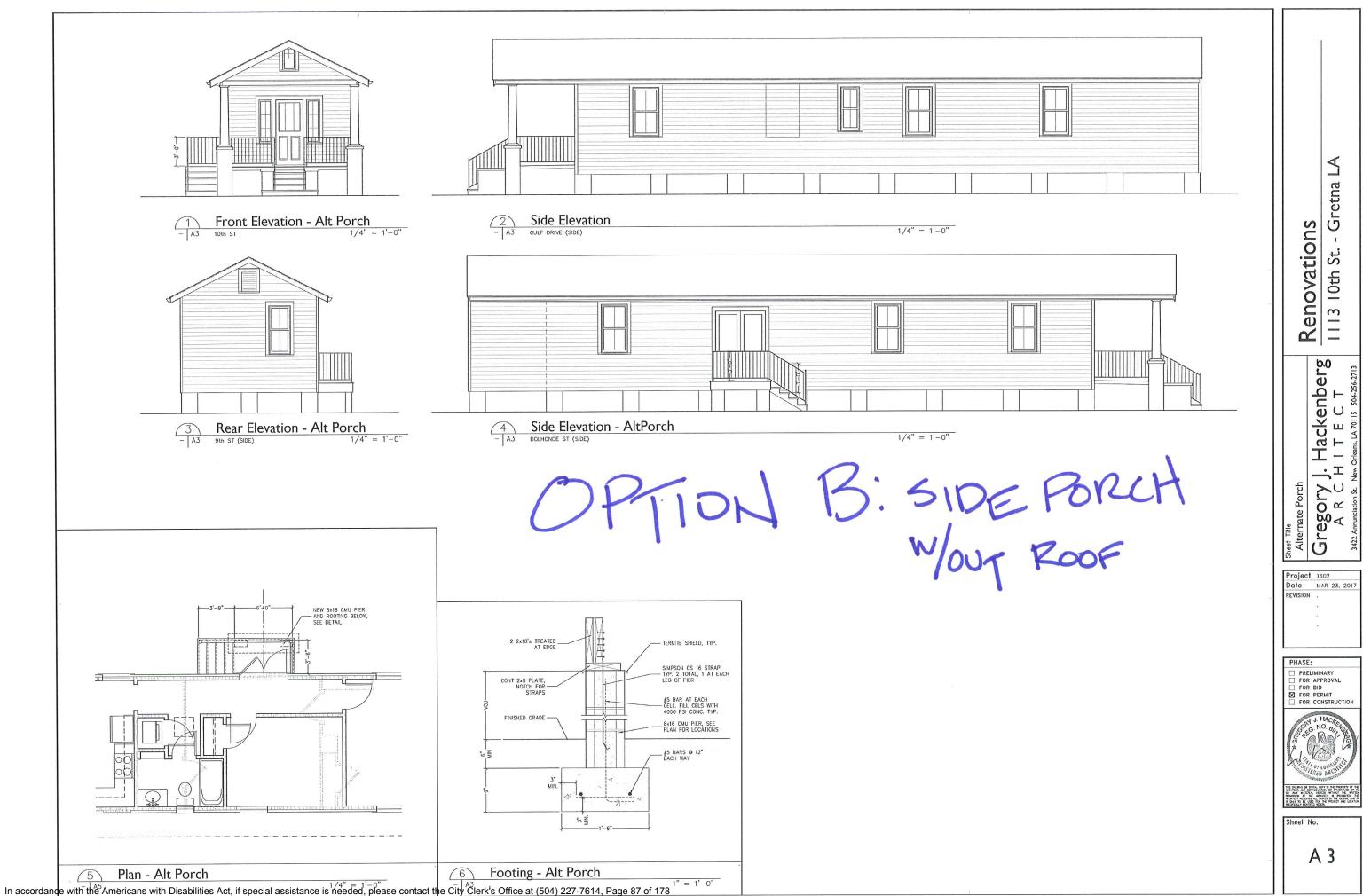




In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 85 of 178









In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 88 of 178

Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15



For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

□ *McDonoghville Historic District* – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.
- <u>Alteration</u> any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark
- **<u>Construction</u>** the erection of any on site improvements on any parcel of ground

<u>Demolition</u> – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 136 NE	WTON ST.
Renovation:	
New Construction:	×
Age of Structure:	Demolition:
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
OtherX	Eastlake
	Colonial Revival
Exterior materials proposed:	Other X
Roof FIBERGLASS SHING	ES Soffit HARDIE
Fascia HARDIE	Siding Hardie
Masonry AT FRONT only	Porches Brick
Balconies Noo S	Handrails DROUGHT IRON
Type of exterior lighting fixtures:	IS LANTERN'S & FLOOD
Style of windows: Vinyc	
Type of exterior doors: Woob	
Describe any ornamental woodwork:	ER TO PLANS

Elevations:

Front Space:	ft.	Side Space:

Rear Space: ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

ft.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Date: 3127117
Applicant's Name: DEJESUS CONSTRUCTION COMPANY, INC.
Address: 414 2NO STREET, BRETNA, 70053
Phone No:(Cell No: (504) 813 - 1890
For Office Use Only: Date of Application: 3.27.2017
Substantive Change: Yes No Inventory Number: MON
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: April 3Rel @ 4:00
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



Mayor Belinda Cambre Constant Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

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Parks and Recreation

Amie Hebert Information Technology Michael Wesley

City of Gretna

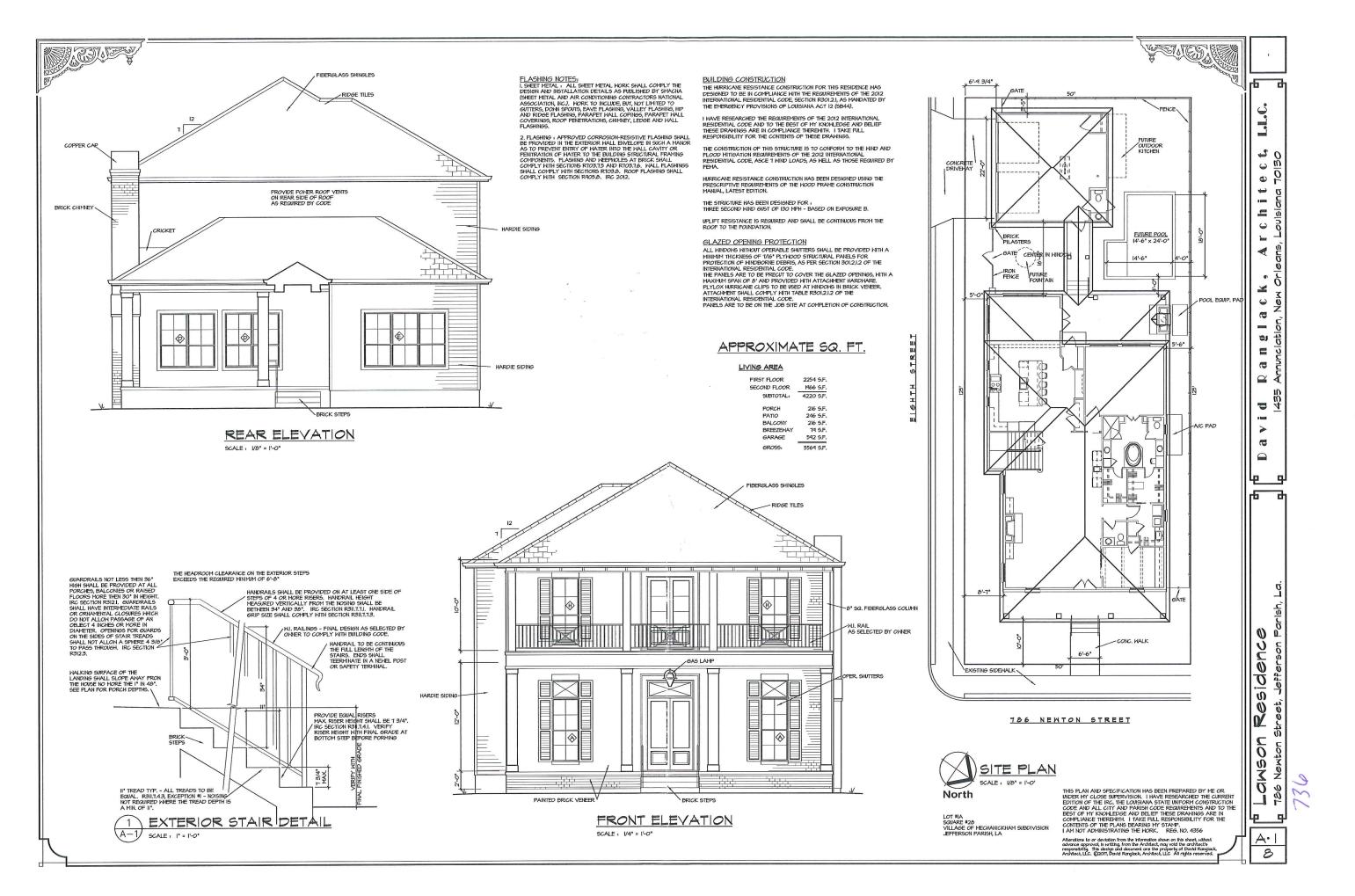
Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on <u>APCIC</u> <u>APCIC</u> at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: DEJESUS CONSTRUCTION COMPANY, INC.

Date: _____ 3/27/17

414 2NO STREET, GRETNA, 70053 Address:



2	S.	A PENARES	V
		57 2.11 59775 20 2	r Schedule
V	Õ	size	description
	Т	5'0" × 8'0" × 1 3/4"	PAIR - 3/4 GLASS WOOD ENTRY DOORS W 24" TRANSOM
	2	5'0" x 8'0" x 1 3/4"	PAIR - FULL GLASS WOOD FRENCH DOORS
	з	50" x 80" x 1 3/4"	PAIR - 3/4 GLASS WOOD FRENCH DOOR
	4	2'0" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
	5	2'4" x 8'0" x 1 3/8'	6 PANEL MASONITE DOOR
	6	2'8" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
	7	30" x 80' x 1 3/8"	6 PANEL MASONITE DOOR
	в	50° × 80° × 13/8	PAIR - BI-FOLD DOORS
	٩	40' x 8'0' x 1 3/8'	PAIR - 6 PANEL MASONITE DOORS
	ю	20' x 8'0' x 1 3/8'	6 PANEL MASONITE POCKET DOOR
	11	40" x 8'0" x 1 3/8"	HOOD BARN DOOR
	12	2'8' x 8'0' x	CASED OPENING
	13	2'8' x 8'0' x	CASED OPENING
	14	40° x 80° x	CASED OPENING
	15	3'0" x 6'8" x 1 3/4"	6 PANEL FIBERGLASS DOOR
	16	2'4" x 6'8" x 1 3/4"	6 PANEL FIBERGLASS DOOR
	п	9'0" x 9'0" x 1 3/4"	METAL GARAGE DOOR W OPENER
	18	50" × 8'0" × 13/8"	PAIR - 6 PANEL MASONITE DOORS

Window Schedule

	dimensions				
\diamond	sash	rough opening		ilng	descrpition
	opening	head	width	height	
A	3'0" x 7'0"	10'0"			4/4 SINGLE HUNG W 24" TRANSOM
в	2'4" x 4'4"	8'0'			2/2 SINGLE HUNG
С	2'0" x 4'0"	80"			2/2 SINGLE HUNG
D	3'0" x 6'0"	80	DBL.		4/2 SINGLE HUNG
E	3'0' x 6'0'	8'0"	ואד.		4/2 SINGLE HUNG
F	2'0" x 4'4"	80'			2/2 SINGLE HUNG
6	40° × 60°	80.			4/2 SINGLE HUNG
н	3'0' x 7'0'	8'0"			4/2 SINGLE HUNG
L	3'0" x 5'0"	8'0"			2/2 SINGLE HUNG
κ	2'8" × 6'0"	18'0*			4/2 SINGLE HANG
		-			

MINDOW NOTES :

I, ALL WINDOWS TO BE VINYL, DIVIDED LIGHT UNLESS NOTED OTHERWISE.

ENERGY EFFICIENCY CERTIFICATE :

ENERGY EFFICIENCY CERTIFICATE: A PERVINATION CRETIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINATION RALES OF INSLATION INSTALLED IN OR ON CELLING ROOF, MALLS, CRAVILSPACE HALL NO OR FLOOR NO DUCTS OUTSIDE CONDITIONED SPACES, U FACTORS FOR FEBESTRATION, AND THE SOLAR HEAT GAIN COEFFICIENT (SHEC) OF FINESTRATION, NATERE HERE'S IS MORE THAN ONE YALLE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE YALLE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPHENT.

HEATING & COOLING EQUIPMENT : HEATING AND COOLING EQUIPMENT SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES

<u>GLAZING ENERGY EFFICIENCY :</u> ALL FENESTRATION PRODUCTS (MINDONS, DOORS & SKYLIGHTS) SHALL BEAR A LABEL FROM THE MANUFACTURER CERTIFYING THE U-FACTOR AND SHEC (SOLAR HEAT GAIN COEFFICIENT) FOR THE GLAZING, IRC NIIO2.I. U-FACTOR MAXIMM IS 0.65 SHSC MAXIMM IS 0.35

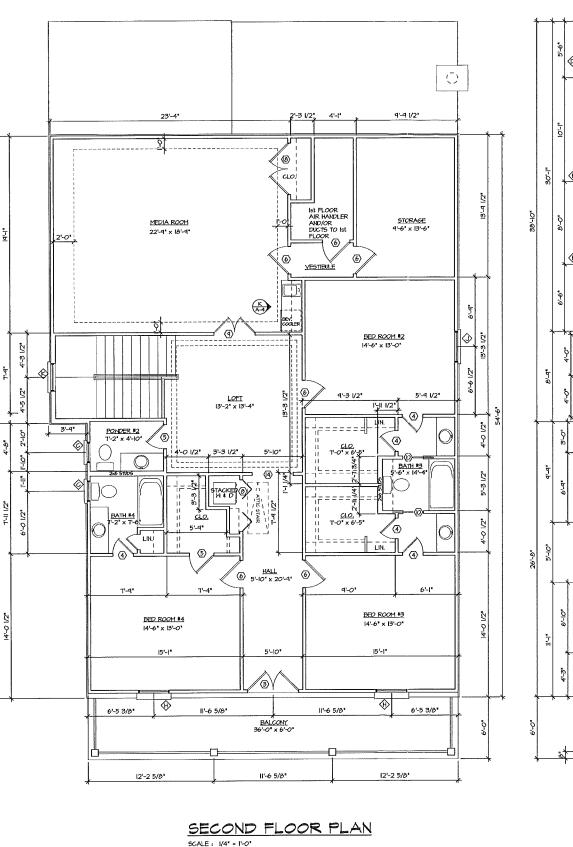
SAFETY GLAZING REQUIRED SAFETY GLAZING SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS AS REQUIRED BY IRC 2012 R308.4. TO INCLUDE, BUT, NOT LIMITEDED TO THE FOLLOWING LOCATIONS. SAFETY GLAZING TO BE PROVIDED IN SWINSING AND FIXED DOORS, FIXED ADD SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD DOOR ACCEDENTICS.

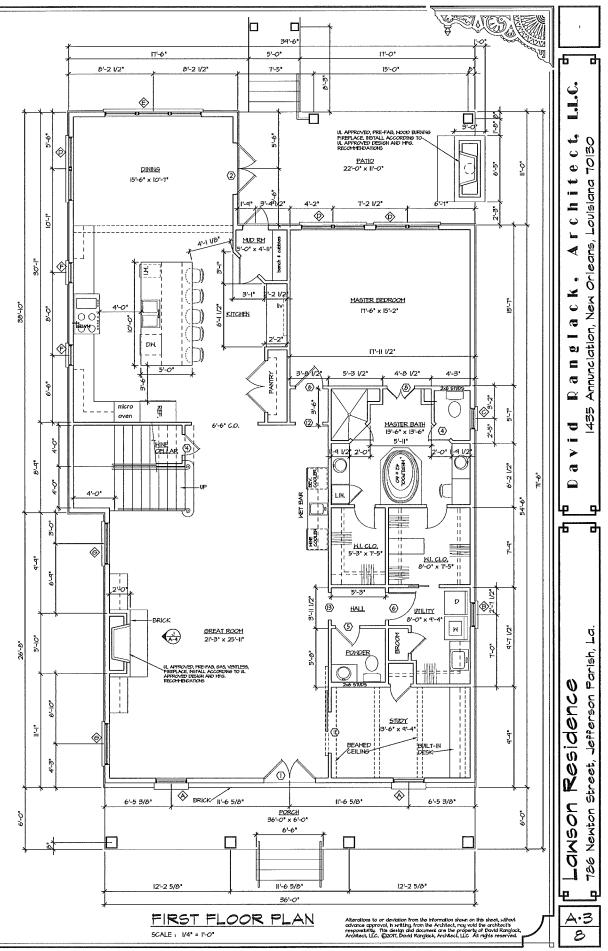
ASSEMBLIES. SAFETY GLAZING TO BE PROVIDED IN BATHROOM WINDONG AND IN STAIRNAY WINDONG MEREE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60° ABOVE THE STANDING OR WALKING SURFACE AND WITHIN 60° HORIZONTALLY OF A TUB, SHONER OR

STADUIS OR POLICIE OF THE CALING IN DOORS AND EXCLOSURES FOR HOT TUBS, SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND EXCLOSURES FOR HOT TUBS, HIRLPOOLS, SAMANG, STEAM ROOMS, BATHIES AND FROZERS, AND GLAZING IN INDIVIDUAL FLYED OR OFTEABLE PANELS THAT ARE IN HALLS BICLOSING STARRYAY LANDINGS OR WITHIN GO INCHES OF THE TOP OR ROOTTOM OF STARRYAYS HERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE HAUKING SURFACE OR WITHIN 60' HORIZONTALLY OF THE BOTTOM OF THE STAIRS AT A LANDING.

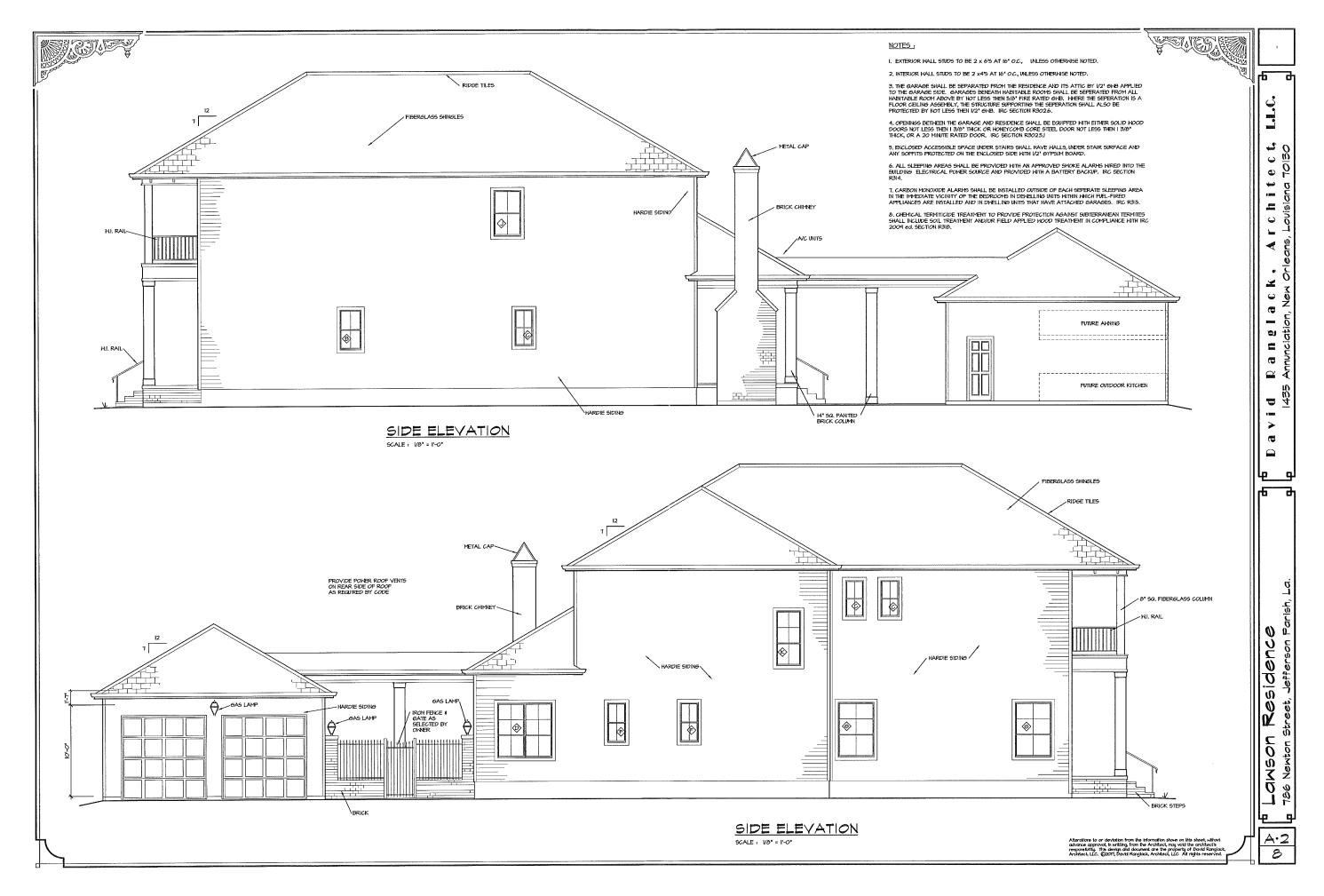
FIREPLACE & HEARTH

TINGE LANCE ON TREASLAT FACTORY AND IN TRIVER ACCES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY ANILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH WIZT. HEARTH BOTESIONS OF APPROVED FACTORY APULT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREFLACE. THE FEARTH BOTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA.





In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 94 of 178



Page 1 of 1

Google Maps 798 Newton St



Image capture: Apr 2011 © 2017 Google

Gretna, Louisiana Street View - Apr 2011

https://www.google.com/maps/@29.9132284,-90.0611601,3a,90y,279.21h,84.43t/data=!... 03/27/2017 In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 96 of 178

Page 1 of 1

Google Maps 782 Newton St



Image capture: Apr 2011 © 2017 Google

Gretna, Louisiana Street View - Apr 2011



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 98 of 178

Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

□ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are Required for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street

Change in existing walls and fences or construction of new walls and fences if along a public street

Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

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<u>Construction</u> – the erection of any on site improvements on any parcel of ground

<u>Demolition</u> - the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

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<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Page 1 of 3

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 700 Monroe St. 1	g Gretna, XA
Renovation: <u>New Construction</u> :	
	Demolition:
Age of Structure: ~ 140 years	
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other Victorian Center hall " with	Eastlake
Center hall " with modifications, additions	Colonial Revival
moarticourons, usual nons	Other
Exterior materials proposed:	Other
Roof Replace, shingles,	Inetal Soffit_Rypair
Fascia Repair, wood	Siding Repair, wood + new wood
Masonry Repair	Porches <u>Papair</u> , add at rear
Balconies NA	Handrails Repair, install new per code
Type of exterior lighting fixtures:	wood windows
Style of windows: Repair Misting	wood 2/over/2, and new at addition
Type of exterior doors SMA device Contract	about any and and
Describe any ornamental woodwork: <u>Mainte</u> and c	in repair existing "gingerbread" mamental milliores

Page 2 of 3

Elevations: See attached	drawings		
Front Space:		Side Space:	ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature. <u>M.G. for Cody Stringer</u> Date: <u>3/27/17</u> Applicant's Name: <u>Cody Stringer</u> Address: <u>2322</u> Saharpe St. New Orleans JA 7019
Phone No:(Cell No: (507) 655 5577
For Office Use Only: Date of Application: 3/27/20/7
Substantive Change: Yes No Inventory Number: MONCE
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: April 3rd C 4100 pm
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)

Page 3 of 3



Mayor Belinda Cambre Constant

> **Council Members** Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot **District Four**

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> Human Resources David Neeb

> **Public Utilities** Michael J. Baudoin

Public Works Daniel Lasyone

Parks and Recreation

Amie H. Hebert Information Technology Michael Wesley

City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

I, <u>Cody</u> <u>Stringer</u> the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed _____4:00 p.m., 740 2nd Street, on Gretna City Hall, 2nd floor Council Chambers.

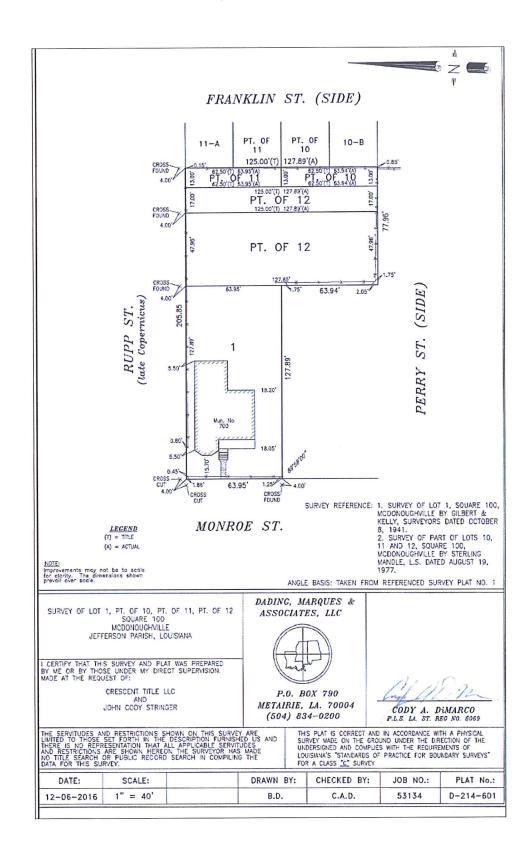
I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

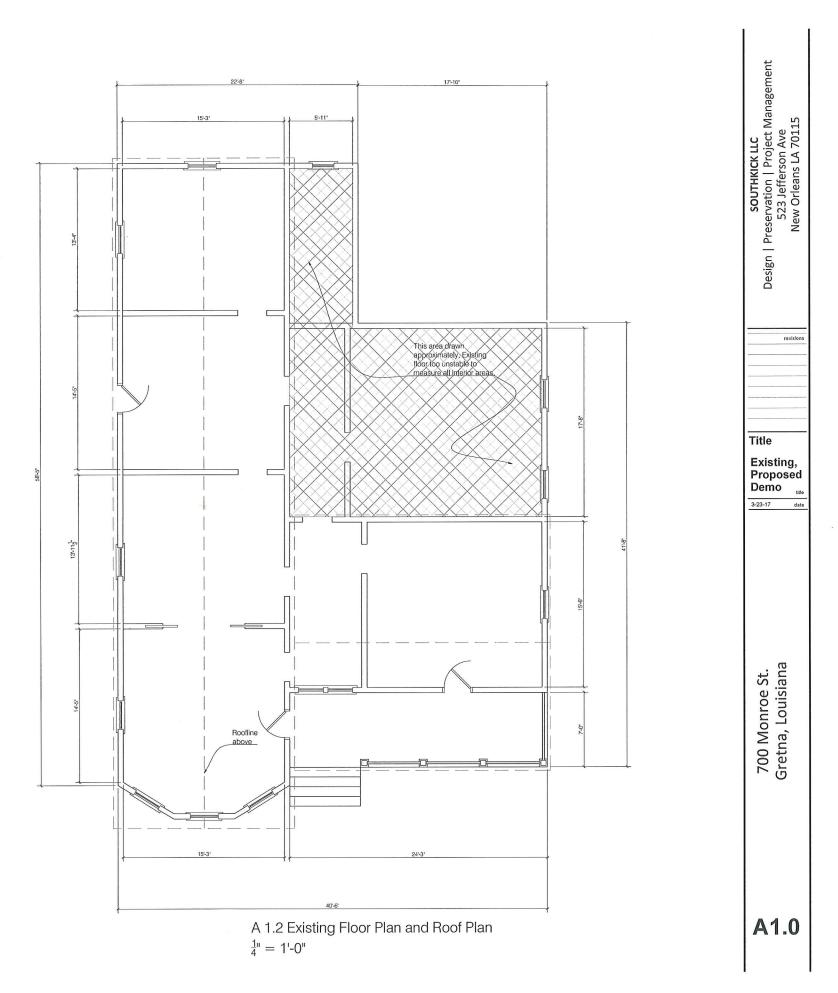
Aller for Cosy Stringer Signature of Applicant John Cody Stringer NAME OF APPLICANT (PLEASE PRINT)

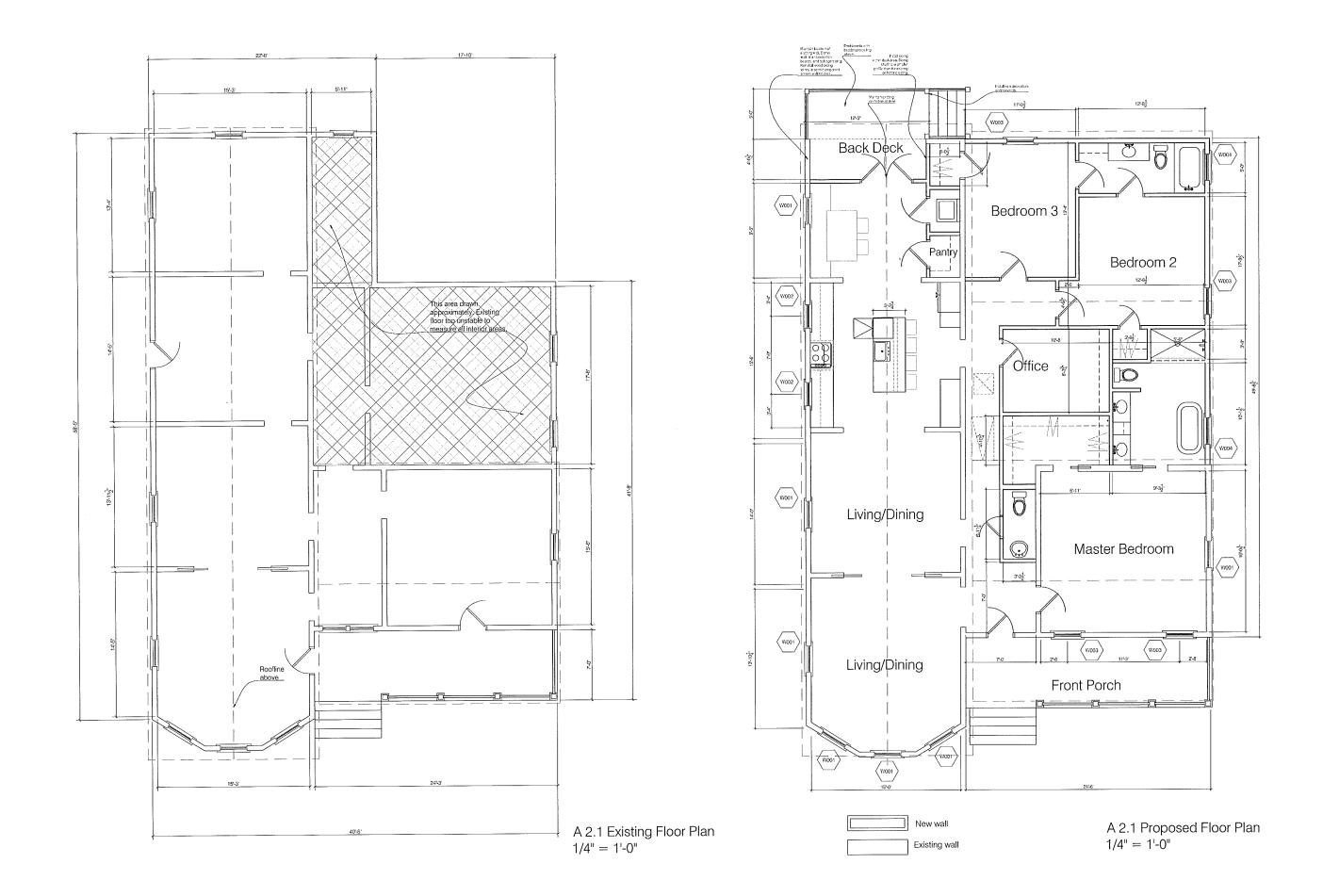
2322, Lahane St. New Orleans, 2A Tol 19 Applicant's address 700 Monroe St. Gretna, 2A Actual address of the property for review

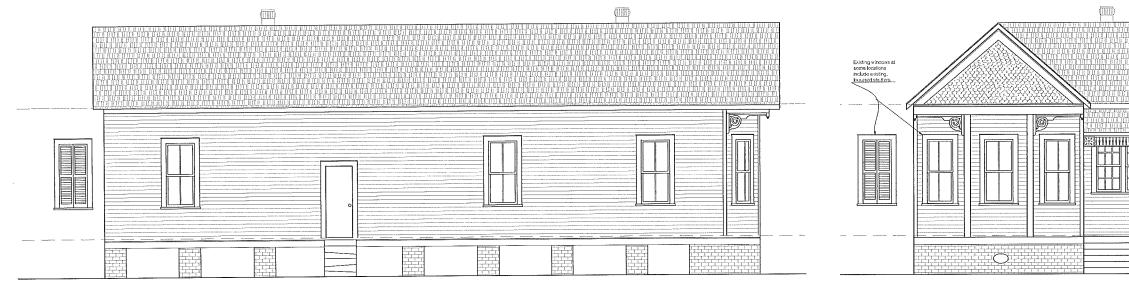
Date: 3/27/17



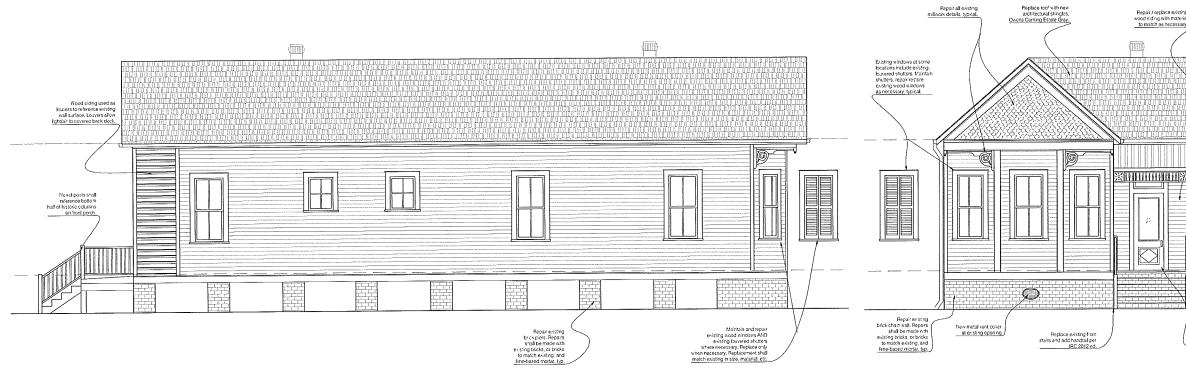
A 1.1 Survey of Existing Structure $\frac{1}{4}$ " = 1'-0"



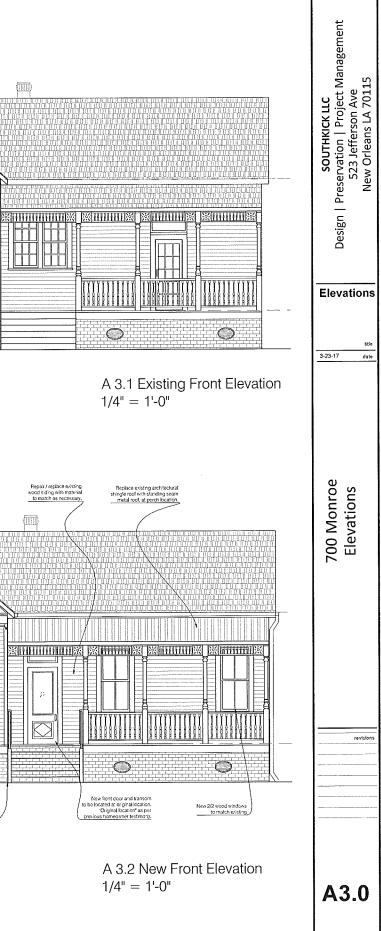




A 3.3 Existing Left Side Elevation 1/4" = 1'-0"



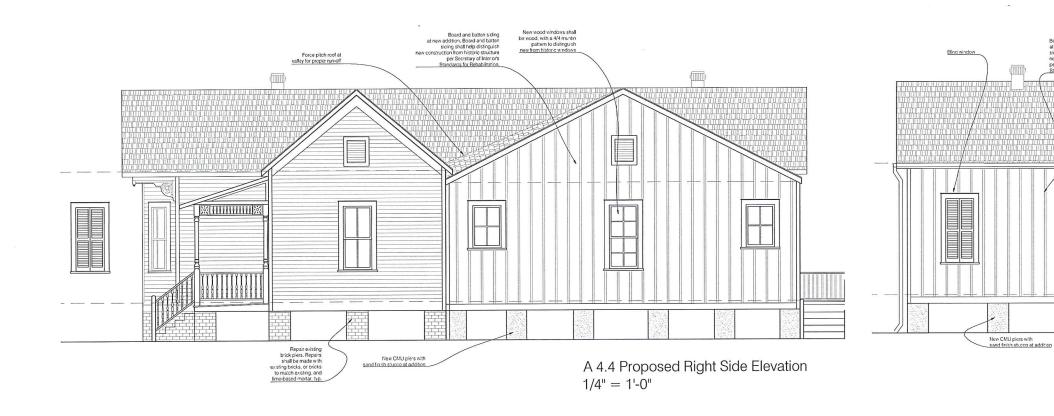
A 3.4 Proposed Left Side Elevation 1/4" = 1'-0"

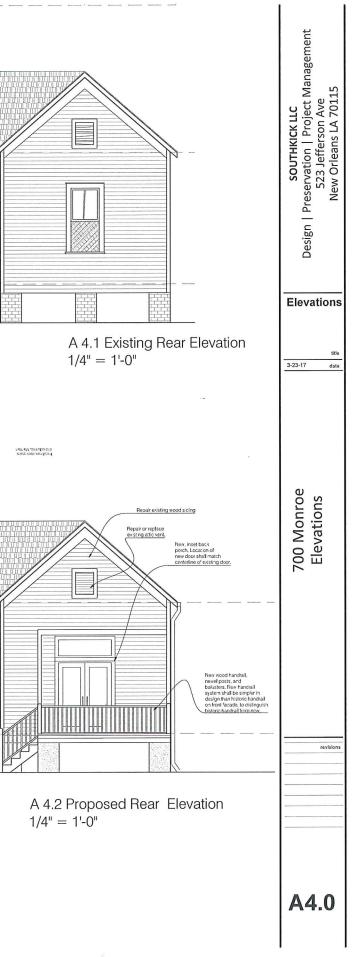




ting shall help cistinguis

A 4.3 Existing Right Side Elevation 1/4" = 1'-0"







In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 107 of 178

<u>Historic District Application for Certificate of Appropriateness</u> <u>Governed by Ordinance No. 4653 Adopted 2-11-15</u>

\$1446

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

□ *McDonoghville Historic District* – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are Required for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

<u>Demolition</u> – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

<u>Ordinary Repairs and Standard Maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address "Kingfish" Parking Lot - Corner of 2n	nd Street and Huey P. Long Avenue
Renovation:	(A.K.A.)-122 HUEY P. LONG AVE.
New Construction: _A	Adding Canopy over Ticket Machine (See attached photos)
Age of Structure: <u>N/A</u>	Demolition:
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other <u>Awning/Canopy(see attached photos</u>)	Eastlake
	Colonial Revival
Exterior materials proposed:	Other Awning/Canopy (see attached photos)
Roof N/A	SoffitN/A
Fascia <u>N/A</u>	Siding N/A
Masonry N/A	Porches N/A
Balconies N/A	Handrails <u>N/A</u>
Type of exterior lighting fixtures: <u>N/A</u>	
Style of windows:N/A	
Type of exterior doors: <u>N/A</u>	
Describe any ornamental woodwork: N/A	

Elevations:

Front Space: N/A	ft.	Side Space:	N/A	ft.

Rear Space: <u>N/A</u> ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:	Date: <u>3/14/2017</u>
Applicant's Name: David L. Colvin (on behalf o	of Jefferson Facilities, Inc.)
Address:	
Phone No: (50%) 367-9001	Cell No: ()
For Office Use Only:	
	Date of Application: 3, 27, 2017
Substantive Change: Yes No	Inventory Number:
Contributing Element to Gretna National Register	er Historic District: Yes No
Historic District Commission meeting date:	April 3rd 2017
Public Hearing to be held at the Council Regular	Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



Mayor Belinda Cambre Constant

Council Members

Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning and Zoning Azalea M. Roussell

> City Clerk Norma J. Cruz

Finance & Tax Departments Raylyn C. Stevens

> Human Resources David Neeb

Public Utilities Michael J. Baudoin

Public Works Daniel Lasyone

Parks and Recreation Amie H. Hebert

Information Technology Michael Wesley **City of Gretna**

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

I, David L. Colvin, on behalf of Jefferson Facilities, Inc., the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on <u>April 3, 2017</u> 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant Jefferson Facilities, Inc. NAME OF APPLICANT (PLEASE PRINT)

230 Huey P. Long Avenue, Gretna, LA 70053 Applicant's address

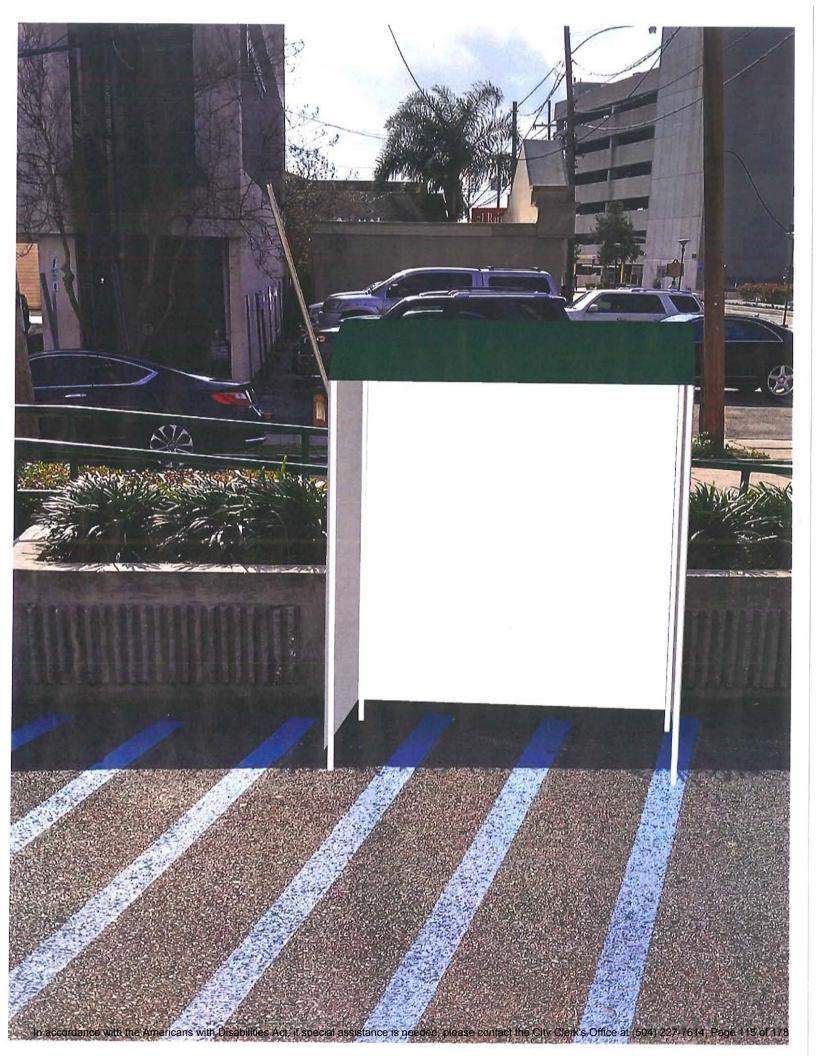
"Kingfish" Parking Lot – Corner of 2nd Street and Huey P. Long Avenue Actual address of the property for review

3.24.2017 Date:











Niko Industries, LLC 42391 S. AIRPORT RD HAMMOND LA 70403

(985) 467-2116

Bill To:

SP PLUS CORPORATION 300 DERBIGNY ST GRETNA LA 70053

(504) 637-0711 Ext. 0000

Purchase Or	der No	Customer ID		Salesperson ID	Shipping Method	F	Paymer	nt Terms	Req Ship Date	Master No.
1 dronado en	401 1101	SPP001			DELIVERY	C	COD		0/0/0000	1,981
Quantity	Item Num	her	Descri	otion		UO	М	Discount	Unit Price	Ext. Price
1 1	CANOPY	VUER TICKET M	CANOF 6' WIDE SUNBF MANUF TERMS ALL ITE BID VA	Y OVER TICKET MA E X 6' LENGTH X 7' H RELLA 4637 FR GREE FACTURED, DELIVER MOD CONDITIONS EMS ARE MANUFACT	EIGHT N IED, INSTALLED TURED IN THE USA OM DATE OF QUOTE	EA		\$0.00	\$2,362.00	\$2,362.00
								Subtotal		\$2,362.00
								Misc		\$0.00
								Tax		\$0.00
								Freight		\$0.00
								Trade Disc	ount	\$0.00
								Total		\$2,362.00

QUOTE

 Quote
 QTE0217032

 Date
 2/27/2017

 Page
 1

Ship To:

SP PLUS CORPORATION DEBBIE WILLIAMS 300 DERBIGNY ST GRETNA LA 70053





Historic District Commission Meeting: <u>April 3, 2017 4:00PM</u>

716 Dolhonde Street (District 2)

For: Renovations

Applicant: Karl Bosch

Submitted: March 27, 2017



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 118 of 178

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Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

□ *McDonoghville Historic District* – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 716 Dolhonde St	Gretna LA 70053
Renovation:	
New Construction:	
Age of Structure: 107 years built 19	Demolition:
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun double	Italianate
Bungalow	New Orleans Bracketed
Other	Eastlake
as per	Eastlake Colonial RevivalWNdow
	Other
Exterior materials proposed:	
Roof N/A	Soffit_ ~/A
Fascia \sim/Δ	Siding James Hardie Lop Sidio
	= steps Porches wood Flooring 5/4"
Balconies \sim / \land	Handrails h/Δ
Type of exterior lighting fixtures: <u>Replace 20</u>	awitter to match other 2 window
Style of windows: replace 1 2000 w/ a	awitter to watch other 2 window
Type of exterior doors: wood exter	ior 2001s
Describe any ornamental woodwork: $\underline{\rho}/A$	

Elevations:

•	Front Space:	30	ft.	Side Space:	154	ft.
	Rear Space:	30)	ft.			

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately,

Applicant's Signature: March Date: 3/21/2017
Applicant's Name: Karl Bosch
Address: 716 Dolhonde St Greina LA 70053
Phone No: (504) 256-0244 RoAnn Cell No: (504) 256-0244
For Office Use Only: Date of Application: 3/27/2017
Substantive Change: Yes No Inventory Number: #-24
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: April 312 Q 4:00pm.
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)



Mayor

Belinda Cambre Constant Councilmembers Wayne A. Rau Councilman-at-Large Milton L. Crosby District One Michael Hinyub District Two Mark K. Miller District Three Jackie J. Berthelot District Four

Departments

Building and Regulatory Danika Gorrondona Planning & Zoning Azalea M. Roussell

Office of Tax & Licenses Norma Cruz

Finance Department Raylyn Stevens

Human Resources David Neeb

Public Utilities Michael Baudoin

Public Works Danny Lasyone

Parks and Recreation Amie Hebert

Information Technology Michael Wesley

City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on ________ at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Date:

Address: 716 Dolhonde St Gretna, LA 70053

Historical District Application

Background:

Location: Mechanickham Historic District 716 Dolhonde St

Owner: Karl Bosch and Joann Roy-Bosch

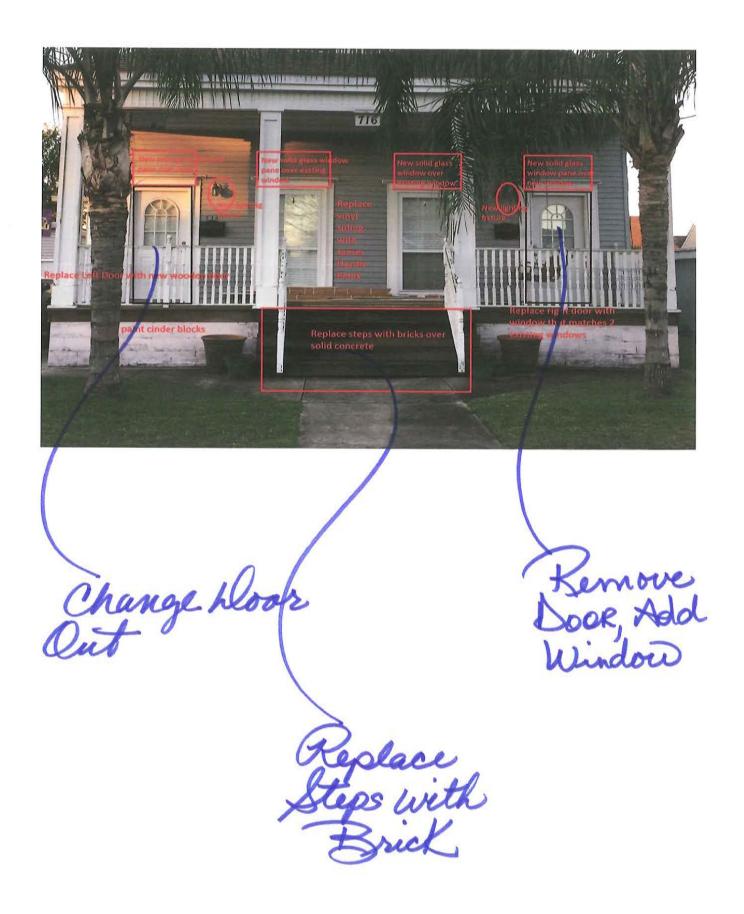
Proposed work:

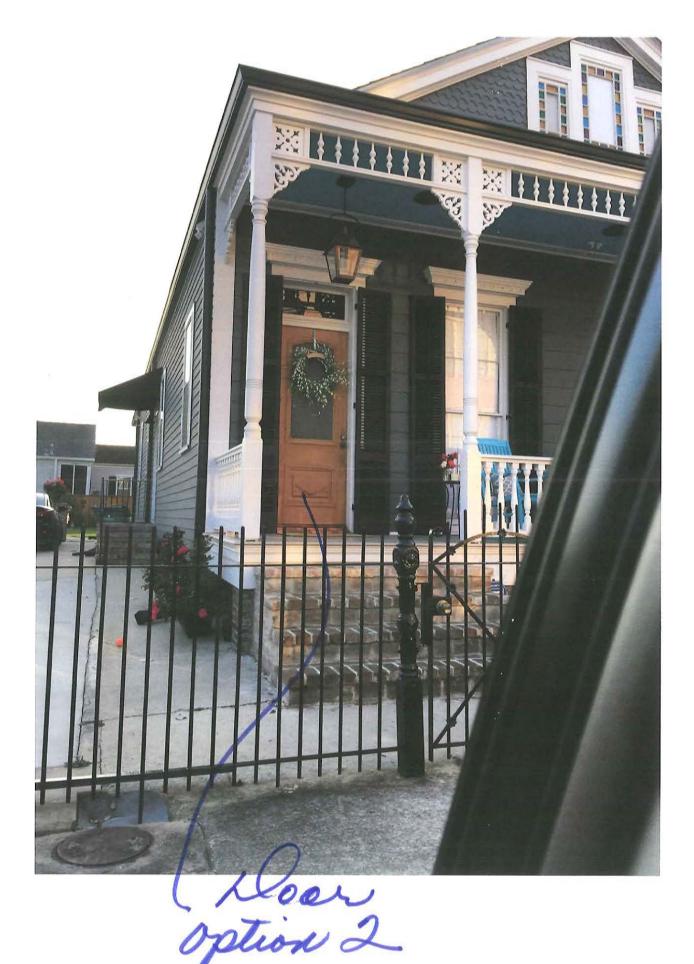
Complete renovation of front porch and façade by conforming with historical district designs and best practices. Existing windows will be retained, but addition of transom windows and decorative casing and molding over door and windows will give historic look and feel.

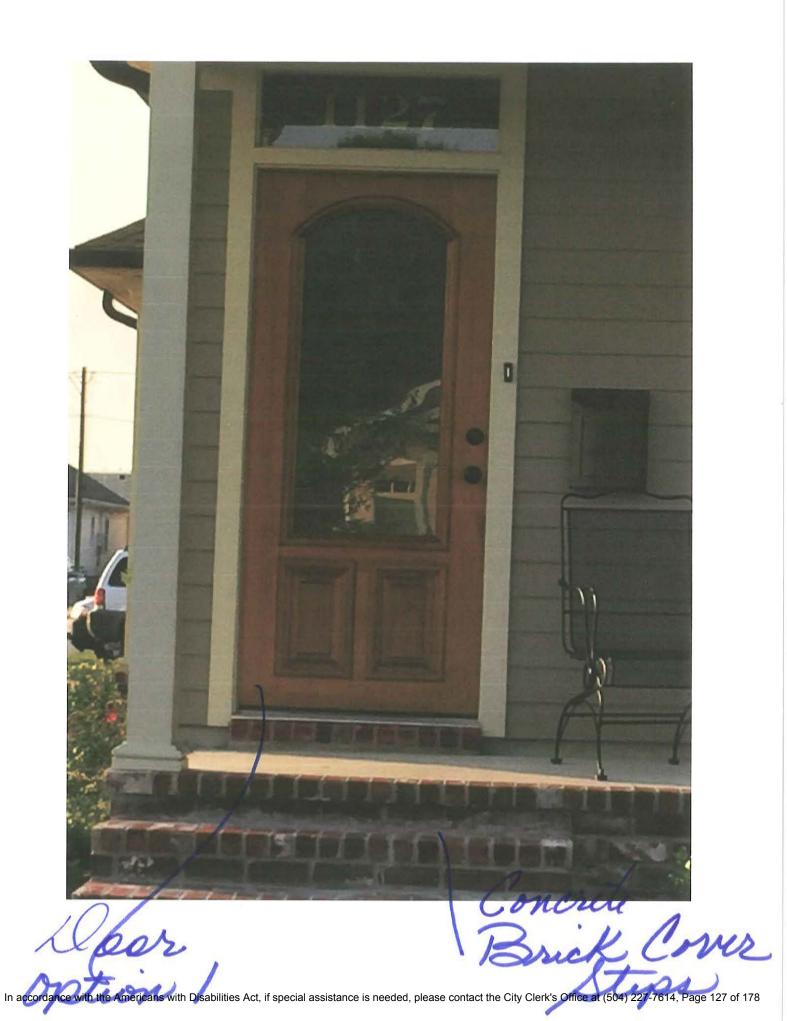
- replace old vinyl siding front of house with James Hardie Colonial smooth lap siding
- replace old vinyl siding on sides and back with James Hardie smooth lap siding
- replace left front porch door
- replace right front porch door with window that matches 2 existing windows
- add transom window on top of front porch door and 3 front porch windows. transom window will be single pane tempered glass
- wrap door and windows with decorative casing and molding
- replace front porch wooden steps with concrete steps covered with bricks

Proposed renovations on 716 Dolhonde St











Proposed Window

Front porch window



Documentation

Style property resembles.

Gretna HDC document page 21-22



Galleried Creole cottage with dormers



Center-hall cottage in the Italianate style

Front door with transom window new construction Old Gretna



Porch with transom windows and brick steps recently renovated in Old Gretna



Transom Window options



New Orleans new construction with transom windows.



Gretna Home with transom windows



Siding for front side

Siding	Trim	Soffit	HardleWrap*	Finishing Touches
HardiePlank' Lap Siding	HardieP;	anel* Vertical Siding	1):II	heShingle* Siding
CONTRACTOR OF STREET		CUSTOM COLONIAL	SMOUTH	
State Street Street		0.53 m	5°16 m.	
		to ph	12 ft, ph/si	
		17.0h	2 m.	
		tige to Difference of the	6.75 m 216	
		DOMENT NO. 1	240	
		la fort	14.9	
		2: 130 miles		
		View all HardieP	lank Lap Siding Products	
🗑 JamesHardie	ABOUT JAMES HARDIE	DDO	DUCTS	COLOR
Siding Trim	ADDET DAMED TRUDIE	chu	00010	- WILDU

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 137 of 178

Siding for sides and back

Siding	Trim	So	III		HardieW	rap"			Finishing Touches
 BardiePlank* Lap Siding 		HandiePanel* \	lettical Siding				Hard	eShingh	" Siding
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		1.11		571611					
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				52516	62511	12511	82511	92511	12 m
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		e da		750	20.0	567	14.3	95	93
					1				
			IGAN DALES						
			View all HardiePla	unk Lap S	Siding Pr	oducts			
JamesHardie Siding Trim	ABOUT JAMES H	ARDIE	PROD	UCTS					COLOR

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 138 of 178

Trim

Siding	Trim	Sottit	HardleWrap*	Finishing Touches
 Handieltino' Reards 		Hardiefrim ⁴ Batten Boards		
		5.47×63		
		View all Ha	rdieTrim Boards	
🧑 JamesHardie	ABOUT JAMES F		PRODUCTS	COLOR

Examples of replacement door, transom windows and porch steps



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 140 of 178

ORDINANCE NO. 4176

An ordinance to amend Chapter 52 HISTORICAL PRESERVATION - Sec. 52-8 Historic district permit; required- - Application, of the Gretna Code of Ordinances to provide for a fee for the issuance of said permit.

WHEREAS, the City of Gretna has interest in the health, safety and welfare of its citizens; and

WHEREAS, the issuance of a permit and the administration of the same require a fee as not to cause an undue burden on the City of Gretna and the taxpayers.

NOW, THEREFORE, BE IT ORDAINED by the City Council, acting as legislative authority City of Gretna, that:

Sec. 52-8. Historic district permit; required-Application, shall be amended as follows:

Application for an historic district permit shall be made in the office of the building official on forms obtainable at said office. Each application shall be accompanied by a $\underline{\$50.00}$ administration fee and such sketches, drawings, photographs, descriptions or other information showing the proposed exterior alterations, additions, changes or new construction as are reasonably required for the city to make a decision. Such application must be filed no later than 14 calendar days prior to any meeting of the mayor and city council at which time such application is to be heard.

In the event further review is required due to additional information from the applicant, the Application shall be accompanied by an additional \$50.00 Administration fee.

Provided that a majority of the City Council of the City of Gretna have voted in favor of this ordinance, this ordinance shall have the full force and effect of law at midnight on the tenth day

Clerk's presentment of same to the Mayor, in accordance with Louisiana Revised Statutes 33:406(c)(2) unless

the Mayor returns same, unsigned, to the Clerk during that ten-day period.

On motion by Councilman Beevers and seconded by Councilman Cox, the following read and adopted section by section and then as a whole by the following vote:

Yeas: Council Members Begyers, Constant, Cox, Crosby and Rau Nays: None Absent: None

HISTORIC DISTRICT PERMIT APPLICATION FOR DEMOLITION

Section 52-9 of the Gretna Municipal Code lists the guidelines to be applied in evaluating applications for demolition of a building or landmark within the historic district. In considering the application for the demolition of a building or a landmark in the historic district the following shall be considered:

- a. The historic or architectural significance of the building.
- b. The importance of the building to the historic character of the district.
- c. The special character and aesthetic interest that the building adds to the district.
- d. The difficulty or impossibility of reproducing such a building because of the design, texture, material or detail.
- e. The future use of the site. Cost considerations in restoration. Whenever a property owner shows that a building classified as historic is incapable of earning any economic return on its value, as appraised by a qualified real estate appraiser, or if new construction can be demonstrated by a property owner to be the highest and best use of the building site, such building may be demolished provided, however, that before a demolition permit is issued, notice of proposed demolition shall be given three times during a period of 30 days to afford interested persons the opportunity to acquire or to arrange for the preservation of such buildings.

Sec. 52-9(4)

The Historic District Advisory Committee (HDAC) shall review all applications for demolition and report its recommendations to the Gretna City Council. As part of its monthly meeting the City Council shall hold a public hearing on each application.

Please provide the following information:

Address of building: 1126 9th STREET
Name of applicant: CITY OF GREENA
Address of applicant: 2ND + HUEYP. LONK. ALE

Phone number: 504, 363. 1563 <Date: 3.27.17 Signature:

Reason for permit for demolition: PROPERTY APPEARS TO HAVE BOD ABANDONED. FRONT LEAN TO FORTION STRUCTURE IS FAILING AND ALOWING CUTSIDE > INTRUDE STRUCTUR AUE SINVENTE HAS GEIL CALLE IN. SSURM PRUNDARY HAS BEEN REPORTED B RESIGNTS AS A CONTINUED BE MOULDE THIS PRUBLEY TO Age of structure: DIVIROMONTAL FURRE U Future use of site: NO NTENDER WRT. SEEKI. Panaviu AT the DME Regarding the costs of restoration it is recommended that the applicant attach the following items: an appraisal of the structure, photographs of exterior and interior, engineering or structural reports, written repair/renovation estimates with detailed costs, termite inspection reports, and any other documents related to the costs of restoration. FOR OFFICE USE ONLY: CONTRIBUTING ELEMENT TO GRETNA NATIONAL REGISTER HISTORIC DISTRICT: (YES/NO) ______ INVENTORY NUMBER: Mone ARCHITECTURAL DESCRIPTION/COMMENTS: dentia DATE OF APPLICATION: 3.0 4.3. HDAC MEETING DATE: _ CITY COUNCIL DATE: 9.12.1

















RECOMMENDATION FOR DEMOLITION

TO: BOARD OF ADJUSTMENTS AND APPEALS

DATE: 3-27-17 ADDRESS: 1126 9th Street

LOT: 6 SQUARE(S): 27

SUBDIVISION: Mechanickham Sub OWNER: Orbit Two Thousand Nine, LLC

In conformity with of the *International Building Code*, as adopted by the City of Gretna, I hereby recommend the demolition and removal of the building(s) and structure(s) on the above referenced property for the reasons indicated below:

- 1. Any means of egress or portion thereof is not of adequate size or is not arranged to Provide a safe path of travel in case of fire or panic.
- 2. Any means of egress or portion thereof, such as but not limited to fire doors, closing devices and fire resistive ratings, is in disrepair or in a dilapidated or nonworking condition such that the means of egress could be rendered unsafe in case of fire or panic.
- _ 3. The stress in any material, member or portion thereof, due to all imposed loads including dead load exceeds the stresses allowed in the International Building Code for new buildings.
- 4. The building, structure or portion thereof has been damaged by fire, flood, earthquake, wind or other Cause to the extent that the structural integrity of the building or structure is less than it was prior to the damage and is less than the minimum requirement established by the International Building Code for new buildings.
 - Any exterior appendage or portion of the building or structure is not securely fastened, attached or anchored such that it is capable of resisting wind, seismic or similar loads as required by the International Building Code for new buildings.
 If for any reason the building, structure or portion thereof is manifestly unsafe or unsanitary for the purpose for which it is being used.
 - The building, structure or portion thereof as a result of decay, deterioration or dilapidation is likely to fully or partially collapse.
- 8. The building, structure or portion thereof has been constructed or maintained in violation of a specific requirement of the International Codes or of a city, county or state law.
 - Any building, structure or portion thereof that is in such a condition as to constitute a public nuisance.
- 10. Any building, structure or portion thereof that is unsafe, unsanitary or not provided with adequate egress, or which constitutes a fire hazard, or is otherwise dangerous to human life, or, which in relation to existing use, constitutes a hazard to safety or health by reason of inadequate maintenance, dilapidation, obsolescence or abandonment.

Sincerely,



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Historic District Commission Meeting: <u>April 3, 2017 4:00PM</u>

402 Monroe Street (District 1)

For: Renovations

Applicant: Z. Dieterich

Submitted: March 20, 2017

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 147 of 178

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Permit # 2017-Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

□ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

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Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 402 Morroe			
Renovation: <u>See attached</u> proc New Construction:			
Anna f Structures 1/00+	Demolition: See	attached	proposal
Age of Structure: 160+ yrs			
Building Type:	Building Style:	and the second	
Creole Cottage	Greek Revival	-	
Shotgun	Italianate		
Bungalow	New Orleans Bracketed	_	
Other Centerhall	Eastlake		
	Colonial Revival		
	Other		
Exterior materials proposed: I can Feacher	\ \		
Roof			
Fascia	Siding 1-lard; board		
Masonry	Porches		
Balconies	Handrails		
Type of exterior lighting fixtures:			
Style of windows: Wood		1. C. 1.	
Type of exterior doors:			
Describe any ornamental woodwork:		<u> </u>	

Elevations:

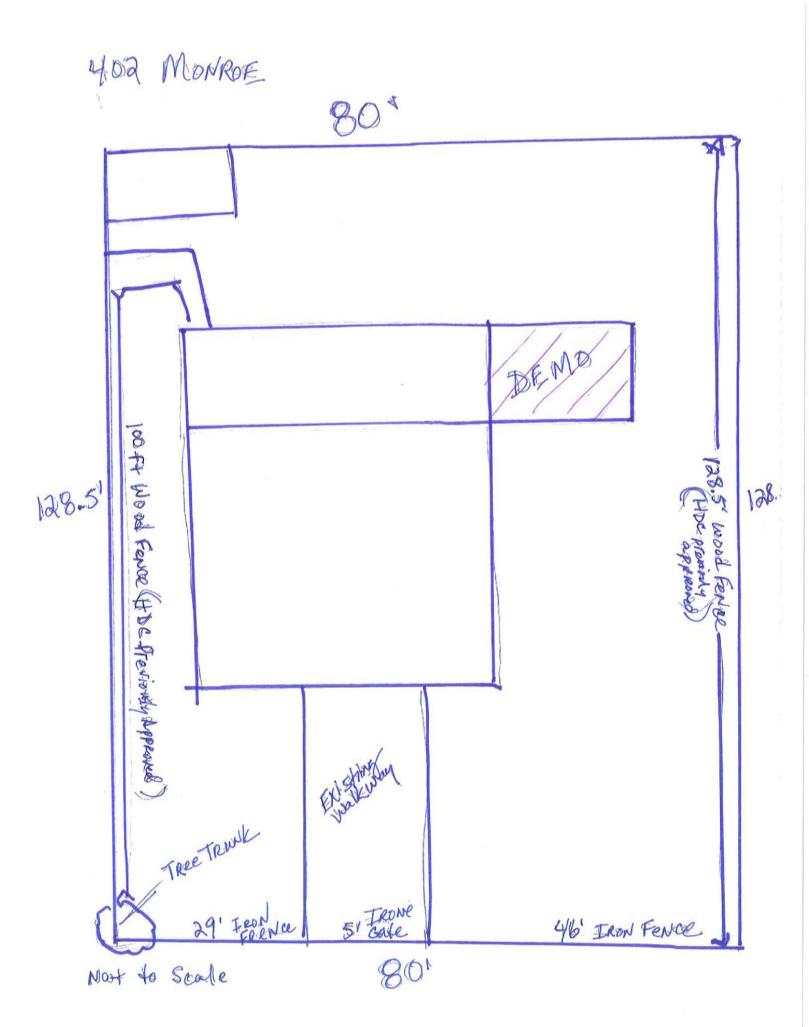
Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:	Date: 3/14/17
Applicant's Name: Z. Dieteicu	
Address: 913 Hurry P. hore	
Phone No: (504) 430-0164	Cell No: ()
For Office Use Only:	Date of Application: <u>3/20/2017</u>
Substantive Change: Yes No	Inventory Number: Mone
Contributing Element to Gretna National Register Historic District: Yes No	
Historic District Commission meeting date:	April 3rd @ 4'rep
Public Hearing to be held at the Council Regular M	Aeeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday	of every month.)



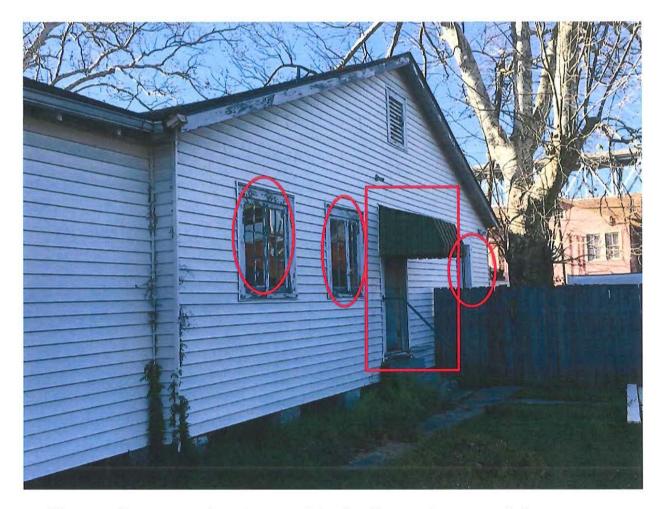
402 Monroe Street

Phase 2

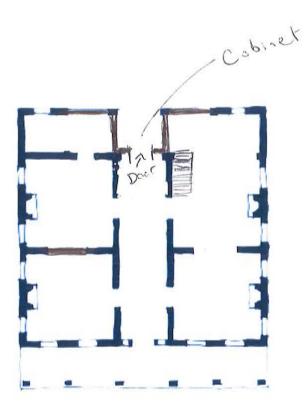
Phase two consists of renovations to first addition situated directly behind the main 1820s structure.



- I. Remove lower portion of far left window and two adjacent windows in entirety.
- II. Remove vinyl siding and replace with hardiboard.
- III. Raise roof of addition to match original home.



- IV. Remove rear door closest to Columbus Street and two rear windows.
- V. Remove centered rear door and metal awning and recess into house to re-create period appropriate cabinet.
- VI. Remove existing 6' wooden fence
- VII. Remove vinyl siding and replace with hardiboard.





- VIII. Demolish Addition No. 3 (1960s) which forms L shaped wing to right of structure.
- IX. Replace original 6 over 6 wooden window on right side of house where L addition was added on.
- X. Hardi-board on right side of home where L addition was removed.







Mayor Belinda Cambre Constant

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Information Technology Michael Wesley

City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

I, Z. DietericL the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on April 3, 2017 4:00 p.m., 740 2^{nd} Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant etericl CANT (PLEASE PRINT) wey Actual address of the property for review Date:



Dermit # 2017-1427

Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

□ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

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Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
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<u>Important Criteria for New Construction</u>: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Page 1 of 3

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 605 Romain	St	
Re: Address <u>GOS Romain St</u> Renovation: <u>See attached proposal</u> New Construction: <u>Demolition</u> : <u>Demolition</u> :		
07	Demolition:	
Age of Structure: 87 years		
Building Type:	Building Style:	
Creole Cottage	Greek Revival	
Shotgun	Italianate	
Bungalow	New Orleans Bracketed	
Other	Eastlake	
	Colonial Revival	
×	Other Craftsman	
Exterior materials proposed:		
Roof	Soffit	
Fascia	Siding Wood	
Masonry Concrete Walkwa	and + StopPorches	
Balconies	Handrails	
Type of exterior lighting fixtures:		
Style of windows:		
Type of exterior doors:		
Describe any ornamental woodwork:		

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:	Date: 3/14/17
Applicant's Name: Z, Dieterich	
Address: 913 Huey P. Log A	
For Office Use Only: Date of Applicat	ion:
Substantive Change: Yes No Inventory Number	er:
Contributing Element to Gretna National Register Historic District:	Yes No
Historic District Commission meeting date:	
Public Hearing to be held at the Council Regular Meeting; Gretna Cit	y Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)	

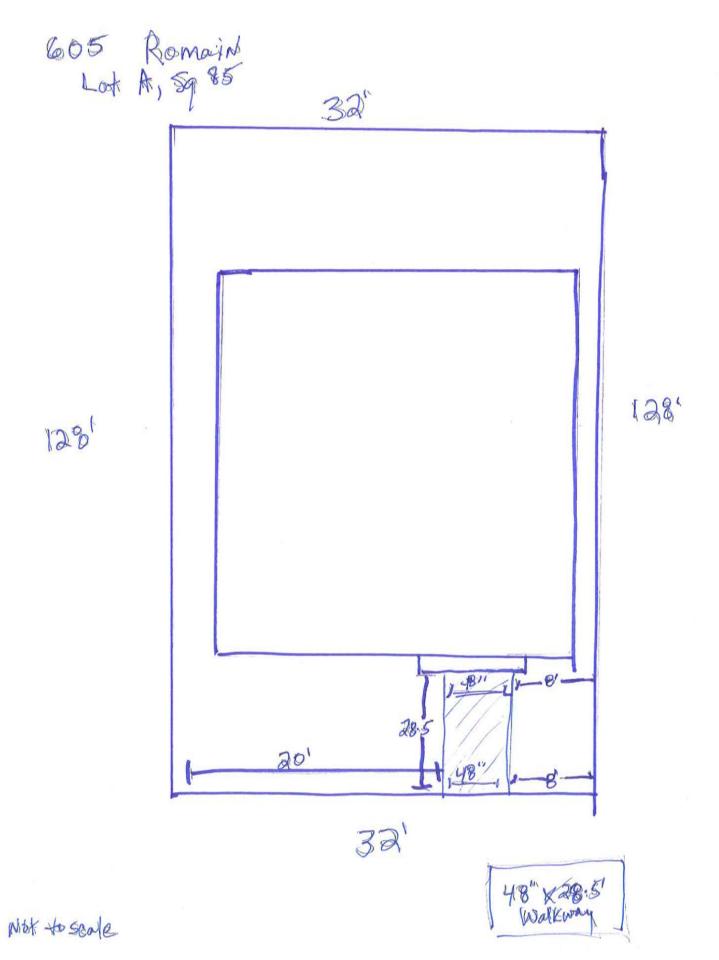
605 Romain Street

Slightly modified Craftsman style home constructed in 1930, originally located at 929 Lafayette Street (site of current Circle K) and moved to present location in 1975.



- I.
- Front walkway Poured concrete walkway from front steps to sidewalk. Front gate Repair existing chain-link fence and install pedestrian gate for new II. walkway.





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- III. Install wooden rear steps and simple capped handrails with square spindles.
- IV. Rear bathroom windows Probably previously a washroom converted to bathroom. Remove 3.5 of existing windows and replace with wood siding to match existing.





Mayor Belinda Cambre Constant

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City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

I, Z. Dieterich the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on April 2, 2017 4:00 p.m., 740 2^{nd} Street, Gretna City Hall, 2nd floor Council Chambers.

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Signature of Applicant Dieteric NAME OF APPLICANT (PLEASE PRINT) Huey P. Long Are Applicant's address (005 Actual address of the property for review Date:



Historic District Commission Meeting: April 3, 2017 4:00PM

621 Anson Street (District 1)

For: Renovations

Applicant: Z. Dieterich

Submitted: March 20, 2017

00

To

Depmit # 1426

Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

□ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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Page 1 of 3

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In addition to the information on the cover sheet, please provide the following:

Re: Address G21 Anson S1	rect
Renovation: See attached prof	
	Demolition:
Age of Structure: 130 yrs	
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other	Eastlake
	Colonial Revival
	Other
Exterior materials proposed: Wood Fercing	
Roof	Soffit
Fascia	Siding (1) 0 00
Masonry Concrete Walkway	Porches Wood Columns
Balconies	Handrails Wood
Type of exterior lighting fixtures:	
Style of windows: Vingt / Wood	
Type of exterior doors:	
Describe any ornamental woodwork:	

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

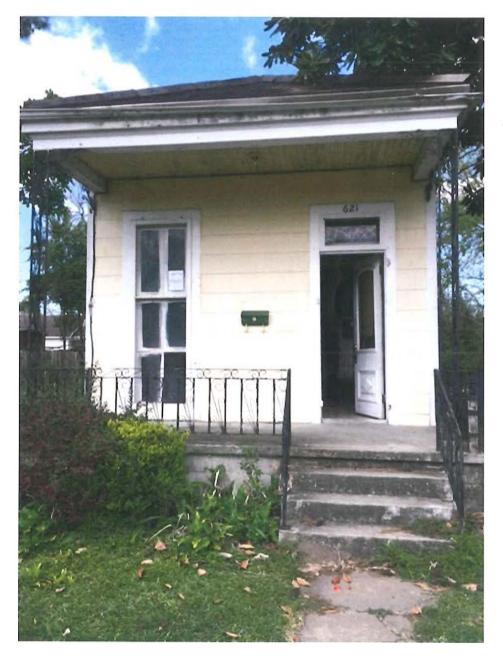
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

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Applicant's Signature:	Date: 3/14/17
Applicant's Name: Z. Dieterich	
Address: 913 Huey P. Lorg	
Phone No: (504) 430-0164	Cell No: ()
For Office Use Only:	Date of Application: 3.14.17
Substantive Change: Yes No	Inventory Number: Mone
Contributing Element to Gretna National Register	Historic District: Yes No
Historic District Commission meeting date:	Appil 3rd @ 4:00 pm
Public Hearing to be held at the Council Regular	Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday	v of every month.)

621 Anson Street

Modified 1880s Victorian Shotgun home with left side bump-out addition.



- I. Front walkway Repave existing concrete walkway from front steps to sidewalk.
- II. Columns Replace wrought iron with 10" x 6" box columns.



III. Driveway – Pour concrete driveway (11' x 20') where existing shell driveway is.



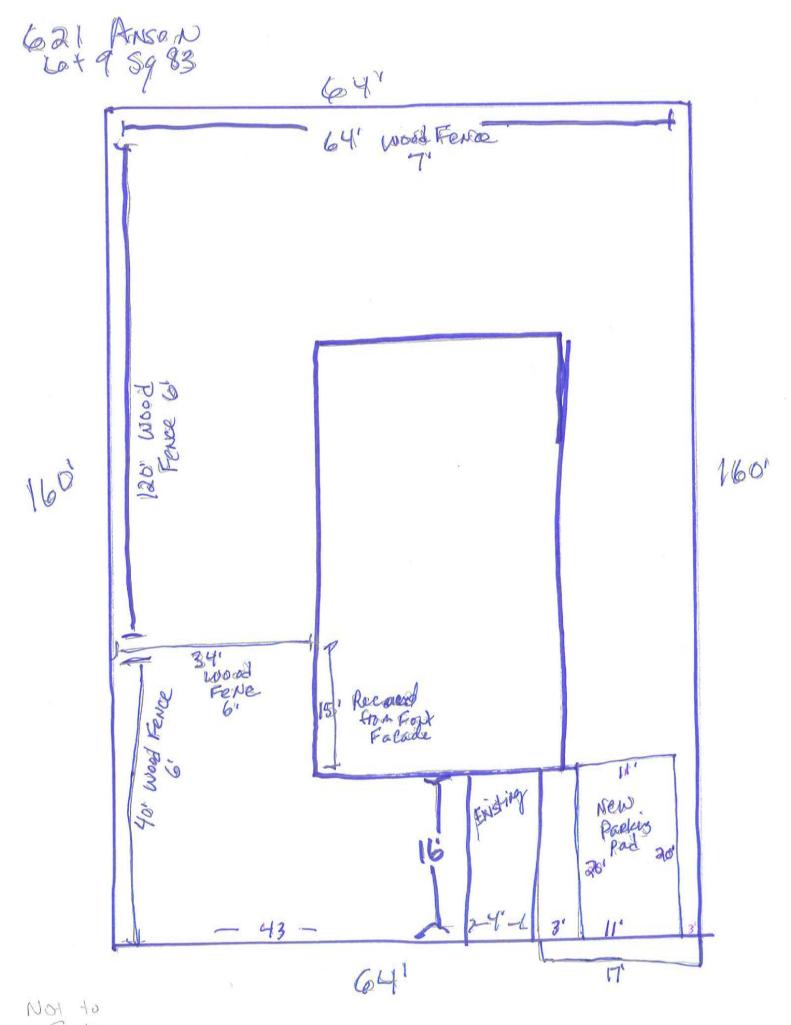
- IV. Exterior siding Remove composite siding and replace with hardi-board or salvage existing wood siding if possible.
- V. Side bump-out addition circa 1950s Demolish.
- VI. Remove aluminum awnings.
- VII. Remove existing 6' wooden fence and replace with 6' capped wooden fence closer to front of home.



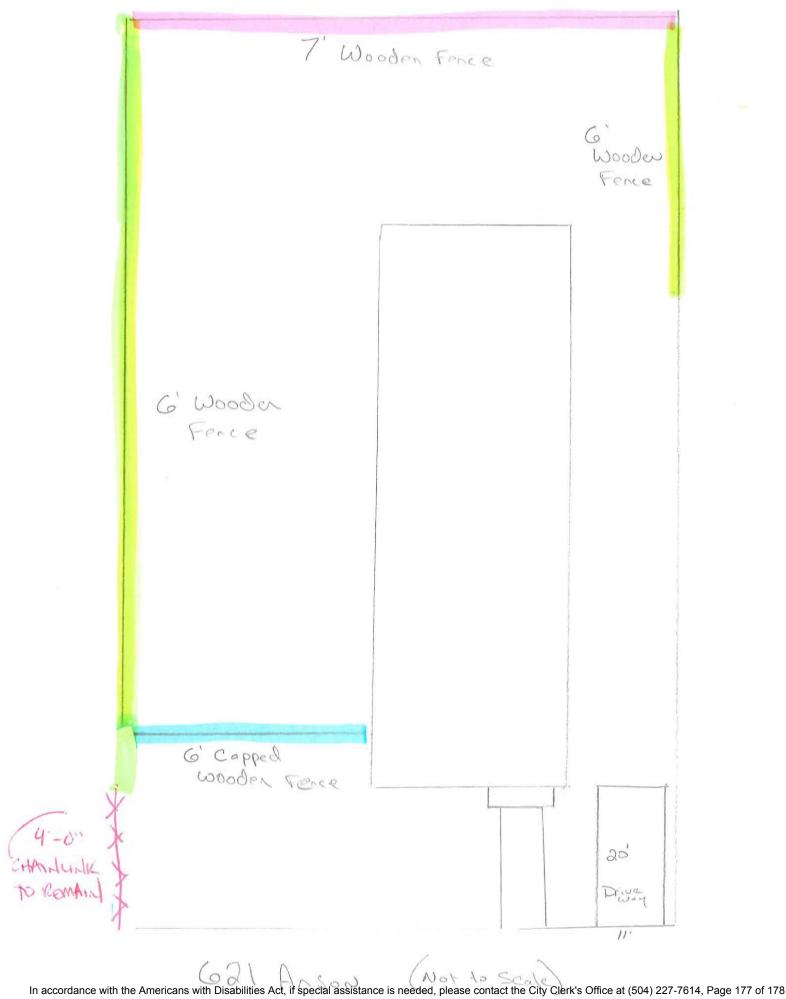
VIII . Install 7' wooden fence along rear property line.



XI. Install 6' wooden fencing along side property lines



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 176 of 178





Mayor Belinda Cambre Constant

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Signature of Applicant Z. Dieterich NAME OF APPLICANT (PLEASE PRINT) Hurry P. Lore Applicant's address Anson Street Actual address of the property for review 621 Date: 3/14/17