

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 2nd Street, Gretna, LA 70053
2nd Floor Council Chambers
May 1, 2017 - 4:00 PM**

AGENDA

AGENDA ITEM(S):

- 1. Call to Order/Roll Call**
- 2. CONSENT AGENDA for Certificate of Appropriateness:**
 - A. 412 Lavoisier Street
For: Rear awning - Kelly Steele, Applicant (District2)
 - B. 213 Wiedman Street
For: Handrails - Michael A. Hinyub, Applicant (District 2)
- 3. Properties with current request for Certificate of Appropriateness:**
 - A. 1321-1323 Franklin Street
For: Handrails - Starletis Goodwin, Applicant (District 1)
 - B. 318 Newton Street
Remove vinyl siding to expose wood; replace porch pavers with brick - Kennon LeBlanc, Applicant (District 2)
 - C. 500 9th Street
Exterior facade, window, door, lights and sign - Rattanasak Chotikarnkul, Applicant (District 2)
 - D. 1024-1026 6th Street
For: Windows, cornice and shutters - Bilal Zughayer, Applicant (District 2)
 - E. 1031 10th Street
Front door, windows, garage door and front door - Donna Accardo, Applicant (Dist. 2)
 - F. 538 Weyer Street
Exterior renovations and addition - Colin Van Wingen, Applicant (District 2)
 - G. 1337 Madison Street
For: Doors and fence - Dina Lalley, Applicant (District 1)

H. 529 3rd Street

Exterior facade with changes amended (April 26, 2017) - Tamara Moffett, Applicant (District 2)

I. 827 6th Street

For: Exterior renovations - Maria Plaisance, Applicant (District 2)

J. 300 Huey P Long Avenue

For: Exterior facade - Mindy Cook, Applicant (District 2)

4. Adjourn



Historic District Commission

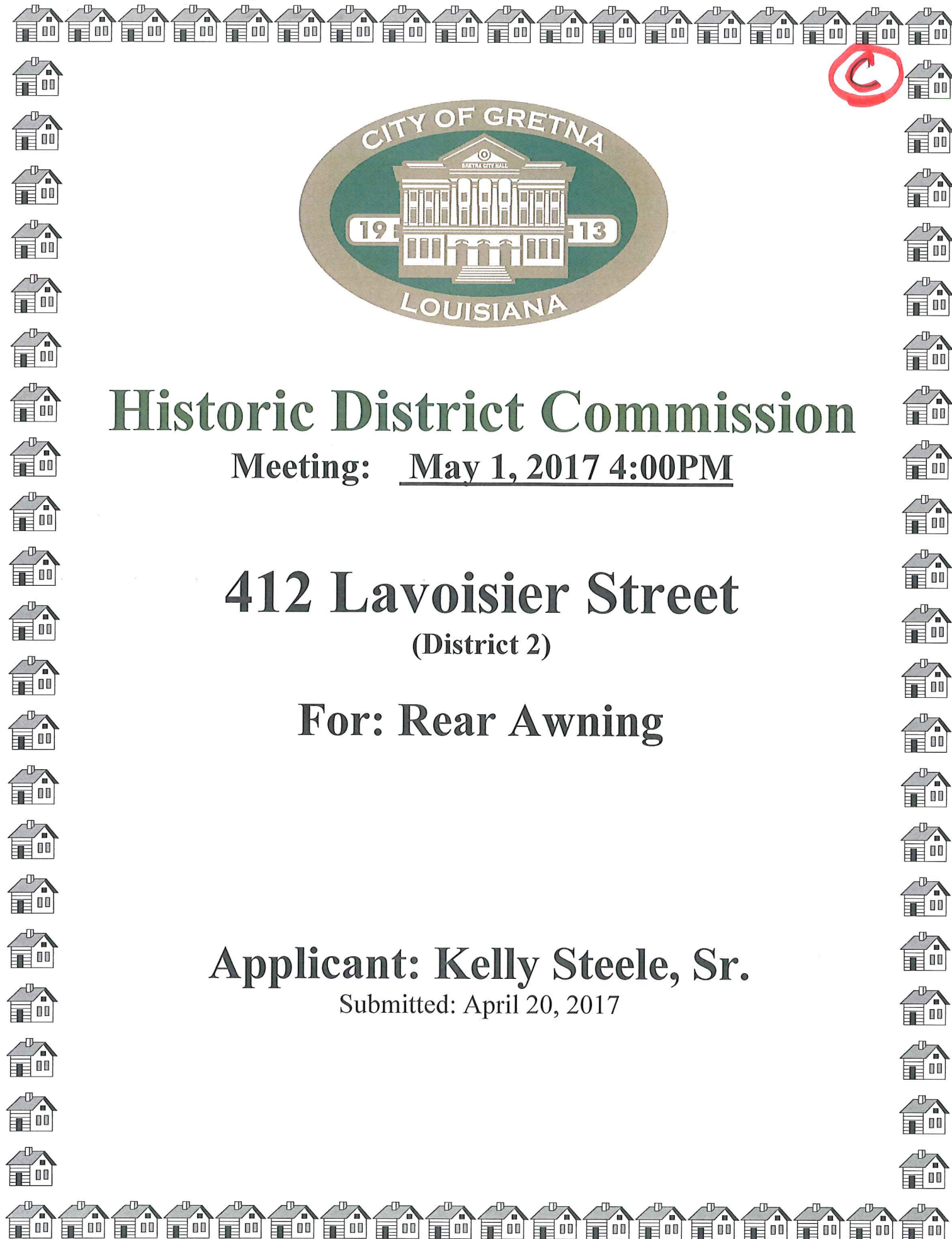
Meeting: May 1, 2017 4:00PM

412 Lavoisier Street
(District 2)

For: Rear Awning

Applicant: Kelly Steele, Sr.


Submitted: April 20, 2017




Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

 **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

 **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 4112 Levee St. Gretna, La. 70053

Renovation: Rear awning 26.6" x 11' / 5'6" x 12.5"
New Construction: _____

Age of Structure: Built 1920 Demolition: _____

Building Type:

Creole Cottage _____

Shotgun double shotgun /

Bungalow Bungalow details

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof Metal Soffit Hardy

Fascia Hardy Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: Fans & cans

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant’s Signature:  Date: 4-19-17

Applicant’s Name: Kelly Steele Sr.

Address: 412 Lavoisier St. Gretna, La. 70053

Phone No: (504) 909-4913 Cell No: () _____

For Office Use Only:

Date of Application: 4/20/2017

Substantive Change: Yes _____ No ☒

Inventory Number: 411

Contributing Element to Gretna National Register Historic District: Yes ☒ No _____

Historic District Commission meeting date: May 1st 2017 @ 4:00pm.

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

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Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

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Jackie J. Berthelot

District Four

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Building and Regulatory

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Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on May 15th 2017 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: [Signature]

Date: 4-20-17

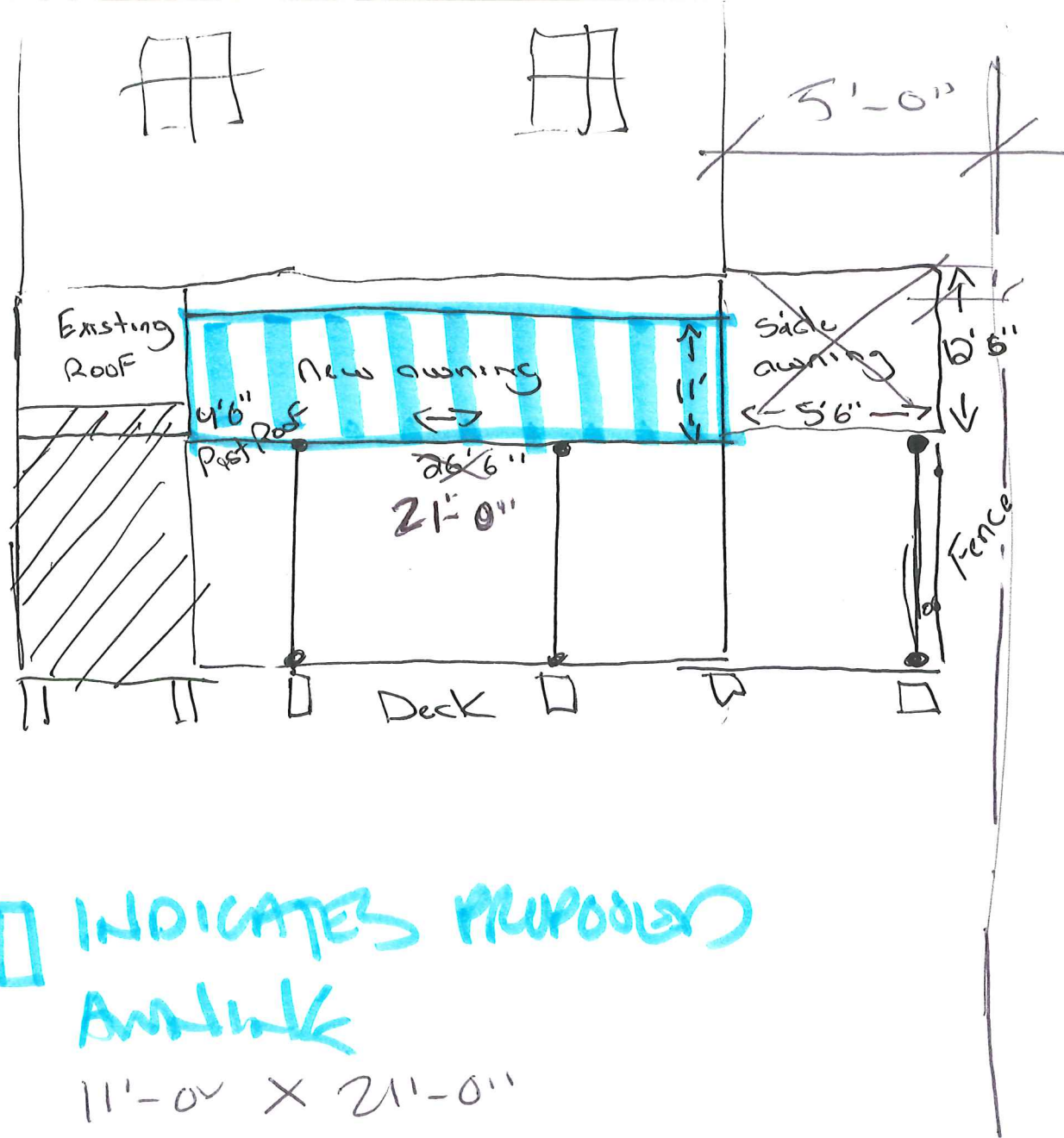
Address: 412 Lavoisier St.


Google Maps 410 Lavoisier St



https://www.google.com/maps/@29.9163603,-90.0627284,3a,90y,248.01h,73.45t/data=!3m6!1e1!3m4!1sBP7t_jJmk1Gpbf0b... 4/20/2017





 INDICATES PROPOSED
 AWNING
 11'-0" X 21'-0"



Same as
411 Newton Street.



(Fathers
Property)









Historic District Commission

Meeting: May 1, 2017 4:00PM

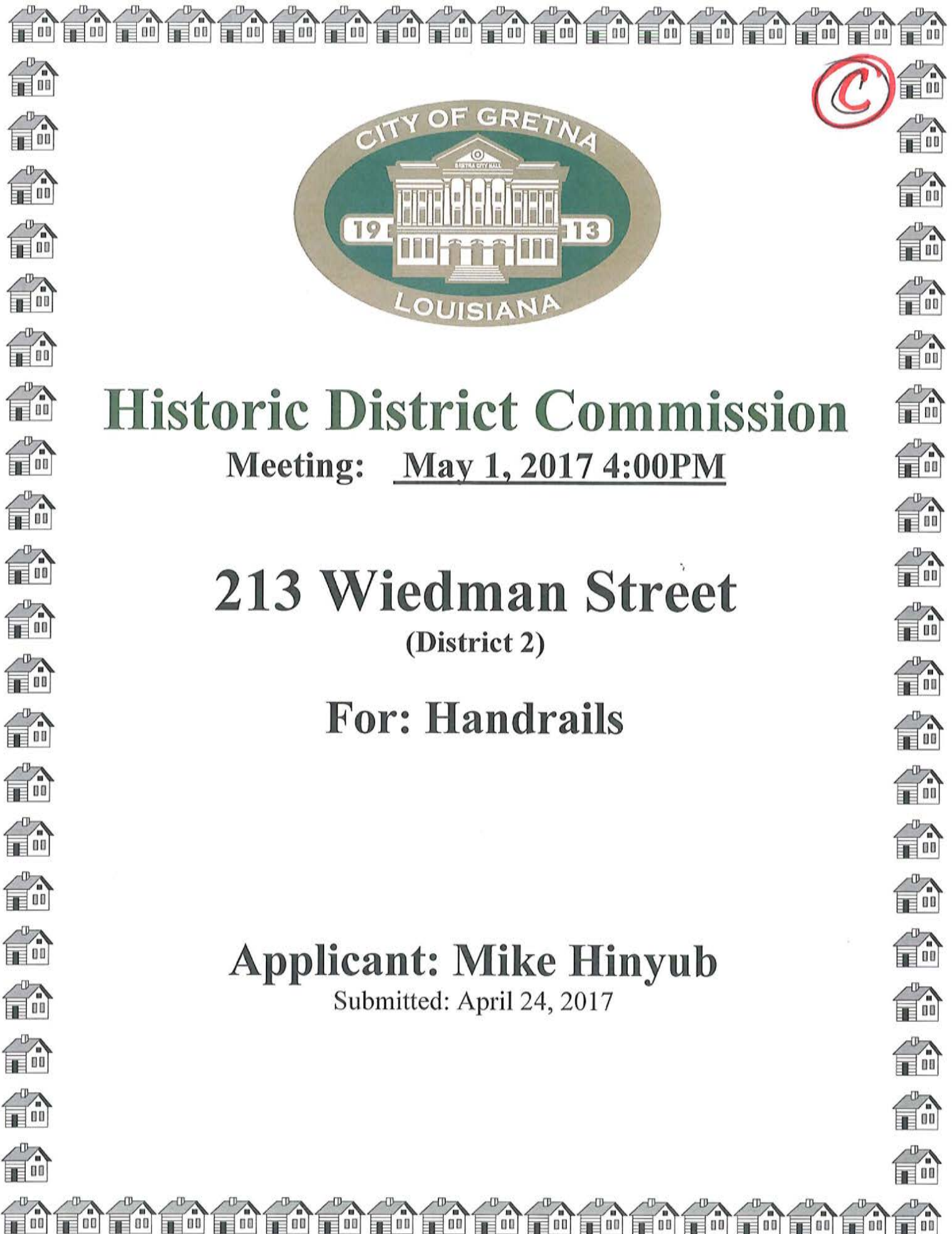
213 Wiedman Street

(District 2)

For: Handrails

Applicant: Mike Hinyub

Submitted: April 24, 2017



Historic District Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

Permit
#1516

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

At its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Certificate of Appropriateness except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Address 213 WIEDMAN ST

Renovation: INSTALL HANDRAILS

New Construction:

Demolition:

Age of Structure: ?

Building Type:

Creole Cottage

Shotgun

Cottage

Other

Building Style:

Greek Revival

Italianate

New Orleans Bracketed

Eastlake

Colonial Revival

Other

Exterior materials proposed:

Roof Soffit

Fascia Siding

Masonry Porches

Balconies Handrails PAINTED METAL

Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork:

Elevations:

Front Space: ft.

Side Space: ft.

Rear Space: ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Mike Hinxler Date: 04-24-17

Applicant's Name: MIKE HINXLER

Address: 213 WIDMAN ST GRETTA LA 70053

Phone No: ()

Cell No: (504) 382-4021

For Office Use Only:

Date of Application: 4-24-2017

Substantive Change: Yes No ✓

Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes No ✓

Historic District Commission meeting date: May / 8th. 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



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Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on 05-01-17 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: [Signature]

Date: 04-24-17

Address: 213 WIEDMAN ST





Historic District Commission

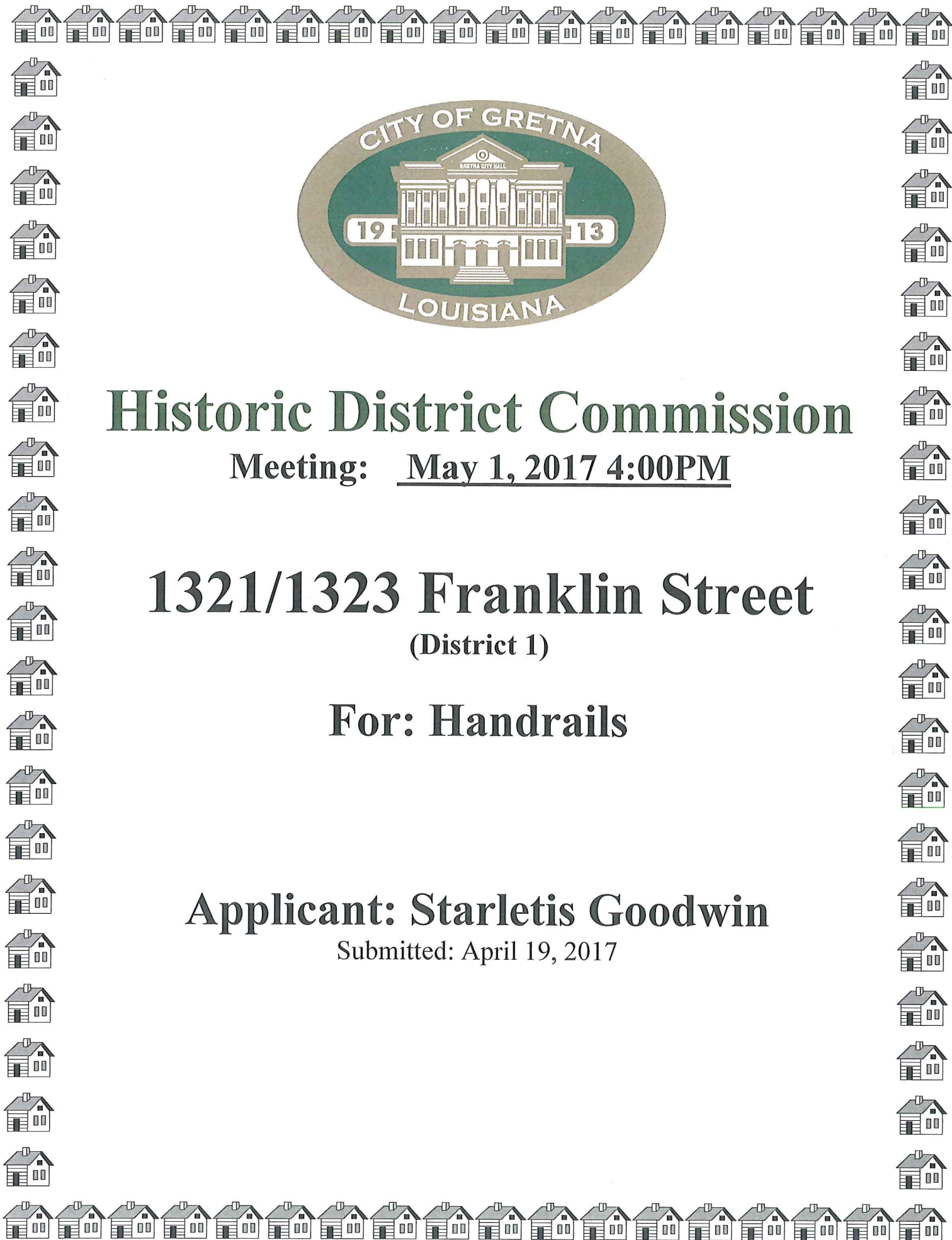
Meeting: May 1, 2017 4:00PM

1321/1323 Franklin Street
(District 1)

For: Handrails

Applicant: Starletis Goodwin

Submitted: April 19, 2017



Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit #
1474

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

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Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1321 and 1323 Franklin Ave. St. Gretna, LA 70053

Renovation: _____
New Construction: Hand rails (For both sides) only on one side of the stairs
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof _____
Fascia _____
Masonry _____
Balconies _____
Soffit _____
Siding _____
Porches _____
Handrails _____

metal (same as neighbor next door)

Type of exterior lighting fixtures: _____
Style of windows: _____
Type of exterior doors: _____
Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

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Applicant's Signature: Starletis Goodwin Date: 4/21/2017

Applicant's Name: Starletis Goodwin

Address: PO Box 2281, Gretna, LA 70054

Phone No: (504) 914-0872 Cell No: ()

For Office Use Only:

Date of Application: 4/19/2017

Substantive Change: Yes _____ No ✓ Inventory Number: NONE

Contributing Element to Gretna National Register Historic District: Yes _____ No ✓

Historic District Commission meeting date: May 1st @ 4:00 pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



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I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on May 1st, 2017 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant:

Shelley Boock

Date:

10/18/2016

Address:

1321 1/2 Franklin Ave, Gretna, LA 70053





1321 & 1323 Franklin Av
Gretna LA 70053



1321 Franklin Ave - Google Maps

Next door at 1325 Franklin St.

Google Maps 1321 Franklin Ave



First Option

https://www.google.com/maps/@29.9257055,-90.0497604,3a,16.9y,224.67h,82.71t/data=!3m8!1e1!3m6!1s1NPN_TULniA_7m... 4/19/2017





Historic District Commission

Meeting: May 1, 2017 4:00PM

318 Newton Street
(District 2)

**For: Remove Vinyl Siding to Expose
Wood, Replace Porch Pavers with Brick**

Applicant: Keenon LeBlanc

Submitted: April 20, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

perm # 2017 1514

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In addition to the information on the cover sheet, please provide the following:

Re: Address 318 Newton Street, Gretna La 70053
Renovation: Removing Front Vinyl Siding to un-cover existing wood siding.
Wood Siding will need to be sanded and painted. Also removing front pavers and replace with brick pavers.
New Construction: _____ Demolition: _____
Age of Structure: Built ~ 1920 ON steps

Building Type:

Building Style:

Creole Cottage_____

Greek Revival_____

Shotgun Single Shotgun

Italianate _____

Bungalow

New Orleans Bracketed

Other _____

Eastlake _____

Colonial Revival

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding Remove Vinyl to Expose
original wood

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft.

Side Space: _____ ft.

Rear Space: _____ ft.

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Applicant's Signature: Keenon A LeBlanc Date: 04/20/17

Applicant's Name: Keenon A. LeBlanc

Address: 318 Newton Street, Gretna La 70053

Phone No: (504) 915-1778

Cell No: () 915-1778

For Office Use Only:

Date of Application: 4/20/17

Substantive Change: Yes _____ No ☒

Inventory Number: #300

Contributing Element to Gretna National Register Historic District: Yes ☒ No _____

Historic District Commission meeting date: May 18 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



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Applicant: Keenan A. LeBlanc

Date: 04/20/17

Address: 318 Newton Street

REMOVE VINYL SIDING TO EXPOSE ORIGINAL WOOD SIDING. ORIGINAL WOOD SIDING WILL NEED TO BE SANDED AND PAINTED.

EXPOSE, SAND AND PAINT CROSS BEAM ABOVE SUPPORTS AS SHOWN ON THE PREVIOUS HOME

ALL WINDOW AND DOOR TRIM WILL BE SANDED AND PAINTED

EXISTING DOOR WILL BE SANDED AND PAINTED A NATURAL COLOR

REMOVE EXISTING PAVERS ON PORCH AND STEPS, REPLACE WITH BRICK PAVERS



(MY RESIDENCE) 318 NEWTON STREET

NOTES:

- WILL ADD RAILS ON SIMILAR TO THE ONES ON THE PREVIOUS HOME
- PAINT SCHEME WILL BE THE EXACT SAME THE THE PREVIOUS HOME
- THE ENTIRE FRONT OF THE HOME WILL BE SANDED AND PAINTED

REVISION DESCRIPTION	ENG	CHK	APP	AUTH

FIELD CODE	JOB NO.	DRAWING NO.

OLD GRETNA HISTORIC DISTRICT
GRETNA, LA
318 NEWTON STREET
FRONT OF HOME RESTORATION

A

B

C

D

E



EXISTING HOME IN OLD GRETN
 (USING THIS HOME AS A GUIDE - SAME BUILDER)

NOTES:

NO.	BY	DATE



Historic District Commission

Meeting: May 1, 2017 4:00PM

500 9th Street

(District 2)

**For: Exterior façade, window, door, lights
and sign**

Applicant: Rattanasak Chotikarnkul

Submitted: April 21, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 500 9th Street

Renovation: To Exterior Facade
New Construction: windows (4) and new light fixtures

Age of Structure: N/A
Demolition: of side porch
Sign see design

Building Type:

Creole Cottage

Shotgun

Bungalow

Other ☒ Commercial structure

Building Style:

Greek Revival

Italianate

New Orleans Bracketed

Eastlake

Colonial Revival

Other Commercial Building

Exterior materials proposed:

Roof

Soffit paint

Fascia Refinish as same Existing

Siding change old vinyl to be replaced w/ new on back of building

Masonry Replace w/ same style Black & paint

Porches Enclose

Balconies

Handrails New Handrails on back w/ stair

Type of exterior lighting fixtures: new mounted in cadescent w/ LED

Style of windows: aluminum (New Black color) Redone to code

Type of exterior doors: Solid wood / just refurbishing Existing

Describe any ornamental woodwork: none

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: April 21, 17

Applicant's Name: Kattanasak Chotiharnkul

Address: 500 9th Street Culna, LA 70053

Phone No: () _____ Cell No: 808 400-0561

For Office Use Only:

Date of Application: April 21, 2017

Substantive Change: Yes ✓ No Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No ☒

Historic District Commission meeting date: May 1st @ 4:00 pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue
P. O. Box 404
Gretna, Louisiana 70054-0404

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Belinda Cambre Constant

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Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

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Michael Baudoin

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Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

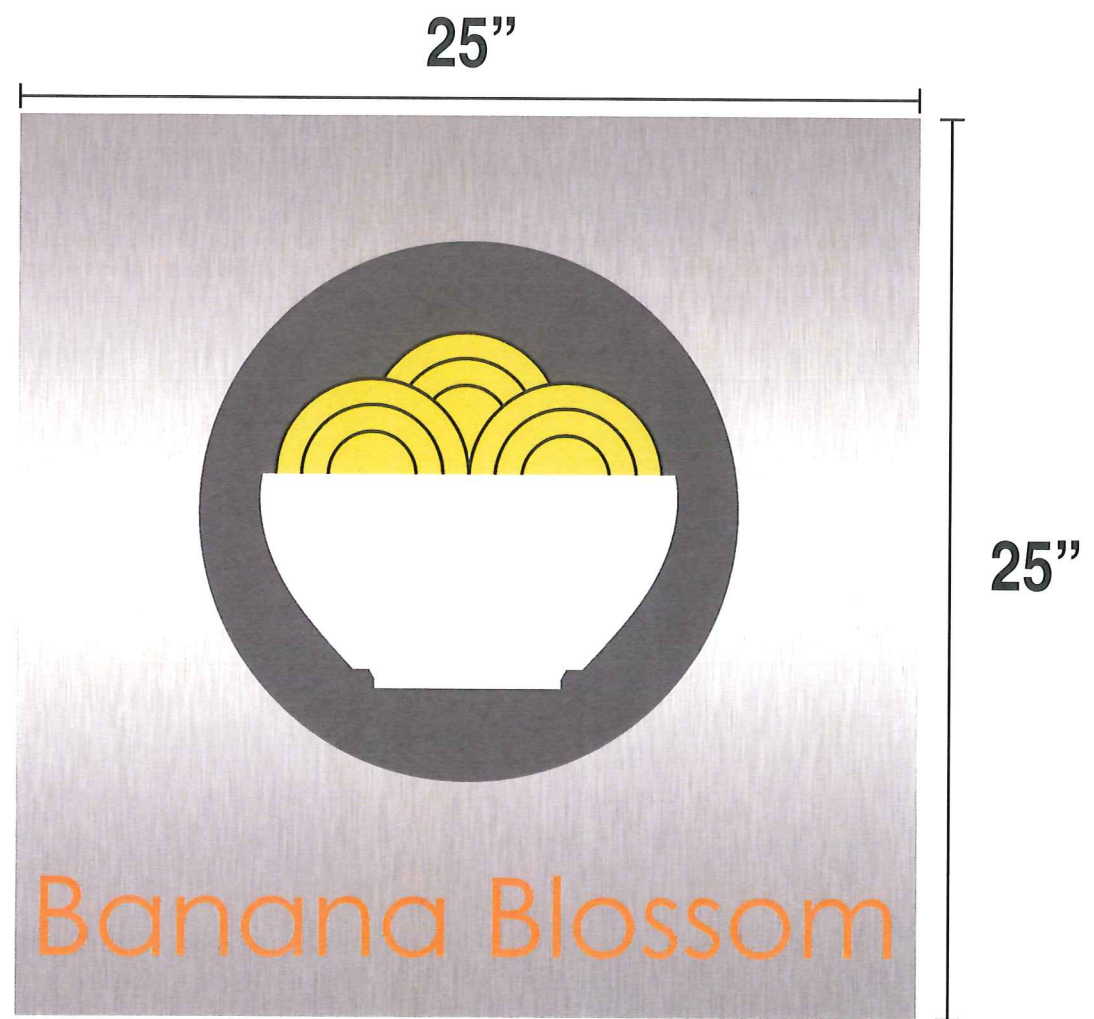
Michael Wesley

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Applicant: CLW

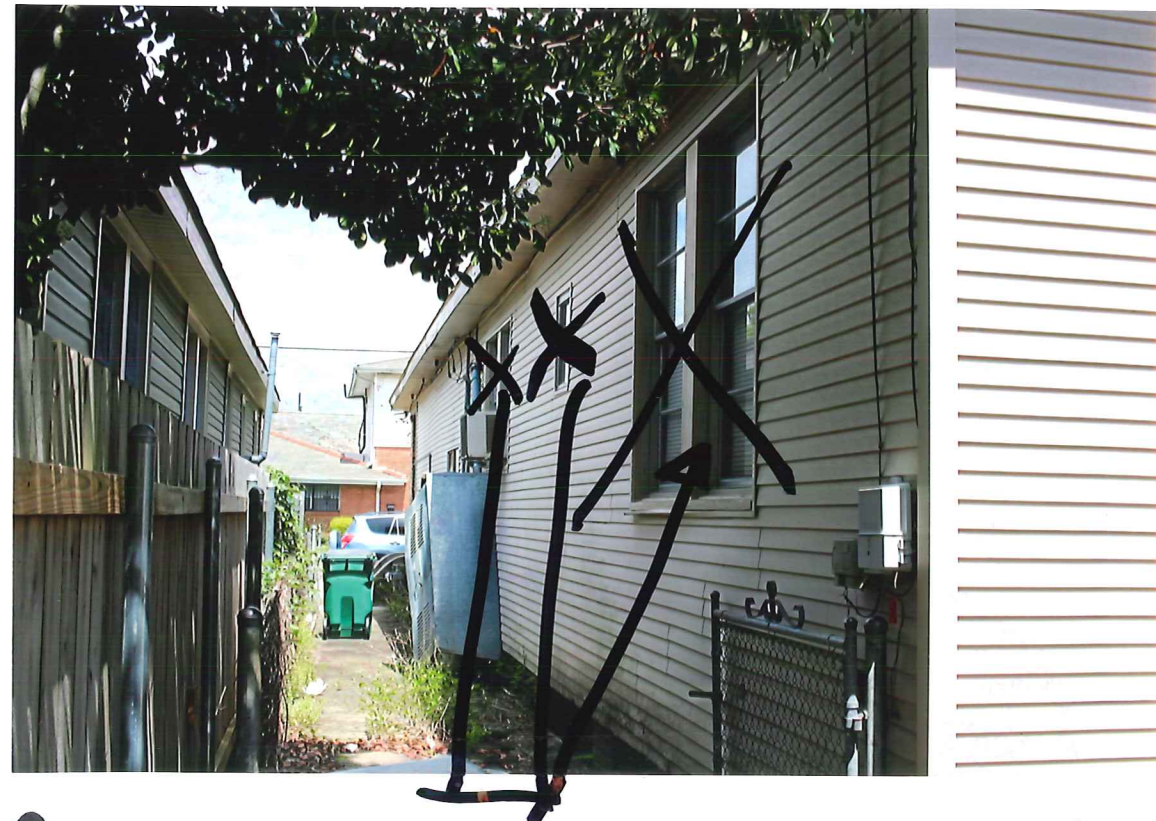
Date: April 21, 2018

Address: 500 9th Street Gretna LA 70053





New Wood Stairs w/ Railings



Remove all windows on this side



close install
window salvage brick

add 3 sets of windows
on
this
side
of
building





New
Solid
Paint
Window

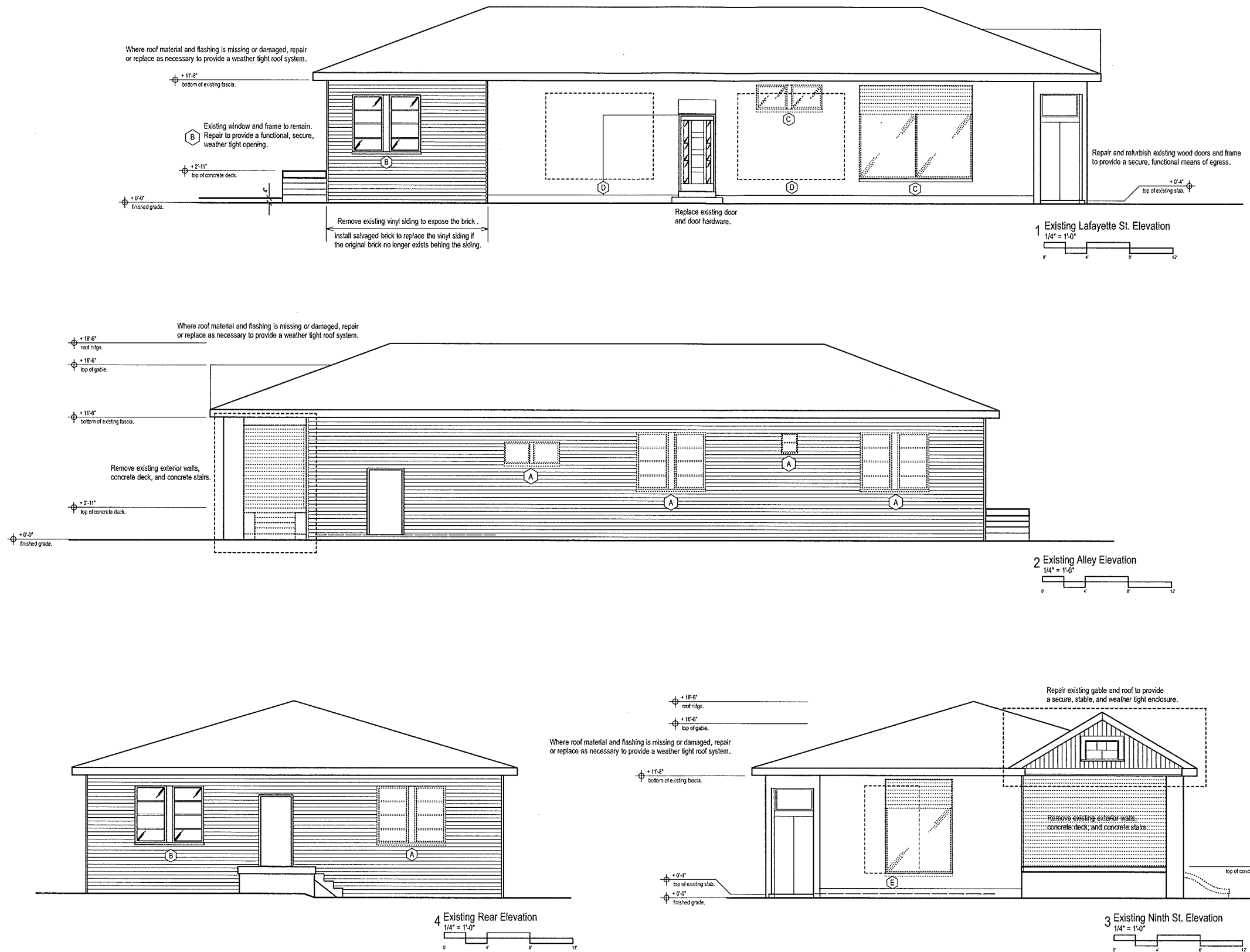


To
Change
per-existing
exterior
wall
with
this
style
shutters
wall.

Proposed Lights



BANANA BLOSSOM RESTAURANT
500 Ninth Street
Gretna, Louisiana



General Notes

01. Where existing windows and frames are to be removed, patch the resulting opening to match the existing wall construction and finish to match the adjacent surfaces.
02. Furnish and install new or salvaged bricks that match the existing brick in size and texture to fill the opening.
03. Where existing windows and frames are to remain, repair the existing window assembly to provide a secure, functional, weather tight opening.
04. Where vinyl siding is to be removed and brick exists, repair or replace any damaged bricks with new or salvaged material that matches the existing brick in size and texture. Prepare the exterior brick surfaces for painting.
05. Where vinyl siding is to be removed and brick does not exist, furnish and install new or salvaged material that matches the existing brick in size and texture. Prepare the exterior brick surfaces for painting.
06. Where vinyl siding is to remain, secure, repair or replace the siding as necessary to provide a proper installation.
07. Where new or salvaged bricks are required, install them in a manner that integrates the new brick into the exterior wall surface while maintaining the existing running bond pattern.
08. Replace all damaged and rotten wood fascia and soffits with clear, straight dimensional lumber or exterior plywood. All wood products to be paint grade.
09. Where roof material and flashing is missing or damaged, repair or replace as necessary to provide a weather tight roof system.
10. Back prime all exterior wood prior to installation.

- A Remove the existing window and frame. Patch the resulting opening to match the existing wall construction and finish to match the adjacent surfaces.
- B Existing window and frame to remain. Repair to provide a functional, secure, weather tight opening.
- C Remove the existing window and frame. Revise existing exterior opening to install new 120" w x 96" h aluminum and glass storefront.
- D Create a new exterior opening to install new 120" w x 96" h aluminum and glass storefront.
- E Create a new exterior opening to install new 60" w x 96" h aluminum and glass storefront.

Drawing Date:
17 April 2017

Project Name:

Banana Blossom
500 9th Street
Gretna, Louisiana

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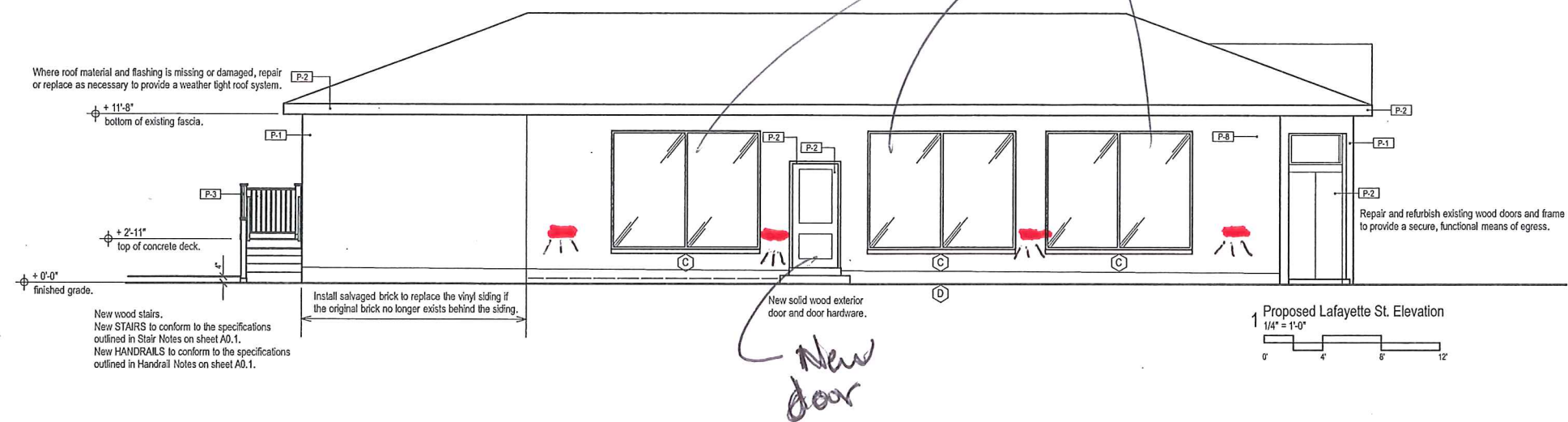
Sheet Title:

Existing
Exterior Elevations

Sheet Number:

A2.1

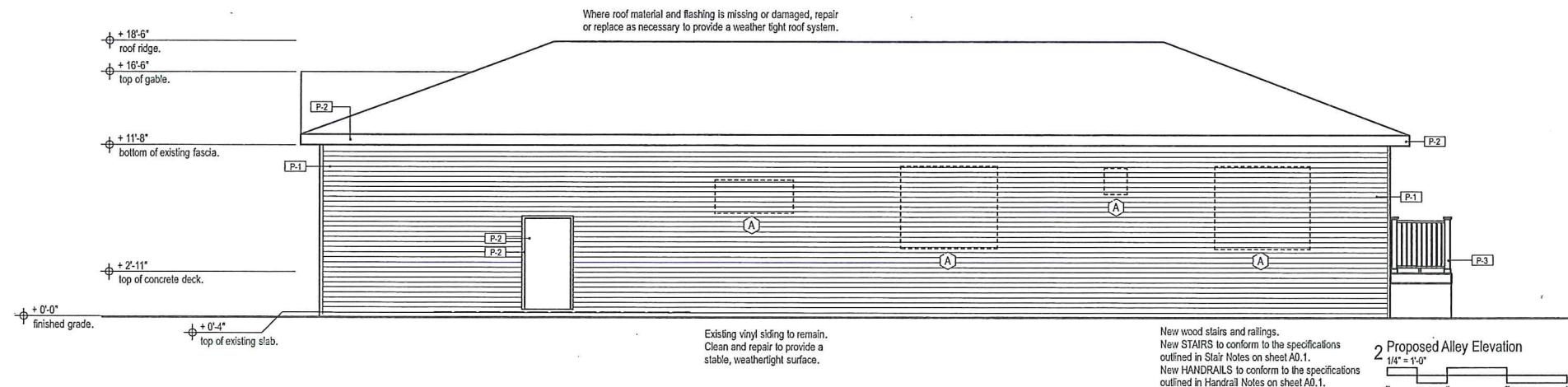
(IN Red "New area" for lights)



Exterior Paint Schedule			
Item	Mark	Selection	Location
Paint Color	P-1		EXTERIOR WALLS: See Exterior Elevations.
Paint Color	P-2		EXT. DOORS, RAILINGS, AND TRIM: See Ext. Elev. sheet A2.2.
Paint Color	P-3		WOOD RAILINGS: Stair railings.
			EXTERIOR SHUTTERS: See 2/A2.2

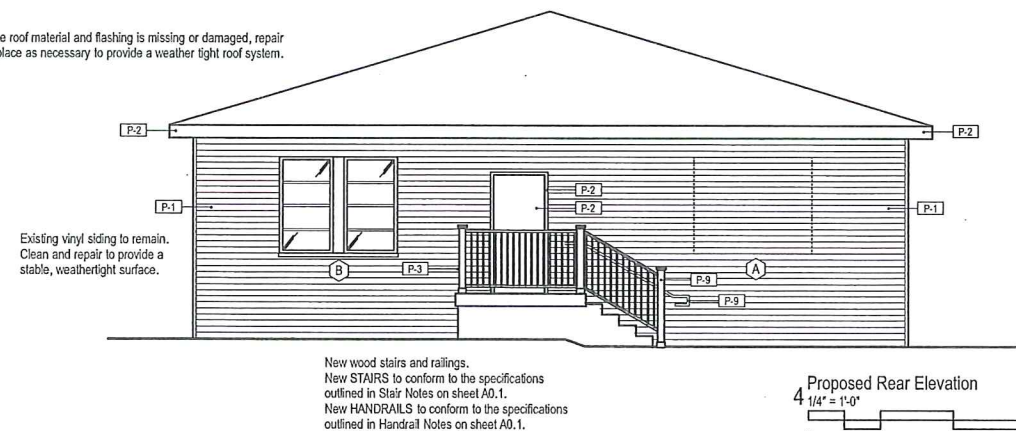
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- Replace all damaged and rotten wood fascia and soffits with clear, straight dimensional lumber or exterior plywood. All wood products to be paint grade.
- Where roof material and flashing is missing or damaged, repair or replace as necessary to provide a weather tight roof system.
- Back prime all exterior wood prior to installation.

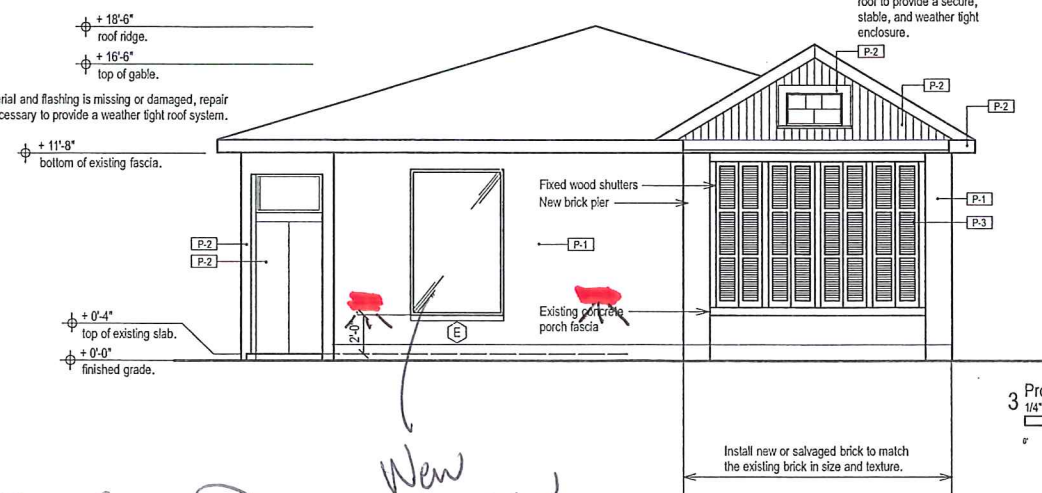


- (A) Remove the existing window and frame. Patch the resulting opening to match the existing wall construction and finish to match the adjacent surfaces.
- (B) Existing window and frame to remain. Repair to provide a functional, secure, weather tight opening.
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Where roof material and flashing is missing or damaged, repair or replace as necessary to provide a weather tight roof system.



Where roof material and flashing is missing or damaged, repair or replace as necessary to provide a weather tight roof system.



Drawing Date:
17 April 2017

Project Name:

Banana Blossom
500 9th Street
Gretna, Louisiana

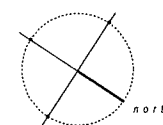
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Sheet Title:

Proposed
Exterior Elevations

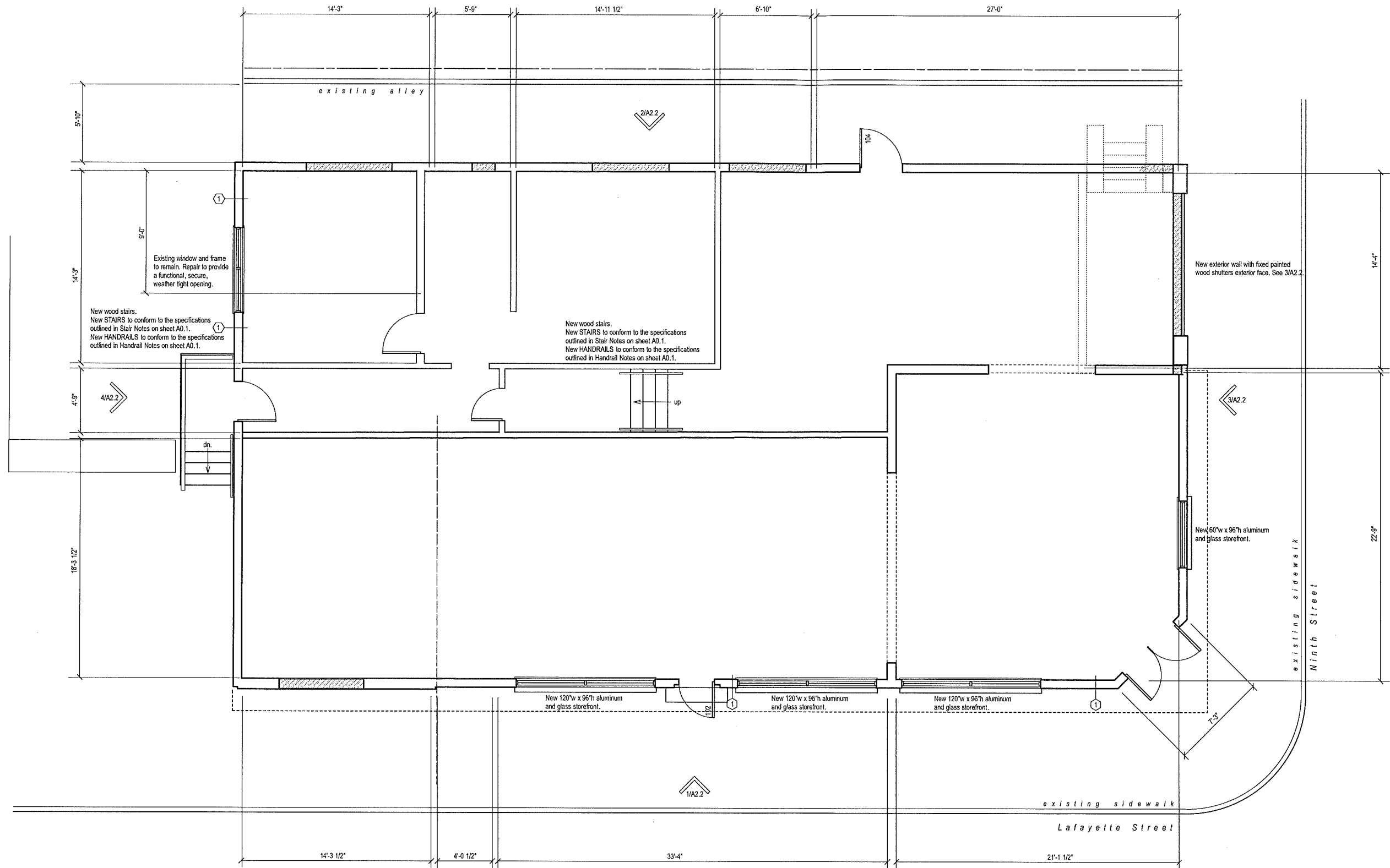
Sheet Number:

A2.2



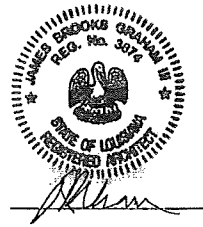
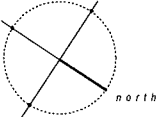
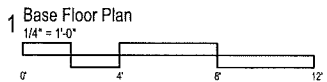
BUILDING PERMIT PACKAGE

A1.1



General Notes

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Drawing Date:
17 April 2017
Project Name:

Banana Blossom
500 9th Street
Gretna, Louisiana

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Sheet Title:

Base Floor Plan
Sheet Number:
A1.2



Historic District Commission

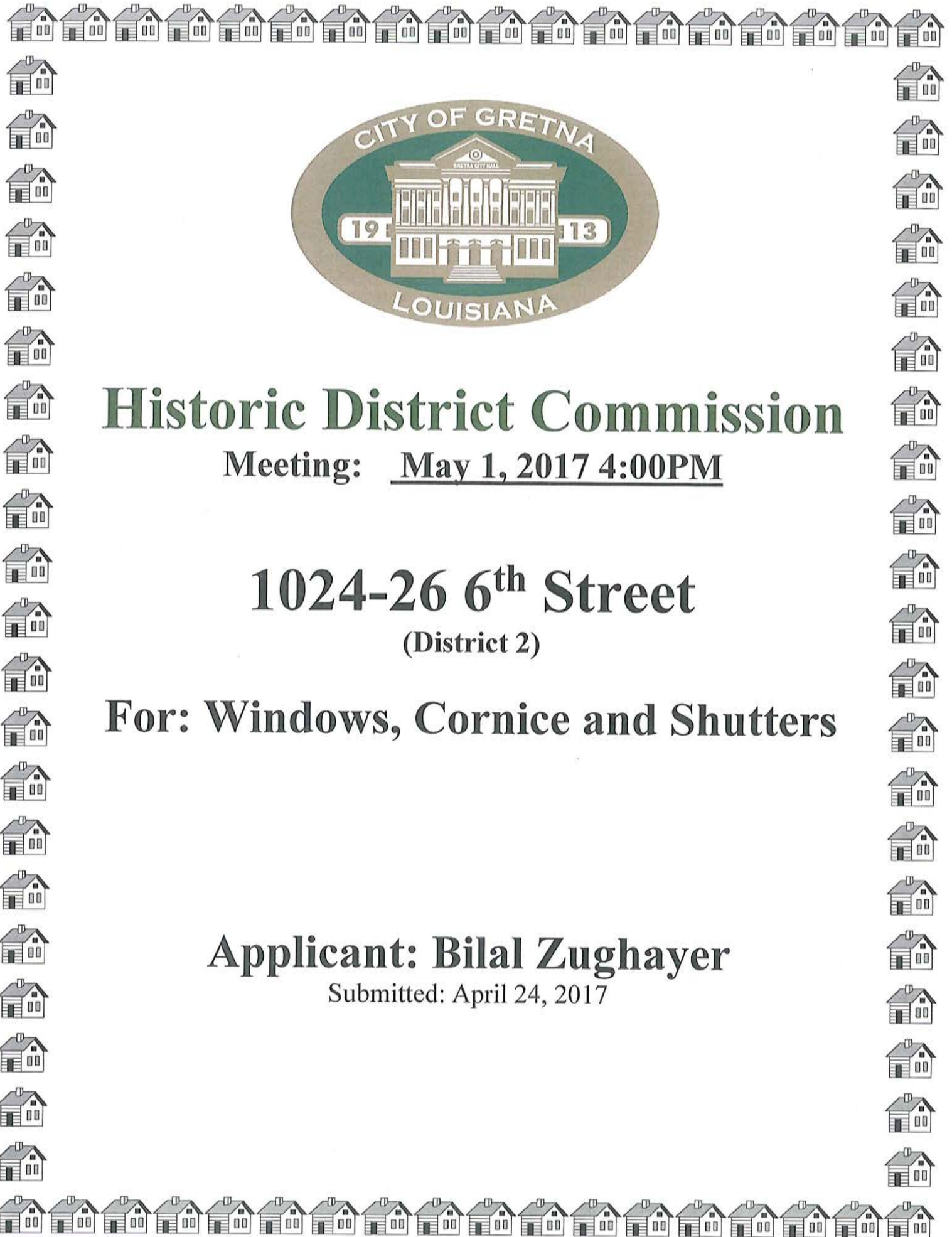
Meeting: May 1, 2017 4:00PM

1024-26 6th Street
(District 2)

For: Windows, Cornice and Shutters

Applicant: Bilal Zughayer

Submitted: April 24, 2017



Permit # 1527

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
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Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1024-26 SIXTH ST. GRETN LA 70053

Renovation: ✓ (Siding)
New Construction: ✓ WINDOWS (2 WINDOWS, 2 SHUTTERS, 2 sets of window moulding)
Demolition: _____

Age of Structure: 50 yrs

Building Type:

Creole Cottage _____

Shotgun ✓

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding ✓ From Vinyl to Hard Board

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: ORIGINAL

Style of windows: DOUBLE HUNG

Type of exterior doors: DOUBLE HUNG WINDOW (WHITE EXTERIOR)

Describe any ornamental woodwork: MAHOGANY COVE MOULDING ON TOP OF WINDOW

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: _____ Date: 04/24/2017

Applicant's Name: BILAL ZUGHAYER

Address: 401 REACTY DR. GRETNA LA 70056

Phone No: () _____ Cell No: (504) 500-1000

For Office Use Only:

Date of Application: 4/24/2017

Substantive Change: Yes ☒ No ☒

Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No ☒

Historic District Commission meeting date: May 1st @ 4:00pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



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Second Street & Huey P. Long Avenue

P. O. Box 404

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Public Works

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Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

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Applicant: Bilal Zughaier

Date: 04/24/17

Address: 1024 Sixth St. Gretna La

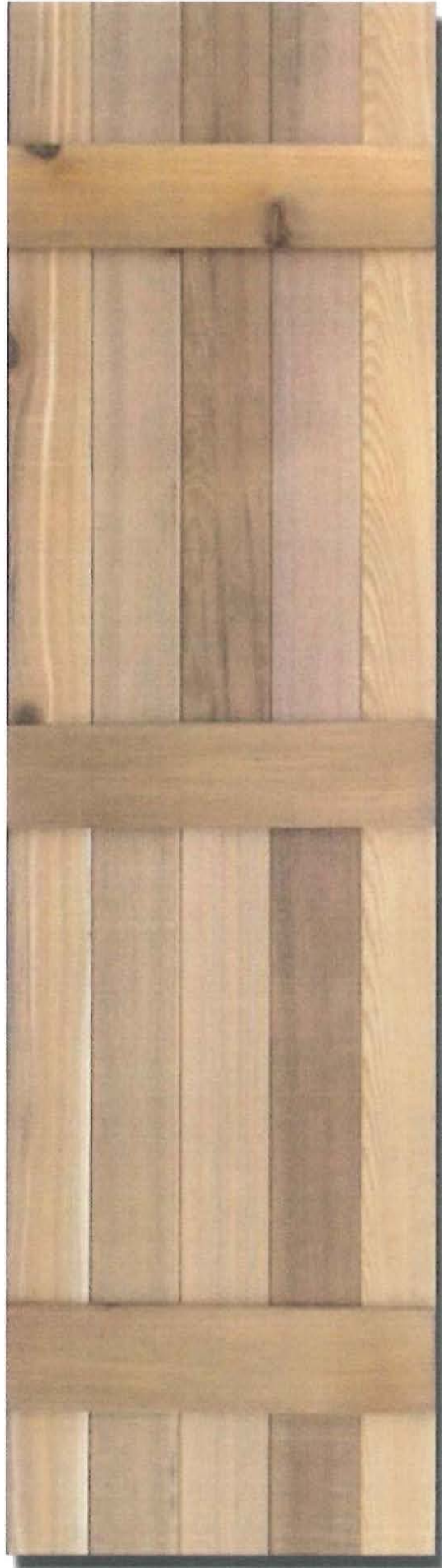






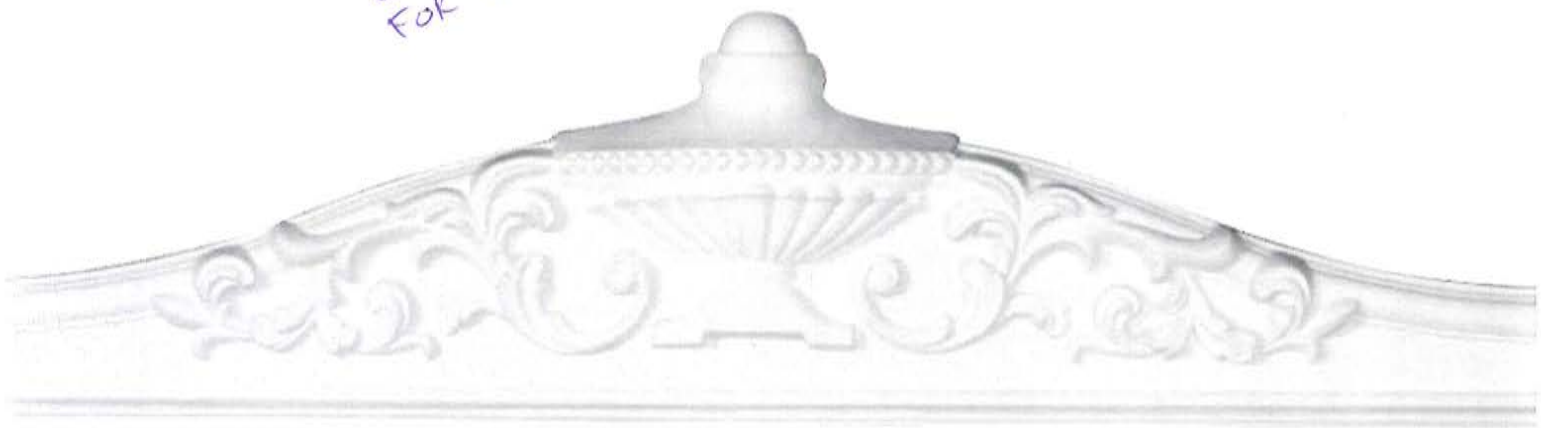
1st Option for Shutter

WOODEN
SHUTTERS



1st option window cornice

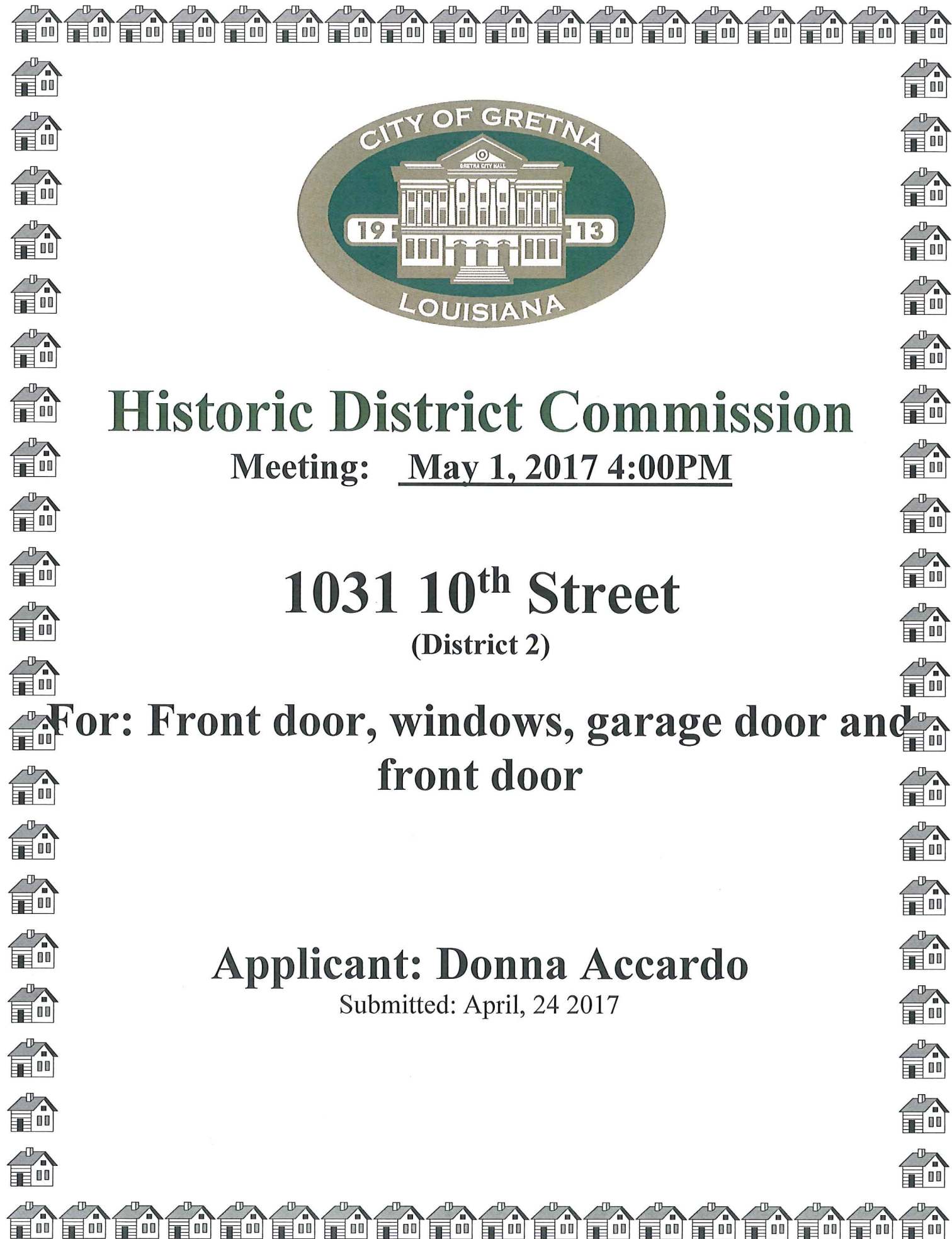
CROWN MOULDING
FOR TOP WINDOW





for Shutters & window CORNICE Second option

PROPOSED
PUNK HARDIE BOARD



Historic District Commission

Meeting: May 1, 2017 4:00PM

1031 10th Street
(District 2)

For: Front door, windows, garage door and front door

Applicant: Donna Accardo

Submitted: April, 24 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

*Permit
#1447*

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In addition to the information on the cover sheet, please provide the following:

Re: Address 1031 10TH STREET, GRETNA, LA 70053

Renovation: all windows replacement and garage door replacement

New Construction: (1 new garage door)

Age of Structure: 50+ new front door Demolition: removing both org. garage doors

Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other <u>✓</u>	Eastlake
	Colonial Revival
	Other <u>✓ 1 story ranch</u>

Exterior materials proposed:

Roof	<u>EXISTING/NO WORK</u>	Soffit	<u>EXISTING/NO WORK</u>
Fascia	<u>EXISTING/NO WORK</u>	Siding	<u>None</u>
Masonry	<u>EXISTING/NO WORK</u>	Porches	<u>N/A</u>
Balconies	<u>N/A</u>	Handrails	<u>None</u>
Type of exterior lighting fixtures: <u>N/A</u>			
Style of windows: <u>single hung</u>			
Type of exterior doors: <u>existing garage door is paneled</u>			
Describe any ornamental woodwork: <u>X</u>			

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant’s Signature: Donna Aceardo Date: 4/28/17

Applicant’s Name: DONNA ACEARDO

Address: 2401 WHITNEY AVE, GRETNALA 70056

Phone No: (504) 366-4475 Cell No: (504) 234-1388

For Office Use Only:

Date of Application: 4/28/2017

Substantive Change: Yes was No _____ Inventory Number: _____

Contributing Element to Gretna National Register Historic District: Yes _____ No ✓

Historic District Commission meeting date: May 1st. 2017 @ 4:00

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

740 2nd Street, Gretna, LA 70053-5829

P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

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Departments

Building and Regulatory

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City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Donna Accardo the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on May 1, 2017 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Donna Accardo
Signature of Applicant

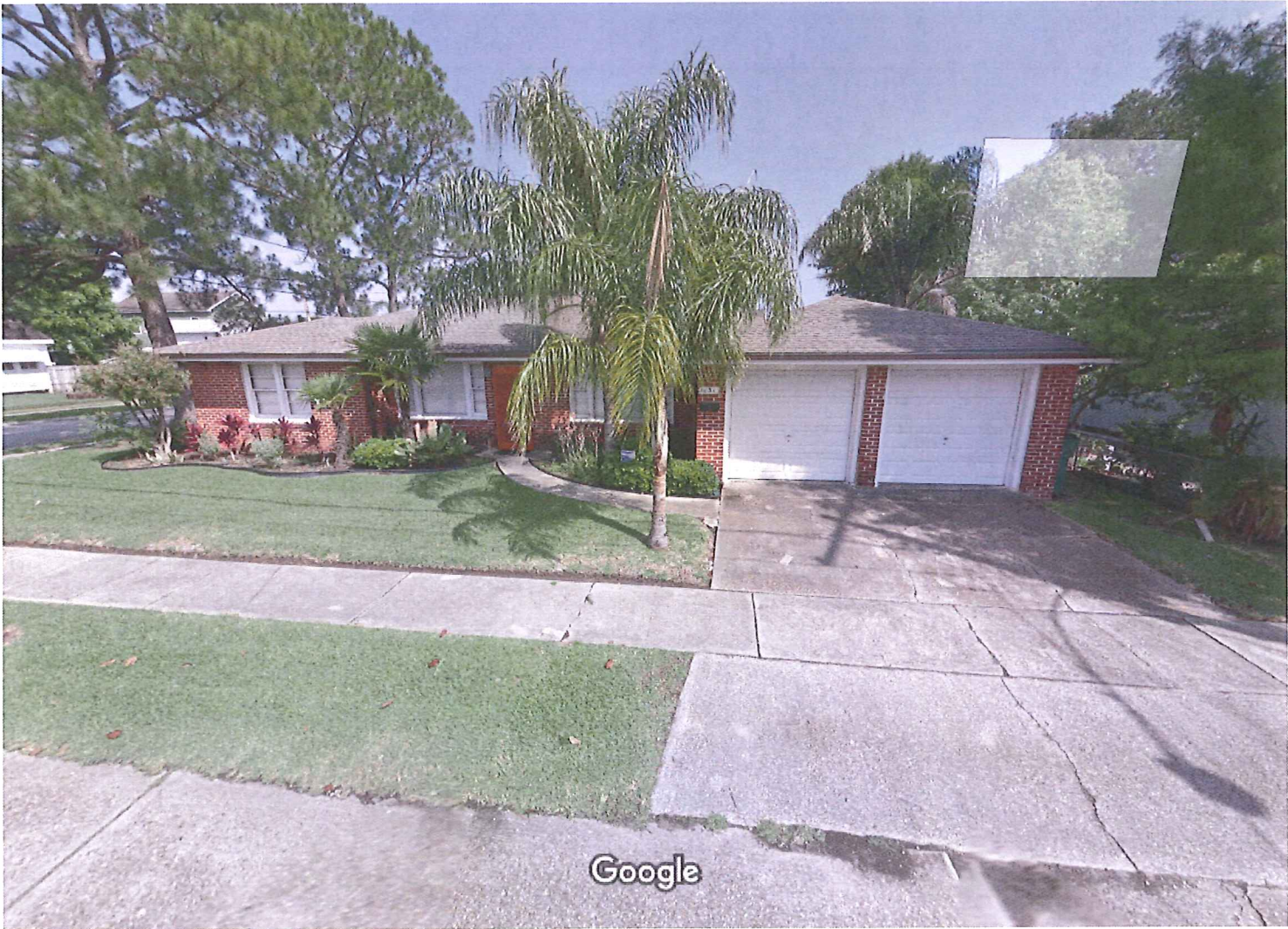
Donna Accardo
NAME OF APPLICANT (PLEASE PRINT)

2401 Whitney Ave Gretna, LA
Applicant's address

1031 10th Street
Actual address of the property for review

Date: 4/24/17

1039 10th St



Google

Image capture: May 2016 © 2017 Google

Gretna, Louisiana
Street View - May 2016



EXISTING
HOUSE
- REMOVE EXISTING DUBUE
GARAGE DOORS.



Garrity & Accardo Architects

2401 Whitney Avenue
Gretna, Louisiana 70056

Letter of Transmittal

Date: 4/24/17

To: HDAC Gretna

Project: 1031 10th street Window replacement

From: Donna Accardo

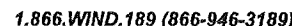
Our Job No.:

Number	Description
2	Permit drawings with elevations
1	Quote from window world for new windows
1	Pella series 250 spec
1	Picture of Pella garage door

Remarks: The scope of the work on this project is limited to the following:

- 1. Replacement of existing wood 2/2 single hung windows with new Pella 250 series vinyl white windows 1/1. This was previously permitted and approved by the HDAC in 2013, but the construction was not implemented at that time.
- 2. Replacement of (2) existing 8’ wide garage doors with one 16’ wide min. garage door Pella Ventura series with metal panels.

Please see the attached drawings and photographs to depict the extent of the work.



Showroom Locations:

Baton Rouge (HQ)	8405 Airline Hwy, Baton Rouge, LA 70815
New Orleans	8814 Veterans Blvd, Metairie, LA 70003
Lafayette	114-A Armand Blvd., Lafayette, LA 70506
Houston	5978 South Loop East, Houston, TX 77033
Houston	10540 Bissonnet, Suite 150, Houston, TX 77099

207	Jimmy Graham	11/21/12
Emp. #	Estimator	Date

Window World of Baton Rouge, LLC d/b/a Window World, World of Windows
White Copy - Office Yellow Copy - Estimator Pink Copy - Customer

Form # BTR-WC-1102

EA	AMEX	M/C	DISC #	Exp. Date	Sec. Code
----	------	-----	--------	-----------	-----------

Owner _____ Date _____

Owner _____ Date _____

Revised 6/8/2012



Pella® 250 Series Vinyl Double-Hung Window Product Details

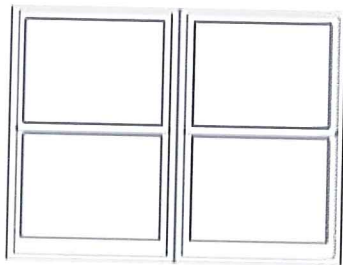


Recognized as the
Most Efficient of
ENERGY STAR

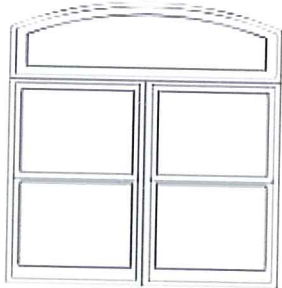
[+ View Energy Performance and Installation Information](#)

Window Combinations

Join a window together with other windows to add character to your home's design. Additional combinations are available. See your Pella sales representative for the complete offering



2-Wide



Arch-Head over 2-Wide



Arch-Head over Sin

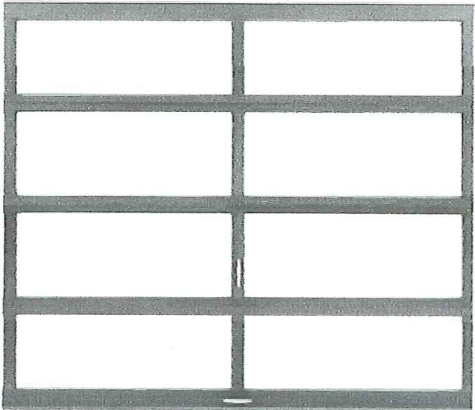


UNIQUE WINDOW OPTIONS

Design the perfect garage door to match your contemporary home with a broad offering of tempered window options for as much visibility as you desire.

UNLIMITED POWDER COAT COLORS

Dress up your garage door with powder coat finishes from our 24 stocked colors for fast turnaround or match any color spec with a custom powder coat paint.

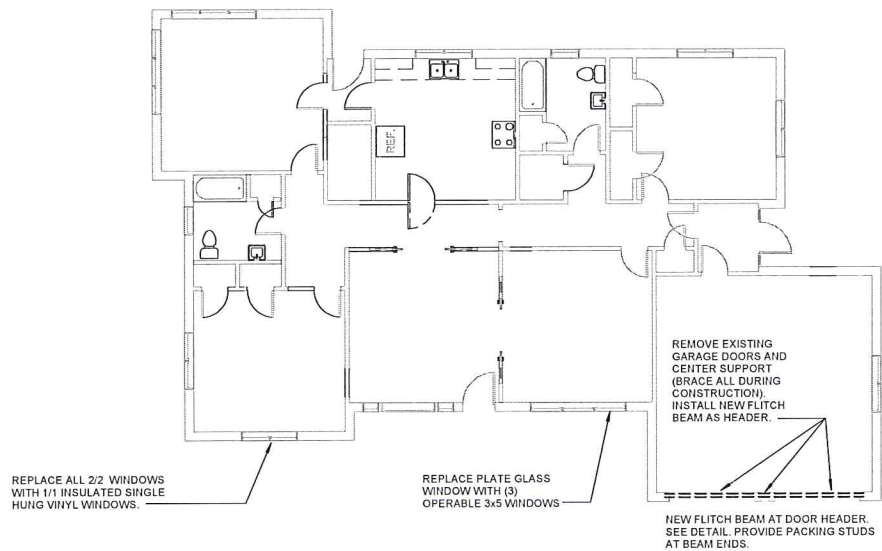


UP TO 24' WIDE

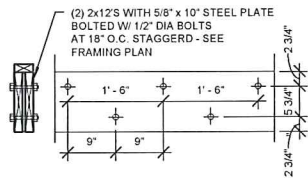
Door sizes available to close up the largest opening in your home with beautifully designed garage doors.

SCOPE OF WORK:
THE SCOPE OF WORK IS TO INCLUDE THE FOLLOWING:

1. REMOVAL OF TWO EXISTING GARAGE DOORS AND INSTALLATION OF ONE 18' WIDE GARAGE DOOR AT EXISTING LOCATION. SEE PLANS.
2. REPLACEMENT OF EXISTING UNINSULATED WINDOWS WITH NEW 1/1 VINYL INSULATED SINGLE HUNG WINDOWS.



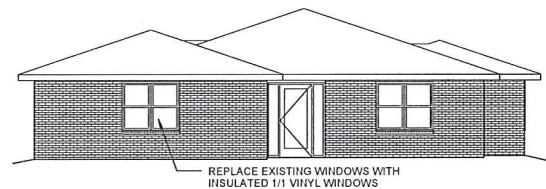
① Floor Plan
1/8" = 1'-0"



⑥ Flitch Detail
3/4" = 1'-0"



② Front Elevation
1/8" = 1'-0"



③ Right Side Elevation
1/8" = 1'-0"



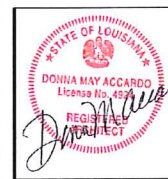
④ Rear Elevation-
1/8" = 1'-0"



⑤ Left Side Elevation
1/8" = 1'-0"

GARRITY ACCARDO ARCHITECTS
A PROFESSIONAL CORPORATION

2401 WHITNEY AVENUE
GRETNALOUISIANA 70056
PHONE 504-366-4475 FAX 504-368-4299
www.garrityaccardo.com



PROJECT

1031 10th Street
GRETNALA

SHEET TITLE

Existing Floor Plans/
Elevations

REVISIONS

DATE 3.27.17

PROJECT NUMBER 16109

SHEET NUMBER

A-100



Historic District Commission

Meeting: May 1, 2017 4:00PM

538 Weyer Street
(District 2)

**For: Exterior Renovations and
Addition**

Applicant: Colin VanWingen

Submitted: April 24, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit #1530

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address538 Weyer Street

Renovation:Renovation of existing structure, replace windows, 1/2 round gutter, repair front door, add anwing at front doors, new planter and stairs at front.

New Construction:New addition at rear of existing structure, new hardie board, windws and exterior deck.

Demolition:Demo existing lean-to addition.

Age of Structure:circa 1890, Gretna Historic Inventory Number 149

Building Type:

Building Style:

Creole Cottage

Greek Revival

ShotgunDouble shotgun

Italianate

Bungalow

New Orleans Bracketed

Other

Eastlake

Colonial Revival

OtherGablette Front

Exterior materials proposed:

RoofExisting asphalt shingle roof and new asphalt shingle roof to match

SoffitExisting hardie board, new hardie at addition

FasciaExisting Hardie board, new Hardie at addition

SidingExisting hardie board, new hardie at addition

MasonryNew brick planter and steps at front entry

PorchesNew covered porch at rear of structure

BalconiesN/A

HandrailsN/A

Type of exterior lighting fixtures:2 new fixtures at each front door, one fixture at rear door, see elevation

Style of windows:Replace existing windows with new 6 over 6 windows to match size, new 3 over 3 windows at kitchen and bathrooms, new windows at rear addition

Type of exterior doors:Existing doors at front to be repaired, 2 new glass doors at rear of property

Describe any ornamental woodwork:N/A

Elevations:

Front Space: 22' - 0" ft. Side Space: 13' - 5" ft.

Rear Space: 19' - 9 1/2" ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 2017.04.24

Applicant's Name: Colin VanWingen_GOATstudio

Address: 2517 Conti Street New Orleans, LA 70119

Phone No: () 734.358.9412 Cell No: ()

For Office Use Only:

Date of Application: 4/24/2017

Substantive Change: Yes ☒ No ☐ Inventory Number: 149

Contributing Element to Gretna National Register Historic District: Yes ☒ No ☐

Historic District Commission meeting date: May, 24 / 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



FRONT FROM WEYER STREET - Doors, siding and gable shingles to remain



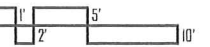
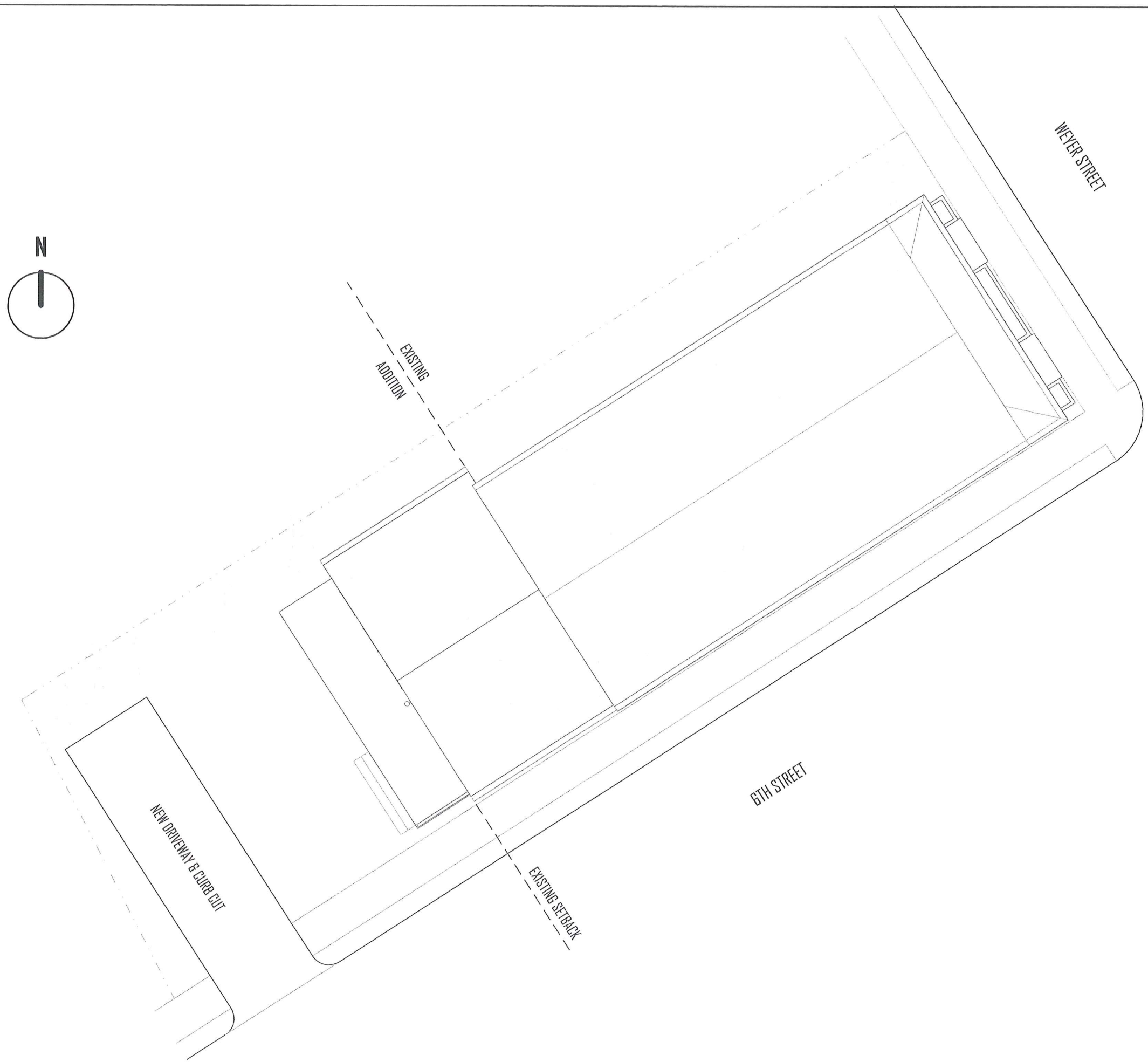
BACKYARD - Existing "lean-to" addition to be removed

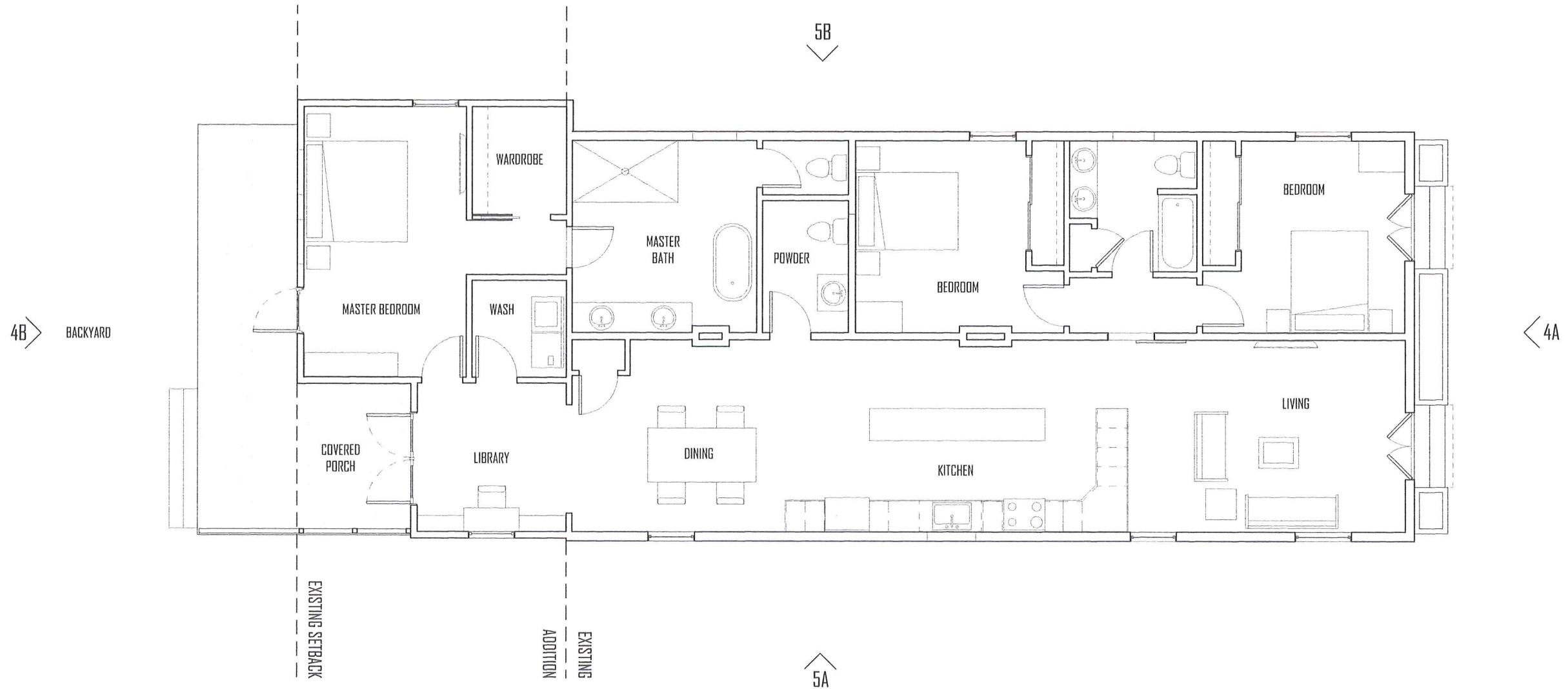


SIDE FROM 6TH STREET - Window locations and scale to be maintained; windows to be replaced

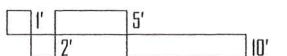


SIDE FROM 6TH STREET - Existing "lean-to" addition and fence to be removed



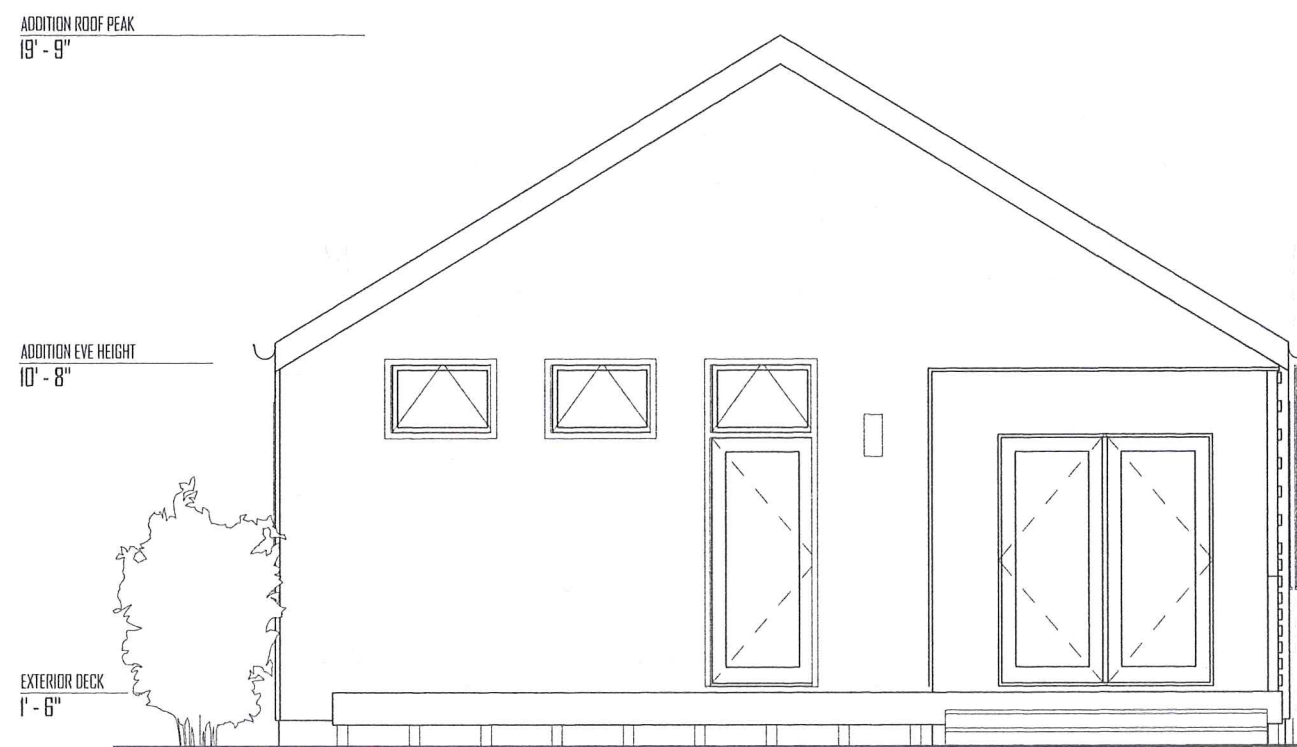


FLOOR PLAN

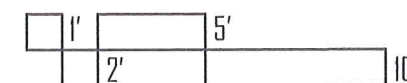


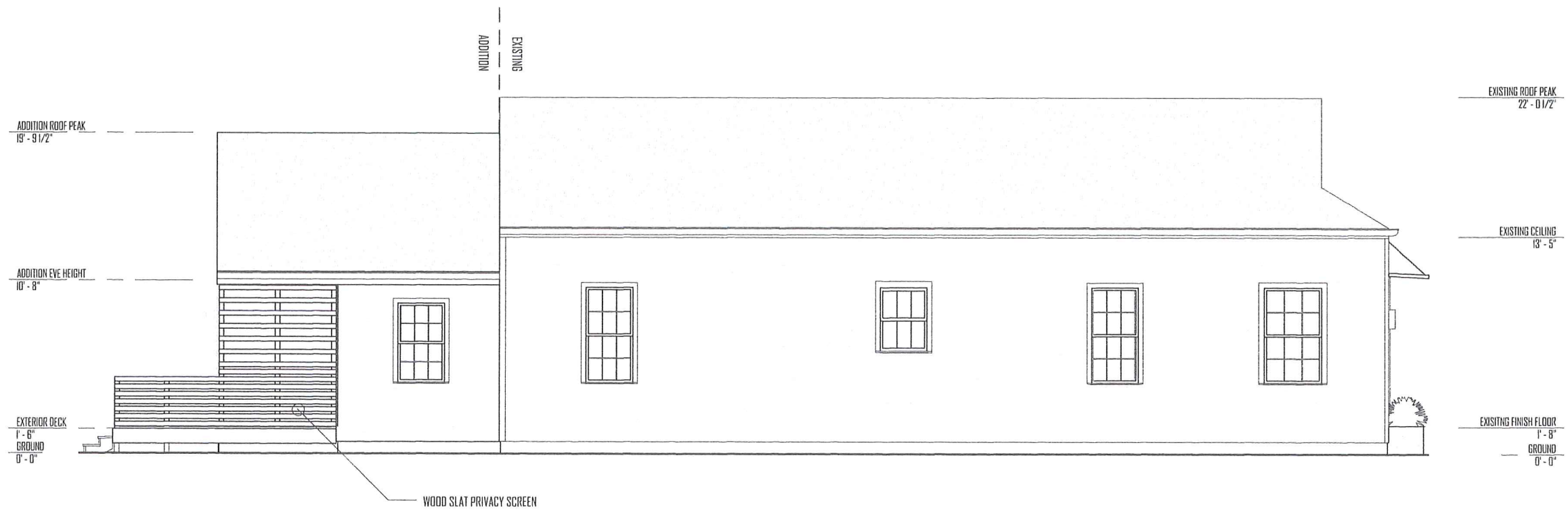


A - FRONT ELEVATION

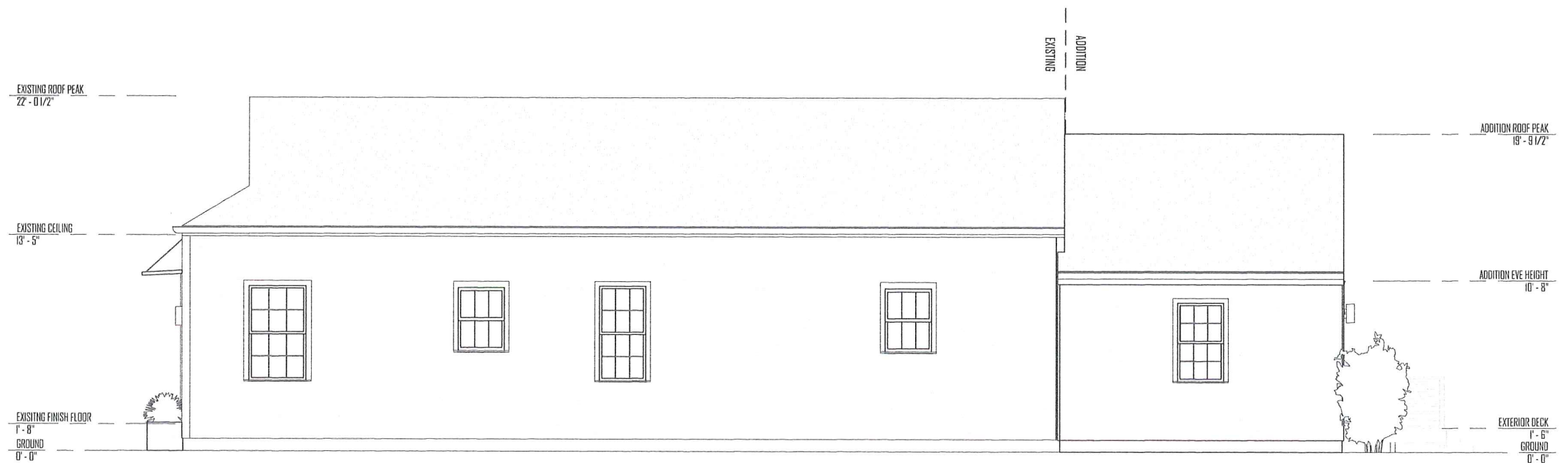


B - BACK ELEVATION, ADDITION

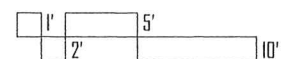




A - SIDE ELEVATION, 6TH STREET



B - SIDE ELEVATION, SIDEYARD





Historic District Commission

Meeting: May 1, 2017 4:00PM

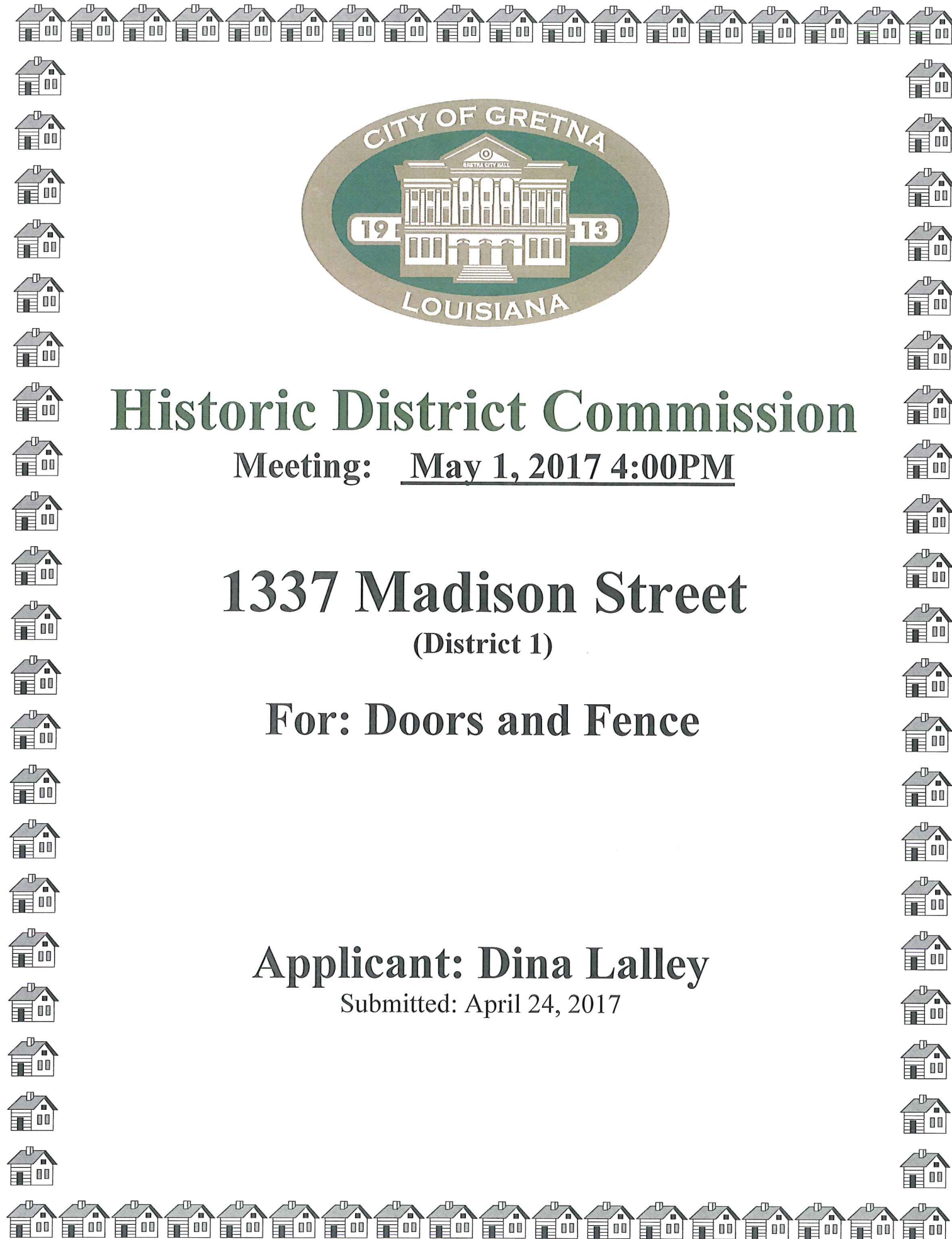
1337 Madison Street

(District 1)

For: Doors and Fence

Applicant: Dina Lalley

Submitted: April 24, 2017



Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit
#1515
#1519

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

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- Change in existing walls and fences or construction of new walls and fences if along a public street
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Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

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Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

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The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1337 Madison St

Renovation: [check] New Construction: (of new fence) Demolition:

Age of Structure: 96 yrs

Building Type: Building Style: Creole Cottage Greek Revival Shotgun double shotgun Italianate Bungalow New Orleans Bracketed Other Eastlake Colonial Revival Other Craftsman

Exterior materials proposed:

Roof Soffit Fascia Siding Masonry Porches Balconies Handrails

Type of exterior lighting fixtures: Style of windows: hinged windows - converting to French Doors Type of exterior doors: Mahogany Doors with bevelled glass Describe any ornamental woodwork:

Elevations:

Front Space: 5 4 ft. Side Space: 5 4 ft.

Rear Space: 5 4 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Dina Lalley* Date: 4-24-17

Applicant's Name: Dina Lalley

Address: 1337 Madison St

Phone No: (330) 503-4434 Cell No: (330) 503-4434

For Office Use Only:

Date of Application: 4-24-17

Substantive Change: Yes _____ No ☒ Inventory Number: NONE

Contributing Element to Gretna National Register Historic District: Yes _____ No ☒

Historic District Commission meeting date: May 1st @ 4:00 PM.

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

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Public Utilities

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Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on May, 1st 2017 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Dina Lalley

Date: 4-24-17

Address: 1337 Madison St.





7 Madison
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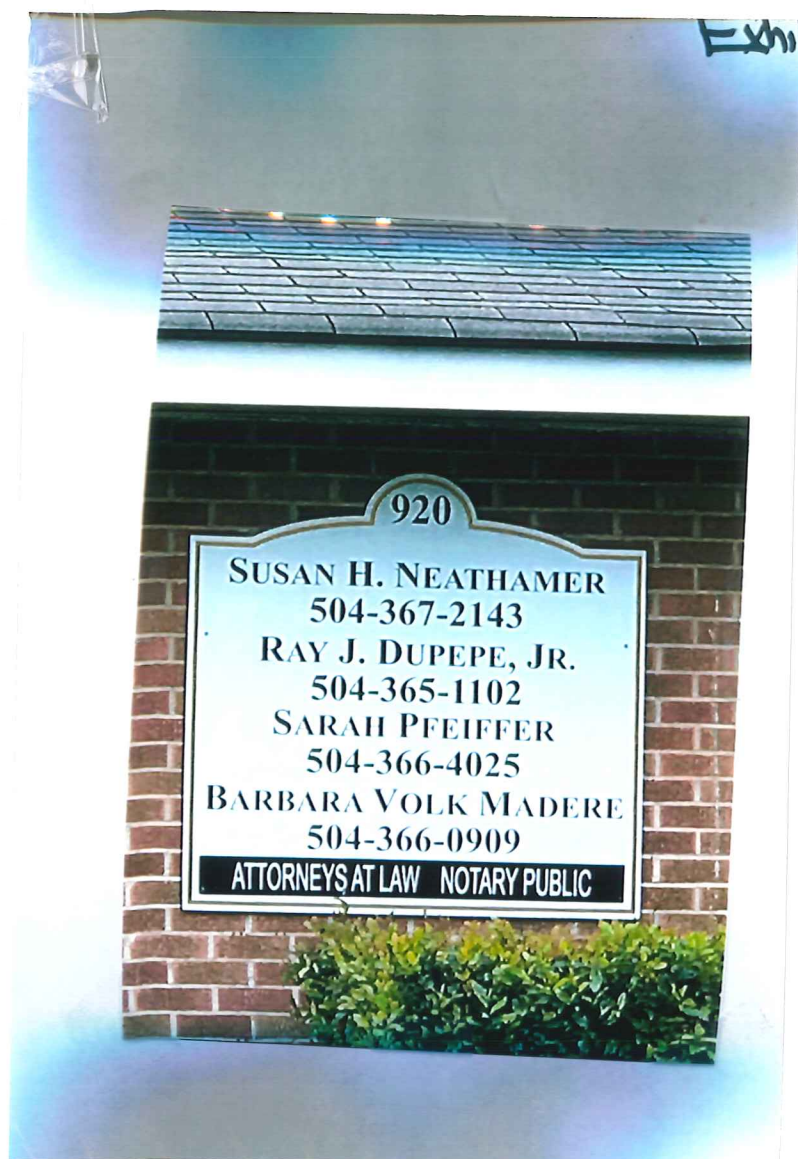


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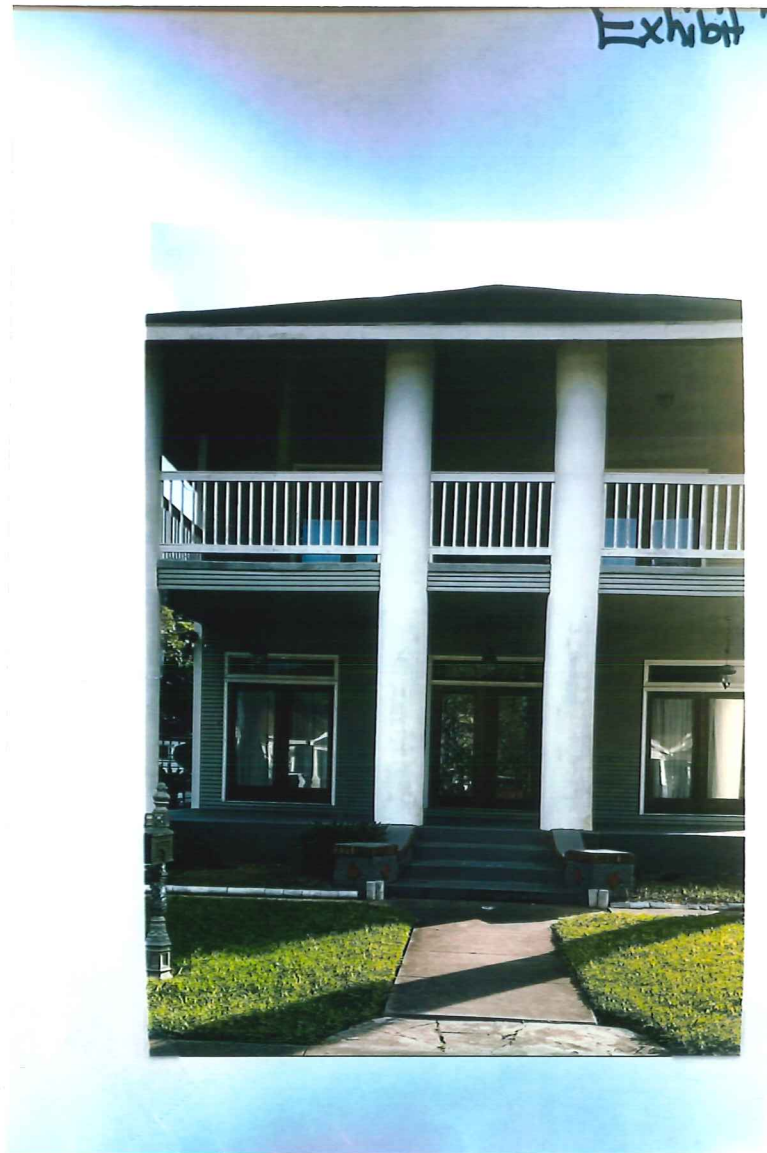




920 5th St



↗
Pre-existing in Gretna



Pre-existing in Green



Pre-existing in gretna

Exhibit



Exhibit



↗
Pre-existing Example

Exhibit



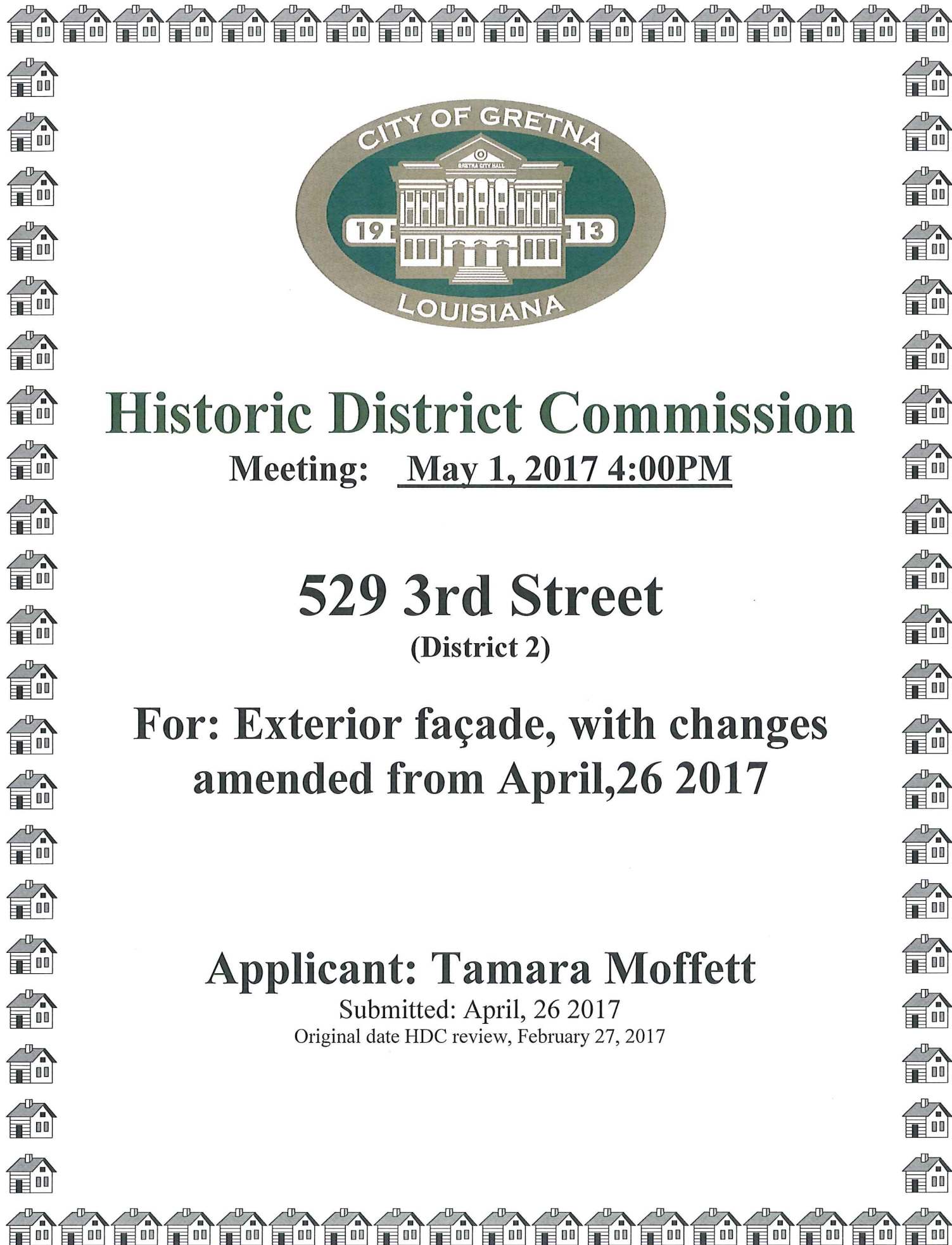
Exhibit 5
(1-M)
Examples of similar
homes currently
existing in
person parish



Pre-existing
example

Exhib





Historic District Commission

Meeting: May 1, 2017 4:00PM

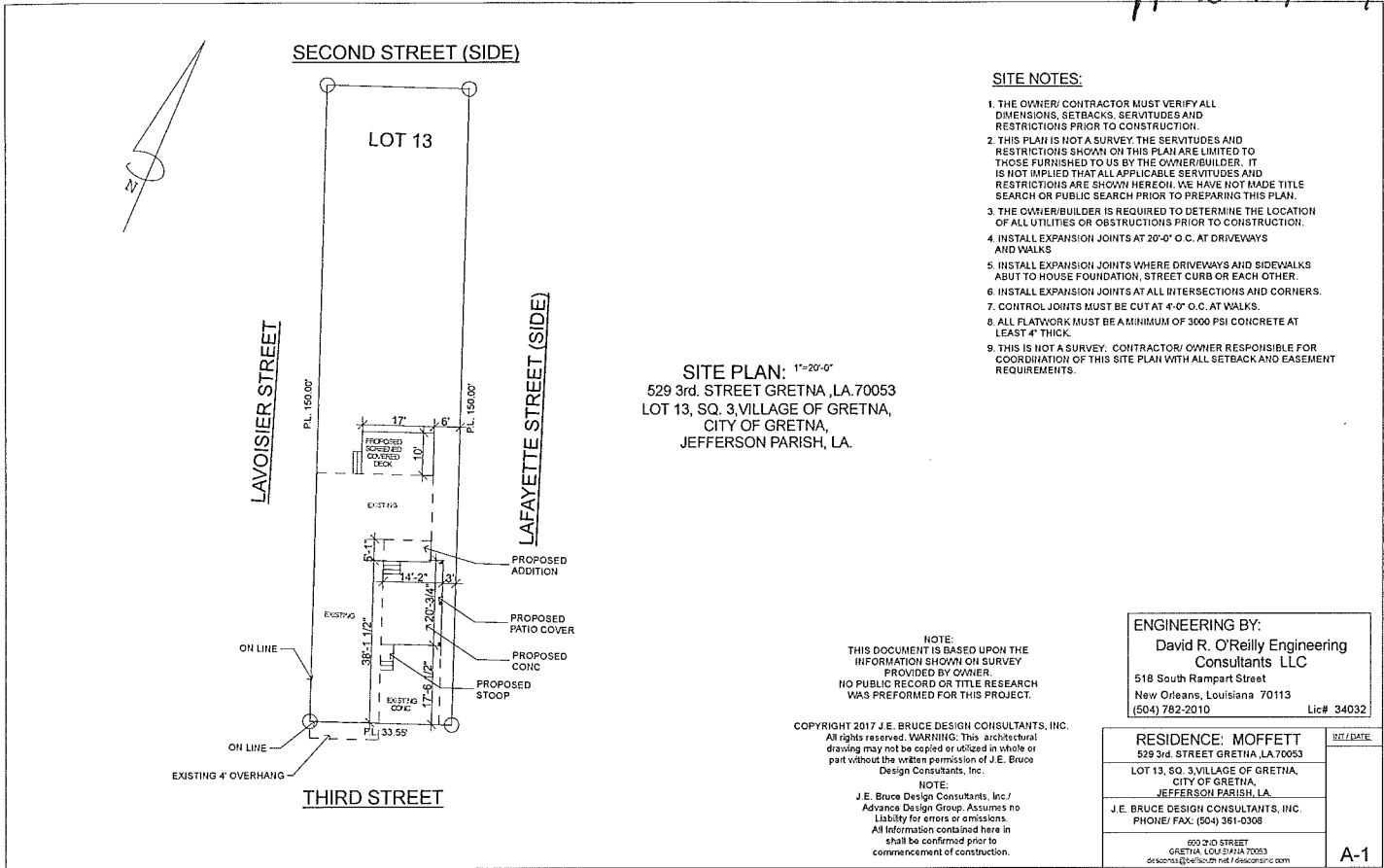
529 3rd Street
(District 2)

**For: Exterior façade, with changes
amended from April,26 2017**

Applicant: Tamara Moffett

Submitted: April, 26 2017
Original date HDC review, February 27, 2017

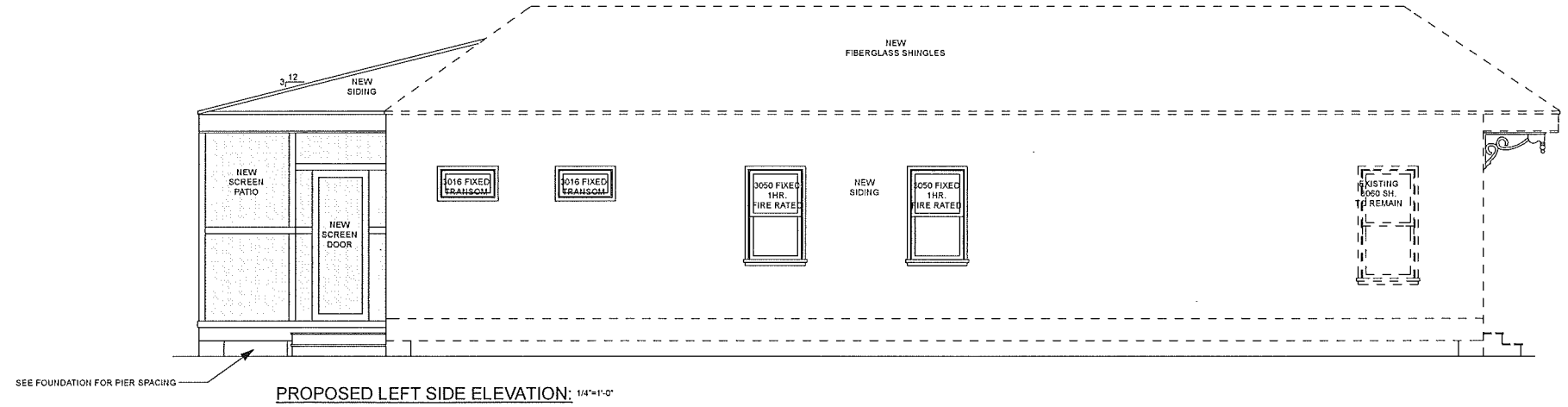
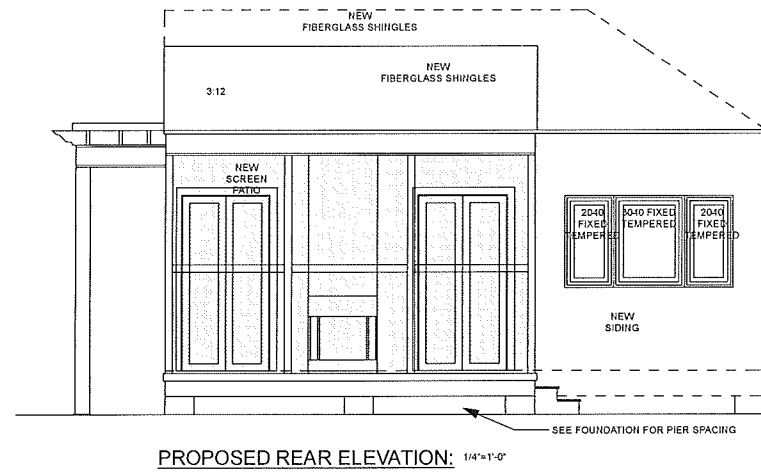
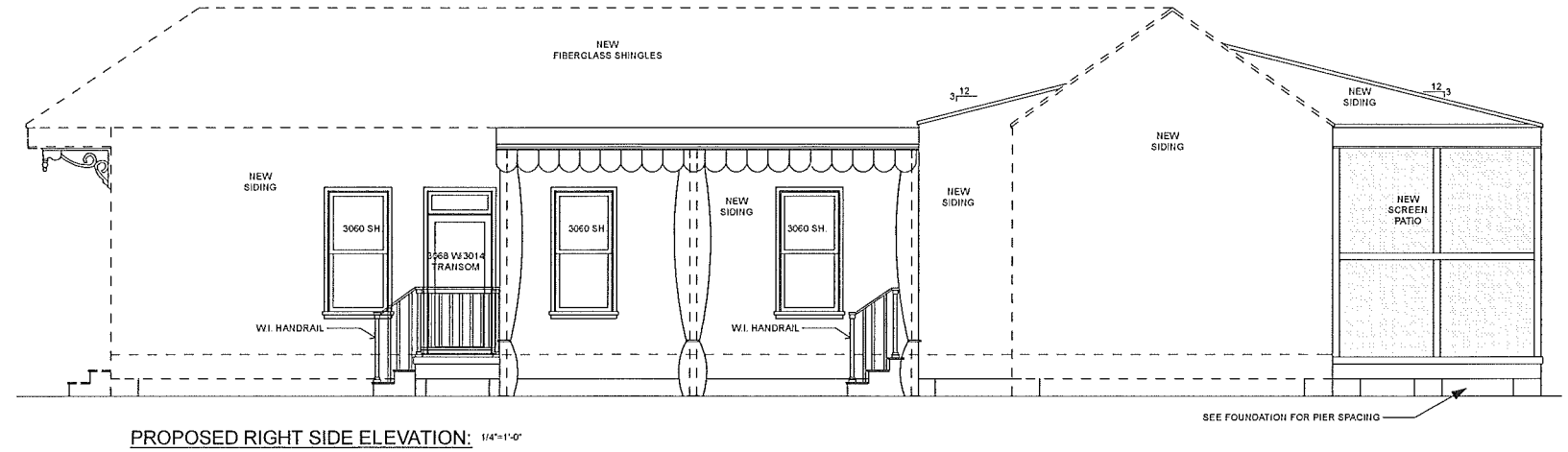
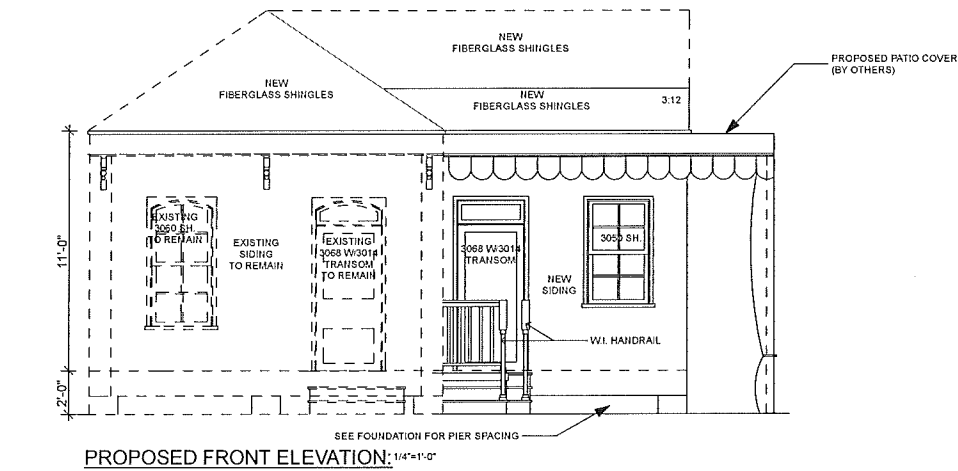
#2017-1340





A-2

NOTE:
THIS DOCUMENT IS BASED UPON THE
INFORMATION SHOWN ON SURVEY
PROVIDED BY OWNER.
NO PUBLIC RECORD OR TITLE RESEARCH
WAS PERFORMED FOR THIS PROJECT.

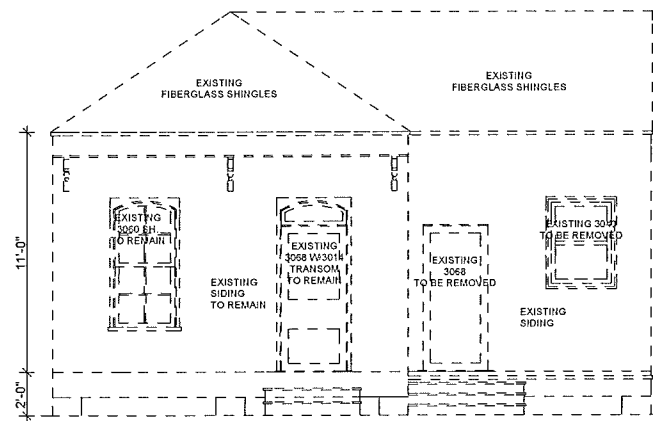


ENGINEERING BY:
David R. O'Reilly Engineering
Consultants LLC
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010
Lic# 34032

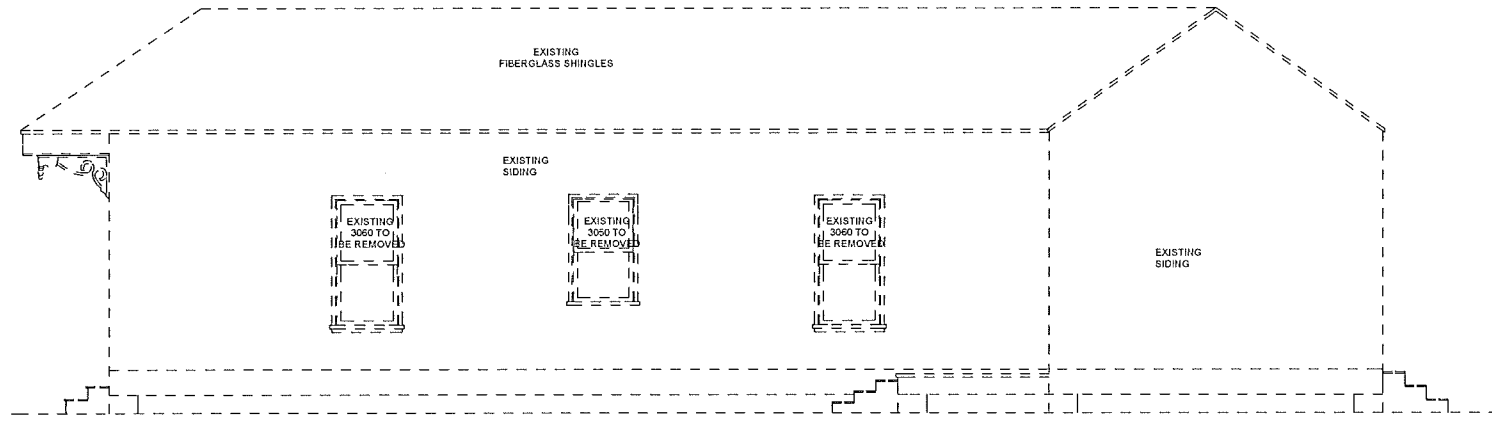
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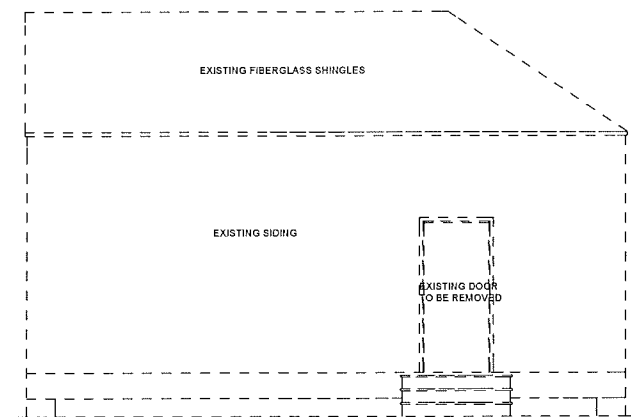
RESIDENCE: MOFFETT	INT./DATE:
529 3rd. STREET GRETN, LA 70053	KTC-2/13/17
LOT 13, SQ. 3, VILLAGE OF GRETN, CITY OF GRETN, JEFFERSON PARISH, LA.	
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETN, LOUISIANA 70053 desconss@bellsouth.net / desconssinc.com	A-4



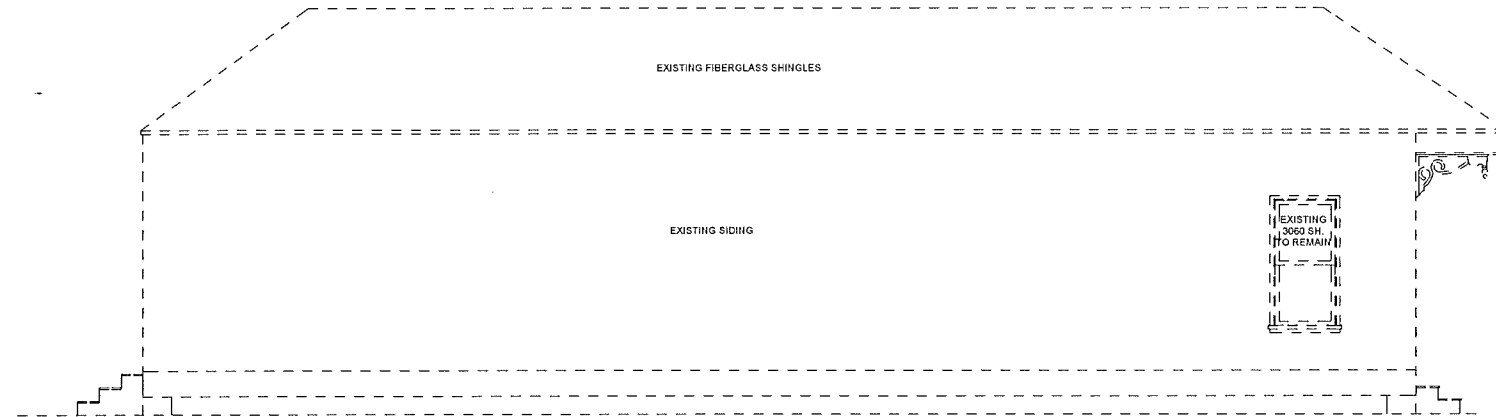
EXISTING FRONT ELEVATION: 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION: 1/4"=1'-0"



EXISTING REAR ELEVATION: 1/4"=1'-0"



EXISTING LEFT SIDE ELEVATION: 1/4"=1'-0"

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ENGINEERING BY:
David R. O'Reilly Engineering Consultants LLC
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010
Lic# 34032

RESIDENCE: MOFFETT	INT / DATE:
529 3rd, STREET GRETN, LA 70053	KTC-2/13/17
LOT 13, SQ. 3, VILLAGE OF GRETN, CITY OF GRETN, JEFFERSON PARISH, LA.	
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
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Historic District Commission Meeting
February 27, 2017 - 2:00 PM

529 3rd Street
(District 2)

For: Exterior renovations

Tamara Moffett, Applicant

Submitted: February 10, 2017



** opening & share to preliminary conference*

*Energy efficient
bush & windows
was*

Revised to maintain door @ front

10" into city property -

*opening & share to preliminary conference
PP / 20
what product approved*

#1340

Historic District Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

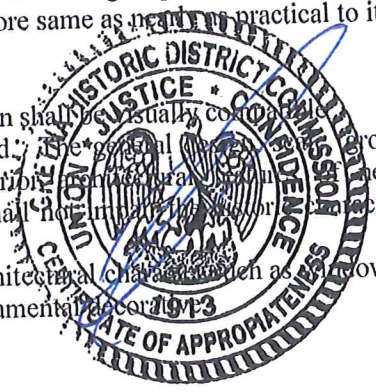
Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually coordinated with the buildings and the environment with which it is related. The physical features, including volume, arrangement, site, plan, texture, material and exterior finish of new constructions shall be in harmony with its surroundings and shall not impair the character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character of a building as shown by changes in windows, columns, porches, doors and exterior ornamental details.



Elevations:

Front Space: 646 ft. Side Space: 0 ft.
Rear Space: 2,706 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Tamara P. Moffett Date: 02.10.17

Applicant's Name: Tamara P. Moffett

Address: 529 3rd St.

Phone No: () _____ Cell No: 670 221.8649

For Office Use Only:

Date of Application: 2.15.2017

Substantive Change: Yes _____ No _____ Inventory Number: 460

Contributing Element to Gretna National Register Historic District: Yes _____ No _____

Historic District Commission meeting date: _____

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)





City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities

Michael J. Boudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Tamara Moffett the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on Feb 27th 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Tamara P. Moffett

Signature of Applicant

Tamara P. Moffett

NAME OF APPLICANT (PLEASE PRINT)

529 3rd St (14085 HWY 23 - Belle Chasse, LA 70037)

Applicant's address

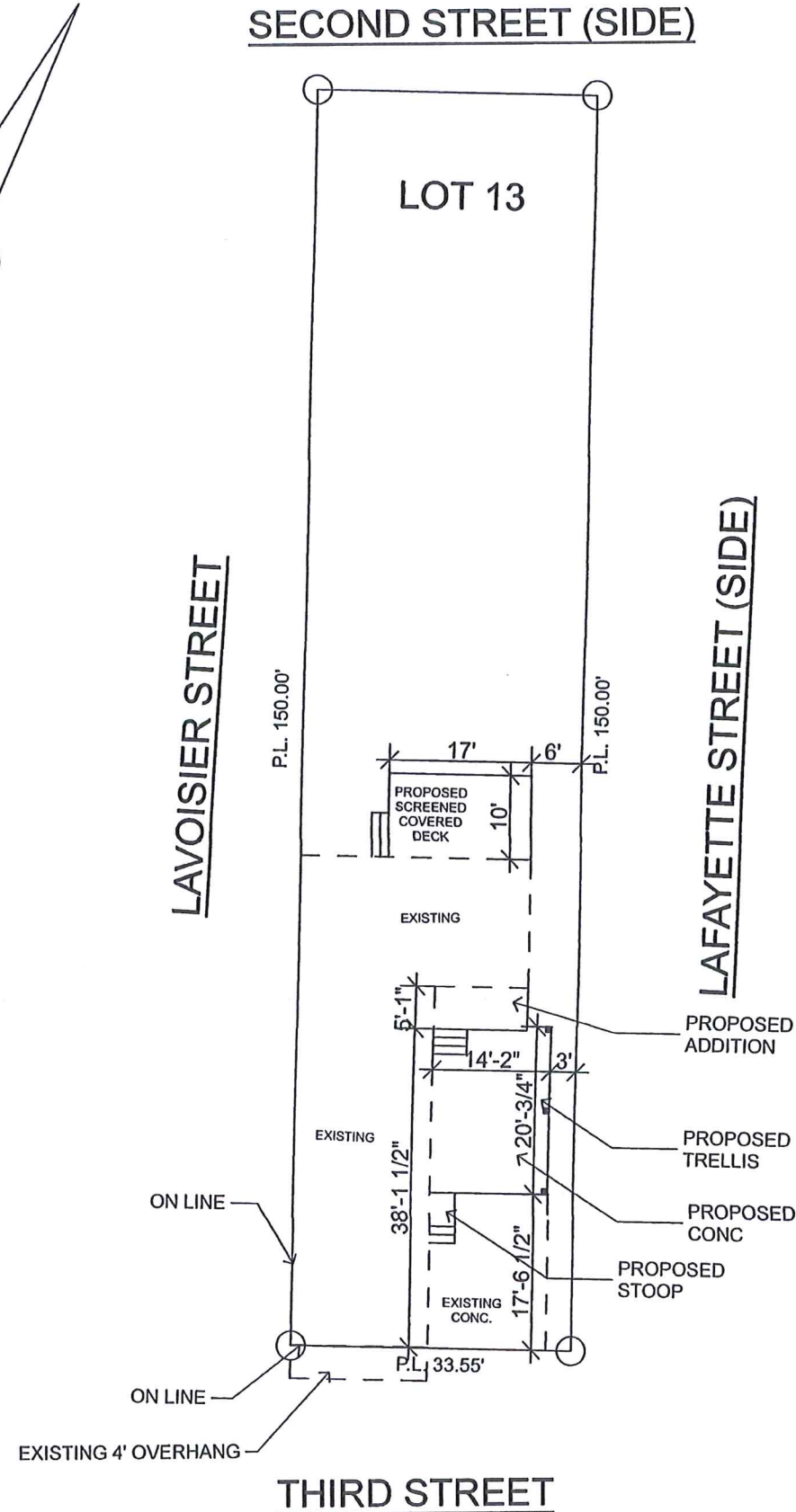
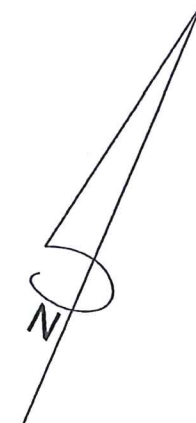
529 3rd St

Actual address of the property for review









SITE PLAN: 1"=20'-0"
529 3rd. STREET GRETNA ,LA.70053
LOT 13, SQ. 3,VILLAGE OF GRETNA,
CITY OF GRETNA,
JEFFERSON PARISH, LA.

SITE NOTES:

1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND RESTRICTIONS PRIOR TO CONSTRUCTION.
2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.
3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS AND WALKS
5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.
6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.
7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.
8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT LEAST 4" THICK.
9. THIS IS NOT A SURVEY: CONTRACTOR/ OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT REQUIREMENTS.



NOTE:
THIS DOCUMENT IS BASED UPON THE
INFORMATION SHOWN ON SURVEY
PROVIDED BY OWNER.
NO PUBLIC RECORD OR TITLE RESEARCH
WAS PREFORMED FOR THIS PROJECT.

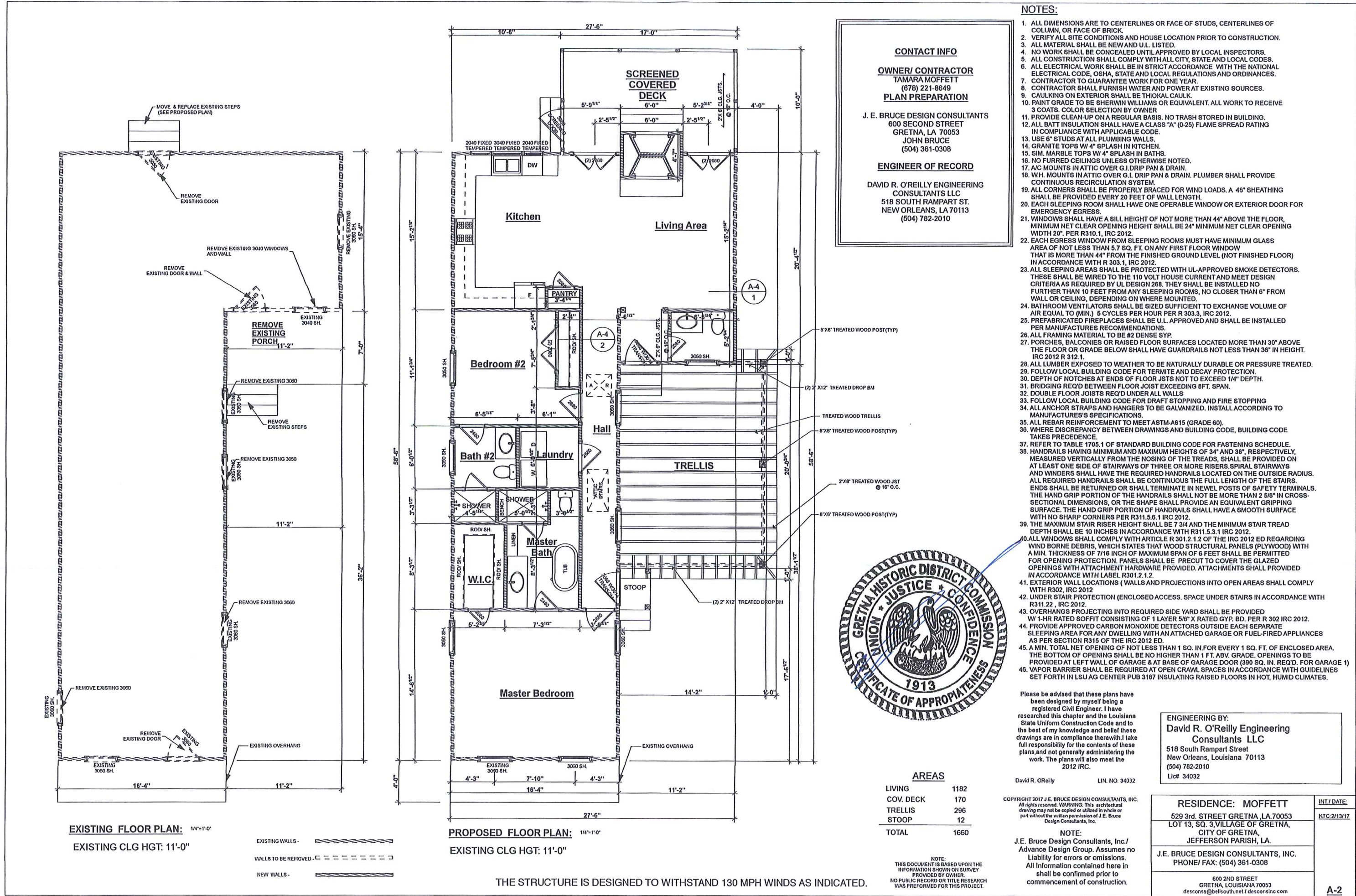
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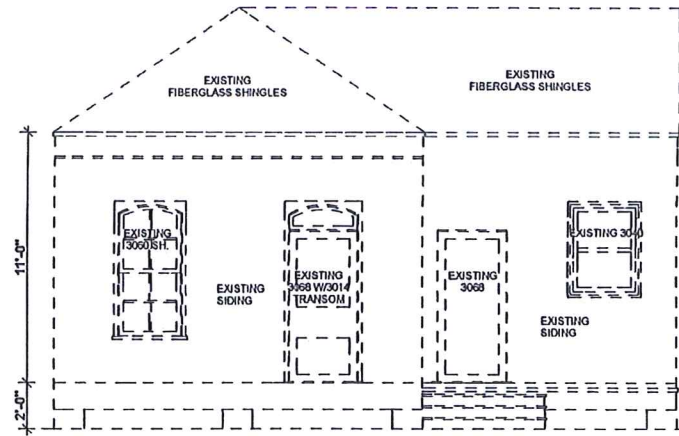
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New Orleans, Louisiana 70113
(504) 782-2010 Lic# 34032

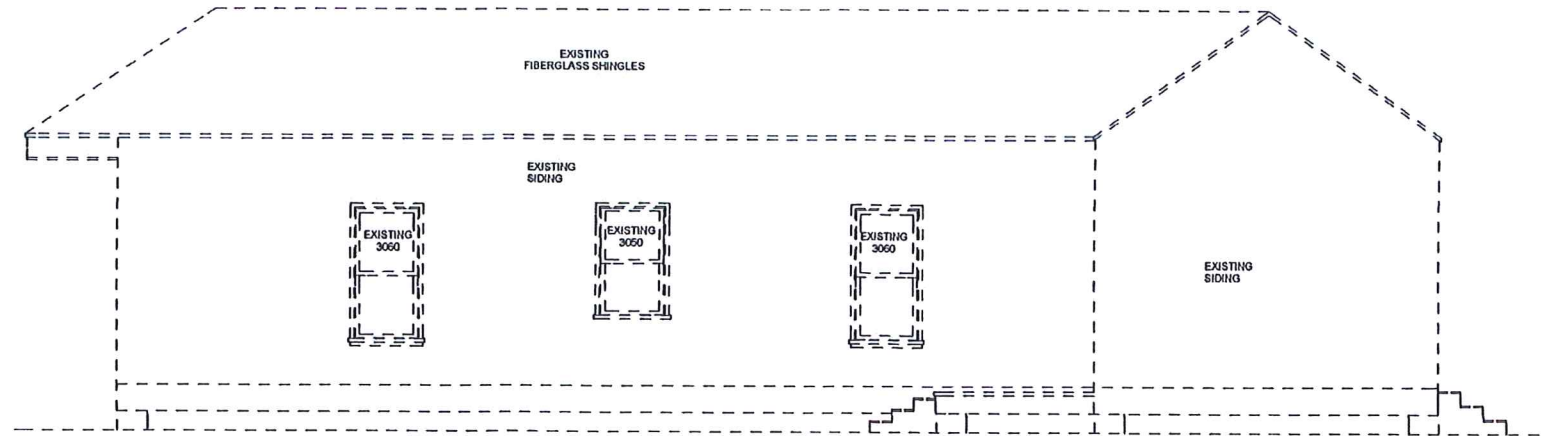
RESIDENCE: MOFFETT 529 3rd. STREET GRETNA ,LA.70053 LOT 13, SQ. 3,VILLAGE OF GRETNA, CITY OF GRETNA, JEFFERSON PARISH, LA.	INT./ DATE:
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETNA, LOUISIANA 70053 desconss@bellsouth.net / desconssinc.com	

A-1

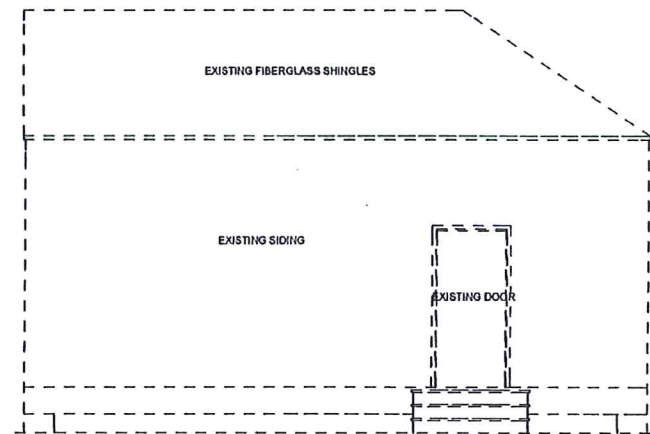




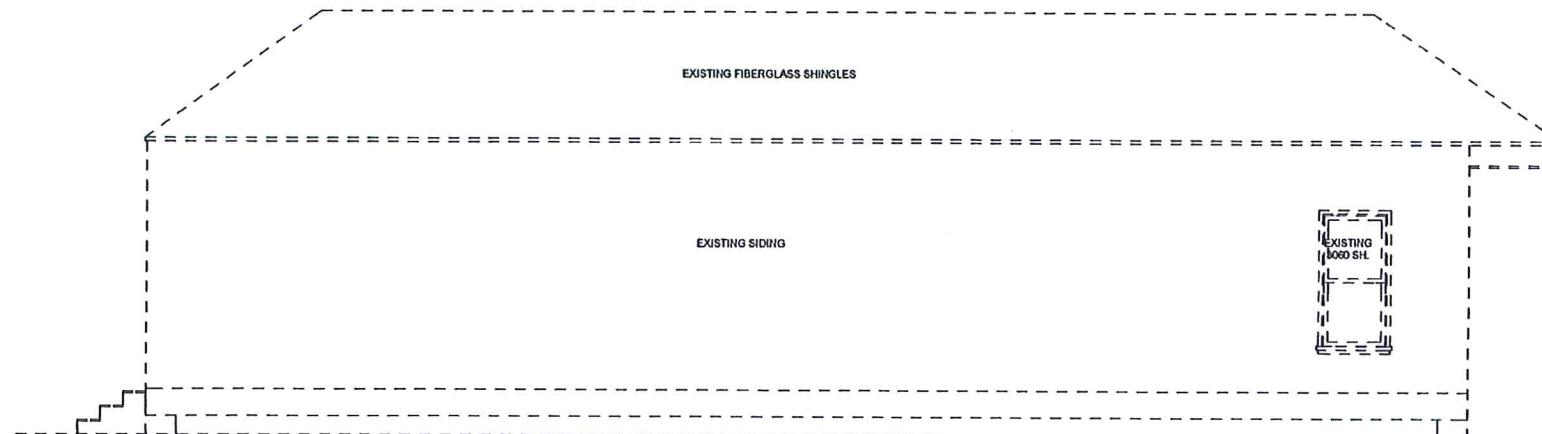
EXISTING FRONT ELEVATION: 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION: 1/4"=1'-0"



EXISTING REAR ELEVATION: 1/4"=1'-0"



EXISTING LEFT SIDE ELEVATION: 1/4"=1'-0"



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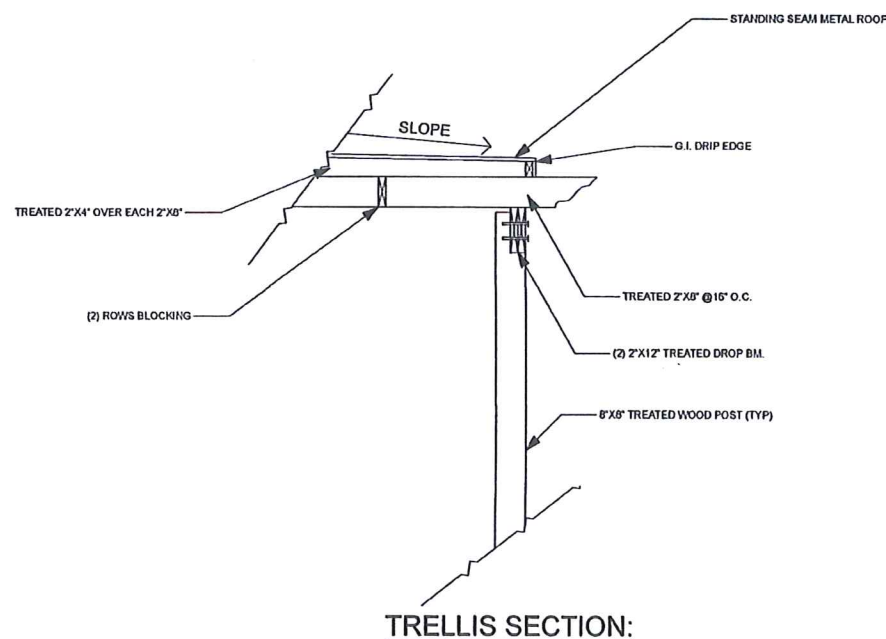
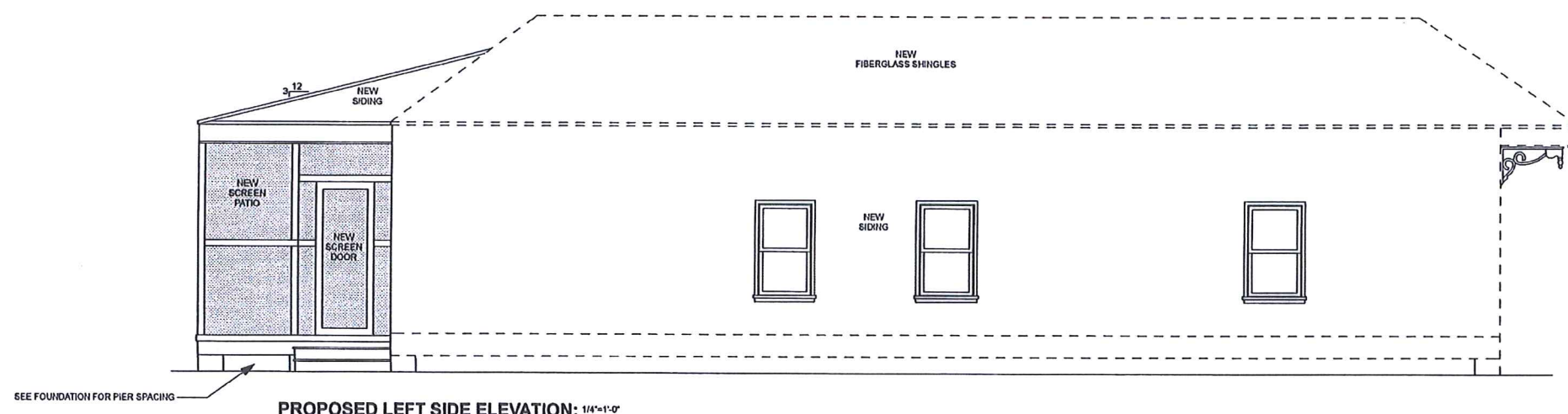
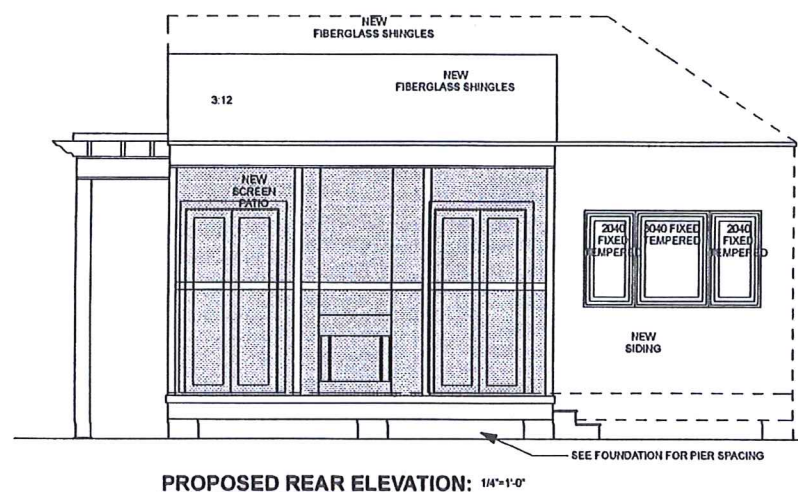
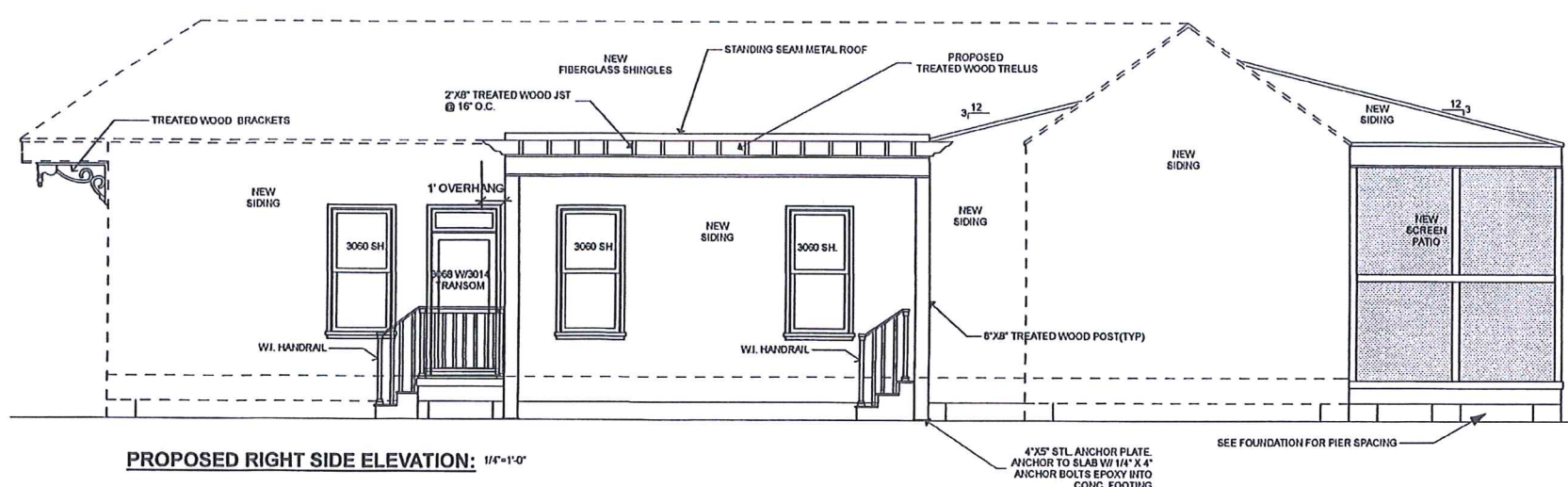
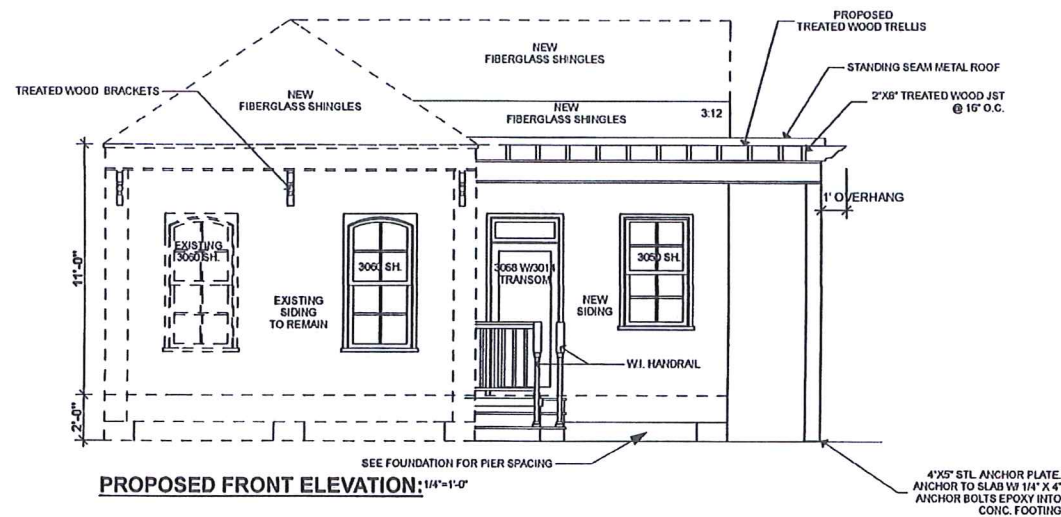
RESIDENCE: MOFFETT
529 3rd. STREET GRETNA, LA 70053
LOT 13, SQ. 3, VILLAGE OF GRETNA,
CITY OF GRETNA,
JEFFERSON PARISH, LA.

J.E. BRUCE DESIGN CONSULTANTS, INC.
PHONE/ FAX: (504) 361-0308

600 2ND STREET
GRETNA, LOUISIANA 70053
descons@bellsouth.net / desconsinc.com

INT./DATE:
KTC 2/13/17

A-3



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Consultants LLC
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J.E. BRUCE DESIGN CONSULTANTS, INC.
PHONE/ FAX: (504) 361-0308

600 2ND STREET
GRETN, LOUISIANA 70053
descons@bellsouth.net / desconsinc.com

INT/ DATE:
KTC: 2/13/17

A-4



Historic District Commission

Meeting: May 1, 2017 4:00PM

827 6th Street

(District 2)

For: Exterior Renovations

Applicant: Maria Plaisance

Submitted: April 24, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit # 2017-1525

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 827 6th St. Gretna, LA 70053
(previously 825-827 6th Street)
Renovation: ☒ New Construction: ☐ Demolition: ☐

Age of Structure: 80+

Building Type:	Building Style:
Creole Cottage <input type="checkbox"/>	Greek Revival <input type="checkbox"/>
Shotgun <input type="checkbox"/>	Italianate <input type="checkbox"/>
Bungalow <input checked="" type="checkbox"/>	New Orleans Bracketed <input type="checkbox"/>
Other <input type="checkbox"/>	Eastlake <input type="checkbox"/>
	Colonial Revival <input type="checkbox"/>
	Other <input type="checkbox"/>

Exterior materials proposed:

Roof Existing Architectural Shingle Soffit Existing Wood
Fascia Existing Wood Siding Hardi Plank
Masonry Brick Steps - Front Porches Concrete Front Porch Floor
Balconies ☐ Handrails Iron - Square Spindles
Type of exterior lighting fixtures: Keep Existing Lights on Front Porch Iron Columns @ Carport - Alternate Square Fiberglass
Style of windows: Sides - 6 over 2, Rear - Fixed, Carport - 3 over 2
Type of exterior doors: Front - Wood Craftsman, Rear - 1/2 Glass, Carport - Double 6 Panel Metal
Describe any ornamental woodwork: Batt N Board Shutters, Fabric Awning above Kitchen Window

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Maria Plaisance Date: 4/24/17

Applicant's Name: MARIA PLAISANCE

Address: 93 MARIEDR GRETN, LA 70053

Phone No: () _____ Cell No: (504) 228-9557

For Office Use Only:

Date of Application: 4/24/2017

Substantive Change: Yes ☒ No _____ Inventory Number: 245

Contributing Element to Gretna National Register Historic District: Yes ☒ No _____

Historic District Commission meeting date: May 1st. 2017 @ 4:00pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

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Departments

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Finance Department

Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on May 1st 2017 @ 4:00p at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant:

Maria Lausain

Date:

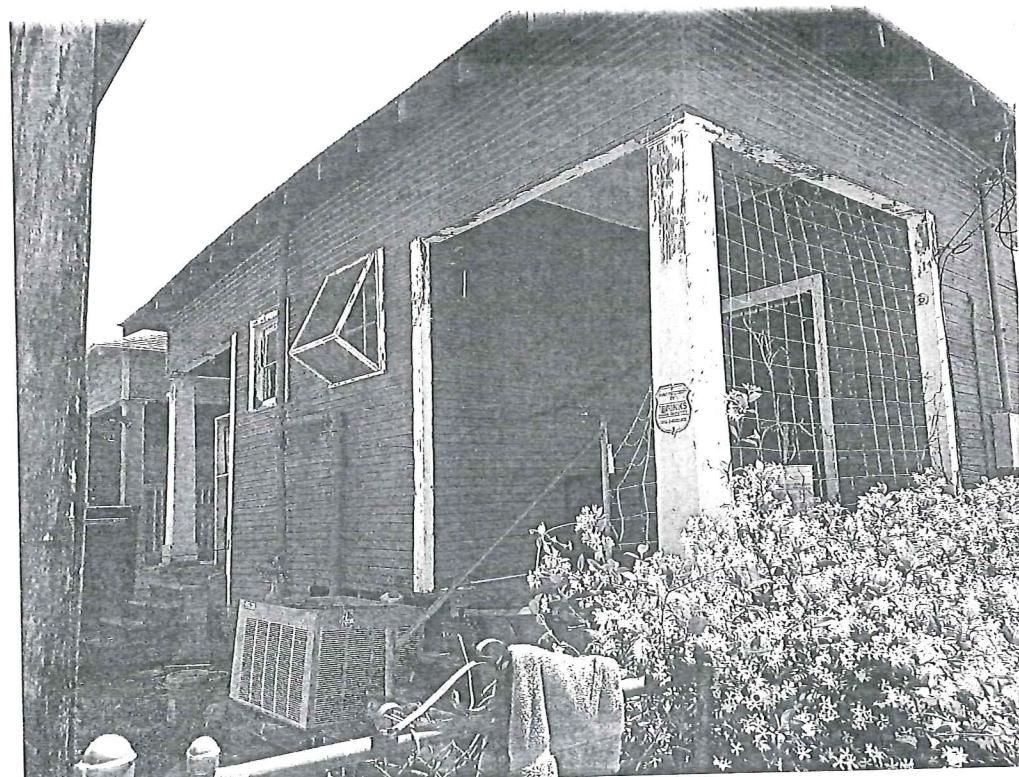
4/24/17

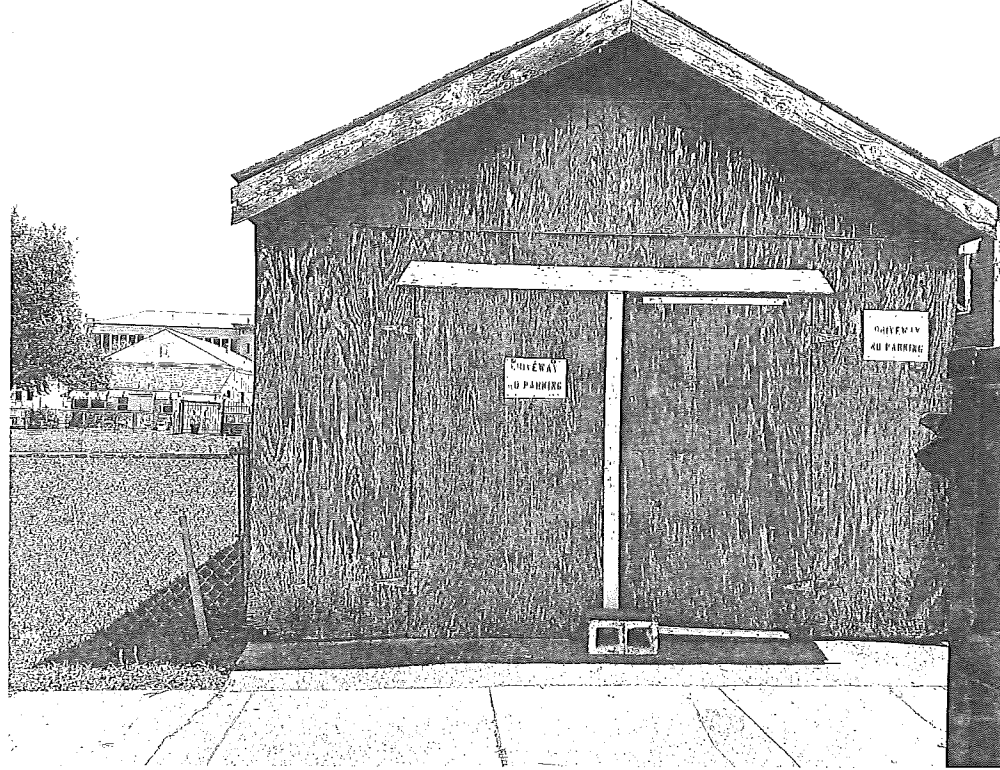
Address:

825- 827 6th St.

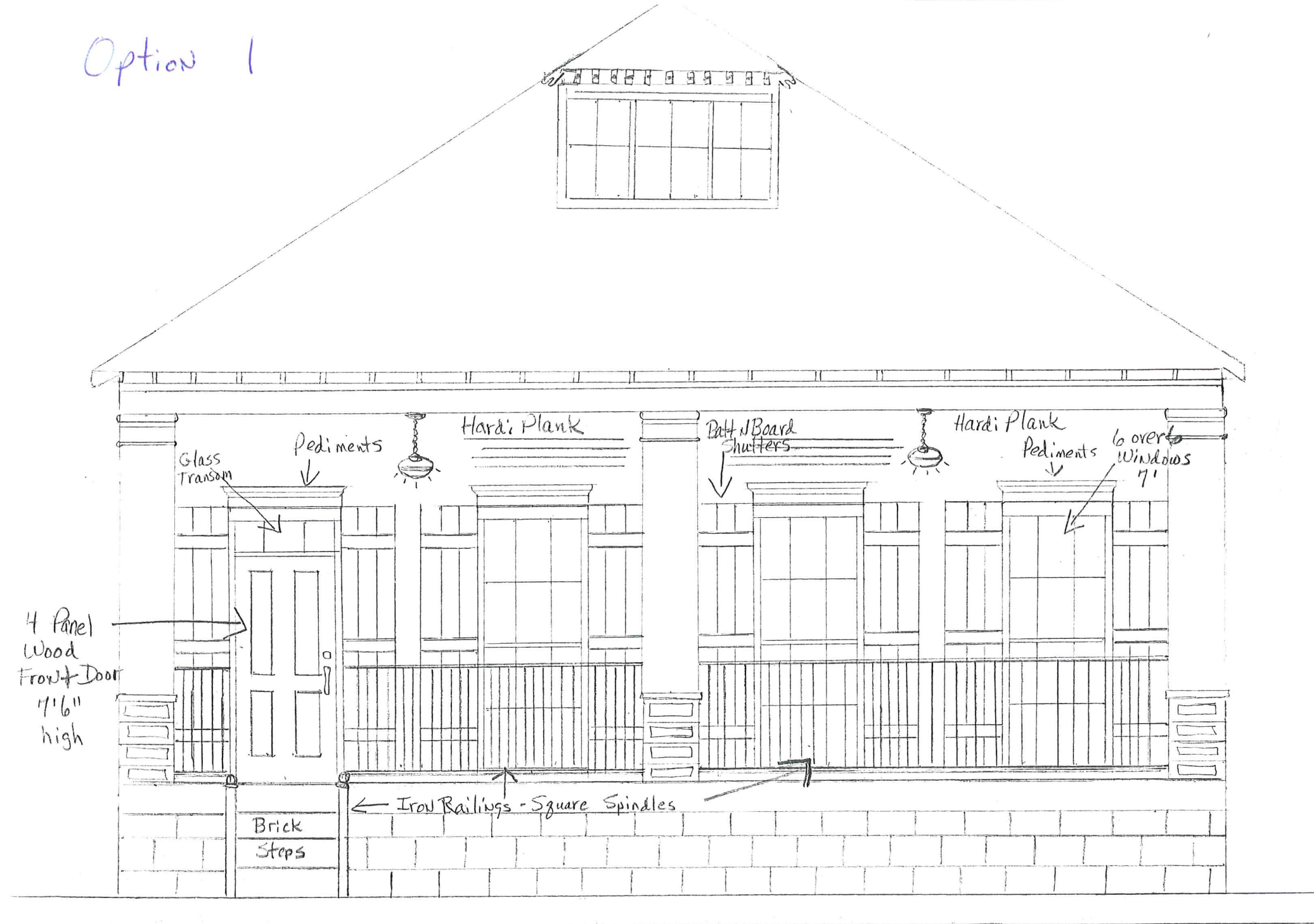


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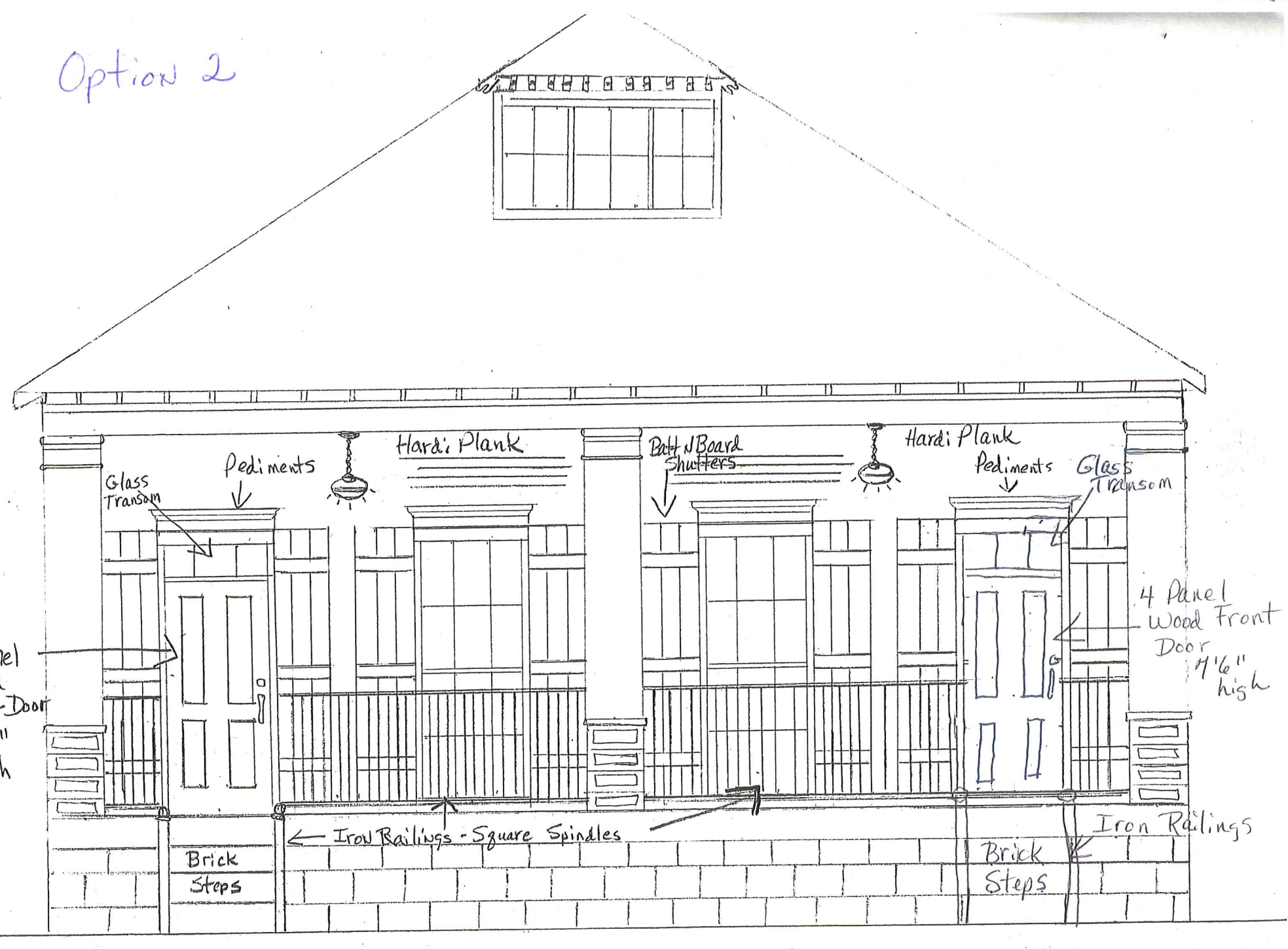




Option 1



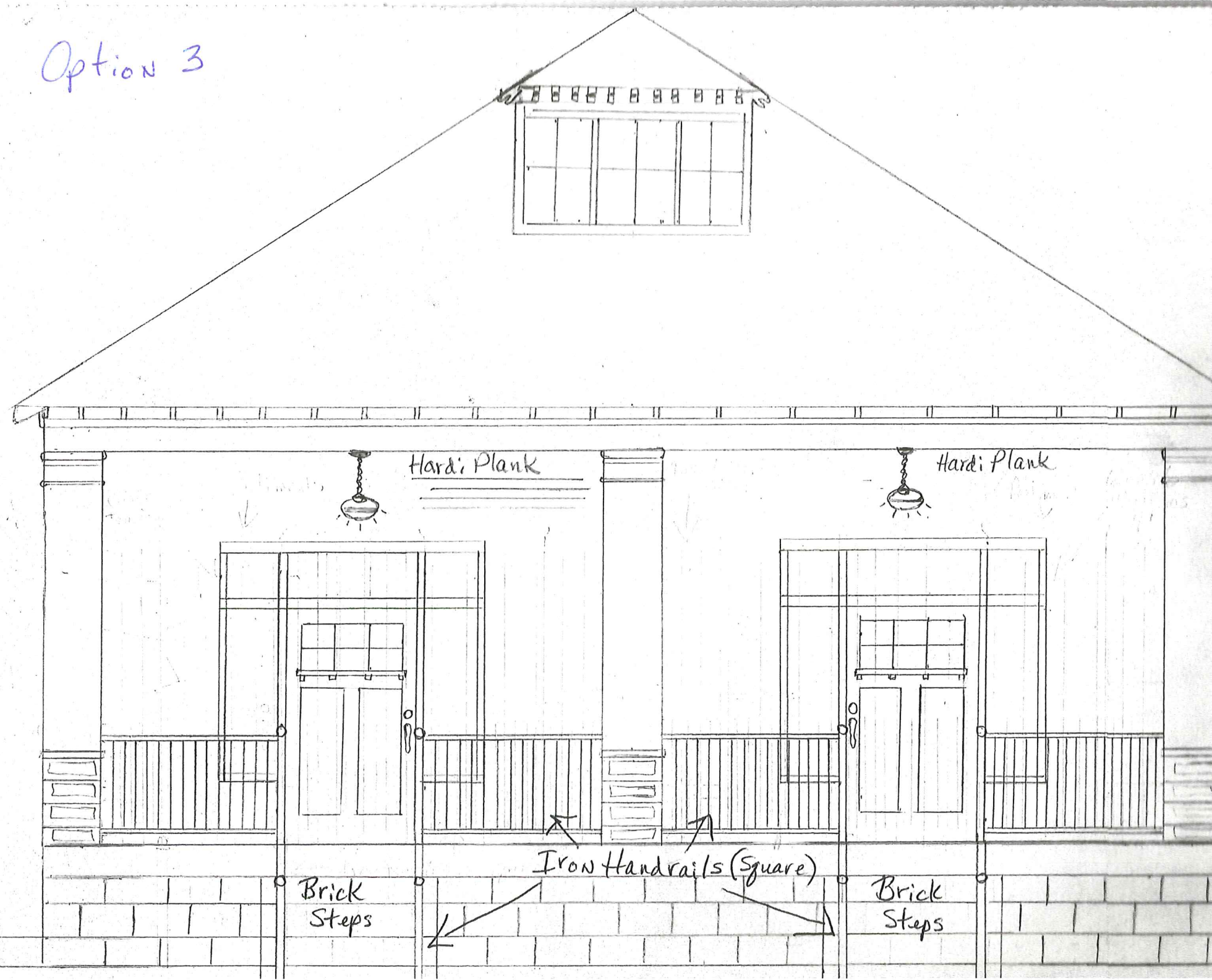
Option 2



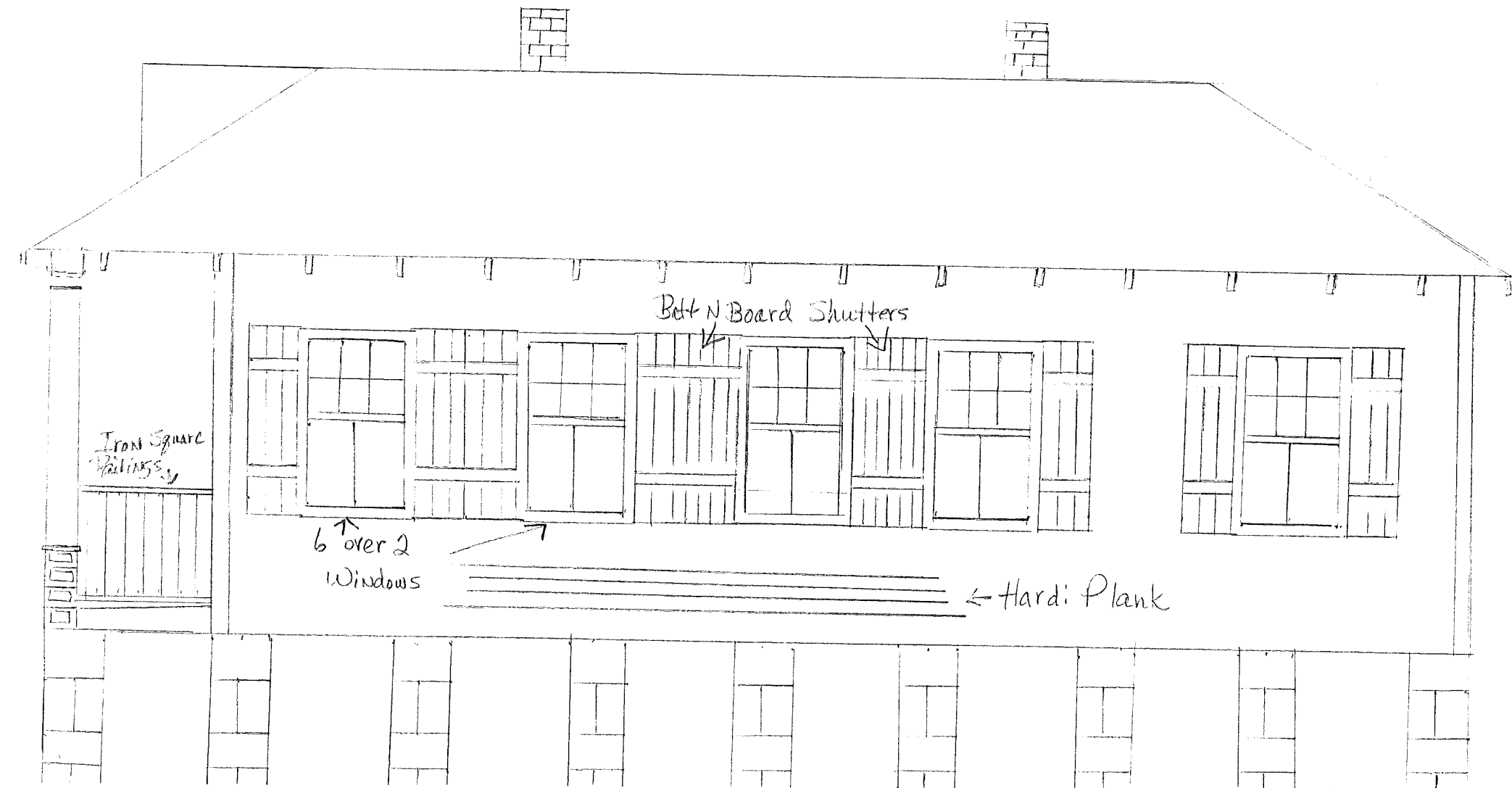


↑
Example from Historical
Guidelines
(compare to Option 2)

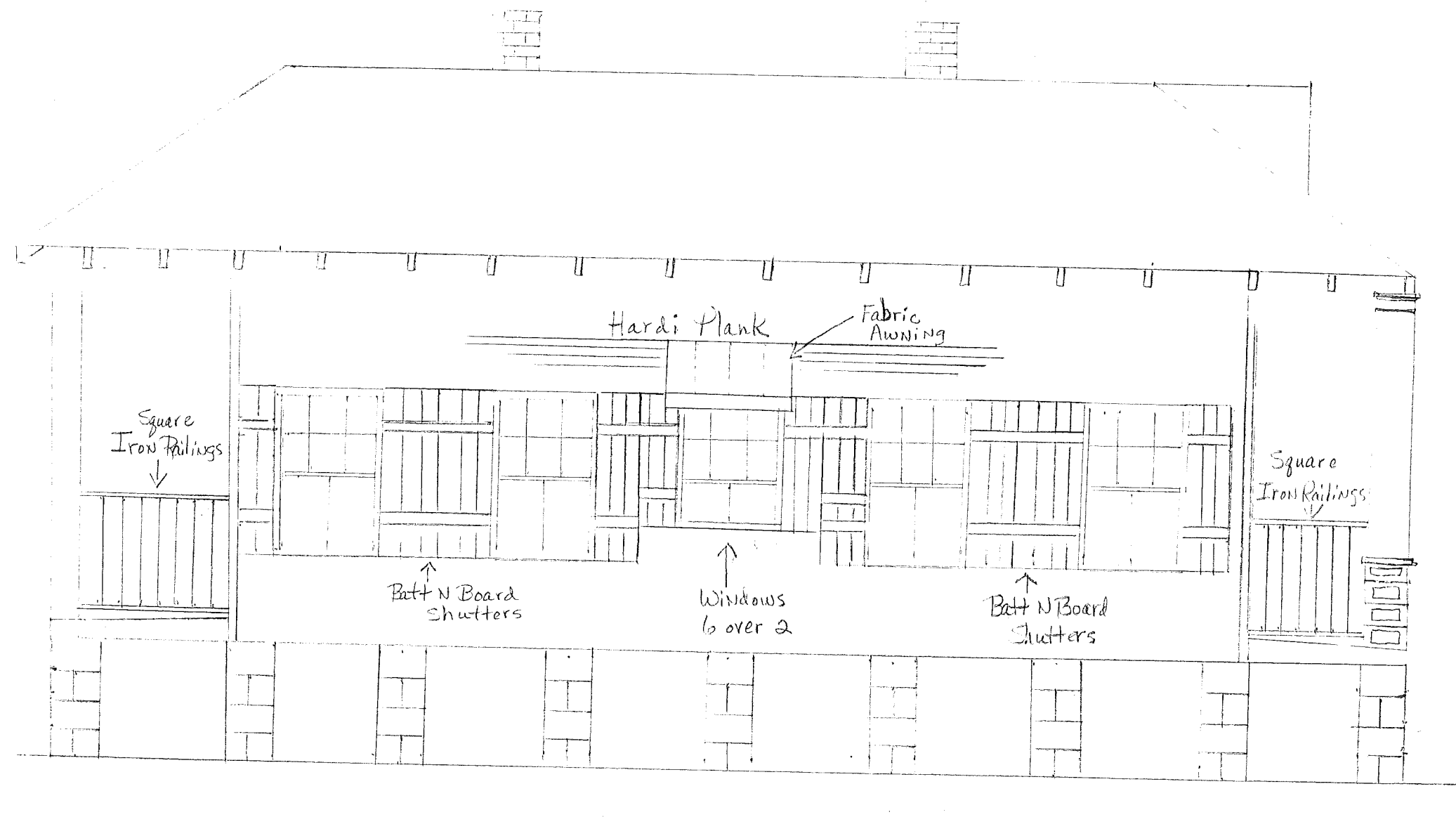
Option 3



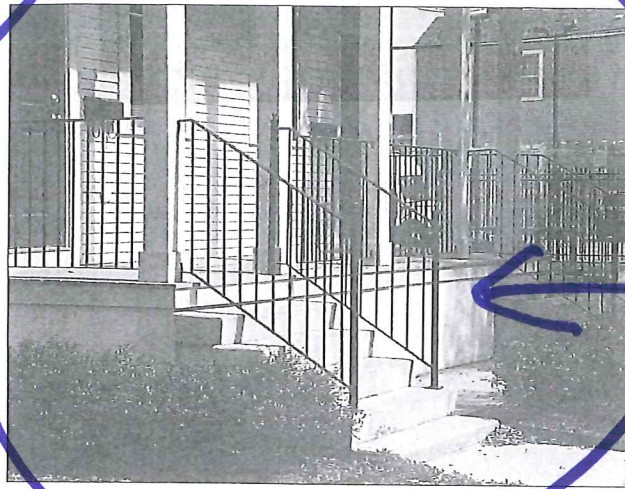
Right Side



Left Side







Particularly on porches that never had balustrades, metal guardrails and handrails are sometimes installed to meet building code or insurance requirements. Such railings should be kept simple in design.

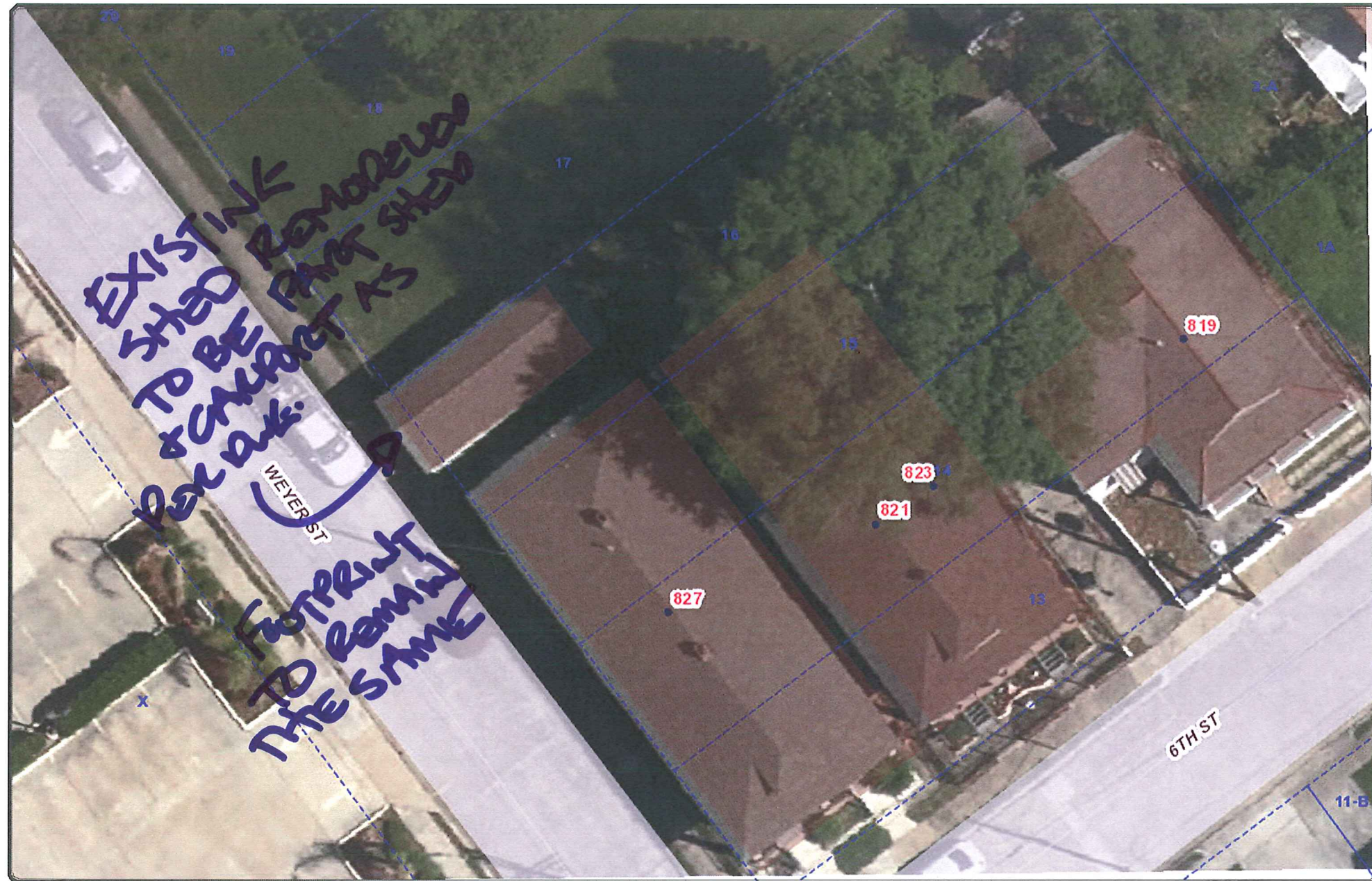
Metal Railings



Alternate Columns on Carport



This well-scaled new construction is compatible with its historic counterparts.



April 25, 2017

DISCLAIMER: Every reasonable effort has been made to assure the accuracy of the parcel data presented. The Assessor makes no warranties, express or implied, regarding the completeness, reliability or suitability of the site data and assumes no liability associated with the use or misuse of said data. The Assessor retains the right to make changes and update data on this site at anytime without notification. The parcel data on the base map is used to locate, identify and inventory parcels of land for assessment purposes only and is not to be used or interpreted as a legal survey or legal document. Additional data layers not originating in the Assessor's Offices are also presented for informational purposes only. Before proceeding in any legal matter, all data should be verified by contacting the appropriate parish or municipal office.

1 inch = 20 feet

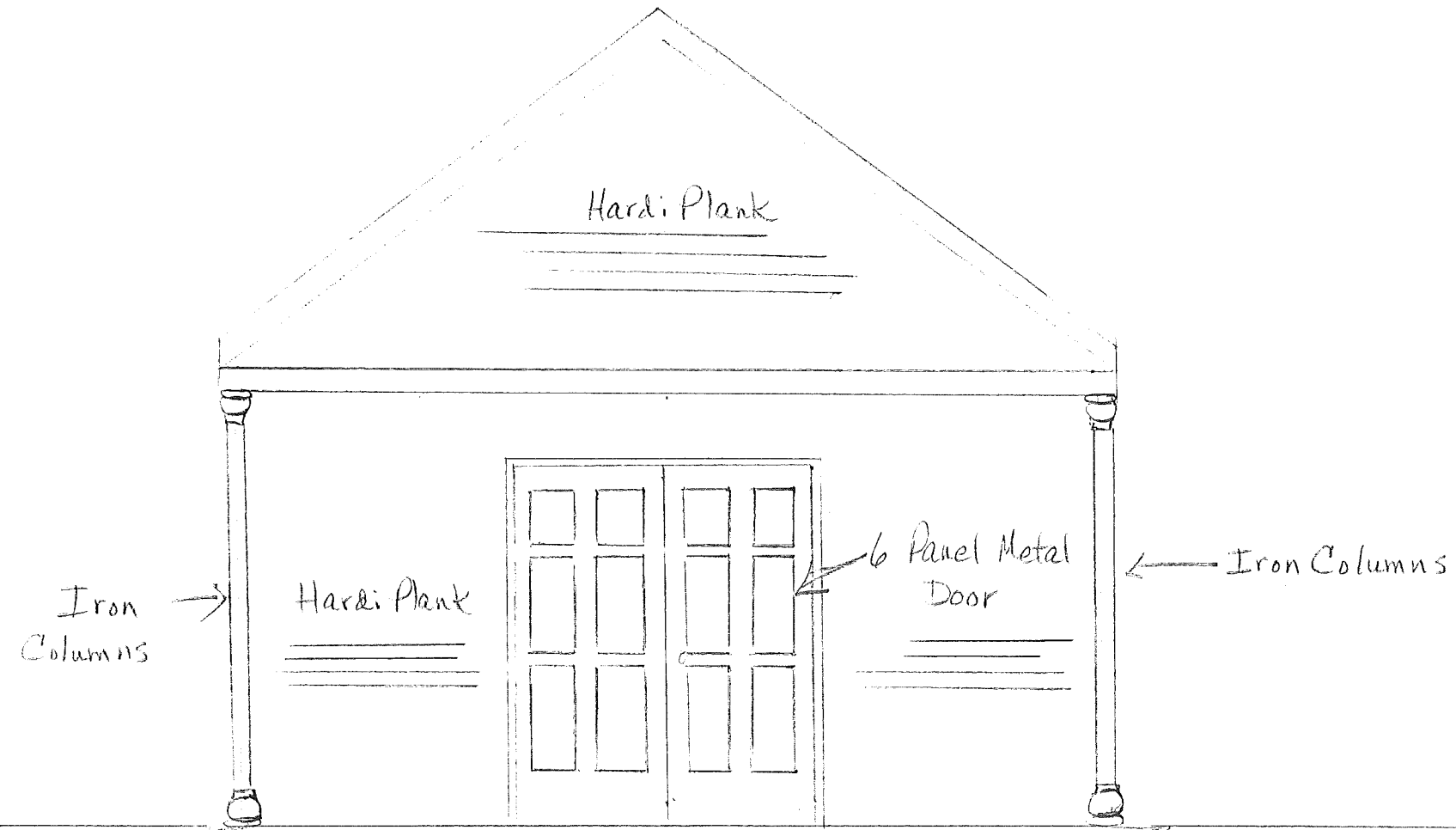
0 10 20 30 40 Feet

Rear

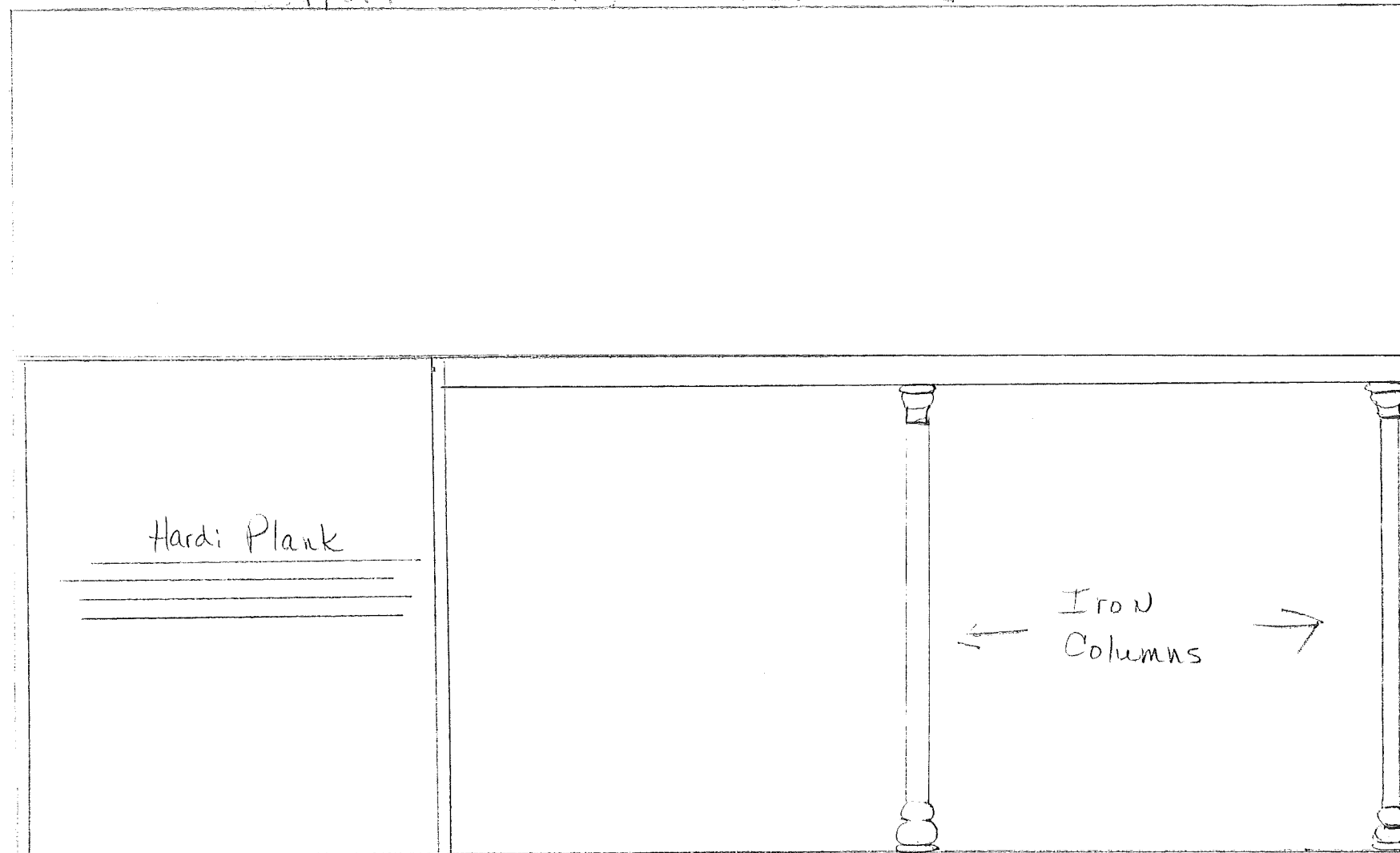


Back Carport + Storage

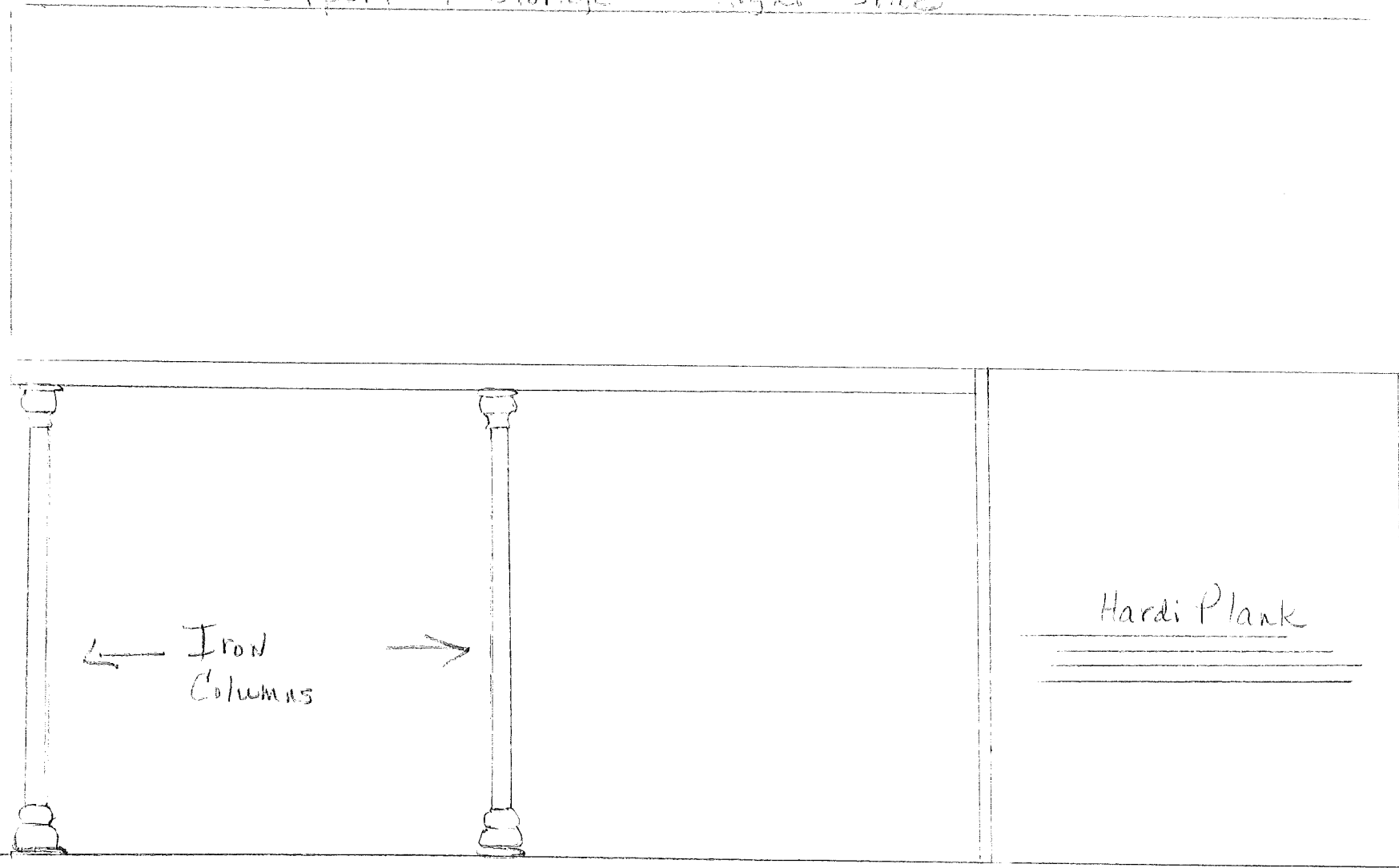
Front View



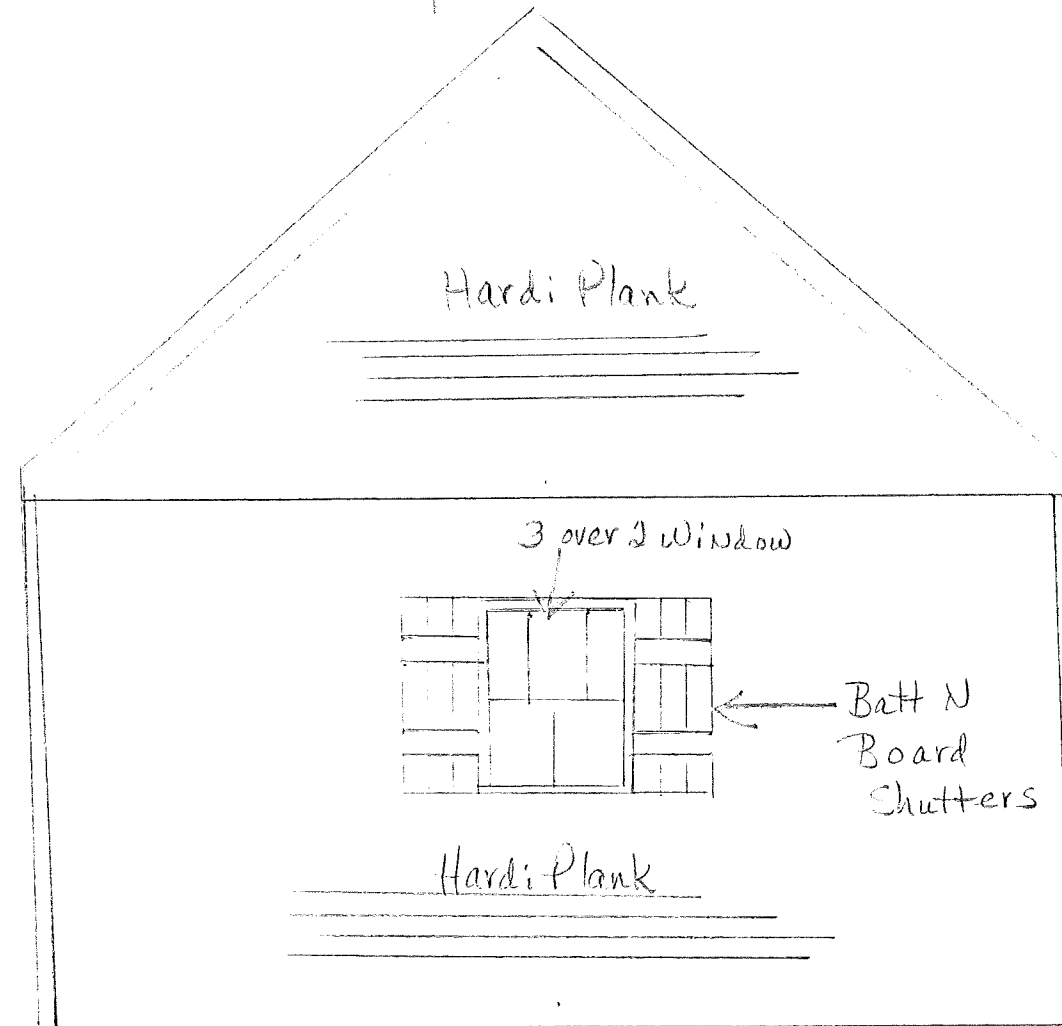
Garport d Storage Left Side



Carport + Storage Right Side



Carport + Storage
Rear View of shed





Historic District Commission

Meeting: May 1, 2017 4:00PM

300 Huey P. Long Avenue
(District 2)

For: Exterior Facade

Applicant: Mindy Cook

Submitted: April 24, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 300 HUEY P. LONG AVE. GRETNA, LA 70053
Renovation: Exterior FACADE with the new changes from previous approval.
New Construction: _____ Demolition: _____

Age of Structure: 34 yrs

Building Type:	Building Style:
Creole Cottage _____	Greek Revival _____
Shotgun _____	Italianate _____
Bungalow _____	New Orleans Bracketed _____
Other RECTANGLE BRICK	Eastlake _____
	Colonial Revival _____
	Other MODERN

Exterior materials proposed:

Roof _____	Soffit _____
Fascia _____	Siding _____
Masonry BRICK/HARDY BOARD	Porches _____
Balconies TEMPERED GLASS	Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: STOREFRONT LARGE WINDOWS TEMPERED

Type of exterior doors: WOOD SINGLE PANEL WITH GLASS DOUBBLE DOORS ENTRANCE

Describe any ornamental woodwork: PICTURE PANELS ON HARDY BOARD. FRENCH DOORS WITH SINGLE LITES

NEW - FIRE ESCAPE ON 3RD STREET SIDE.

Elevations:

Front Space: 50 ft. Side Space: 141 ft.

Rear Space: 50 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 4/20/17

Applicant's Name: MINDY COOK

Address: 300 HUEY P. LONG AVE. GRETNA, LA 70153

Phone No: () _____ Cell No: (504) 495-0385

For Office Use Only:

Date of Application: 4/24/2017

Substantive Change: Yes ✓ No _____ Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No ✓

Historic District Commission meeting date: May 1st. 2017 @ 4:00 pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning & Zoning

Azalea M. Roussell

Office of Tax & Licenses

Norma Cruz

Finance Department

Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

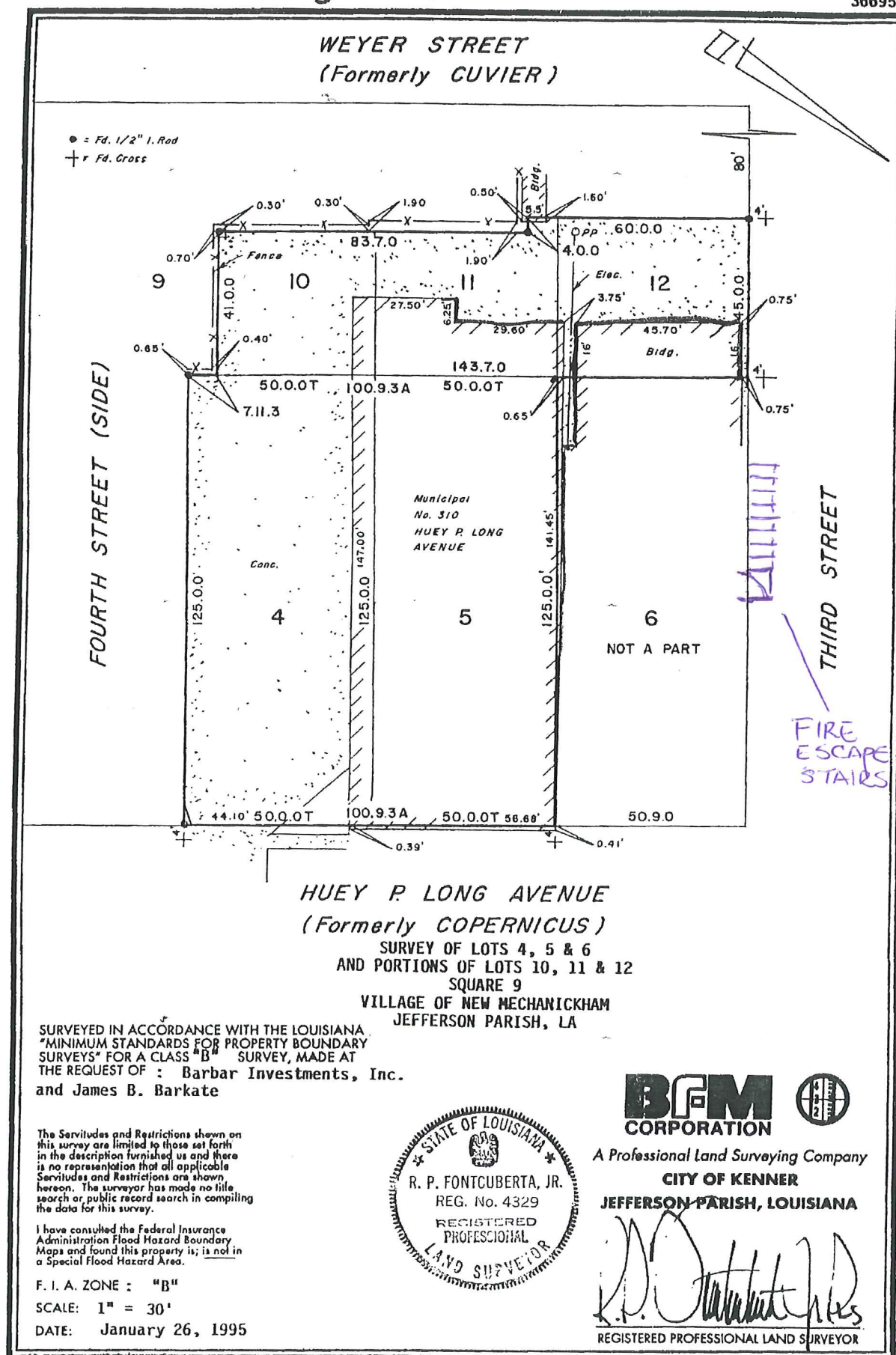
I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on May 1st. 2017 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Mindy Cook

Date: 4/20/17

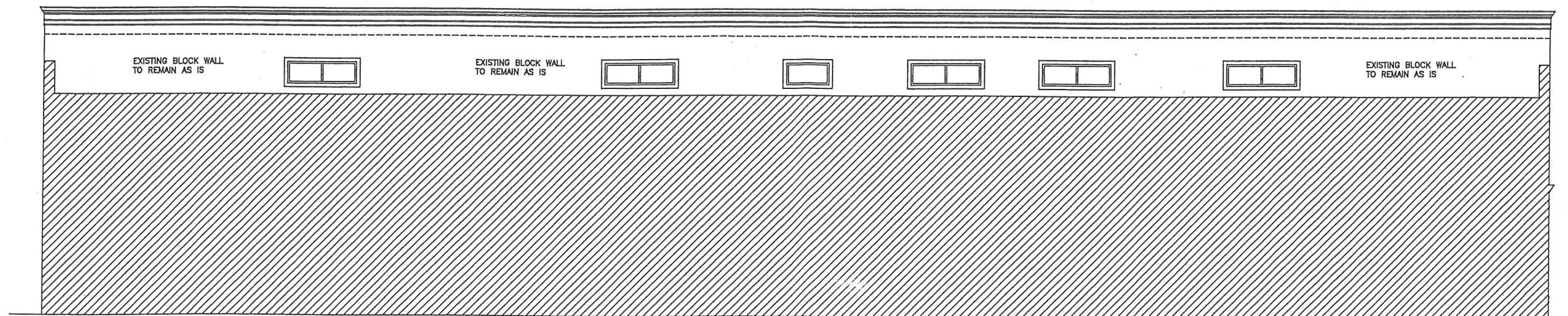
Address: 300 HUEY P. LONG AVE.
GRETN, LA 70053

36695

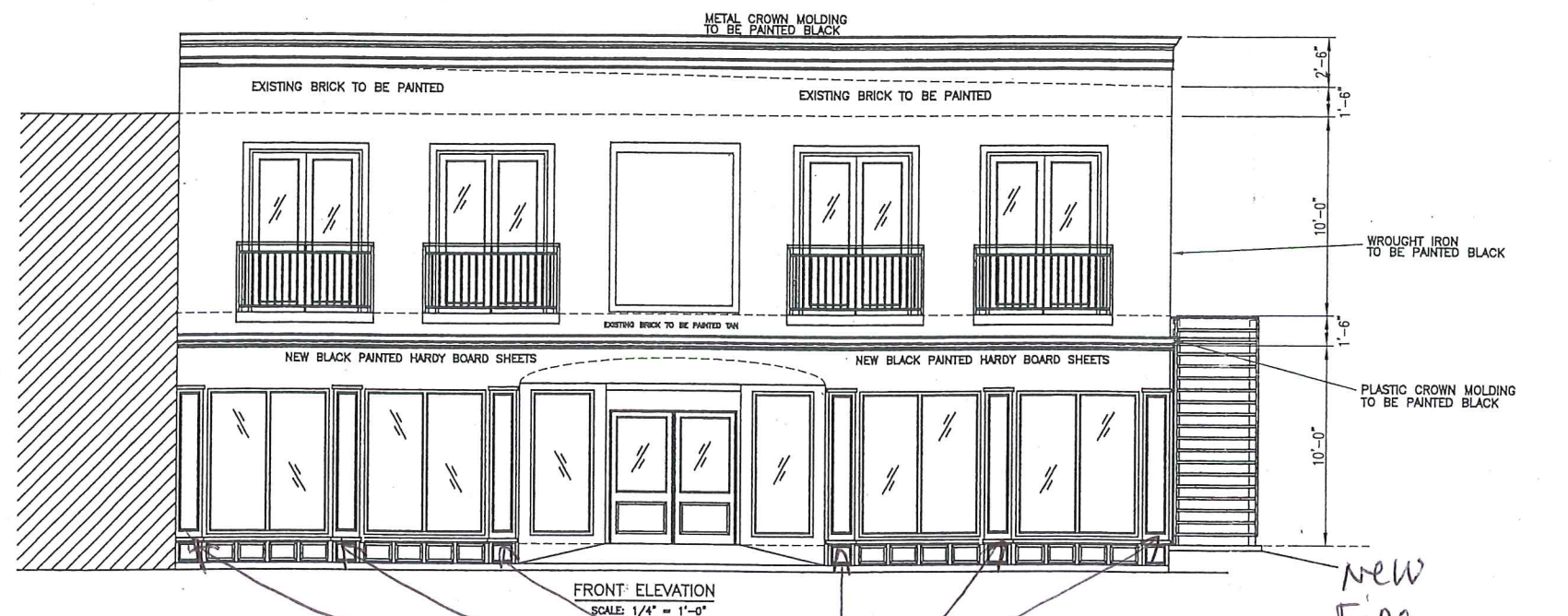


2912 1853

620



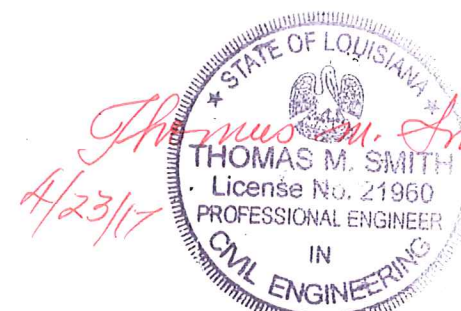
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Picture Panels on Hardyboard

New Fire Scape Side 2nd Floor.



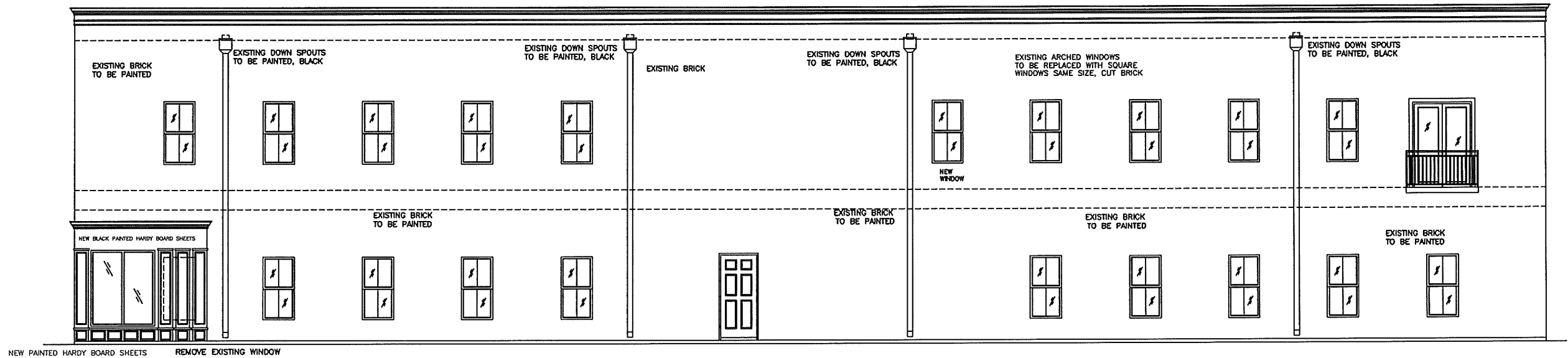
THOMAS M. SMITH P.E.
CONSULTING ENGINEER
8618 BOUTAIL ST.
METAIRIE, LA. 70003
TEL. (504) 887-3882
FAX. (504) 454-7388

NO.	BY	DATE	REVISION	APPD	DATE
RICH'S DRAFTING SERVICE					
CUSTOM DESIGN AND DRAFTING					
2721 INGRID LANE METAIRIE, LA. 70003 TEL. (504) 885-8480 FAX. (504) 454-7388					
TITLE NEW RESIDENCE FOR					
ELEVATIONS					
CUSTOMER			P.O./JOB NO.		
DATE	SCALE	NOTED	CHD	TMS	DRAWING NO.
02/22/17	BY RHB			4	

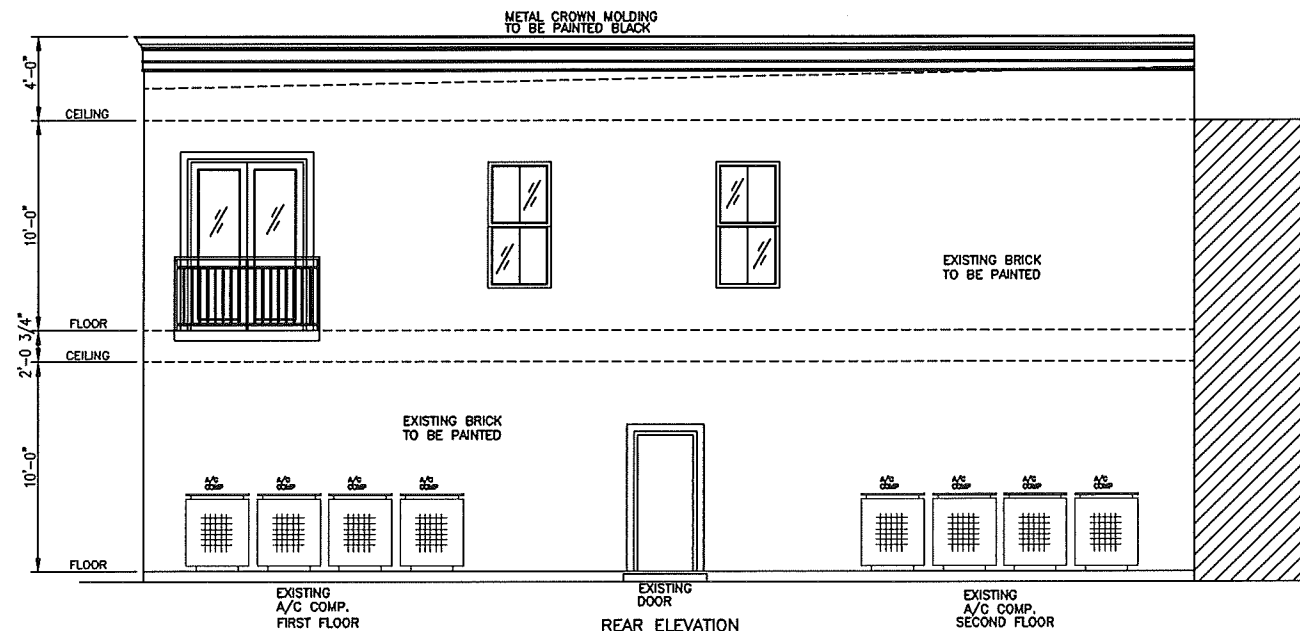
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RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



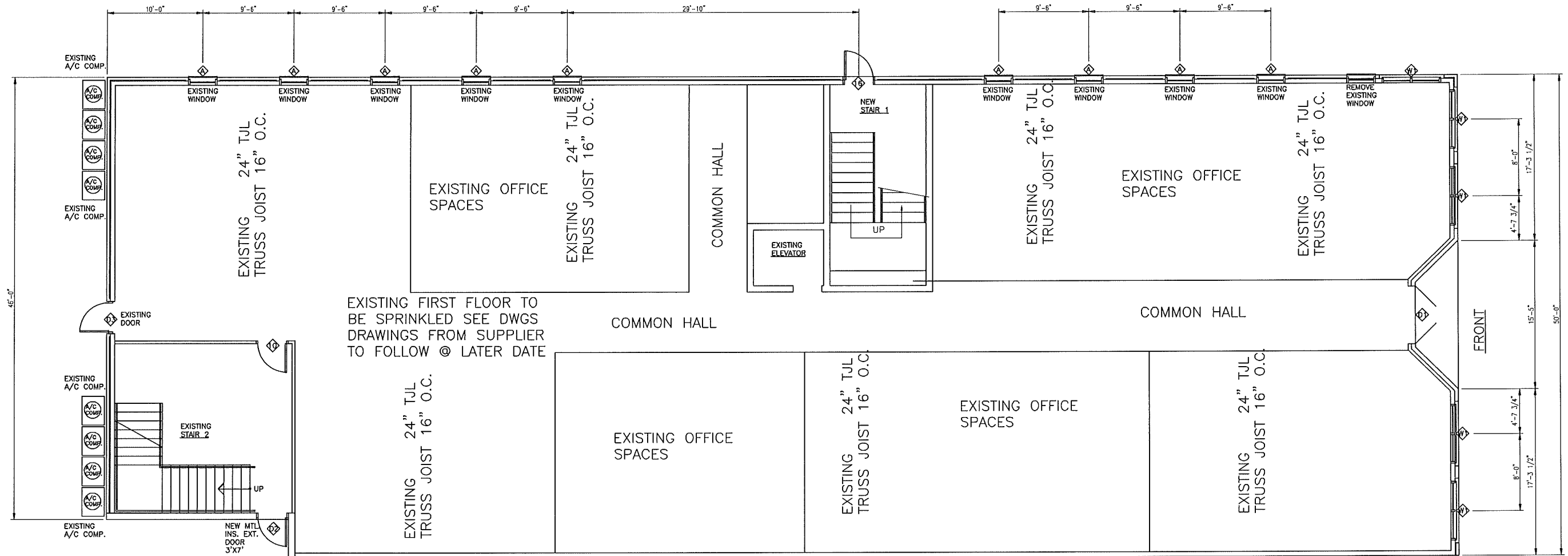
REAR ELEVATION
SCALE: 1/4" = 1'-0"

THIS DOCUMENT HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION TO THE BEST OF MY KNOWLEDGE, REQUIREMENTS OF THE APPLICABLE BUILDING CODES HAVE BEEN MET. I (WILL NOT) PERFORM PERSONAL OBSERVATIONS DURING THE COURSE OF CONSTRUCTION WHICH IS DESCRIBED BY THIS DRAWING.

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THOMAS M. SMITH P.E. CONSULTING ENGINEER 6516 BOUTAILL ST. METAIRIE, LA. 70003 TEL. (504) 887-3882 CELL (504) 247-6294					
NO.	BY	DATE	REVISION	APPD	DATE
RICH'S DRAFTING SERVICE CUSTOM DESIGN AND DRAFTING 2721 INGRID LANE METAIRIE, LA. 70003 TEL. (504) 885-8480 FAX. (504) 454-7386					
TITLE NEW RESIDENCE FOR RIVERBEND REVIVAL, LLC 300 HUEY P. LONG GRETN, LOUISIANA					
ELEVATIONS					
CUSTOMER RIVERBEND REVIVAL, LLC.			P.O. BOX NO.		
DATE	SCALE	NOTED	CHD	TMS	DRAWING NO.
04/24/17	DRN BY RHB	SHEET 4	OF 6	A2	REV.



FIRST FLOOR PLAN
COMMERCIAL AREA
NO SCALE

FIELD VERIFY ALL
DIMENSIONS BEFORE
STARTING CONSTRUCTION

DOORS		
D1	3'0"x8'0"x1 3/4"	EXTERIOR WOOD UNIT, GLASS TOP-WOOD PANEL BASE WITH 3'0"x2'0" TRANSOM ABOVE
D2	3'0"x7'0"x1 3/4"	NEW EXTERIOR METAL 3 PANEL DOOR
D3	3'0"x6'8"x1 3/4"	EXTERIOR EXISTING METAL DOOR

WINDOWS		
A	3'0"x6'0"	ALUM. S.HUNG 2/2 LITES
B	6'6"x2'0"	ALUM. SLIDER 2 LITES - VERIFY SIZE
C	4'0"x2'0"	ALUM. FIXED 2 LITES - VERIFY SIZE
W	6'0"x8'0"	ALUM. FIXED 2 LITES

CODE COMPLIANCE
CONSTRUCTION TO MEET OR EXCEED ALL REQUIREMENTS OF,
A) THE 2012 INTERNATIONAL BUILDING CODE
B) NFPA 101 2006 CODE
C) MINIMUM DESIGN LOADS OF BUILDINGS AND OTHER STRUCTURES, ANSI/ASCE 7-98

I HAVE RESEARCHED THESE CODES AND CHAPTERS, AND THE LOUISIANA UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

DESIGN LOADS
ROOF LIVE LOAD: 20 PSF
OFFICE CEILING LIVE LOAD: 50 PSF

ULT DESIGN WIND SPEED
(V ULT 3 SEC. GUST:140 MPH
NOMINAL (V ASD):108 MPH

THIS DOCUMENT HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION TO THE BEST OF MY KNOWLEDGE, REQUIREMENTS OF THE APPLICABLE BUILDING CODES HAVE BEEN MET. (I WILL NOT PERFORM PERIODIC OBSERVATIONS DURING THE COURSE OF CONSTRUCTION WHICH IS DESCRIBED BY THIS DRAWING)

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THOMAS M. SMITH P.E.
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6516 BOUTALL ST.
METAIRIE, LA. 70003

TEL (504) 887-3882
CELL (504)247-8294

NO.	BY	DATE	REVISION	APPD	DATE

RICH'S DRAFTING SERVICE
CUSTOM DESIGN AND DRAFTING
2721 INGRID LANE
METAIRIE, LA. 70003

TEL. (504) 885-8480
FAX. (504) 454-7388

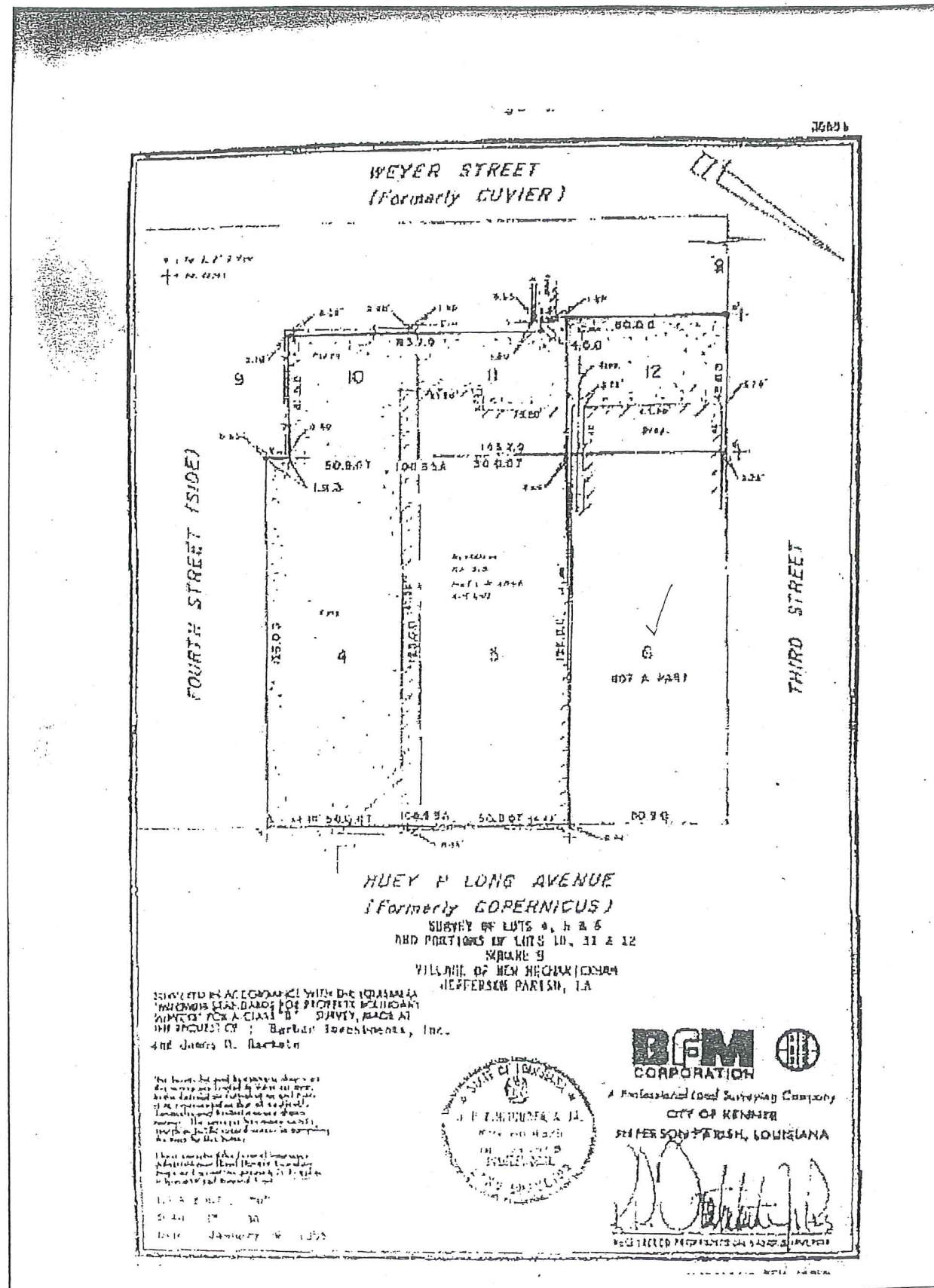
TITLE
BUILDING RENOVATIONS
FOR
RIVERBEND REVIVAL, LLC
300 HUEY P. LONG
GRETN, LOUISIANA

1st FLOOR PLAN

CUSTOMER
RIVERBEND REVIVAL LLC.

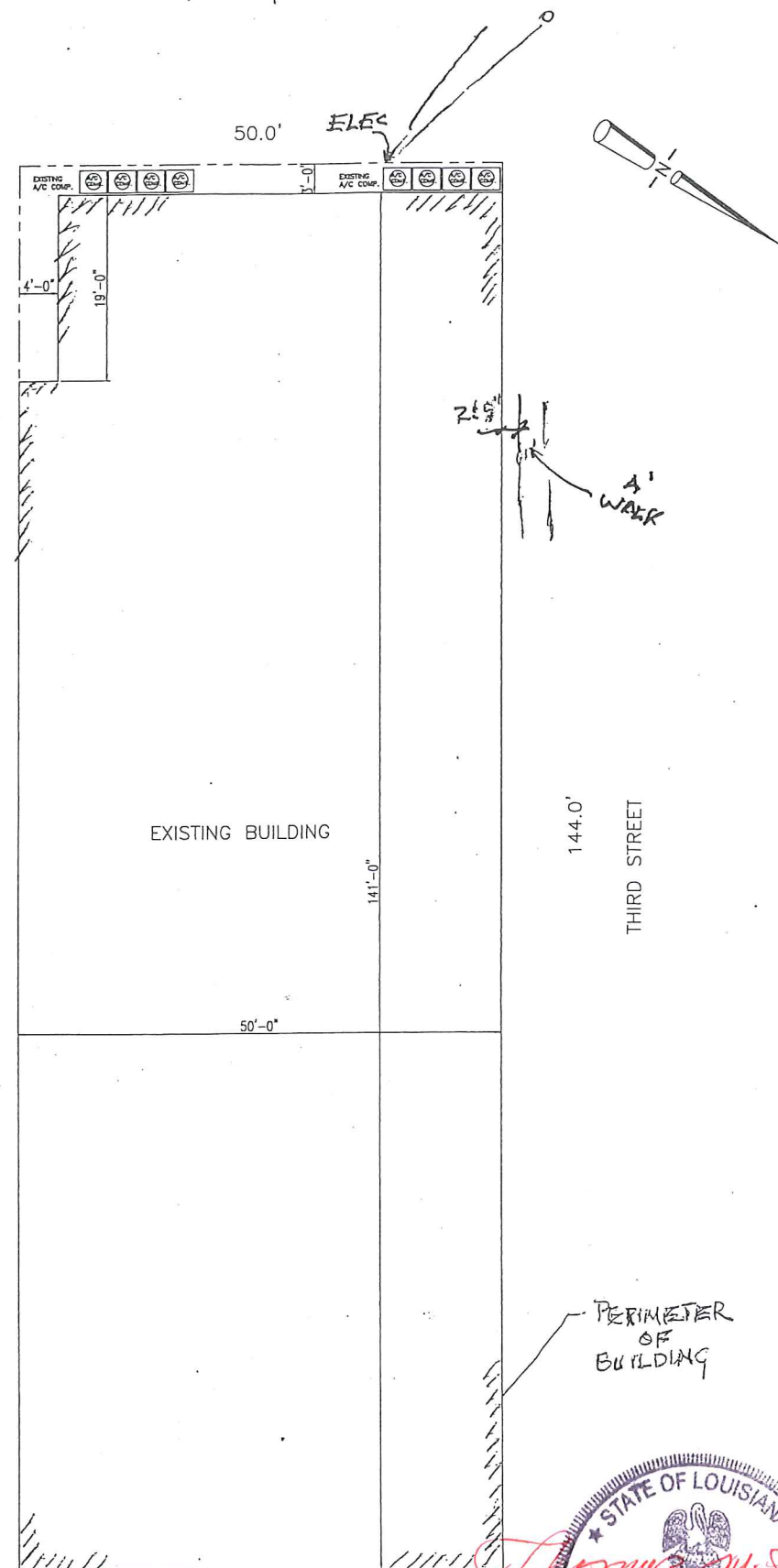
P.07/208 NO.

DATE	SCALE	NOTED	CHRD	TMS	OF	DRAWING NO.	REV.
04/24/17	DRN	RHB	SHEET	2	OF	6	A1



ORIGINAL SURVEY
NO SCALE

FORTH STREET (SIDE)
144.0'

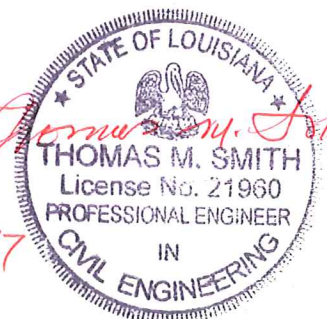


FRONT 50.0'

300 HUEY P. LONG AVE.

SITE PLAN
SCALE: 1/8" = 1'-0"

LOT #6 SQUARE #9
JEFFERSON PARISH



THOMAS M. SMITH P.E. CONSULTING ENGINEER 6615 BOUTALL ST. METairie, LA. 70003 TEL (504) 897-9882 CELL (504) 247-6254		DATE 1-4-17 JOB # 7866
RESIDENTIAL LIVING ABOVE EXISTING OFFICE SPACE	SHEET 1 OF 6	RIVERBEND REVIVAL LLC. 300 HUEY P. LONG GRETN, LA

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

300 Huey P. Long Ave

PROPERTY ADDRESS

Mindy Cook

NAME OF APPLICANT

Work Approved: Exterior improvements to existing building,
new windows and double doors with balcony, fire door
on side and replacement of arched windows with
rectangular windows. All renovations to match elevations
in package.

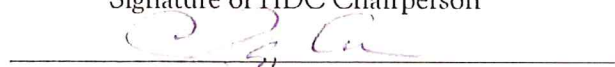
Approved 6-0



Signature of HDC Chairperson

1/30/17

Date



Signature of Applicant

1/31/17

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com

COA-17-0006



Historic District Commission

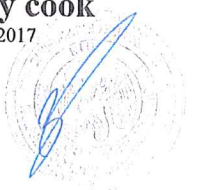
Meeting: January 30, 2017 4:00PM

300 Huey P. Long Ave.
(District 2)

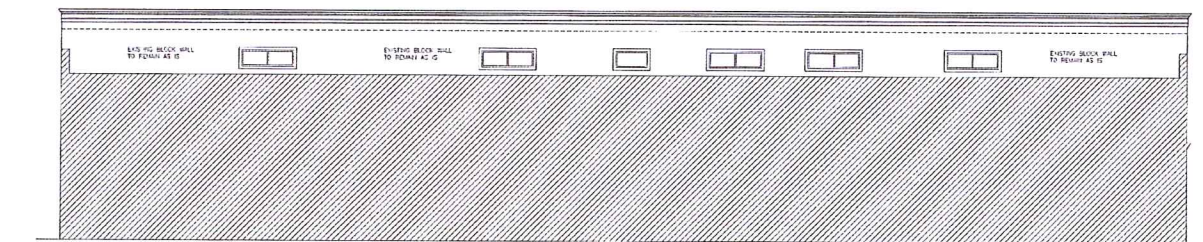
For: Exterior façade proposal

Applicant: Mindy cook
Submitted: January 18, 2017

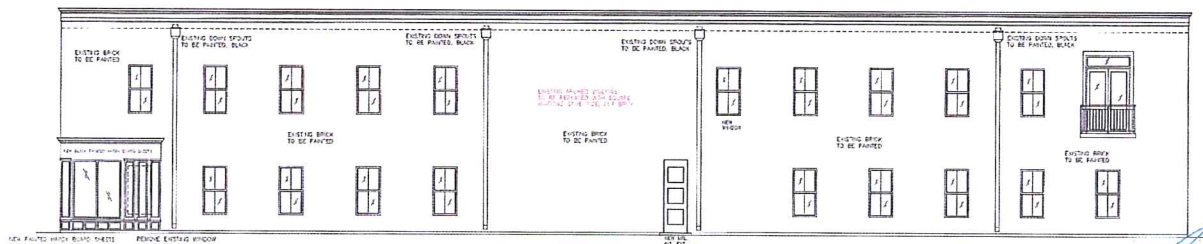
AP/20 6-0







LEFT ELEVATION
SCALE 1/8" = 1'-0"



FRONT ELEVATION
SCALE 1/8" = 1'-0"

COOK RESIDENCE 300 HUEY P. LONG GRETN, LA	RESIDENTIAL LIVING ABOVE EXISTING OFFICE SPACE	SHEET 5 OF 6	EUGENE A. BRIAN REGISTERED PROFESSIONAL ENGINEER NEW ORLEANS, LA 70124 (504) 283-0364 FAX: (504) 283-9203	1-4-17
				REG. NO. 11960 EXP. 8/7806

