THE CITY OF GRETNA HISTORIC DISTRICT COMMISSION MEETING

740 2nd Street, Gretna, LA 70053 2nd Floor Council Chambers May 1, 2017 - 4:00 PM

AGENDA

AGENDA ITEM(S):

- 1. Call to Order/Roll Call
- 2. CONSENT AGENDA for Certificate of Appropriateness:
 - A. 412 Lavoisier Street

For: Rear awning - Kelly Steele, Applicant (District2)

B. 213 Wiedman Street

For: Handrails - Michael A. Hinyub, Applicant (District 2)

- 3. Properties with current request for Certificate of Appropriateness:
 - A. 1321-1323 Franklin Street

For: Handrails - Starletis Goodwin, Applicant (District 1)

B. 318 Newton Street

Remove vinyl siding to expose wood; replace porch pavers with brick - Kennon LeBlanc, Applicant (District 2)

C. 500 9th Street

Exterior facade, window, door, lights and sign - Rattanasak Chotikarnkul, Applicant (District 2)

D. 1024-1026 6th Street

For: Windows, cornice and shutters - Bilal Zughayer, Applicant (District 2)

E. 1031 10th Street

Front door, windows, garage door and front door - Donna Accardo, Applicant (Dist. 2)

F. 538 Weyer Street

Exterior renovations and addition - Colin Van Wingen, Applicant (District 2)

G. 1337 Madison Street

For: Doors and fence - Dina Lalley, Applicant (District 1)

H. 529 3rd Street

Exterior facade with changes amended (April 26, 2017) - Tamara Moffett, Applicant (Distric 2)

I. 827 6th Street

For: Exterior renovations - Maria Plaisance, Applicant (District 2)

J. 300 Huey P Long Avenue

For: Exterior facade - Mindy Cook, Applicant (District 2)

4. Adjourn



<u>Historic District Application for Certificate of Appropriateness</u> Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District — area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham — Gretna Historic District.

McDonoghville Historic District—area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
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<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

<u>Ordinary Repairs and Standard Maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Page 1 of 3

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 4 of 154

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address LID Lavoisier St.	
Renovation: Resor awaisage ?	
Age of Structure: Built 1920	Demolition:
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun double Shotzun/ Bungalow Bungalow defails	Italianate
Bungalow_ Bungalow defails	New Orleans Bracketed
Other	Eastlake
	Colonial Revival
	Other
Exterior materials proposed:	
Roof Metal	Soffit Handy
Fascia 12md-1	Siding
Masonry	Porches
Balconies	Handrails
Type of exterior lighting fixtures: Fans & C	ans
Style of windows:	
Type of exterior doors:	
Describe any ornamental woodwork:	

Page 2 of 3

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Elevations:	Front Space:	ft.	Side Space:	ft.	
	Rear Space:	ft.			
information	showing the proposed exter	ior altera	ation, additions, chan	gs, photographs, descriptions or other ges or new construction as would be il to make an informed decision.	
to zoning req	•	retna per		mission review only. Matters relating , plumbing, electrical, mechanical and	
Applicant's S	Signature: 76 T	ecle ?	Di	ate: <u> </u>	
	4112 Lauoisier				
Phone No:(5	<u>ы) 909-4913</u>		Cell No: <u>(</u>)		
For Office U	Use Only:	/	Date of Applicatio	n: 4/20/20/7	
Substantive	Change: Yes No	_	Inventory Number	: <i>41</i>	
	g Element to Gretna National				
Historic Dist	trict Commission meeting da	te:	May.	1st 2017 @ 400 po	h
				Hall, 740 2 nd Street, 2 nd floor	
Council Cha	mber. (Meetings held on the 2 nd	Wednesda	y of every month.)		

Page 3 of 3

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Page 6 of 154



Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

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District One
Michael Hinyub

District Two

Mark K. Miller

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Jackie J. Berthelot

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Norma Cruz

Finance Department
Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Baudoin

Public WorksDanny Lasyone

Parks and Recreation

Amie Hebert

Information Technology
Michael Wesley

Date: 4-20-17

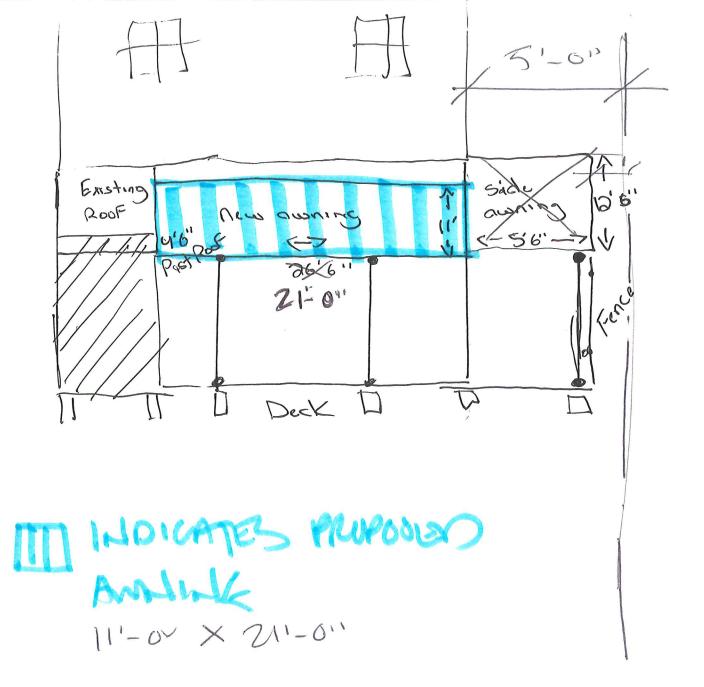
Address: 412 Lavoisiis Sy

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Google Maps 410 Lavoisier St





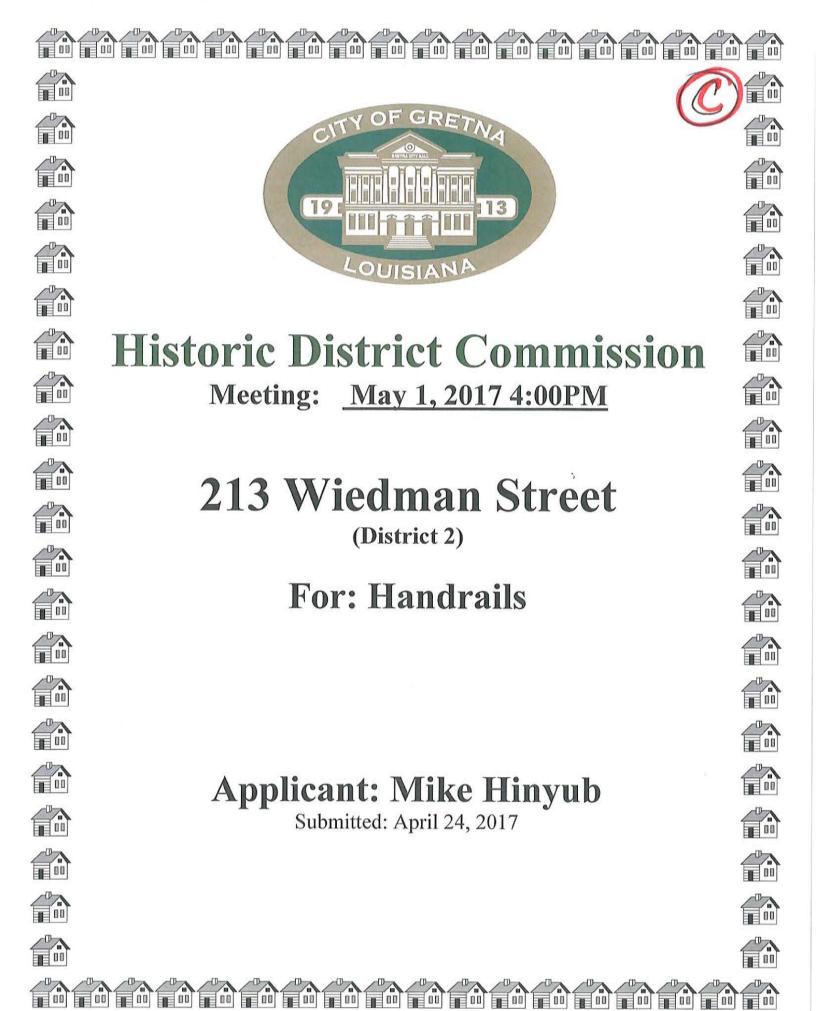












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e: Address 213 Wisoman 57 Renovation: Tratal Hans Rolls New Construction: Demolition: ge of Structure: 7 uilding Type: **Building Style:** reole Cottage Greek Revival notgun Italianate ingalow_____ New Orleans Bracketed her ____ Eastlake Colonial Revival_____ Other____ terior materials proposed: Roof_____Soffit___ Fascia_____Siding Masonry_____Porches____ Balconies Handrails Parates Market pe of exterior lighting fixtures:_____ le of windows:_____ pe of exterior doors: scribe any ornamental woodwork:_____

Elevations:	ront Space:ft.	Side Space:	/	_ft.
Re	ear Space:ft.			
information show	must be accompanied by ade ving the proposed exterior alt Historic District Advisory Co	eration, additions, cha	anges or new	construction as would be
to zoning requirer	information is for the purpose ments or other City of Gretna p st be applied for separately.	of Historic District Co permits such as: buildir	mmission revi ng, plumbing,	iew only. Matters relating electrical, mechanical and
Applicant's Signa	ature: ///	1	Date: 04-2	24-17
	e: MIKE HINNUS			
Address: 213	WIDDEN ST GRE	TWA LA 700	053	
Phone No:()		Cell No: (504) 3	82-402)	
For Office Use O	Only:	Date of Applicati	ion: 4-,	24-2017
Substantive Chan	ge: Yes No	Inventory Number	er: M	me
Contributing Elen	ment to Gretna National Regis	er Historic District:	Yes	No_C
Historic District C	Commission meeting date:	Chay 1	84.	2017
	be held at the Council Regula	//		
Council Chamber	. (Meetings held on the 2 nd Wedneso	lay of every month.)		



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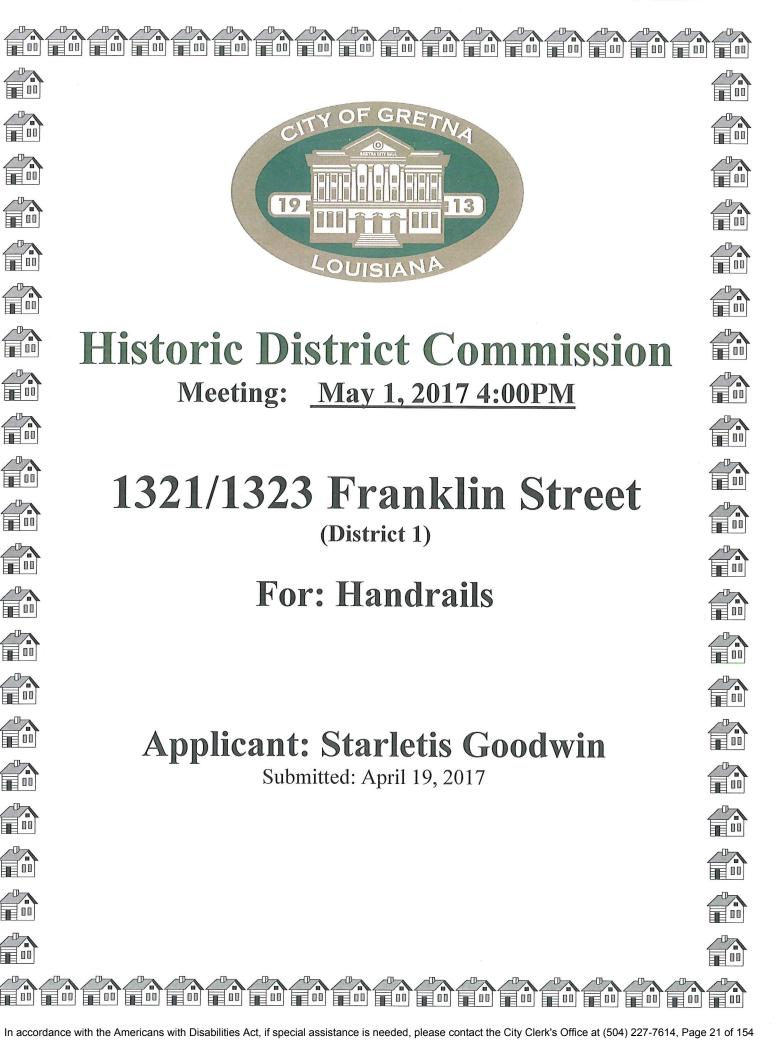
Parks and Recreation Amie Hebert

Information Technology Michael Wesley Applicant:

Date: 04-24-17

Address: 213 WIEDMAN 5







<u>Historic District Application for Certificate of Appropriateness</u>
Governed by Ordinance No. 4653 Adopted 2-11-15

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Page 1 of 3

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provide the following:
JIM AREA. CONSTRUCTOR 20023
Demolition only on one
Demolition: ONLY ON ONE
Stairs
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Orleans Bracketed
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r
Soffit
Siding
Porches
Handrails Metal (Same as Neikbore prestdoire

Page 2 of 3

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Elevations: Front Space:ft. Side Space:ft.
Rear Space:ft.
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or othe information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.
Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.
Applicant's Signature: Date: 1/21/2017
Applicant's Name: Storletis Goodwill
Address: PO BOX 228, Greens, LA DOSY
Phone No: (50) 914-0872 Cell No: ()
For Office Use Only: Date of Application: 4/19/2017
Substantive Change: Yes No Inventory Number: No
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: May 184 @ 4500pm
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)

Page 3 of 3

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Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

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Public Works Danny Lasyone

Parks and Recreation

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Information Technology
Michael Wesley

Address: 13213 1323 tranklin Ale, Graha CA





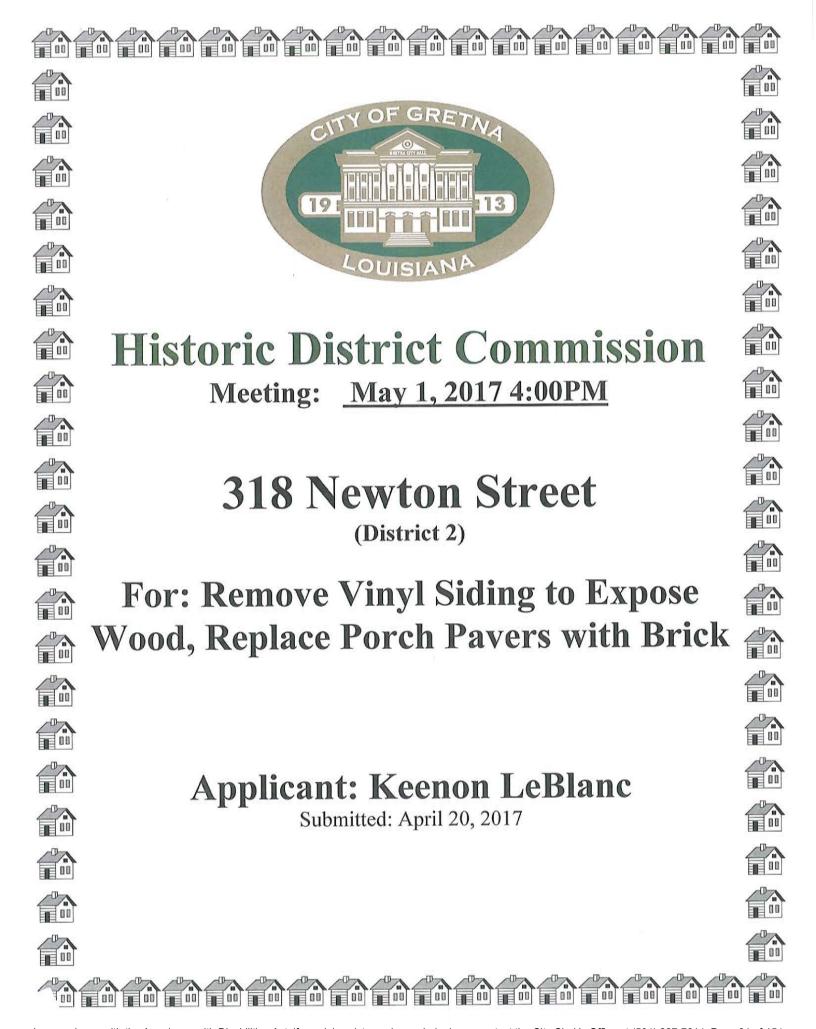


Next door at 1325 FRANKlin St.

Google Maps 1321 Franklin Ave







Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15 2017 1519

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In addition to the information on the cover sheet, please provide the following:

Re: Address 318 Newton Semoving Front Vernovation: Wood Siding will need New Construction:	Street, Gretna La 70053 Tinyl Siding to un-cover existing wood siding do be sanded and painted. Also removing front pavers and replace with brick pavers. Demolition: Demolition: Demolition: Demolition:			
Building Type:	Building Style:			
Creole Cottage	Greek Revival			
Shotgun Single Shotgur	Italianate			
Shotgun Single Shotgur Bungalow Sefficies	New Orleans Bracketed			
Other	Eastlake			
	Colonial Revival			
	Other			
Exterior materials proposed:				
Roof	Soffit			
Fascia	Siding Remove Viny 1 to expose original wood			
Masonry	Porches			
Balconies	Handrails			
Type of exterior lighting fixtures:				
Style of windows:				
Type of exterior doors:				
Describe any ornamental woodwork:				

Elevations:	Front Space:	_ft.	Side Space:	ft.	
	Rear Space:	_ft.			
information s	tion must be accompanied by showing the proposed exterio the Historic District Advisory	r altera	tion, additions, changes	or new construction as wou	ald be
to zoning req public works	This information is for the purp uirements or other City of Gre must be applied for separately	tna perr /.	nits such as: building, p	umbing, electrical, mechanic	
Applicant's S	Signature: Keenon	a	LeBlonc Date	04/20/17	
Applicant's N	Name: Keenon A.	Le	Blanc	\$ 8	
Address: 3	318 Newton S	tree	t, Gretna L	a 70053	
Phone No:(5	04) 915-1778	_	Cell No: () 9	15-1778	
For Office U	Jse Only:		Date of Application:_	4/20/17	_
Substantive (Change: Yes No_		Inventory Number:	*300	

Contributing Element to Gretna National Register Historic District: Yes______ No____

Historic District Commission meeting date:_______ May 184 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Contributing Element to Gretna National Register Historic District: Yes_____

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



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Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

Applicant: Keenar a. Le Blank

Date: 04/20/17

Address: 318 Newton Street



NOTES:

DEVICION DESCRIPTION

-WILL ADD RAILS ON SIMILAR TO THE ONES ON THE PREVIOUS HOME -PAINT SCHEME WILL BE THE EXACT SAME THE THE PREVIOUS HOME

-THE ENTIRE FRONT OF THE HOME WILL BE SANDED AND PAINTED

REVISION DESCRIPTION	ENG	CHK	APP	AUTH				OLD GRETNA HISTORIC DISTR. GRETNA, LA
								318 NEWTON STREET
					FIELD CODE	JOB NO.	DRAWING NO.	FRONT OF HOME RESTORATION



EXISTING HOME IN OLD GRETNA (USING THIS HOME AS A GUIDE - SAME BUILDER)

NOTES:

NO. BY DATE

DAT





PERMIT# 1510

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Page 1 of 3
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Substantive changes require review by the Historic District Commission

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Demolition: Of Side porch

Sign See Lesign Age of Structure: **Building Type: Building Style:** Creole Cottage Greek Revival Shotgun Italianate Bungalow New Orleans Bracketed Other Eastlake Commercial Structure Colonial Revival Exterior materials proposed: Balconies Type of exterior lighting fixtures: Mew mounte Style of windows: Type of exterior doors: Mone Describe any ornamental woodwork:

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Elevations: Front Space:ft. Side Space:ft.
Rear Space:ft.
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.
Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.
Applicant's Signature: Date: April 2/1/1
Applicant's Signature: Date: Apri/2/1/1 Applicant's Name: Rattanasak Chotikarrkul
Address: 500 9th Street Gelna, LA 70053
Phone No: (Cell No: 504 400-056/
For Office Use Only: Date of Application: April 21, 2017
Substantive Change: Yes No Inventory Number: More
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: May 18ta 4:00
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)

In accordance with the Americans with I

e:ft. Side Space:ft.
e:ft.
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Date of Application: Application: Application: No
Gretna National Register Historic District: Yes No
ion meeting date: May 18ta Groop
at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
s held on the 2 nd Wednesday of every month.)
$Page\ 3\ of\ 3$ Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 41 of 154



City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

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Departments

Jackie J. Berthelot

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Building and Regulatory

Danika Gorrondona

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Amie Hebert

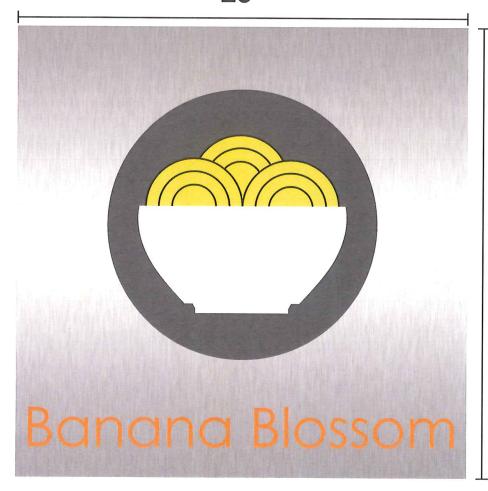
Information Technology
Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC)
meeting where my application for historic district appropriateness will be considered
will be held on May 184 3017 at 4:00 pm on
the second floor of City Half in the Council Chambers. I further understand that a
HDC application and/or Certificate of Appropriateness is NOT permission to
commence any work. A representative for the applied property is expected to attend
the meeting. If no representative attends, review may be deferred until the following
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Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building
Department approval because, while a project may be historically appropriate, it may
not meet current building and zoning code requirements.

Applicant:
Date:
Address: 500 9th Street Gretna LA 70053

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 42 of 154

25"



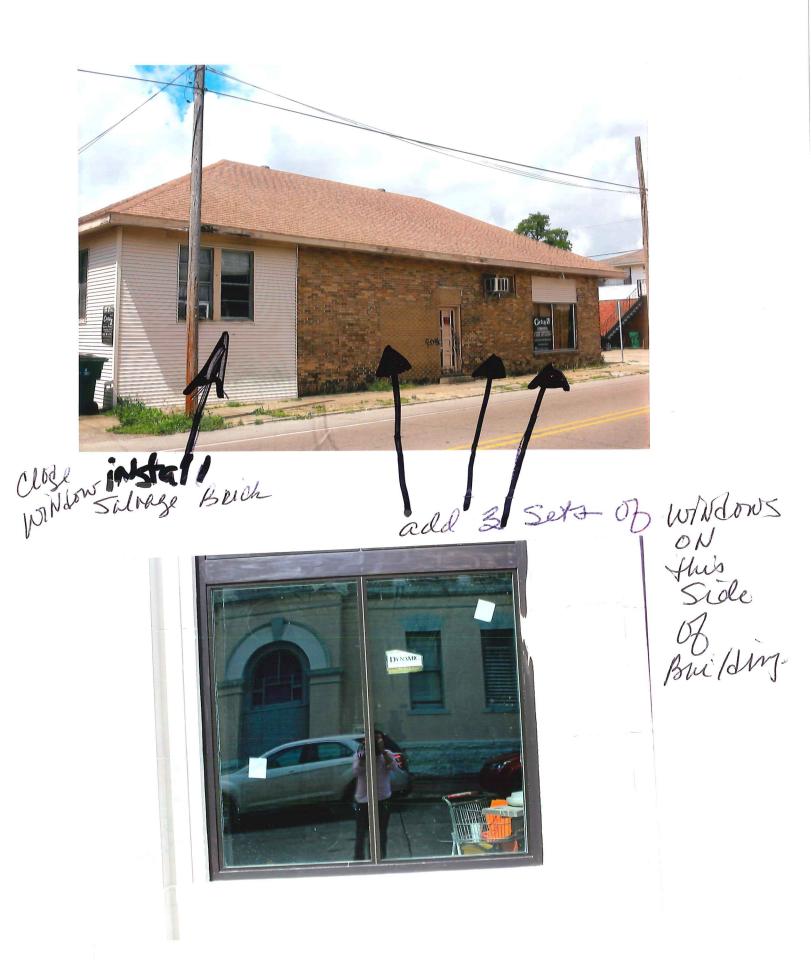
25"



New Wood Starr Railings



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Me W Solid Pairl Wildon



change per-existing sexterior wall with this style shutters wall

Proposed Lights



PHASE ONE

DEMOLITION AND EXTERIOR RENOVATIONS TO:

Project Directory

Owner Rattanasak Chotikamkul

Graham/Little/Studio
1432 Polymnia St.
New Orleans, LA 70130
James Brooks Graham III
504 782 3873
GL Studio@mindspring.com

Mech./Elec. Engineer

M-K Engineering 4323 Division Street Suite 211 Metairie, LA 70002

Magan Kabnsagra 504 887 2376

mkansagra@m·k-e.com

General Contractor

AFM Services 115 Jesuit Bend Dr Belle Chasse, LA 70037 Anthony Frankovich

amfservices5@gmailk.com

504-358-9592

Building Data

Gretna, Louisiana

Bounding Streets Ninth St., Lafayette St., Newton St., Tenth St.

Construction Type

Number of Stories

Building Floor Area 2.657 s.f.

Property Information 500 Ninth Street

760 Fairfield Ave Gretna, LA 70056 504 400 0561 jimmycho1975@gmail.com

Architect

BANANA BLOSSOM RESTAURANT 500 Ninth Street

Gretna, Louisiana

Drawing Index

- A0.1 Cover Sheet
- A1.1 Demolition Floor Plan
- A2.1 Existing Elevations A2.2 Proposed Elevations

General Notes

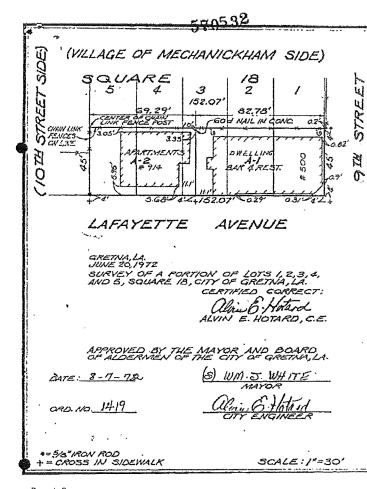
- 01. All work shall be compliant with the following building codes: IBC 2012 ed., City of Gretna Ammendments 2012 ed., NFPA 101 2012 ed., IMC 2012 ed., NEC 2011 ed., NFPA 13 2012 ed.
- 02. These drawings have been drawn and checked to insure a reasonable degree of accuracy. However, the Contractor is responsible for checking all dimensions, details and requirements of these plans and/or specifications prior to commencing work.
- 03. The sheets in these drawings are complimentary to each other, what is called for by one shall be binding as if called for by all and all parties involved shall become familiar with all sheets of drawings and specifications (if any) and not simply their own work in order to fully understand and develop the construction.
- 04. The General Contractor shall be fully responsible for verifying all site conditions and building location prior to construction.
- 05. The General Contractor shall ask for details whenever uncertain about methods of installation. Lack of details not requested shall not excuse improper installation, and correction shall be made the responsibility of the contractor.
- 06. The General Contractor is responsible for supplying all subcontractors with all Construction Drawings and Specifications necessary to bid and/or construct this project. Subcontractors' bids must reflect all conditions set forth in the Contract Documents.
- n7 The General Contractor shall provide solid blocking for any wall hung items indicated in the Construction Docume.

 The Owner/Tenant shall be responsible for notifying the General Contractor of any wall hung items to be installed that are not shown on the drawings.
- 08. All materials shall be new and U.L. listed unless specifically designated otherwise.
- 09. No work shall be concealed until approved by local inspectors
- 10. The General Contractor to provide warranties for all work for
- 11. Caulking on exterior shall be top quality silicone caulk.
- 12. Paint grade to be Benjamin Moore or equivalent. rams grade to be benjamin moure or equivalent, All work to receive three (3) coats. Color and finish to be selected by owner and verified by Contractor prior to contract signing. All paint to be highest quality by the manufacturer.
- Non-textured finish for all new sheet rock walls unless specified otherwise.
- 14. ALL plywood sheathing to be CDX type only unless specified
- 15. As per 2012 INTERNATIONAL BUILDING CODE: Handrals: Handrals having a minimum and maximum heights of 34 inches and 38 inches, and measured vertically from the nosing of the treads, shall be provided on at least one side of stairways of three or more risers
- 16. All required handrails shall be continuous the full length of the ramp or stair. Ends shall be returned or shall terminate in newel posts or safely terminals. The handraip portion of Type II handrails shall not be more than 614 inches in cross-sectional dimensions, and have a graspable finger recessed area on both sides.
- The handgrip portion of handrails shall have a smooth surface with no sharp corners. Architect to approve.
- 18. Handrails projecting from a wall shall have a space
- 19. Guardrails: Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guardrails not less than 42 inches in height measured vertically from said surface.

Phase One Scope of Work

Selected interior and exterior demolition with all exterior improvements to include new windows and doors where indicated, new exterior walls where indicated, masonry and skiling repairs, wood fascia and soffit repairs, new metal guardrail and handrails, and preparation and painting of all exterio

OCCUPANCY IS NOT REQUESTED IN THIS APPLICATION.



1 Property Survey

These plans and specifications were prepared by or under my close personal supervision. They comply with all State, Parish and City requirements to the best of my knowledge.

Graham/Little/Studio 1432 Polymnia St. New Orleans, LA 70130 504 782 3873 GLStudio@mindspring.com

o S

I will generally administer the work.

Drawing Date 17 April 2017

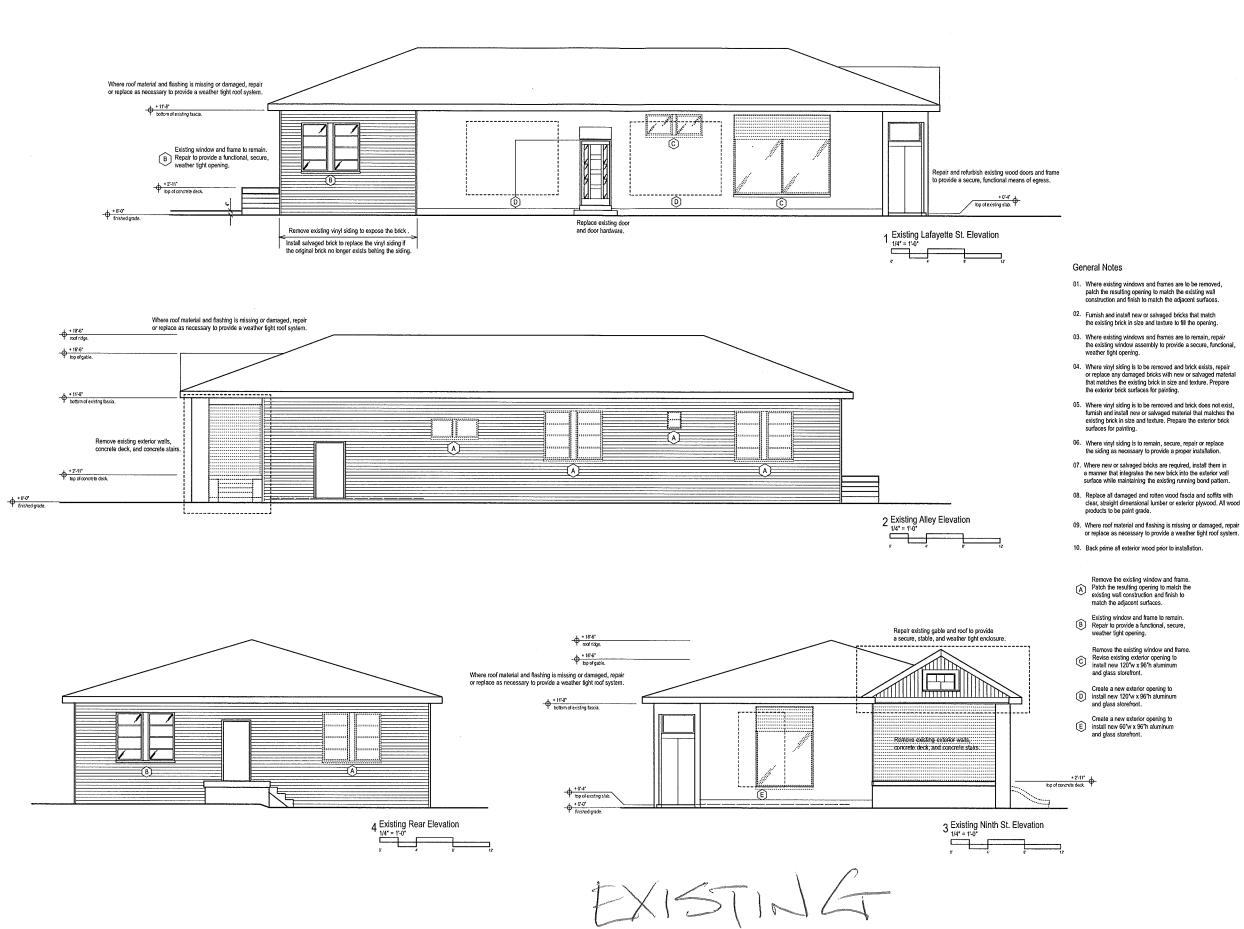
Project Name

Banana Blossom

500 9th Street Gretna, Louisiana

Cover Sheet

A0.1



Graham/Little/Studio

1432 Polymnia St. New Orleans, LA 70130 504 782 3873 GLStudio@mindspring.com

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Oraning Osia: 17 April 2017

Project Name.

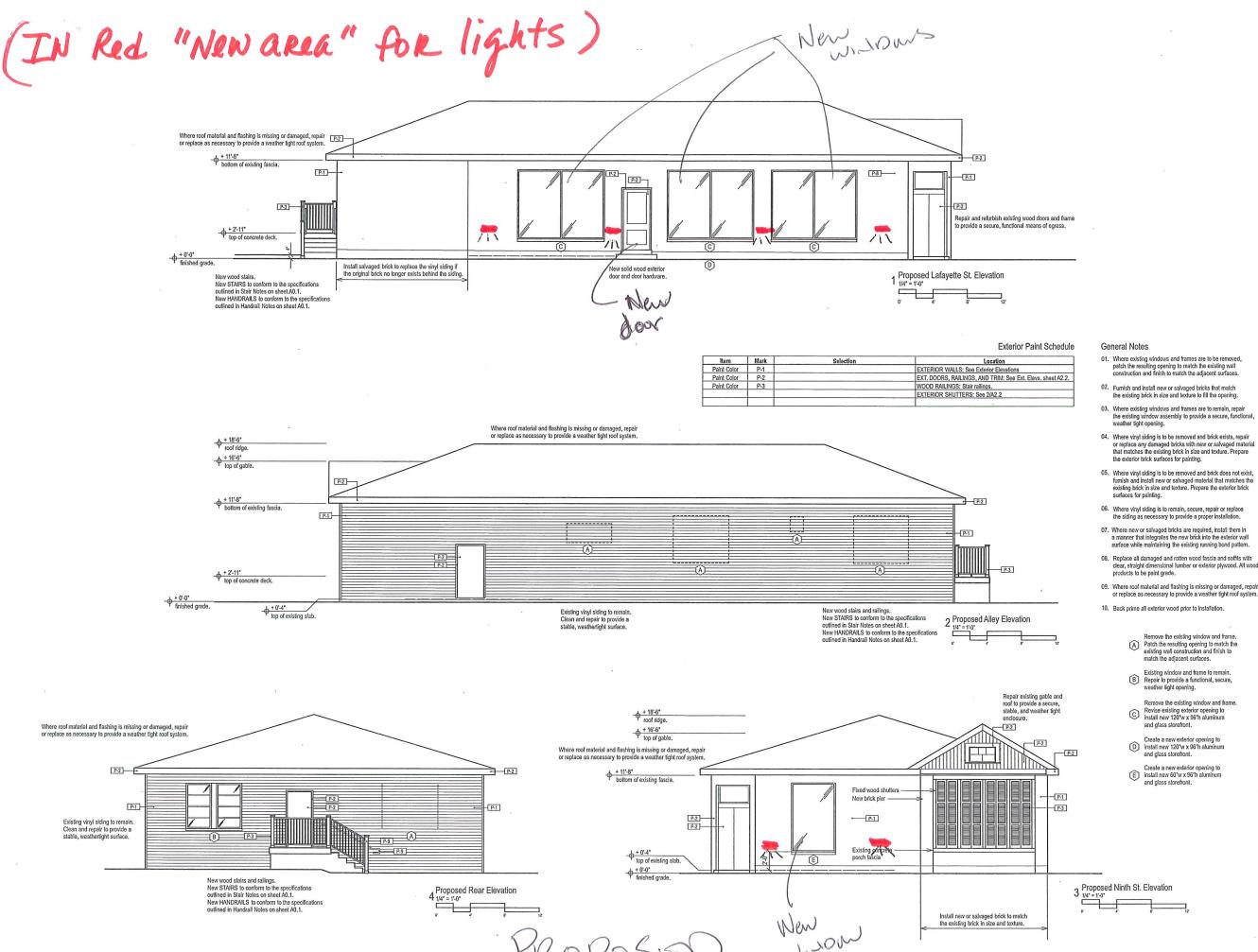
Banana **Blossom**

500 9th Street

Gretna, Louisiana

Existing Exterior Elevations

A2.1



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 50 of 154

Graham/Little/Studio 1432 Polymnia St. New Orleans, LA 70130 504 782 3873 GLStudio@mindspring.com

V O S R R

- 01. Where existing windows and frames are to be removed.
- 02. Furnish and install new or salvaged bricks that match the existing brick in size and texture to fill the opening.
- 03. Where existing windows and frames are to remain, repair the existing window assembly to provide a secure, functional weather tight opening.
- 04. Where vinyl siding is to be removed and brick exists, repair or replace any damaged bricks with new or salvaged material that matches the existing brick in size and texture. Prepare the exterior brick surfaces for painting.
- 05. Where vinyl siding is to be removed and brick does not exist, furnish and install new or salvaged material that matches the existing brick in size and texture. Prepare the exterior brick
- a manner that integrates the new brick into the exterior wall surface while maintaining the existing running bond pattern.
- 08. Replace all damaged and rotten wood fascia and soffits with clear, straight dimensional lumber or exterior plywood. All wood products to be paint grade.
- 10. Back prime all exterior wood prior to installation.
 - Remove the existing window and frame. Patch the resulting opening to match the existing wall construction and finish to match the adjacent surfaces
 - weather tight opening.
 - Revise existing exterior opening to install new 120 w x 96 h aluminum

 - install new 60'w x 96"h aluminum and glass storefront.

17 April 2017

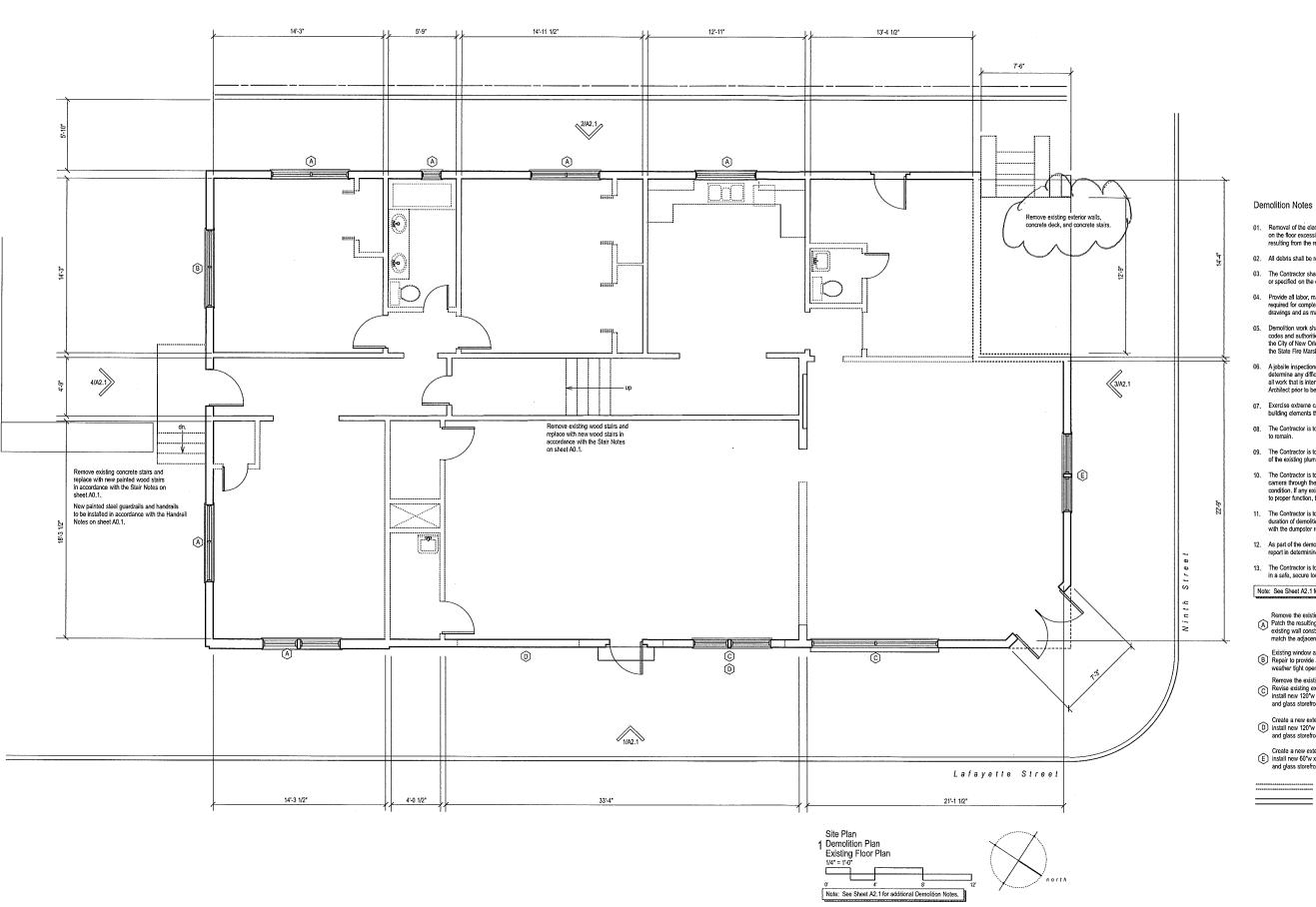
Banana Blossom

500 9th Street Gretna, Louisiana

Proposed

Exterior Elevations

A2.2



Graham/Little/Studio 1432 Polymnia St. New Orleans, LA 70130 504 782 3873 GLStudio@mindspring.com

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01. Removal of the elements described herein shall be accomplished without storing on the floor excessive quantities of any materials, rubbish, dirt, debris, or waste resulting from the removal operations on the floor.

02. All debris shall be removed from the site on a daily basis.

The Contractor shall review with the Architect any items of demolition not implied or specified on the drawings that must be demolished prior to removal.

04. Provide all labor, materials, equipment, and services and perform all operations required for complete interior demolition and related work as described in the drawings and as may reasonably implied as necessary to complete the work.

05. Demolition work shall comply with the requirements of all applicable building codes and authorities having jurisdiction, including the Vieux Carre Commission, the City of New Orleans Department of Safety and Permits, and the Office of

06. A jobsile inspectionmust be conducted to examine the existing conditions and to determine any difficulties that may arise at the time work is to commence. Examine all work that is intended to remain and report any unsatisfactory conditions to the

Exercise extreme care during demolition so as not to damage construction or any building elements that are to remain.

08. The Contractor is to provide a dust barrier for protection of existing areas that are to remain.

09. The Contractor is to engage a licensed subcontractor to perform a water jet cleaning of the existing plumbing lines to facilitate further inspection of their condition.

10. The Contractor is to engage a licensed subcontractor to provide an exploratory camera through the water jet cleaned plumbing lines to insure the lines are in acceptable condition. If any existing plumbing lines have breaks, clogs, sags, or any other impediment to proper function, the Contractor is to notify the Architect.

The Contractor is to provide a dumpster on the site or adjacent to the site for the duration of demolition. The Contractor is responsible for all permits and fees associated with the dumpster rental.

As part of the demolition work, the Contractor is to provide an electrical inspection and report in determining the existing condition of the electrical systems in the building.

The Contractor is to salvage those items identified by the Architect and store them in a safe, secure location.

Note: See Sheet A2.1 for additional Demolition Notes.

Remove the existing window and frame.

A Patch the resulting opening to match the existing wall construction and finish to match the adjacent surfaces.

B Existing window and frame to remain.

Repair to provide a functional, secure,

Remove the existing window and frame. Revise existing exterior opening to install new 120 w x 96 h aluminum

Create a new exterior opening to install new 120 w x 96 h aluminum and glass storefront.

Create a new exterior opening to install new 60"w x 96"h aluminum and glass storefront.

Partition to be removed.

___ Partition to remain.

Project Name:

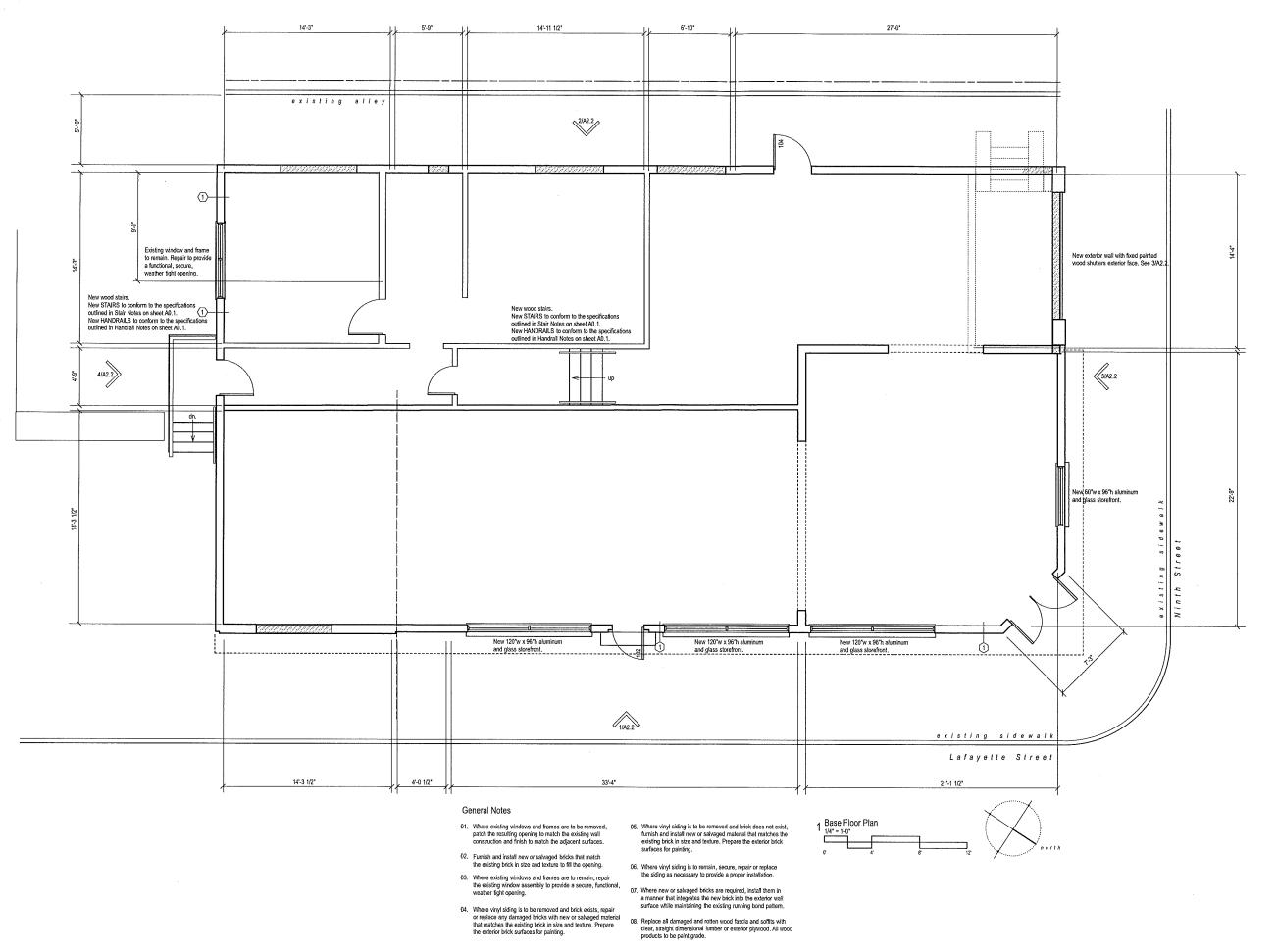
17 April 2017

Banana Blossom

500 9th Street Gretna, Louisiana

Site Plan Demolition Plan Existing Floor Plan

A1.1



Graham/Little/Studio
1432 Polymnia St. New Orleans, LA 70130
504 782 3973 GLStudio@mindspring.com



Organing Date:

17 April 2017

Banana Blossom

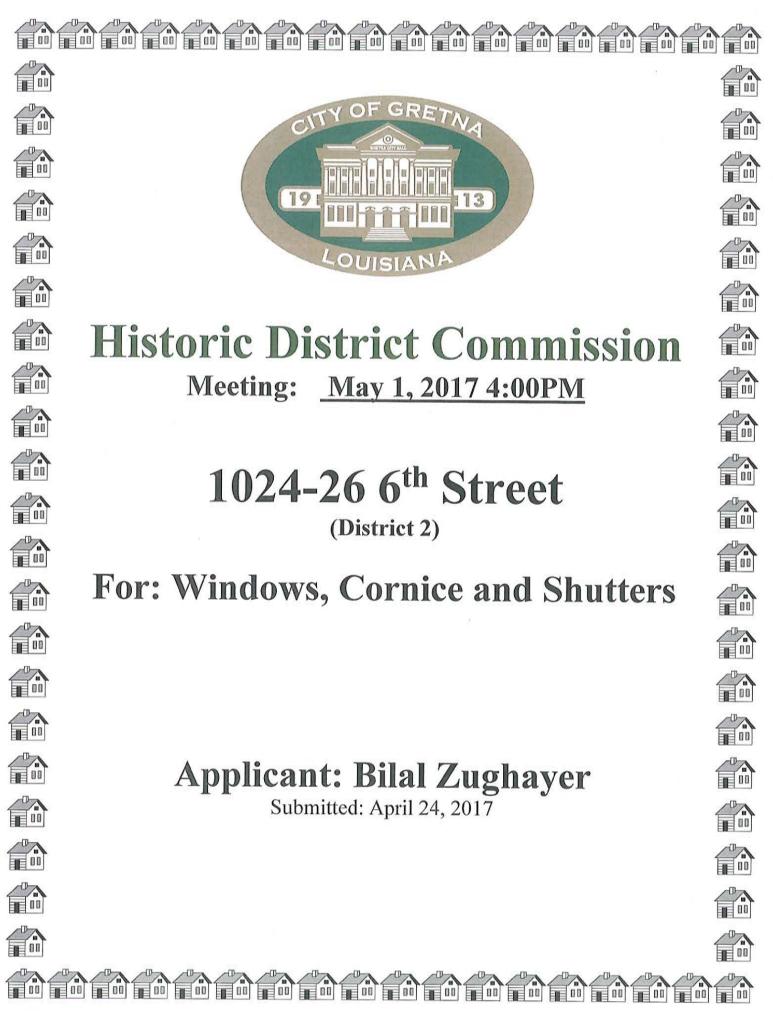
500 9th Street Gretna, Louisiana

The information contained in these documents is sole property of Graham. Little Studio. Any reproor other use of this information without written or of Graham. Little Studio is prohibited by law.

Base Floor Plan

Shert Number:

A1.2



Historic District Application for Certificate of Appropriateness 1527 Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District — area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham — Gretna Historic District.

☐ McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are Required for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition - the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

<u>Ordinary Repairs and Standard Maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1024 - 26 5	SIXTH ST.	GRETNA	LA	70053	_
Renovation: New	(Siding) Construction:	windows	(2W7)	Vdows, a	Shitters, molding)
Age of Structure: 50 455		Den	iontion		
Building Type:	Bui	lding Style:			
Creole Cottage	_ Gre	ek Revival		<u> </u>	
Shotgun	Itali	anate			
Bungalow	Nev	v Orleans Brack	eted		
Other	East	tlake			
	Cole	onial Revival		 1	
Exterior materials proposed:	Otho	er			
Roof		Soffit			
Fascia		Siding	V	From V	ign/to
Masonry		Porches			_ HardBoar
Balconies		Handrails			
Type of exterior lighting fixtures:	ORIGINAL				_
Style of windows: DUBLE HO					
Type of exterior doors: Dov 3 Describe any ornamental woodwork	MALLE ALLO	OW [WHITE	EKTER	IOR)	
Describe any ornamental woodworl	K: MAHOGAM	COVE MOUL	DING	ON TOP	OF WINDOW

Elevations:	Front Space:	_ft.	Side Space	:	ft.	
	Rear Space:	_ft.				
information s	ion must be accompanied by howing the proposed exterio the Historic District Advisory	r alterat	tion, addition	is, changes of	r new construction	as would be
to zoning requ	his information is for the purp airements or other City of Gre must be applied for separately	tna pern				
Applicant's S	ignature:			Date:	04/24/2017	_
Applicant's N	Jame: BILAL ZUGI	IAYER	2			
Address: 401	REALTY DR. GA	ETNA	LA	70056		
Phone No:()	_	Cell No: (S	ey) 500-	1000	_
For Office U	,	<u></u>	Date of Ap	plication:	4/24/20	17
Substantive C	Change: Yes No_W	-	Inventory	Number:	cuone	n
Contributing	Element to Gretna National F	Register	Historic Dis	rict: Yes	No	
Historic Distr	rict Commission meeting date	:	Ma	y 18	A @ 5	Coops.
	ng to be held at the Council R			/		floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

Mayor

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Milton L. Crosby

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Public Utilities

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Danny Lasyone

Parks and Recreation

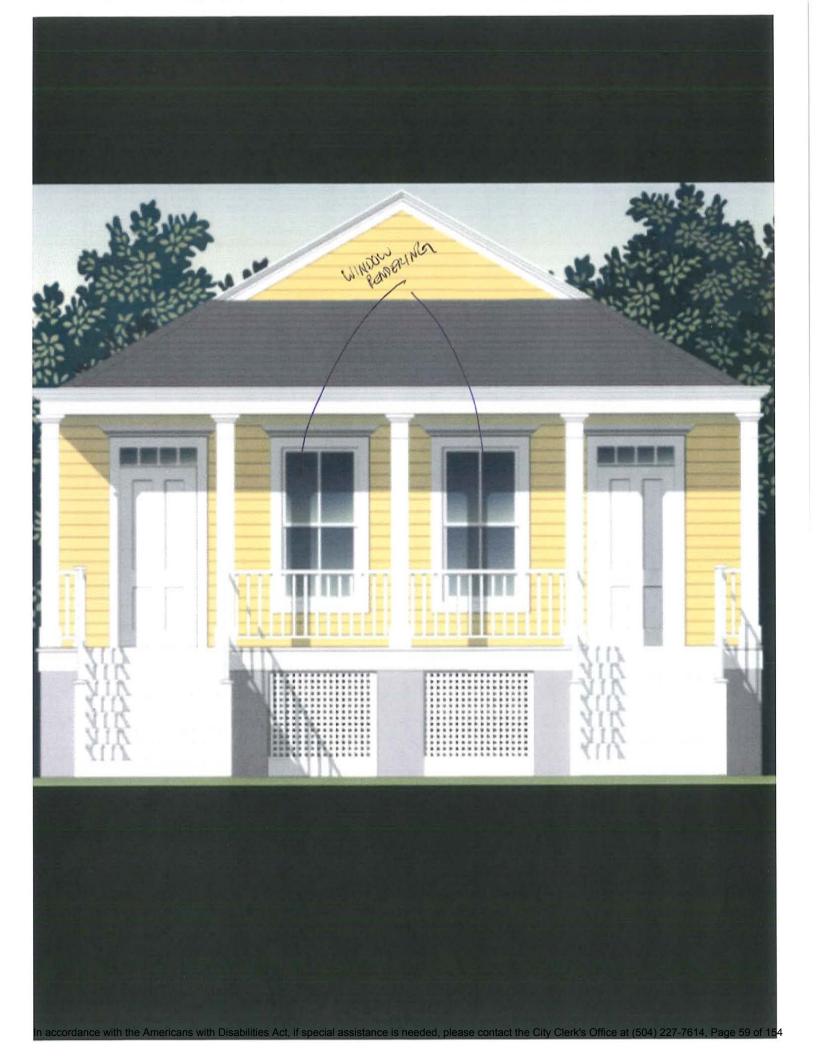
Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered Man the second floor of City Hall to the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

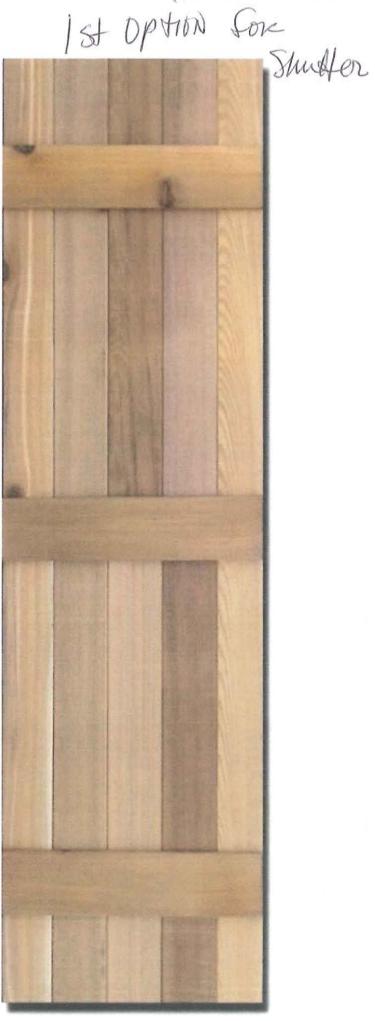






Mary Lear





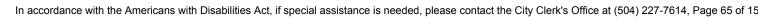






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Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15



For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

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<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

rage 1 of 5
In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 66 of 154
·

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1031 10TH 51REE1	GRETNA, LA 70053
Renovation:	placement and garage door replacement
New Construction:	[New- garage Loos)
Age of Structure: 50+	placement and garage door replacement in door persons from persons being Both organized
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other	Eastlake
	Colonial Revival
	Other Story ranch
Exterior materials proposed:	
ROOF EXISTING/NOWOR	Soffit EUSTINGIND WORK
Fascia Ensuno / Nowor	siding Hone
Masonry ENSTING MOU	Corches HA
Balconies	Handrails Nove
Type of exterior lighting fixtures:	
Style of windows: Single hung	
Type of exterior doors: existing gar	rage door is panelled
Describe any ornamental woodwork:	I

Page 2 of 3
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Elevations: Front Space:ft. Side Space:ft.
Rear Space:ft.
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.
Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately. Applicant's Signature: Date: 474/7
Applicant's Name: DONING ACEARDO
Address: 2401 WHINEY AVE, GRETNA, LA 70056
Phone No: 64366-4475 Cell No: 64)234-1388
Substantive Change: YesNo Inventory Number: Contributing Element to Gretna National Register Historic District: Yes No Historic District Commission meeting date:
Public Hearing to be held at the Council Regular Meeting; Greetna City Hall, 740 2nd Street, 2nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)
D 2 - C2
Page 3 of 3 accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 68 of 154



City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
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Michael Hinyub
District Two

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Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology
Michael Wesley

I, <u>Donna accardo</u> the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on <u>May 1, 2017</u> 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant
Donna Accardo NAME OF APPLICANT (PLEASE PRINT)
2401 Whitney Ave Gretia, LA Applicant's address
1031 10th Street Actual address of the property for review
Date: 4/24/17

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 69 of 154

1039 10th St



Image capture: May 2016 © 2017 Google

Gretna, Louisiana Street View - May 2016



Image capture: May 2016 © 2017 Go
EXISTILLE
HOUSE

- RAMOLE EXISTILE DUBLE
GAMPLE DOUBLE.



Project: 1031 10th street Window replacement

HDAC Gretna

Letter of Transmittal

Date: 4/24/17	
From: Donna Accardo	
Our Job No.:	

Number	Description
2	Permit drawings with elevations
1	Quote from window world for new windows
1	Pella series 250 spec
1	Picture of Pella garage door

Remarks: The scope of the work on this project is limited to the following:

- 1. Replacement of existing wood 2/2 single hung windows with new Pella 250 series vinyl white windows 1/1. This was previously permited and approved by the HDAC in 2013, but the construction was not implemented at that time.
- 2. Replacement of (2) existing 8' wide garage doors with one 16' wide min. garage door Pella Ventura series with metal panels.

Please see the attached drawings and photographs to depict the extent of the work.

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 71 of 154



1.866.WIND.189 (866-946-3189)

Window and Patio Door Contract

Showroom Locations:

Baton Rouge (HQ) 8405 Airline Hwy, Baton Rouge, LA 70815

New Orleans 8814 Veterans Blvd, Metaine, LA 70003

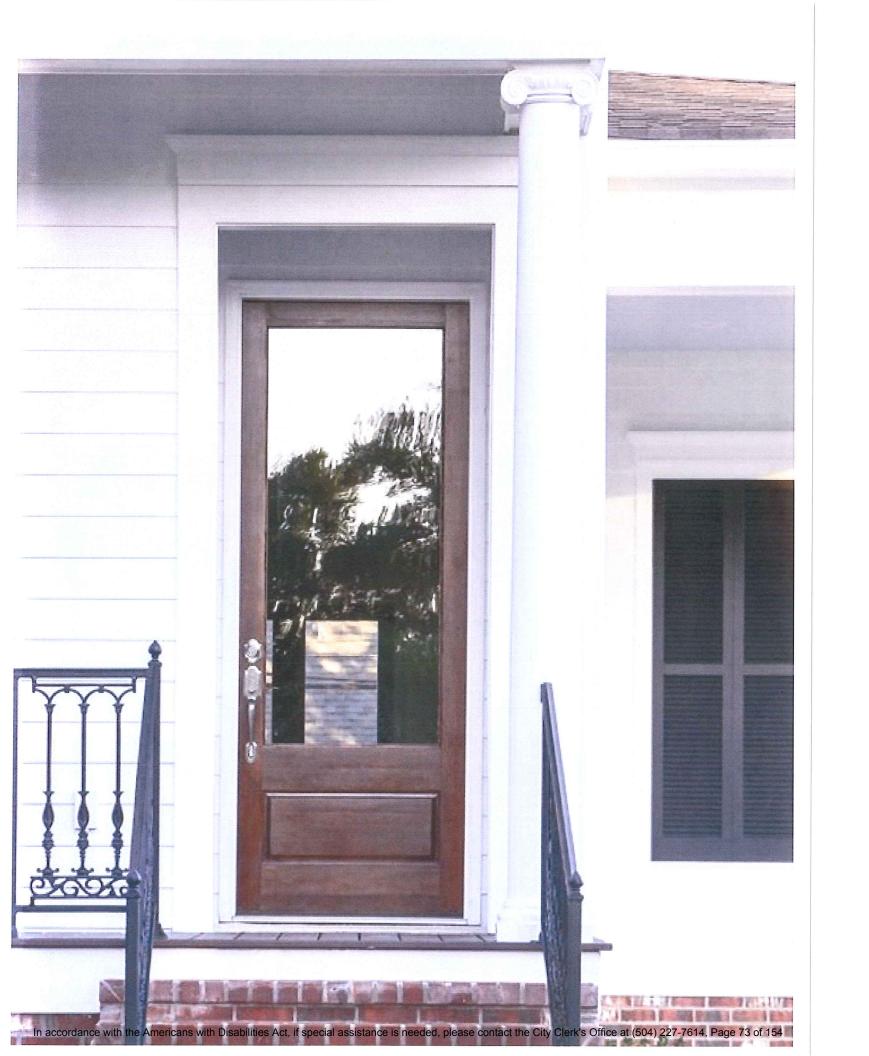
Lafayette 114-A Amould Blvd., Lafayette, LA 70506

Houston 5978 South Loop East, Houston, TX 77033

Houston 10540 Bissonnet, Suite 150, Houston, TX 77099

Name	Raymond Ramano	Email	rou@illin	onvillas as	Houston 10540 Bissonnet, S	Section and section of the section o	II, IA //USS
Name: Address:		Email:	ray@tikimo stomer ID #:	UHYMAS.COM	1 Home #: 808- Work #:	J/ 1-400/	
City:		te: La	Zip Code:	70053	Cell #.		-
City.		le. La	Zip Code.	70000	COMPANY OF THE PROPERTY OF THE		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
l	<u>Windows</u>			ł	<u>Options</u>		
Ī	Double Hung			l	Half Screen	\$10	
1	Series Model #				Full Screen	\$22	
ł	2000 DH Mech/Weld 0401	\$200			Double Locks (> 30" wide	e) \$9	
	6000 DH Weld/Weld 0501	\$225			Argon Gas	\$21	
	(For oversized windows)				Foam Insulation Wrap	\$10	
24	4000 DH Weld/Weld 0201	\$200	4,800	l ——	Beige Color	\$32	
	(Premium Grade)	,		1	Wood Grain - Inside Surfac		
l	Other Styles			14	SolarZone Low-E-Glass	\$45	630
2	Picture Window	\$329	658	<u> </u>	SolarZone Elite Low-E-Gi		
	2 Lite Slider	\$329			DP Rated Glass	N/C	
	3 Lite Slider	\$529		l ——	Tempered Glass Sq Ft.	\$7/Sq.ft	
	Casement / Awning	\$289		l ——	Obscure Glass	\$773q.it	
	Series 6000 Upcharge - Add	\$25		I ——	Lifetime Glass Break War		
	• •						enomp-
į.	Special Shape W/Operating Sash	\$559		l	Oriel/Cottage Style 60/40	\$26	
1	Specialty Windows				Colonial / Contoured Grids	\$37	
L					Exterior Color	\$150	
<u></u>				l			·
L							
l	Comfort World Fixed Shutters			1	Value Plus Pa	ckage \$59	
1				l ——	Energy Star Pa		
l	Louvered/Raised Panel Shutters	\$85			AMI - Qualified P		···
		,			Additional Labor Char		**************************************
PRF	E 1978 BUILT HOMES (Federal Lead	1 Containme	nt Law)	1	Remove Storm Window	\$10	
	ome Was Built In The Year	Initials:	,,,		Remove Aluminum Windov		
	1		Children's	l ——	Remove Steel Window	\$50	
			n Hospital				
VVINE	WORLD -		oution:	l ——	Remove Aluminum In Stuce		
		Conti	Batton.		Remove Steel In Stucco	\$110	
-~	The State of the S				Structural Mullion for multi-	unit \$90	
				l —	Custom Jamb/Sill Cutback	\$80	
	DOORS	/		1	Install Exterior Capping	\$125	
	VSP Vinyl Rolling Door 6' 6106	\$950		l ——	Install Custom Int/Ext Trim	\$40	
	VSP Vinyl Rolling Door 8' 6108	\$1,195			Repair Sill OR Jamb	\$15 / Ft	· · · · · · · · · · · · · · · · · · ·
	VSP Vinyi Rolling Door 9' 6109	\$1,425			Install Mullion for multi-unit	\$30	
***************************************	VSP Vinyl Rolling Door 12' 6112	\$2,029			2nd Story Charge	\$10	
	SolarZone Low-E & Argon - Door	\$100		l ——	Bay Window Finish & Trim	\$300	
	SolarZone Low-E Elite / Solarzone 2				bay willdow rillisti & Timi	φουσ	
	Grids - Patio Door						
	Gilds - Patio Dooi	\$100		l			
The bruce	t is recognition for postuling only good of your	wite as opposite	a for this work o		a re-revel and re installation of any	of the same of the	
	r is responsible for securing any needed pen ecurity system, burglar bars, A/C units, windo						
	at the following rates: A/C Unit-\$50; Curtains					Jving Hair.	
and the second second	World agrees to install windows and doors a					necified above fo	r the price guoted
	rm. No other promises, expressed or implied						
•	"If Window World seeks legal counsel to a					eys fees and cos	ats.
i	_	-			eturned NSF checks.	•	
	You the buyer may cancel this tran			جنشنان بنانات مغجمات	مسمعات الأناب المسابة الناسط المناسف فلسم وسأحماث فسيسبب يستجيب	the date of t	his
	ransaction. Notice of cancellation m						
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No extra	work if not in writing!		Cus	tomer Agre	es to the terms of payment	as follows:	
l		1			Total List P	rice \$	6,088.00
I		į		A	dministrative & Setup Fee \$		100.00
1				^	· ·		
1					Sales Tax (MS Only -		0.400.00
ĺ					Total Amo		6,188.00
Ī		Ì	CK#		Custom Order Deposit 5	0% \$	3,094.00
I		i		Balance P	aid to Installer upon Comple	tion \$	3,094.00
1		1			Amt Finan		0.00
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			VISA	AMEX	M/C DISC# Exp	. Date	Sec. Code
207	Jimmy Graham	11/21/12	<u>.</u>				
Emp. #	Estimator	Date	7	Owner			Date
Window World of	Baton Rouge, U.C dits/a Window World, World of Windows	•					
	te Yesow Copy - Estimator Pink Copy - Customer		7	Owner			Date
Form # BTR-WC-							Revisad 6/8/2012
· MILL A PARTY OF							CONTROL OF OVER 12

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Pella® 250 Series Vinyl Double-Hung Window Product Details



Recognized as the Most Efficient of ENERGY STAR

View Energy Performance and Installation Information



Pella® Garage Doors | Wood, Steel, Vinyl | Unique Designs. Exceptional Performance

Page 1 of 2

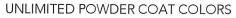




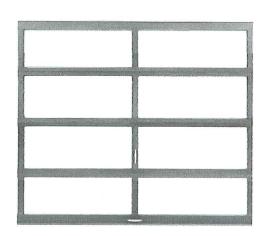


UNIQUE WINDOW OPTIONS

Design the perfect garage door to match your contemporary home with a broad offering of tempered window options for as much visibility as you desire.



Dress up your garage door with powder coat finishes from our 24 stocked colors for fast turnaround or match any color spec with a custom powder coat paint.





UP TO 24' WIDE

Door sizes available to close up the largest opening in your home with beautifully designed garage doors.

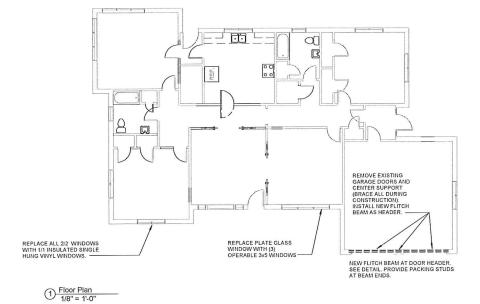
http://www.pellagaragedoors.com/residential/collection_features/ventura

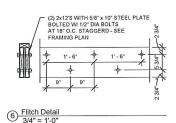
4/24/2017

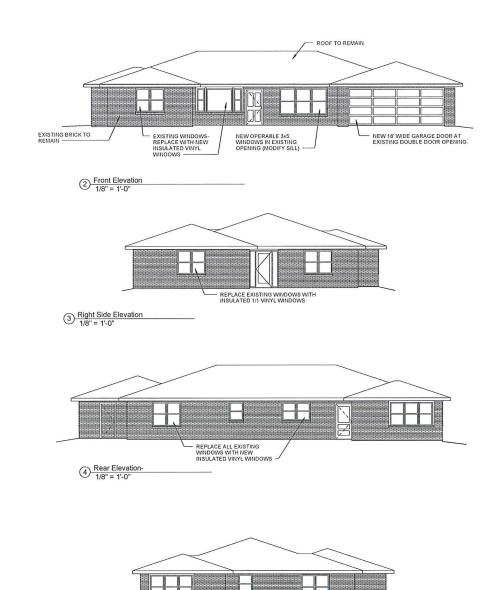
In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 75 of 154

SCOPE OF WORK: THE SCOPE OF WORK IS TO INCLUDE THE FOLLOWING:

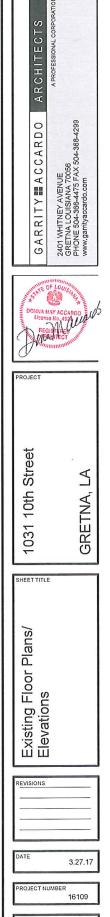
- 1. REMOVAL OF TWO EXISTING GARAGE DOORS AND INSTALLATION OF ONE 18' WIDE GARAGE DOOR AT EXISTING LOCATION. SEE PLANS.
 2. REPLACEMENT OF EXISTING UNINSULATED WINDOWS WITH NEW 1/1 VINYL INSULATED SINGLE HUNG WINDOWS.



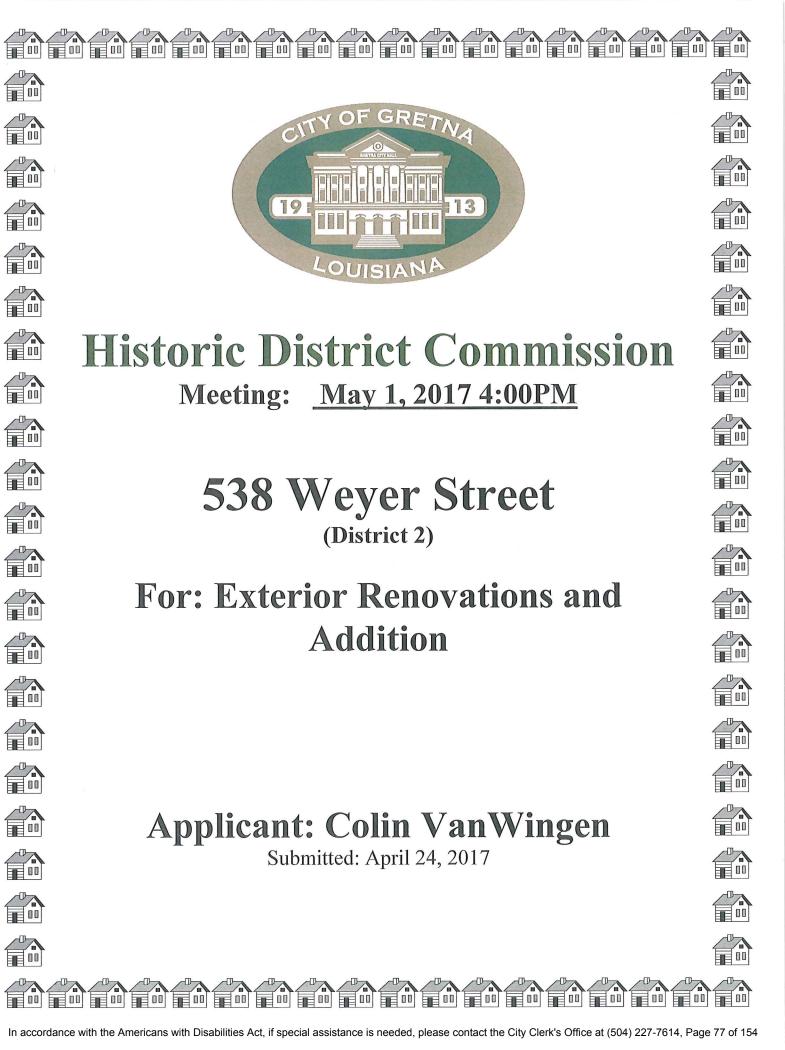




REPLACE ALL EXISTING WINDOWS
WITH NEW 1/1 VINYL INSULATED
WINDOWS



A-100



Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15



For the purpose of the Historic Preservation District applications and permits, the following shall apply:

X	Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth
	Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east
	side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register
	Historic District is included within the Mechanickham – Gretna Historic District.

☐ McDonoghville Historic District — area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

<u>Demolition</u> – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

<u>Ordinary Repairs and Standard Maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

of the neighborhood.	
Substantive Change - changes, which alter the historical or architectural character such as windows,	
columns, porches, doors and exterior ornamental decorative.	
Page 1 of 3 In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 78 of 154	

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 538 Weyer Street		
	ng structure, replace windows, 1/2 round gutter, repair	front door, add anwing at front
Renovation: doors, new planter		
New (Construction: New addition at rear of existing structure deck. Demolition:	
Age of Structure: circa 1890, Gretna Hi		Demo existing lean-to addition.
Building Type:	Building Style:	
Creole Cottage	Greek Revival	
ShotgunDouble shotgun	Italianate	
Bungalow	New Orleans Bracketed	
Other	Eastlake	
	Colonial Revival	
	Other_ Gablette Front	
Exterior materials proposed:		
Existing asphalt shingl ${ m Roof_ranf}$ to match	roof and new asphalt shingle Soffit Existing hardie board	d, new hardie at addition
Fascia_Existing Hardie boar	new Hardie at addition Siding Existing hardie board	d, new hardie at addition
Masonry New brick planter	and steps at front entry Porches New covered porch	h at rear of structure
Balconies_N/A	Handrails N/A	
Type of exterior lighting fixtures: ⁷	ew fixtures at each front door, one fixture at rear door, see elevation The vith new 6 over 6 windows to match size, new 3 over 3 windows at k	on
Replace existing windows Style of windows: windows at rear addition	ith new 6 over 6 windows to match size, new 3 over 3 windows at k	kitchen and bathrooms, new
Type of exterior doors: Existing doors at	ront to be repaired, 2 new glass doors at rear of property	
Describe any ornamental woodwork	N/A	

 $Page\ 2\ of\ 3$ In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 79 of 154

Front Space: 22'-0" ft. Side Space: 13'-5" ft.
Rear Space: 19' - 9 1/2" ft.
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.
Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.
Applicant's Signature: Date: 2017.04.24
Applicant's Name: Colin VanWingen_GDATstudio
Address: 2517 Conti Street New Orleans, LA 70119
Phone No:(Cell No:_(
For Office Use Only: Date of Application: 4/24/2017
Substantive Change: YesNo Inventory Number:
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: May, 24 (20/7
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)

Elevations:

 $Page \ 3 \ of \ 3$ In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 80 of 154

2017.04.23





FRONT FROM WEYER STREET - Doors, siding and gable shingles to remain



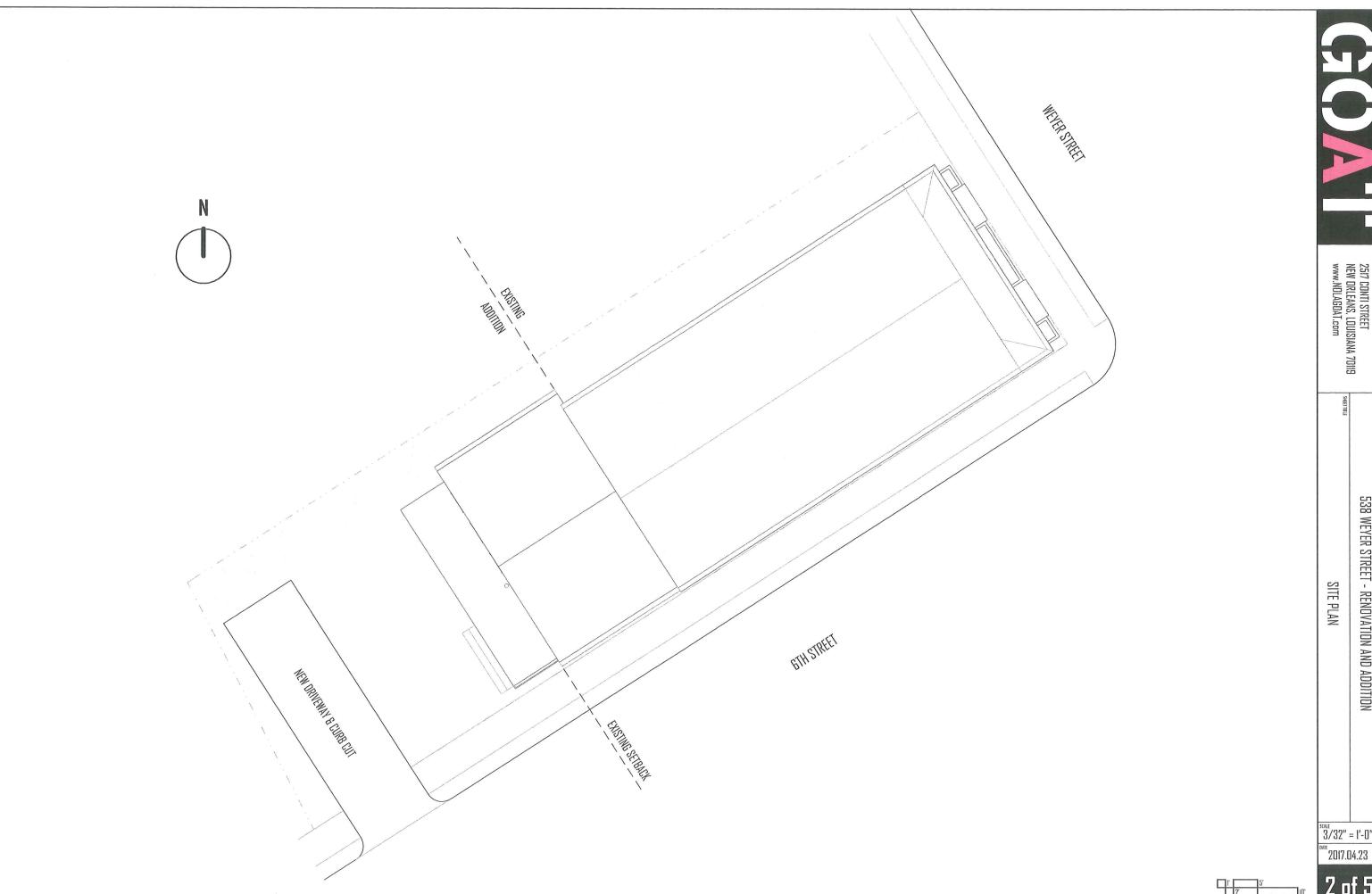
SIDE FROM 6TH STREET - Window locations and scale to be maintained; windows to be replaced



BACKYARD - Existing "lean-to" addition to be removed



SIDE FROM 6TH STREET - Existing "lean-to" addition and fence to be removed



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 82 of 154.

2517 CONTI STREET NEW ORLEANS, LOUISIANA 70119 www.NOLAGOAT.com

538 WEYER STREET - RENOVATION AND ADDITION

3/32" = 1'-0"

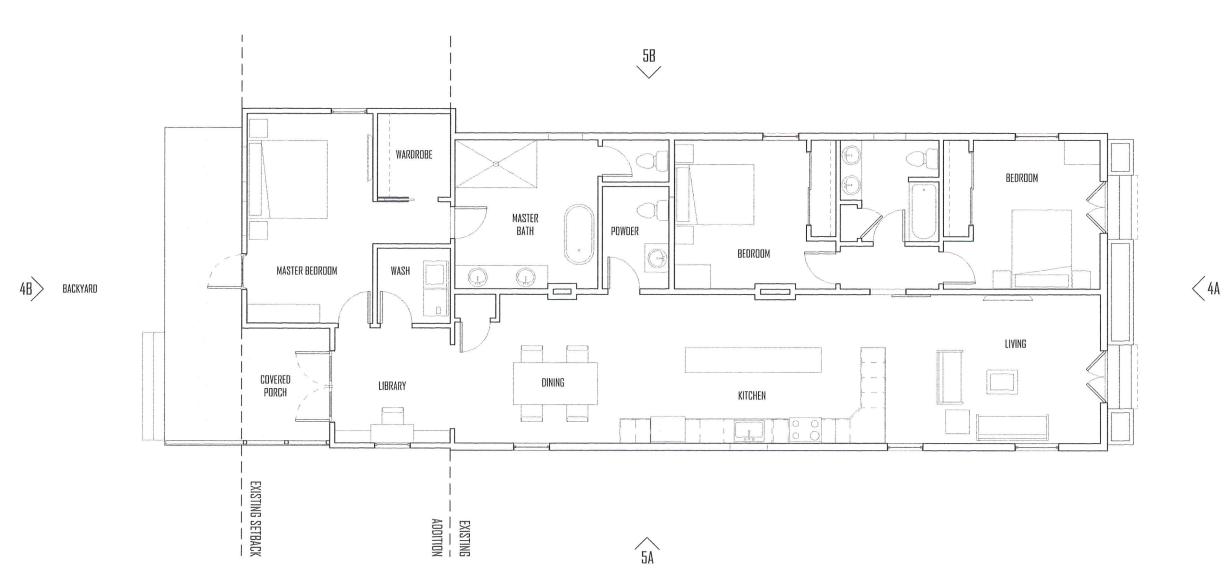
2 of 5

SCALE | 1/8" = 1'-0"

2017.04.23

3 of 5

N



FLOOR PLAN

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 83 of 154.

2017.04.23



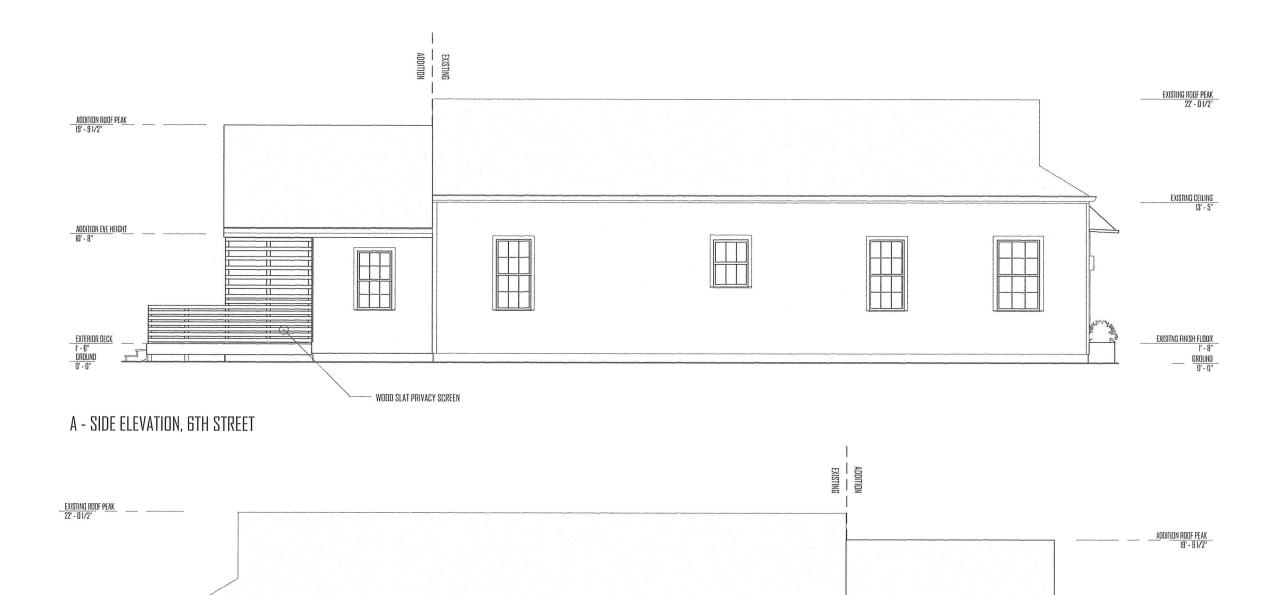


B - BACK ELEVATION, ADDITION

A - FRONT ELEVATION

SCALE | '-0"

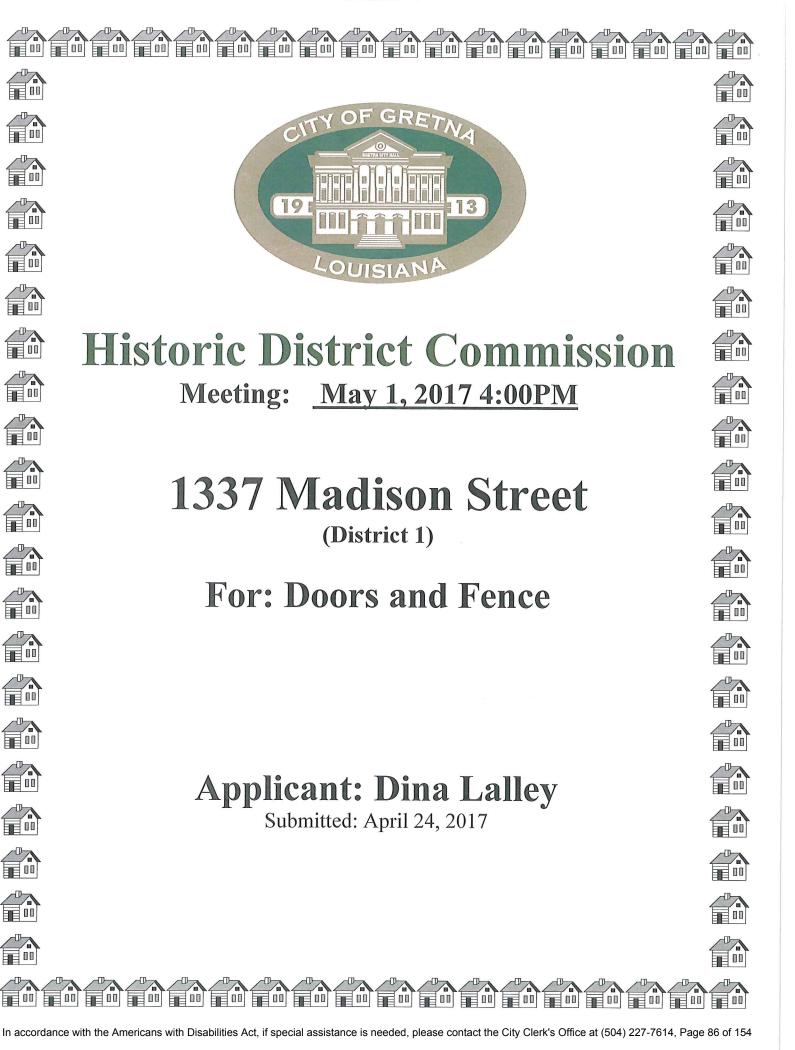
5 of 5



B - SIDE ELEVATION, SIDEYARD

l' 5' 2' lo'

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Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☐ Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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Alteration - any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

<u>Demolition</u> – the complete, partial or constructive removal of a building from any site

Historic Building - a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character

of the neighborhood. Substantive Change — changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.	
$Page\ 1\ of\ 3$ In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 87 of 154	

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1337 Madison St	
Renovation: New Construction:	Demolition:
Age of Structure: 96 yrs	Demontion.
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun double shotgur	Italianate
Bungalow	New Orleans Bracketed
Other	Eastlake
	Colonial Revival
Exterior materials proposed:	Other Craftsman
Roof	Soffit
Fascia	Siding
Masonry	Porches
Balconies	Handrails
Type of exterior lighting fixtures:	
Style of windows: hinged windows -	converting to French Doors
Type of exterior doors: Mahagany Do	sors with bevalled glass
Describe any ornamental woodwork:	-

Tidildidits
Type of exterior lighting fixtures:
Style of windows: hinged windows - converting to French Doors
Style of windows: hinged windows - converting to French Doors Type of exterior doors: Mahagana Doors with bevalled glass
Describe any ornamental woodwork:
Page 2 of 3
accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 88 of 154

Elevations:
Front Space:ft. Side Space:ft.
Rear Space:ft.
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.
Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.
Applicant's Name: Dina Lalley Date: 4-24-17
Address: 1337 Madison St
Phone No: (33°) 503 - 4434 Cell No: (330 - 503 - 4434
For Office Use Only: Date of Application: 4-24-17
Substantive Change: Yes No Inventory Number: Mone
Contributing Element to Gretna National Register Historic District: Yes No
Historic District Commission meeting date: Why 15t @ 4:00PM.
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)
Page 3 of 3 accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 89 of 154



City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers
Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two

District Three
Jackie J. Berthelot
District Four

Mark K. Miller

Departments

Building and Regulatory Danika Gorrondona Planning & Zoning Azalea M. Roussell

Office of Tax & Licenses
Norma Cruz

Finance Department
Raylyn Stevens

Human Resources
David Neeb

Public Utilities
Michael Baudoin

Public Works
Danny Lasyone

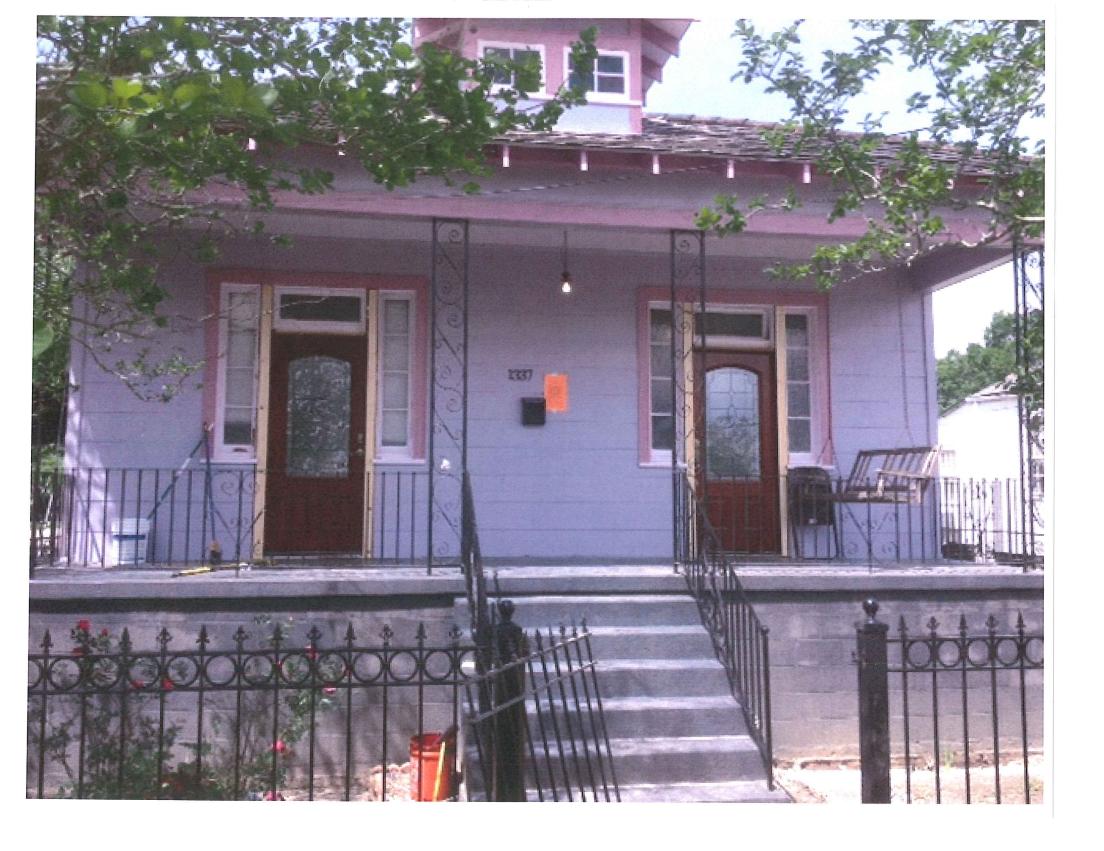
Parks and Recreation

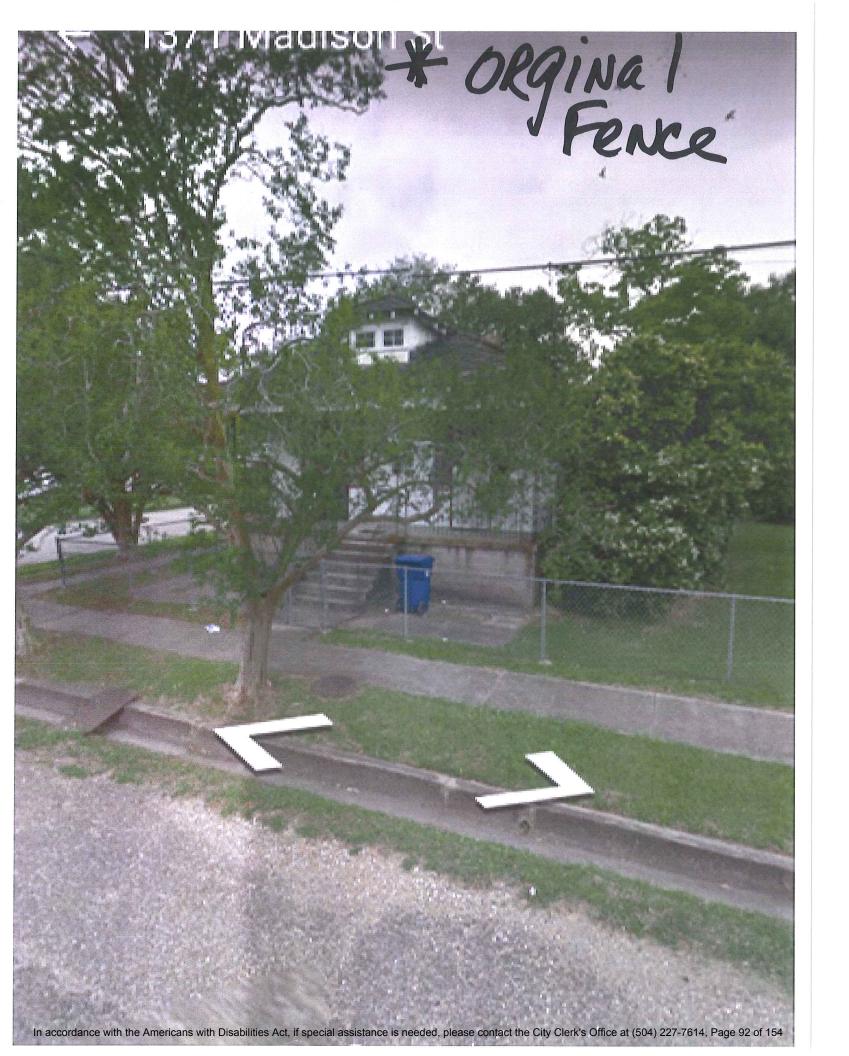
Amie Hebert

Information Technology
Michael Wesley

Applicant:	Dina	à Lalley	
Date:	4-24	- 17	
Address:	1337	Madison	54,

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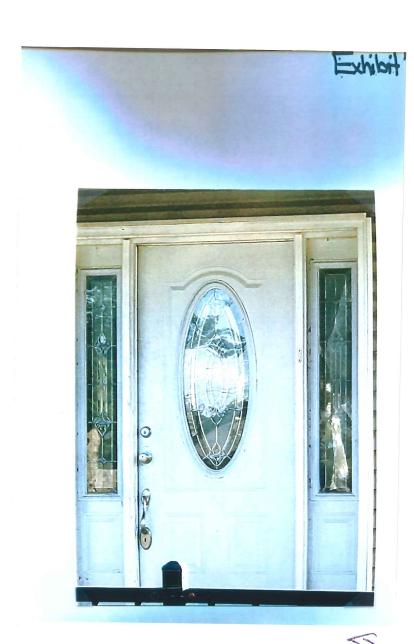


920 5th St Pre-existing in Greature





Pre-existing IN Greeting





Pre-existing ingrestre



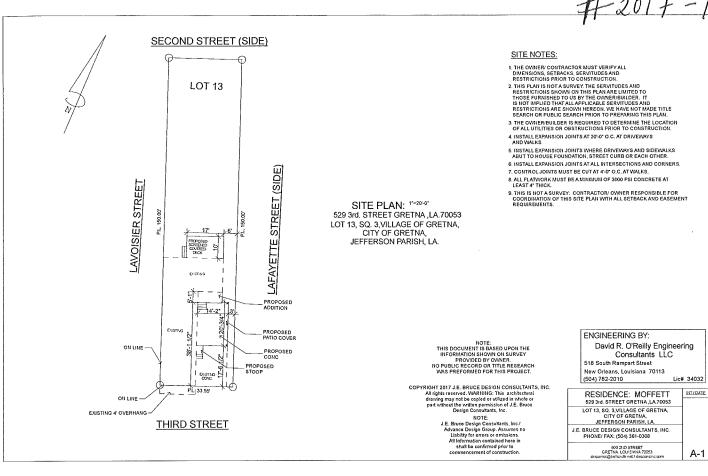




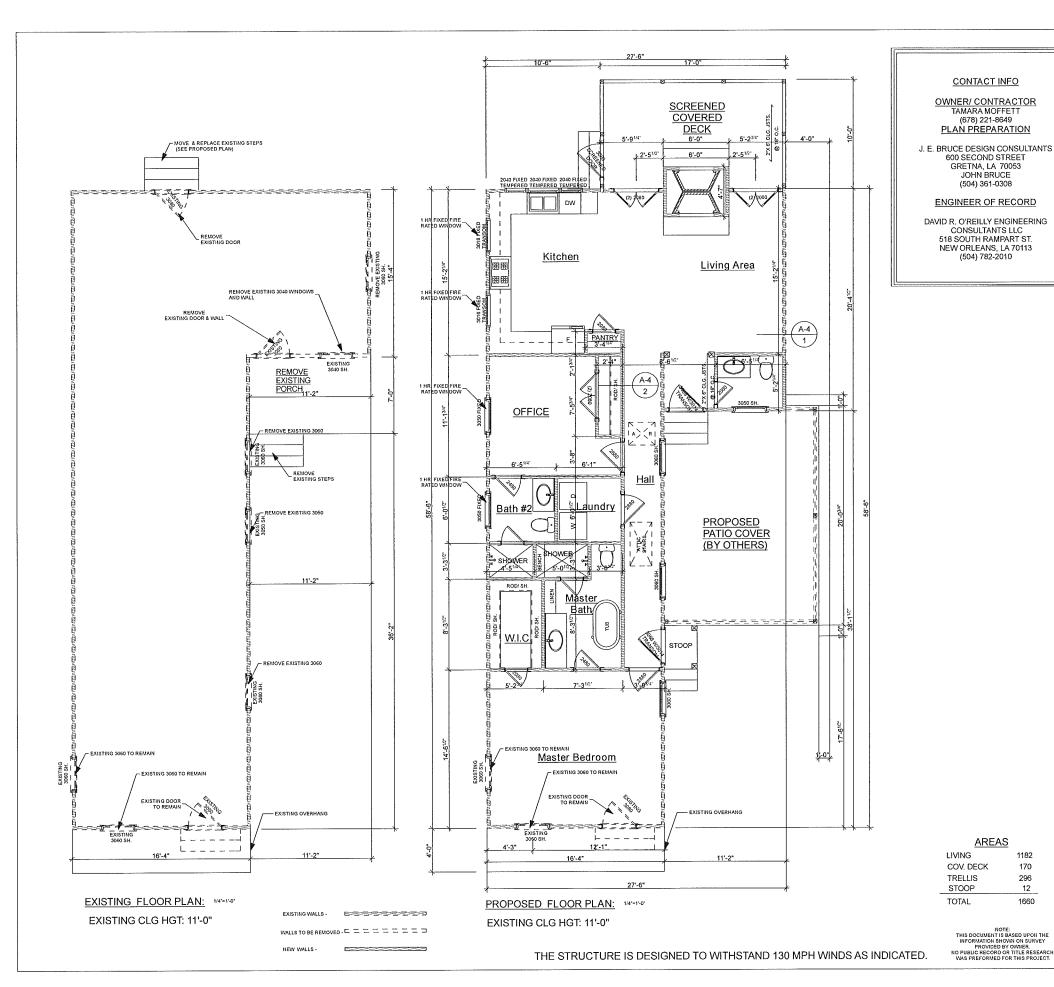




#-2017-1340



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- ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF

- 1. ALL DIMENSIONS ARE TO CENTERLINES OF FACE OF STUDS, CENTERLINES OF COLUMN, OR FACE OF BRICK.
 2. VERIFY ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION.
 3. ALL MATERIAL SHALL BE NEWAND U.L. LISTED.
 4. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
 5. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
 6. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL.

- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCES.
 CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR.
 CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES.
 CAULKING ON EXTERIOR SHALL BE THIOKAL CAULK.
 PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE 3 COATS. COLOR SELECTION BY OWNER.
- 3 CUAIS, COLOR SELECTION BY OWNER
 11, PROVIDE CLEAN-UP ON A REGULAR BASIS, NO TRASH STORED IN BUILDING.
 12. ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
 13. USE 6" STUDS AT ALL PLUMBING WALLS.
 14. GRANITE TOPS W 4" SPLASH IN KITCHEN.

- 15. SIM. MARBLE TOPS W/ 4" SPLASH IN BATHS
- 16 NO FURRED CEILINGS UNLESS OTHERWISE NOTED

- 16. NO FURRED CEILINGS UNLESS OTHERWISE NOTED.

 17. A/C MOUNTS IN ATTIC OVER G.I.DRIP PAN & DRAIN.

 18. W.H. MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN.

 19. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.

 20. EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS.

 21. WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR, MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WIOTH 20". PER R310.1, IRC 2012.

 22. EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS 22. EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS
- 22: EACH EGRESS WINDOW FROM SLEEPING ROUMS MUST HAVE MINIMOM GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. ON ANY FIRST FLOOR WINDOW THAT IS MORE THAN 4.4" FROM THE FINISHED GROUND LEVEL (NOT FINISHED FLOOR) IN ACCORDANCE WITH R 303.1, IRC 2012.

 23. ALL SLEEPING AREAS SHALL BE PROTECTED WITH UL-APPROVED SMOKE DETECTORS. THESE SHALL BE MIRED TO THE 110 VOLTHOUSE CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268. THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CPILING DEPENDING ON WHERE MOUNTED.
- WALL OR CEILING, DEPENDING ON WHERE MOUNTED.

 24. BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN), 5 CYCLES PER HOUR PER R 303.3, IRC 2012.

 25. PREFABRICATEO FIREPLACES SHALL BE U.L APPROVED AND SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS.

- 26. ALL FRAMING MATERIAL TO BE #2 DENSE SYP.
 27. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. IRC 2012 R 312.1.

- IRC 2012 R 312.1.

 28. ALL LIMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.

 29. FOLLOW LOCAL BUILDING CODE FOR TERMITE AND DECAY PROTECTION.

 30. DEPTH OF NOTCHES AT ENDS OF FLOOR JSTS NOT TO EXCEED 1/4" DEPTH.

 31. BRIDGING REO'D BETWEEN FLOOR JOIST EXCEEDING 8FT. SPAN.

 32. DOUBLE FLOOR JOISTS REO'D UNDER ALL WALLS

 33. FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING

 34. ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANIJEACTURE'SS SPECIFICATIONS.
- 34. ALL ANCHOR'S I FRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURES'S SPECIFICATIONS.

 35. ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).

 36. WHERE DISCREPANCY BETWEEN DRAWNINGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE.

 37. REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
- 37. REPER 10 JABLE 1703-1 OF SHANDARU BUILDING CODE FOR PAST IENING SCHEDULE.

 38. HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34* AND 36*, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8* IN CROSS-

- THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8" IN CROSSSECTIONAL DIMENSIONS, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING
 SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE
 WITH NO SHARP CORNERS PER R311, 5.6.1 IRC 2012.

 3). THE MAXIMUM STAIR RISER HEIGHT SHALL BE 7 3/4 AND THE MINIMUM STAIR TREAD
 DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH R311, 5.3.1 IRC 2012.

 40 ALL WINDOWS SHALL COMPLY WITH ARTICLER 7 301, 2.1.2 OF THE IRC 2012 ED REGARDING
 WIND BORNE DEBRIS, WHICH STATES THAT WOOD STRUCTURAL PANELS (PLYWOOD) WITH
 A MIN. THICKNESS OF 7/16 INCH OF MAXIMUM SPAN OF 6 FEET SHALL BE PERMITTED
 FOR OPENING PROTECTION. PANELS SHALL BE PRECUT TO COVER THE GLAZED
 OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL PROVIDED
 IN ACCORDANCE WITH LABEL R301, 2, 1.2.

 11. EXTERIOR WALL LOCATIONS (WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY
- 41. EXTERIOR WALL LOCATIONS (WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY WITH R302, IRC 2012
- 42. UNDER STAIR PROTECTION (ENCLOSED ACCESS, SPACE UNDER STAIRS IN ACCORDANCE WITH
- 42. UNDER STAIR PROTECTION (ENCLOSED ACCESS). SPACE UNDER STAIRS IN ACCORDANCE WIRST-122, IRC 2012.

 43. OVERHANGS PROJECTING INTO REQUIRED SIDE YARD SHALL BE PROVIDED WITH THE STATED SOFFIT CONSISTING OF 1 LAYER 5/8" X RATED GYP. BD. PER R 302 IRC 2012.

 44. PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES
- SLEEPING AREA FOR ANY DWELLING WITHAN ATTACHED GARAGE ON FUEL-FIRED APPLIANCES
 AS PER SECTION RIST OF THE IRC 2012 ED.
 45. A MIN. TOTAL NET OPENING OF NOT LESS THAN 1 SQ. IN FOR EVERY 1 SQ. FT. OF ENCLOSED AREA.
 THE BOTTOM OF OPENING SHALL BE NO HIGHER THAN 1 FT. ABV. GRADE. OPENINGS TO BE
 PROVIDED AT LEFT WALL OF GARAGE & AT BASE OF GARAGE DOOR (390 SQ. IN, REQ'D. FOR GARAGE 1)
 46. VAPOR BARRIER SHALL BE REQUIRED AT OPEN CRAWL SPACES IN ACCORDANCE WITH GUIDELINES SET FORTH IN LSU AG CENTER PUB 3187 INSULATING RAISED FLOORS IN HOT, HUMID CLIMATES.

Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering t work. The plans will also meet the 2012 IRC.

LIN. NO. 34032

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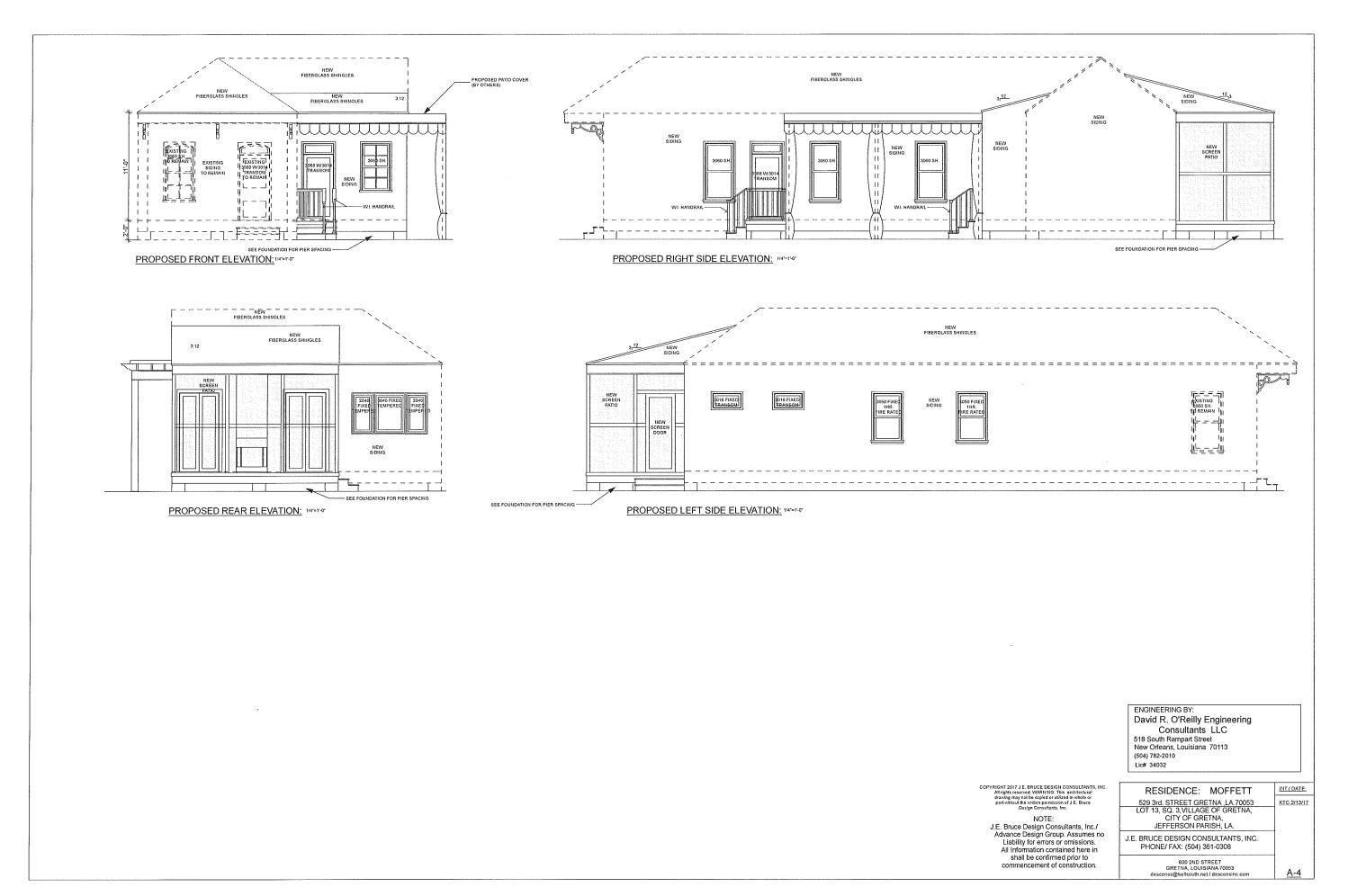
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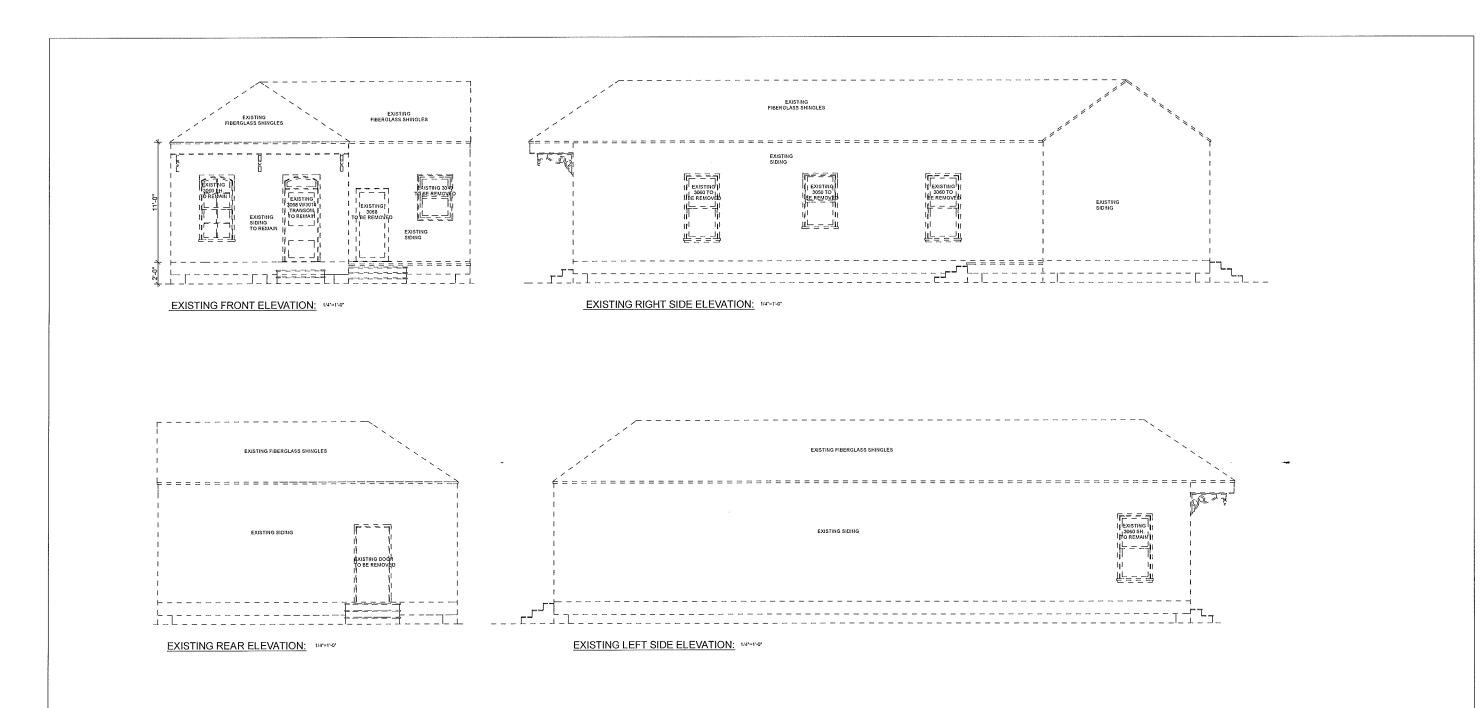
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ENGINEERING BY David R. O'Reilly Engineering Consultants LLC 518 South Rampart Street New Orleans, Louisiana 70113 (504) 782-2010 Lic# 34032

RESIDENCE: MOFFETT	INT./ DATE
529 3rd. STREET GRETNA, LA.70053 LOT 13, SQ. 3, VILLAGE OF GRETNA, CITY OF GRETNA.	KTC:2/13/
JEFFERSON PARISH, LA.	
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETNA, LOUISIANA 70053 desconss@bellsouth.net / desconsinc.com	<u>A-2</u>
	<u>A-2</u>





ENGINEERING BY:
David R. O'Reilly Engineering
Consultants LLC
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010
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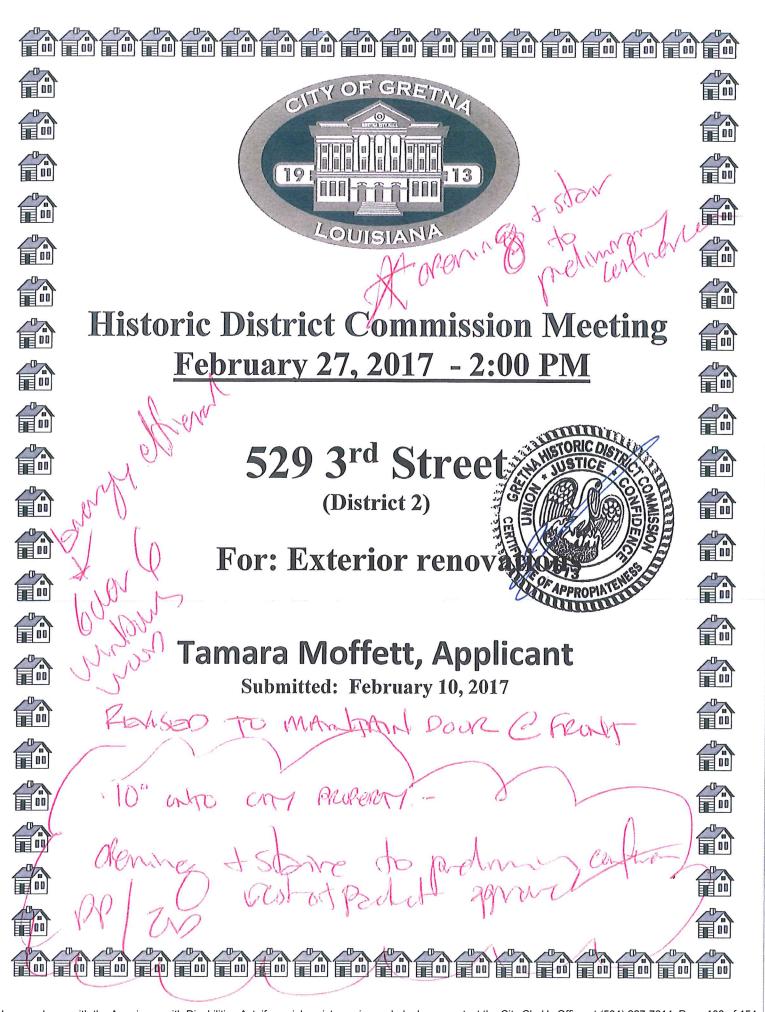
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PHONE/ FAX: (504) 361-0308

600 2ND STREET
GRETNA, LOUISIANAT 70053
desconss@bellsouth.net / desconsinc.com

A-3





Historic District Application for Certificate of Appropriateness Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

"	the purpose of the mineral
	☐ Mechanickham Historic District — area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham — Gretna Historic District.
	☐ McDonoghville Historic District — area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.
	Historic District Permits are Required for the following activities:
	Demolition of a historical building

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration - any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition - the complete, partial or constructive removal of a building from any site

Historic Building - a building at least fifty (50) years-old with significant architectural value and

Ordinary Repairs and Standard Maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as manting practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall with the buildings and the environment with which it is related. volume, arrangement, site, plan, texture, material and exterior constructions shall be in harmony with its surroundings and shall have been constructions. of the neighborhood.

Substantive Change - changes, which alter the historical or architecture columns, porches, doors and exterior ornamental

Page 1 of 3

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Front Space: 446 ft.	Side Space:ft.					
Rear Space: 2,786 ft.						
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.						
to zoning requirements or other City of Gretna perm public works must be applied for separately.						
Applicant's Signature: Jamana P. W	10) Pate: 02.10,17					
Applicant's Name: Tamava P. Moffe	ett					
Address: 529 3rd 5t.						
Phone No:()	Cell No: (678) 221. 8649					
For Office Use Only:	Date of Application: 2 · 15 · 2017 Inventory Number: 460					
Substantive Change: Yes No	Inventory Number: 460					
Contributing Element to Gretna National Register Historic District: Yes No						
Historic District Commission meeting date:						
Public Hearing to be held at the Council Regular M	feeting; Gretna City Hall, 740 2 nd Street, 2 nd floor					
Council Chamber. (Meetings held on the 2 nd Wednesday	-C					



Page 3 of 3

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City of Gretna

740 2nd Street, Gretna, LA 70053-5829 P. O. Box 404 Gretna, LA 70054-0404

Mayor Belinda Cambre Constant

Council Members
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Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

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Building and Regulatory
Danika Gorrondona
Planning and Zoning
Azalea M. Roussell
City Clerk
Norma J. Cruz

Finance & Tax Departments
Raylyn C, Stevens
Human Resources
David Neeb
Public Utilities
Michael J, Baudoin
Public Works
Daniel Lasyone
Parks and Recreation
Amie H. Hebert
Information Technology
Michael Wesley

I, <u>Innara Moffett</u> the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on Leb 27th

4:00 p.m., 740 2nd Street,

Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Tavara P. May A.

NAME OF APPLICANT (PLEASE PRINT)

529 3rd St (14085 HWY 23 - Bolle Chasse, M 90839

Applicant's address

Actual address of the property for review RIC DISTRICT.

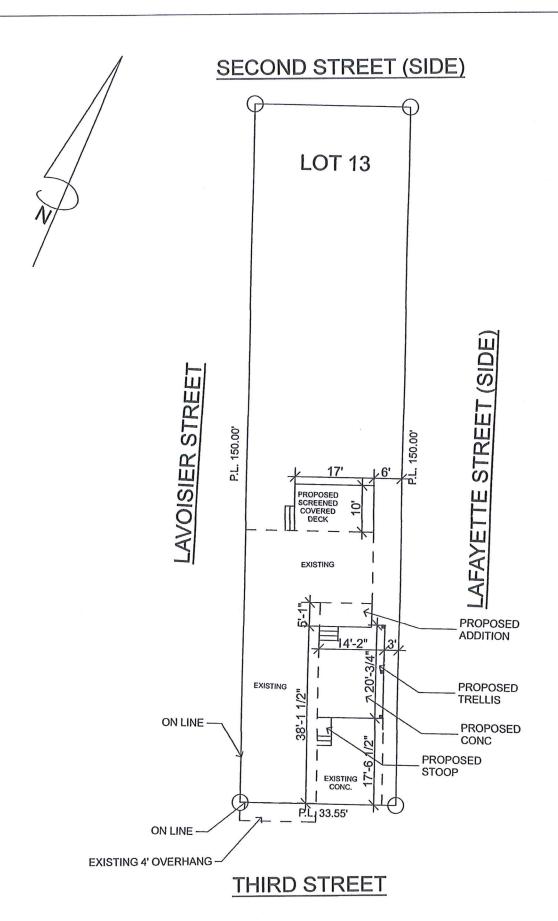
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ge 111 of 154			







SITE PLAN: 1"=20'-0" 529 3rd. STREET GRETNA, LA.70053 LOT 13, SQ. 3, VILLAGE OF GRETNA, CITY OF GRETNA, JEFFERSON PARISH, LA.

SITE NOTES:

- 1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND RESTRICTIONS PRIOR TO CONSTRUCTION.
- 2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.
- 3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
- 4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS AND WALKS
- 5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.
- 6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.
- 7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.
- 8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT LEAST 4" THICK.
- 9. THIS IS NOT A SURVEY: CONTRACTOR/OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT REQUIREMENTS.



THIS DOCUMENT IS BASED UPON THE INFORMATION SHOWN ON SURVEY PROVIDED BY OWNER. NO PUBLIC RECORD OR TITLE RESEARCH WAS PREFORMED FOR THIS PROJECT.

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INT./ DATE:

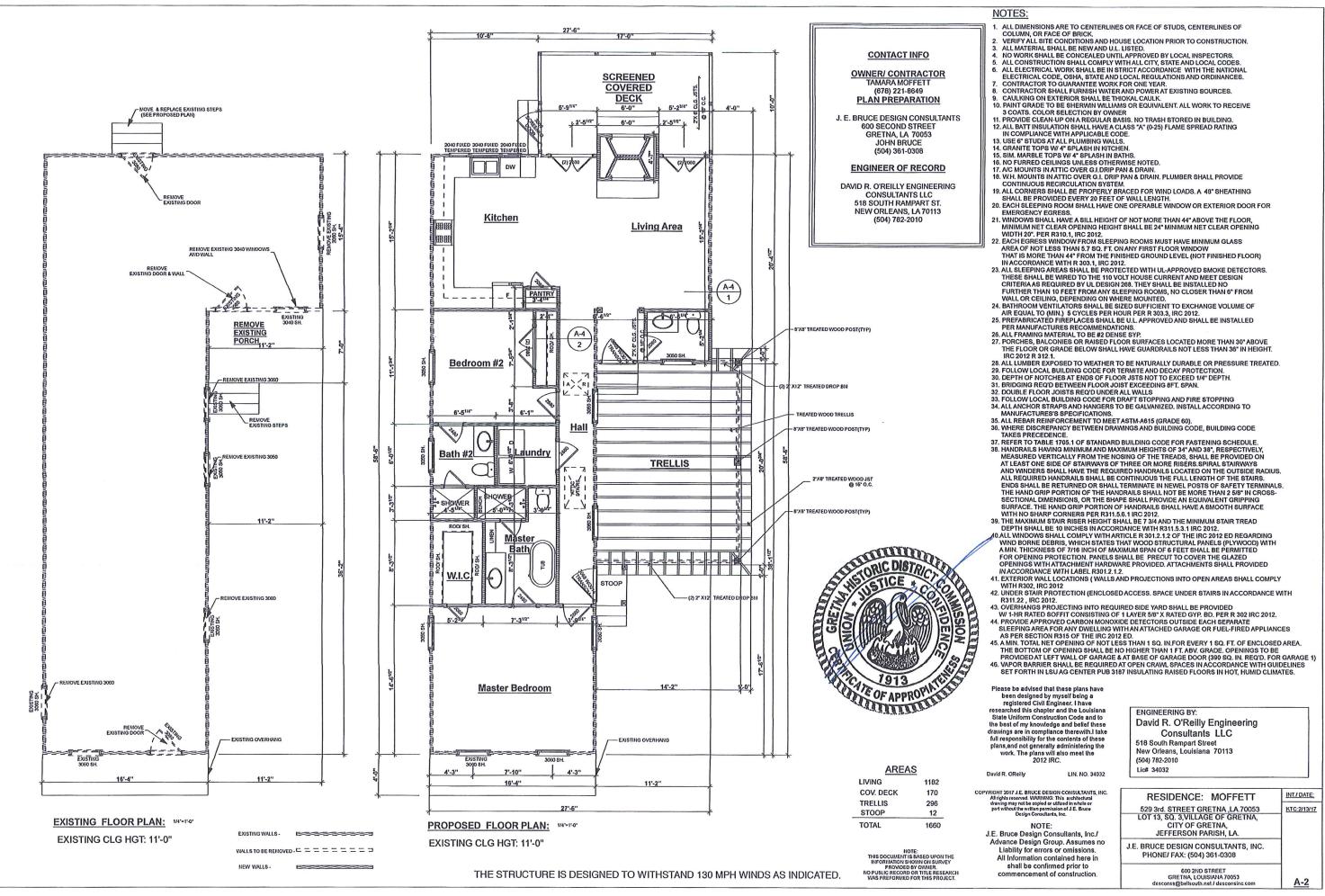
RESIDENCE: MOFFETT 529 3rd. STREET GRETNA, LA.70053

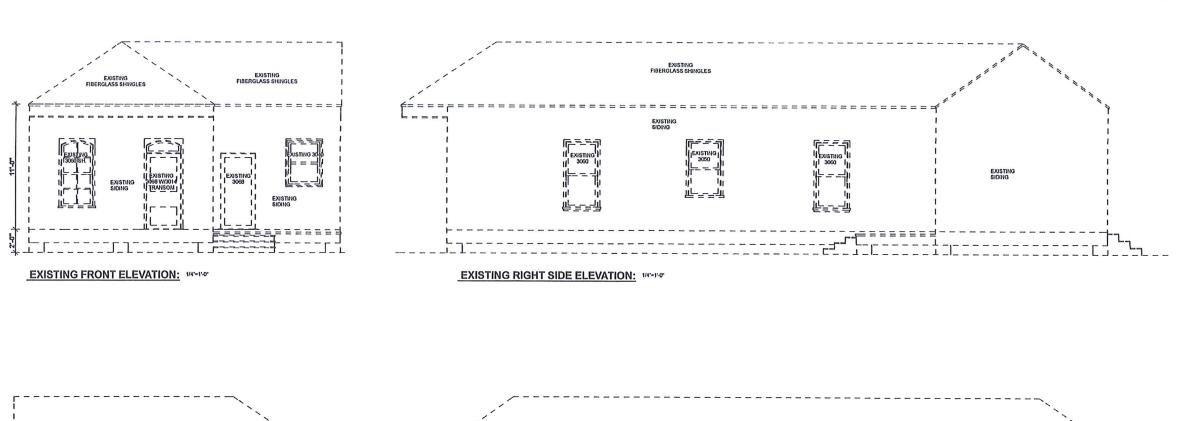
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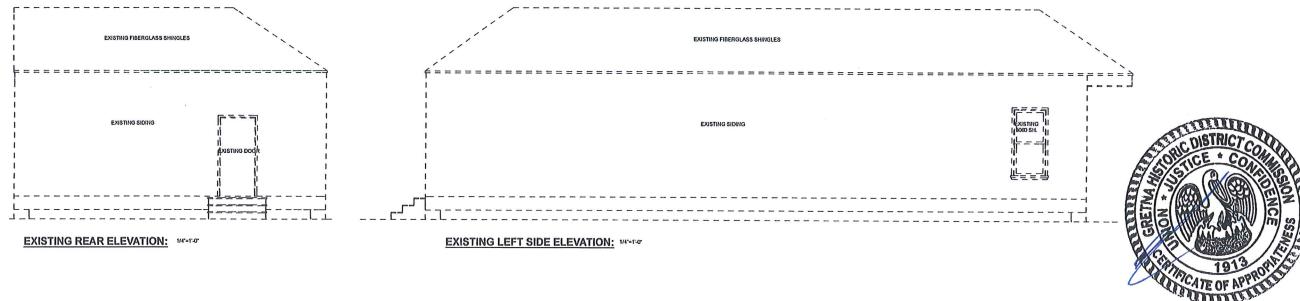
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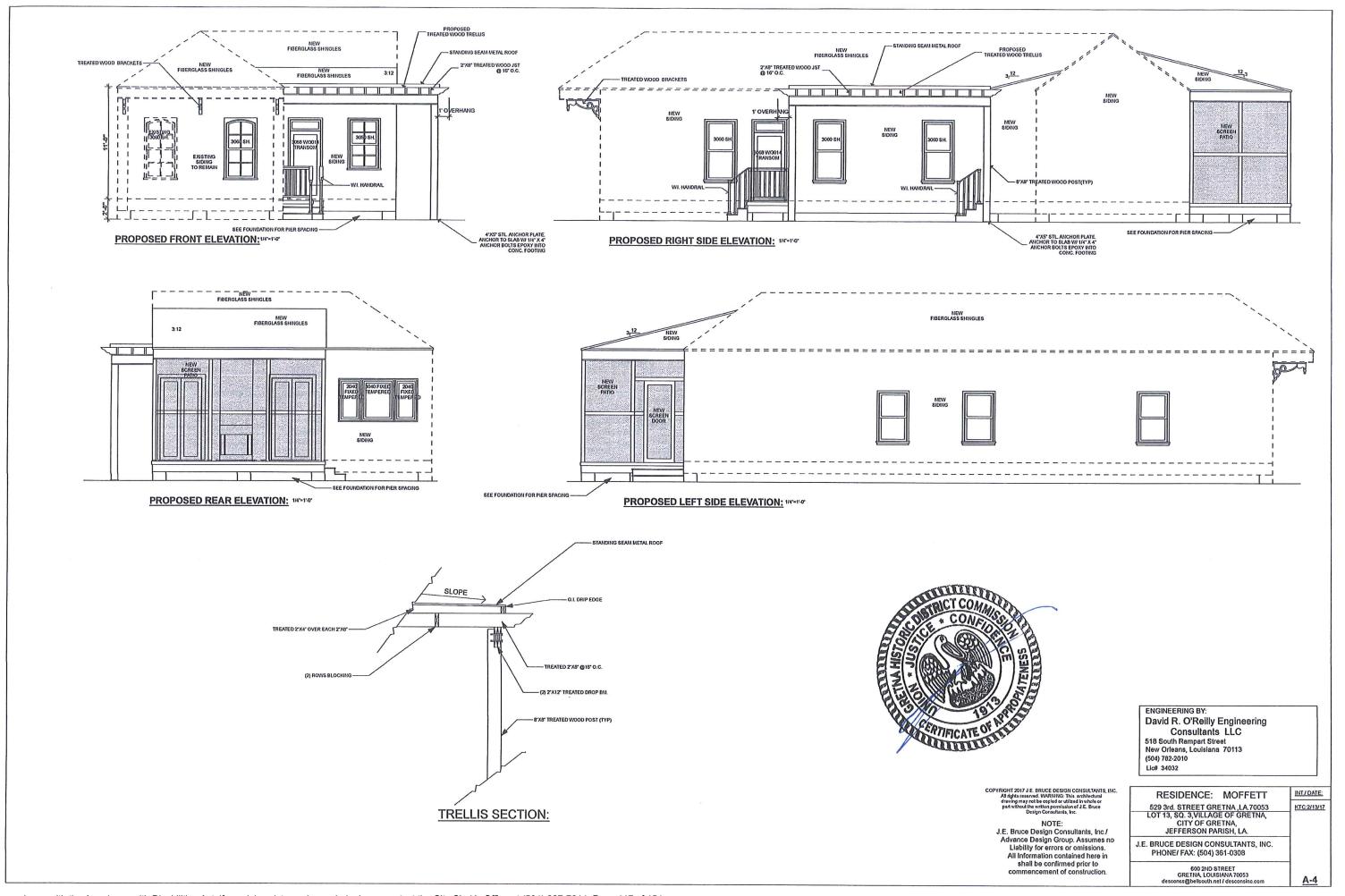
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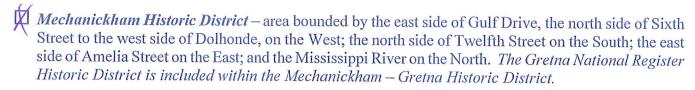




Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:



☐ McDonoghville Historic District — area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are Required for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

<u>Demolition</u> – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

<u>Ordinary Repairs and Standard Maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Page 1 of 3

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Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 827	6th St. Gretna, LA 10053
Renovation:	(previoulsy 825-827 6th Street)
New	Construction:
	Demolition:
Age of Structure: 80 +	
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow_	New Orleans Bracketed
Other	Eastlake
	Colonial Revival
Enterior metals and 1	Other
Exterior materials proposed:	
	chitectural Shingle Soffit Existing wood
Fascia Existing u	Siding Hardi Plank Concrete Front Porch Floor
Masonry Brick	Steps-Front Porches-Handicap Ramp-Rear
Balconies	Handrails Iron - Square Spindles Iron Columns @ Curpert - Alter pate Square Keep Existing Lights on Front Porch Fiberglass
Type of exterior lighting fixtures:_	Keep Existing Lights on Front Porch Fiberglass
Style of windows:	, Sides - 6 over 2, Rear - Fixed, Carport - 3 over 2
Type of exterior doors: Front -	Wood Craftsman, Rear- 12 Glass, Carport-Double 6 Panel Metal
Describe any ornamental woodworl	K:
	Shutters, Fabric Awning above Kitchen Window

Page 2 of 3

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Elevations: Front Space:ft. Side Space:ft.							
Rear Space:ft.							
Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.							
Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately							
Applicant's Signature: Maria Clayane Date: 4/24/11 Applicant's Name: MARIA PLAISANCE							
Applicant's Name: MARIA PLAISANCE							
Address: 93 MARIEDR GRETNA, LA 70053							
Phone No: () Cell No: (54) 228-9557							
For Office Use Only: Date of Application: 4/24/20/7							
Substantive Change: Yes No Inventory Number: 245							
Contributing Element to Gretna National Register Historic District: YesNo							
Historic District Commission meeting date: May 184. 2017 @ 4:00p							
Public Hearing to be held at the Council Regular Meeting; Cretna City Hall, 740 2 nd Street, 2 nd floor							
Council Chamber. (Meetings held on the 2 nd Wednesday of every month.)							

Page 3 of 3

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4:00pm
4, Page 121 of 154



City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers
Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two

Jackie J. Berthelot

District Four

Mark K. Miller District Three

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Office of Tax & Licenses
Norma Cruz

Finance Department Raylyn Stevens

Human Resources
David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert
Information Technology
Michael Wesley

Applicant:	Maria laisain	
Date:	4/24/11	
Address:	825-827 6+h St.	

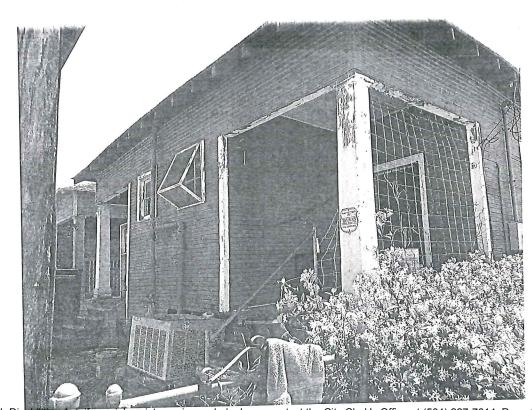
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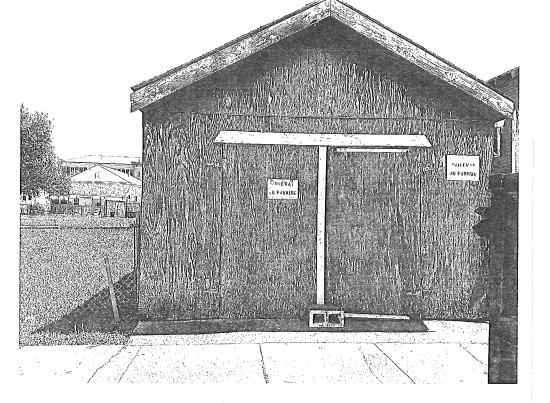
887 oth St - Google Maps

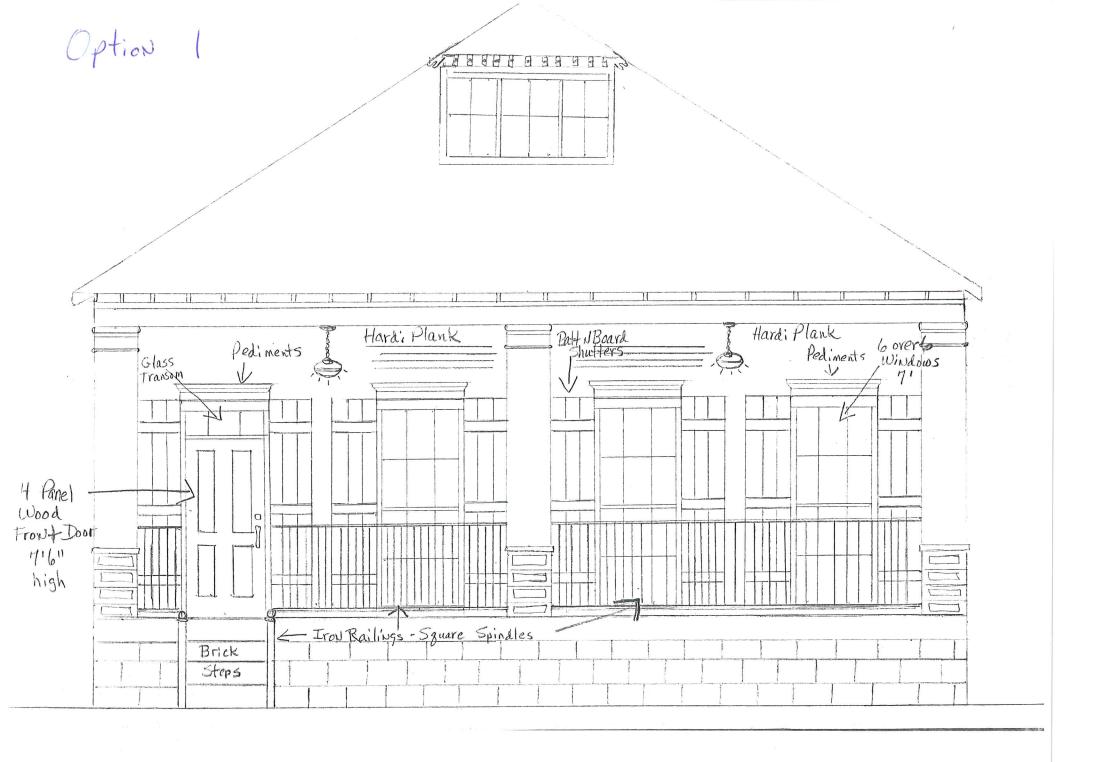
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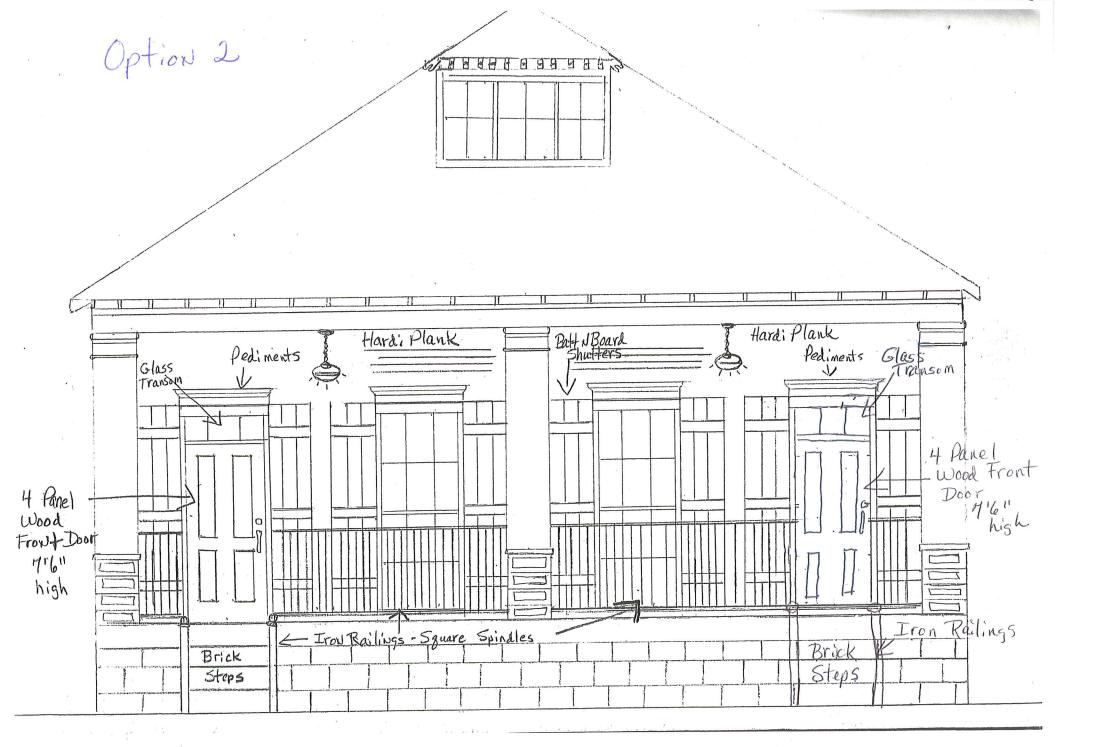


In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 123 of 154

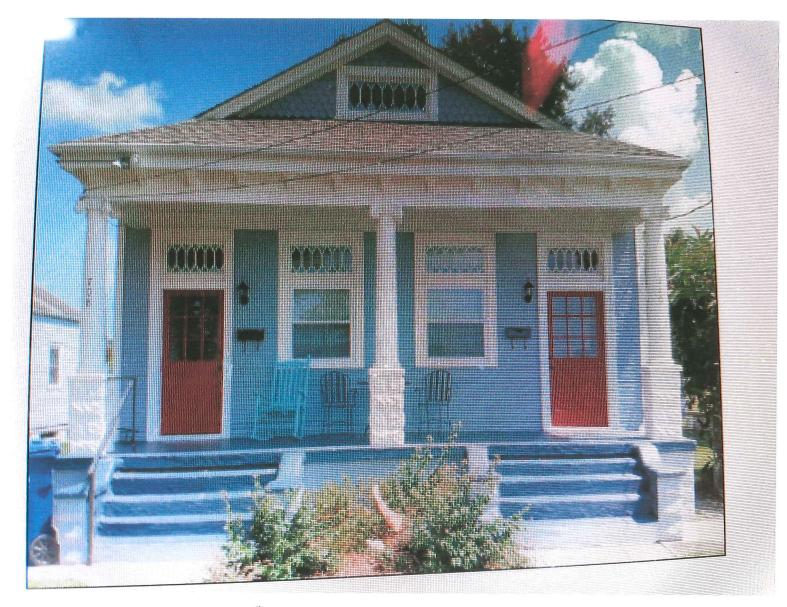
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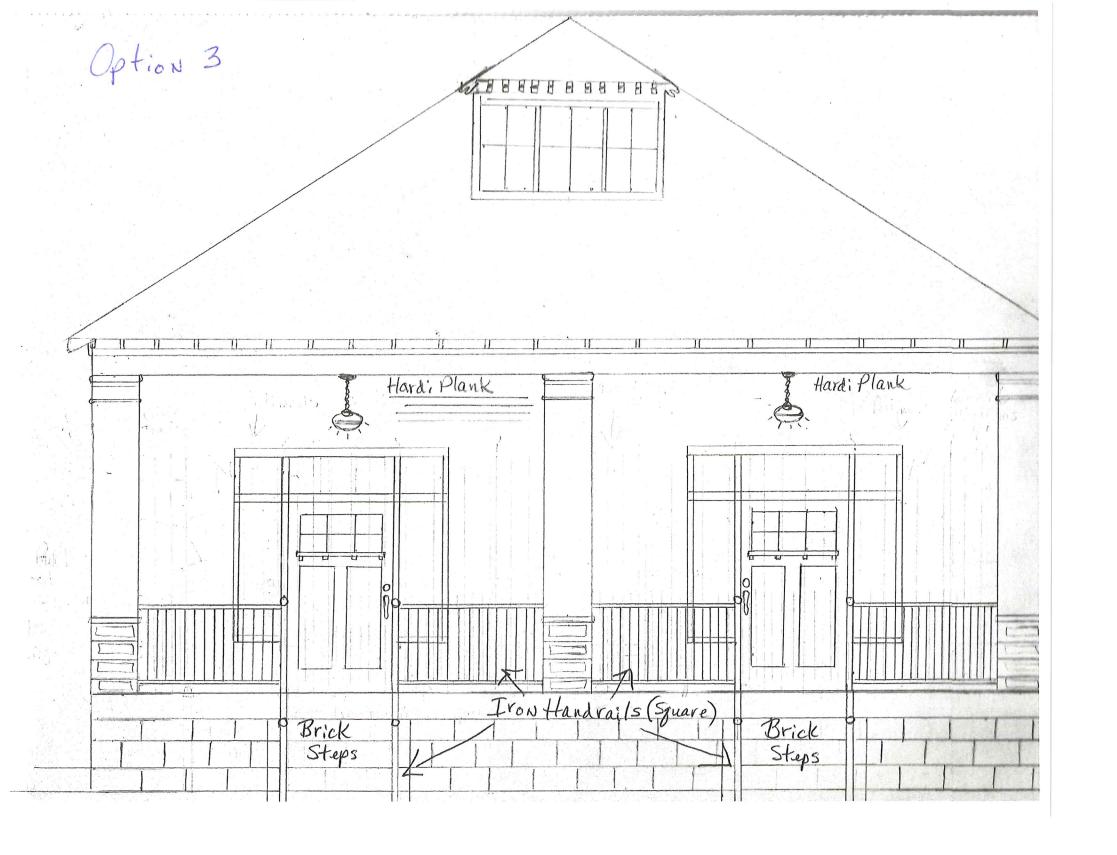


Example From Historical Compare to Option 2)

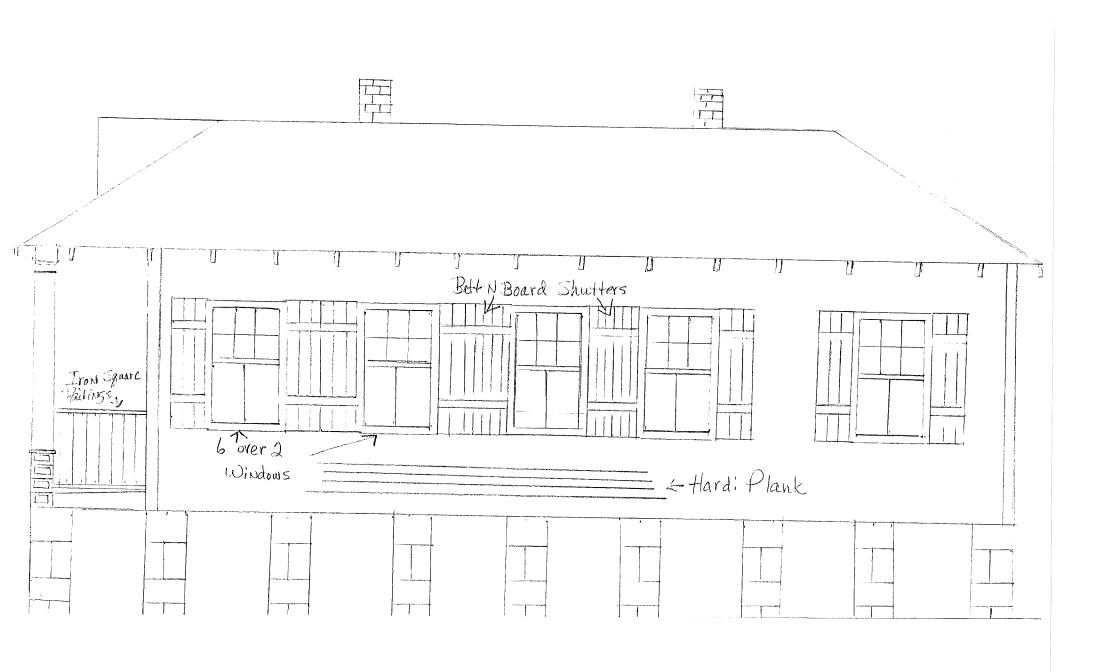
https://mail-attachment.googleusercontent.com/attachment/u/0/?vie...-DP-UELRsKIclkRMsbhFd6DSb3332V9T7mslMA0hs9lNctWiKyLKOPrpPdt5BmEaJuleschen State (State 1998). The state of the properties of the properties

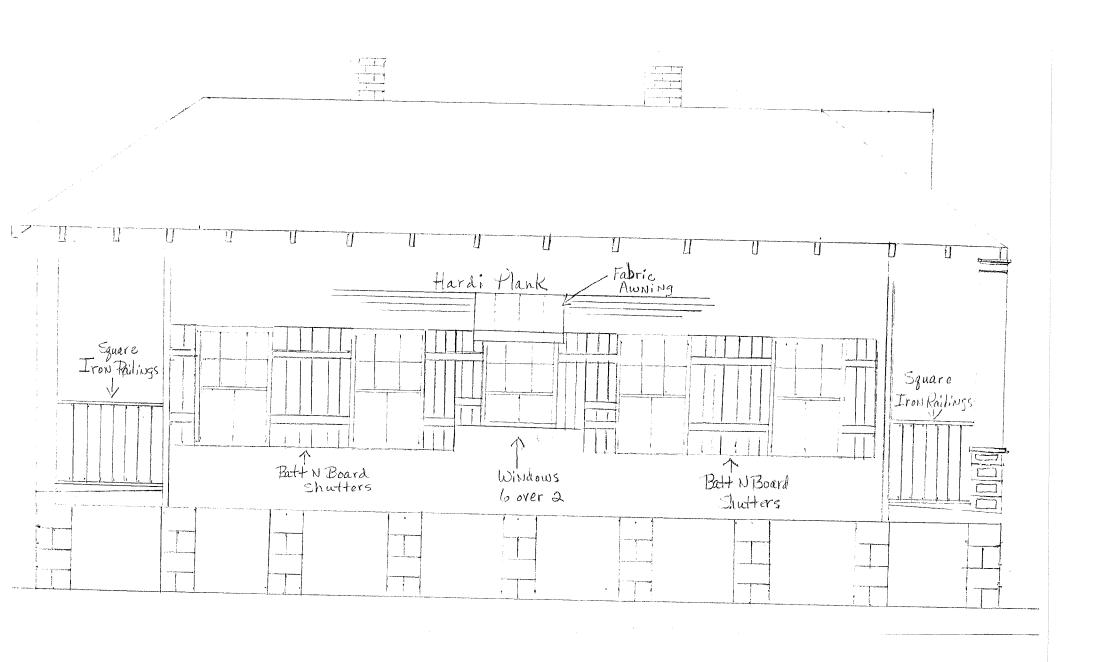
age 1 of 1

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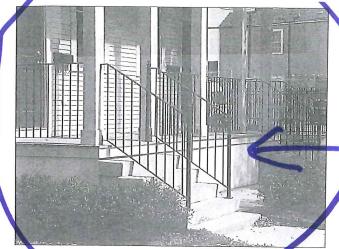


Right Side



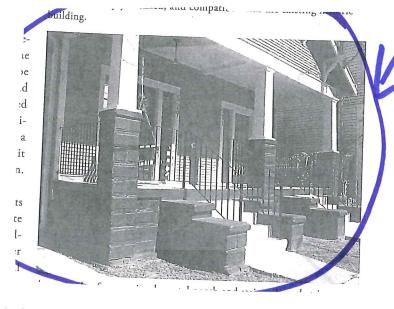






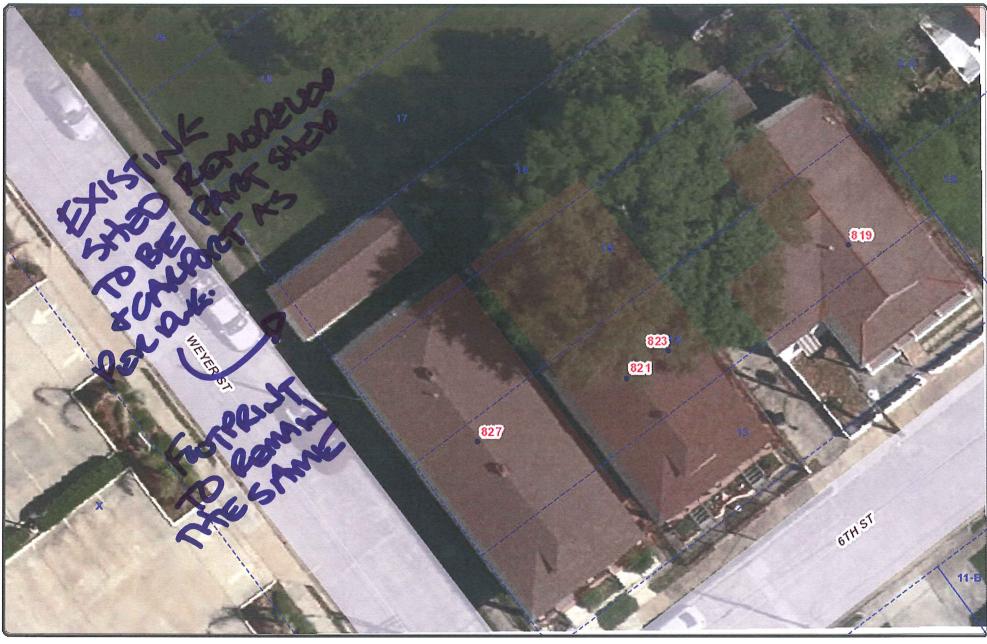
Particularly on porches that never had balustrades, metal guardrails and handrails are sometimes installed to meet building code or insurance requirement. Such militage should be kept simple in design.

- Metal Railings



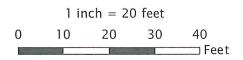


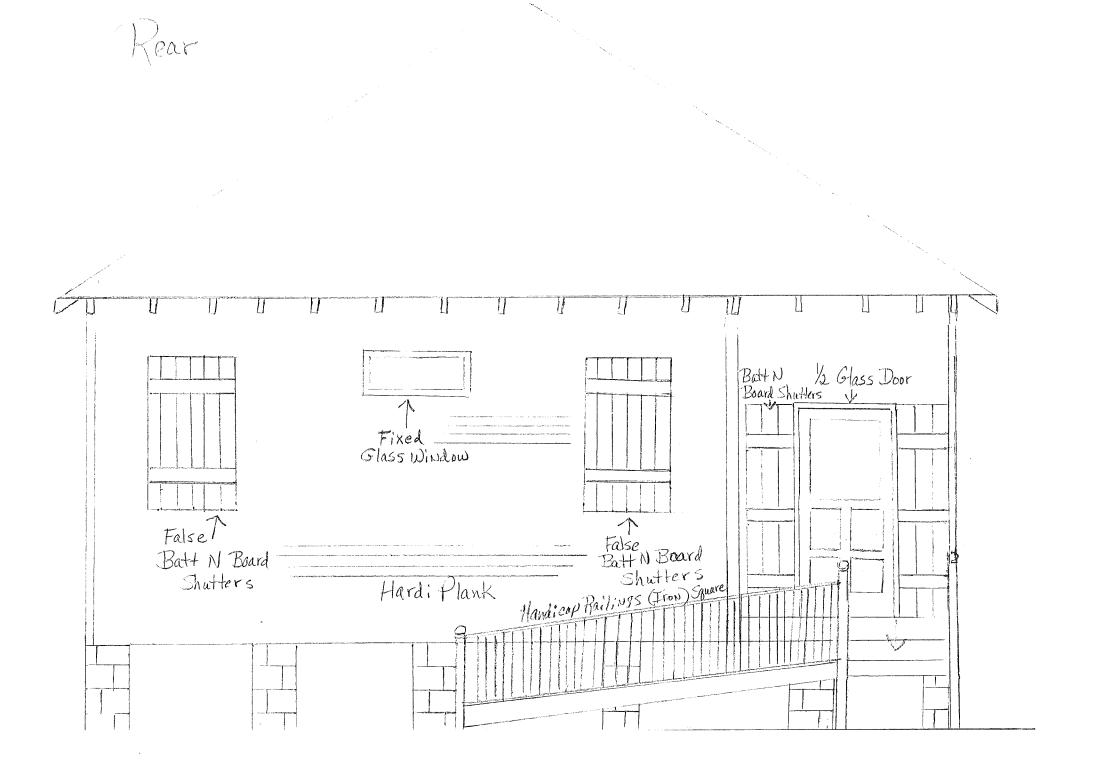
Geoportal Map



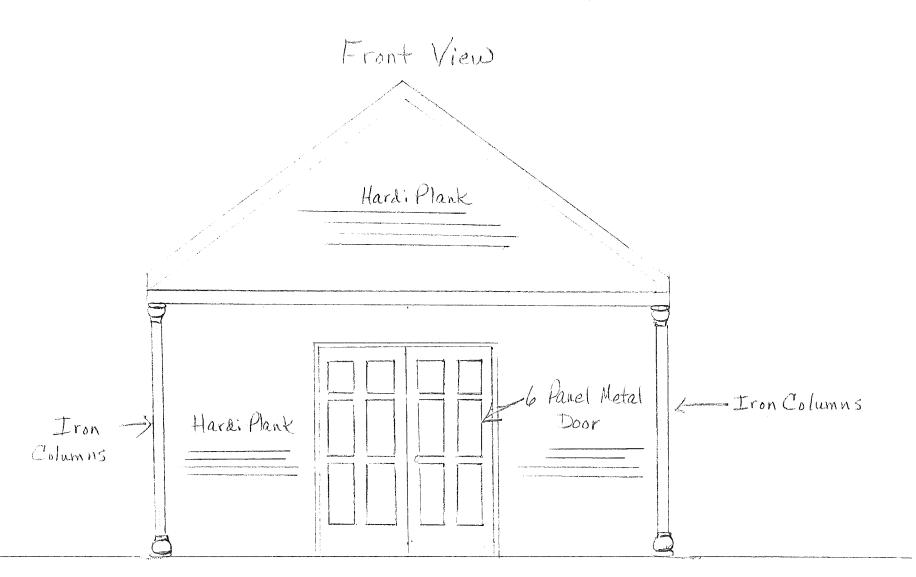
DISCLAIMER: Every reasonable effort has been made to assure the accuracy of the parcel data presented. The Assessor makes no warranties, express or implied, regarding the completeness, reliability or suitability of the site data and assumes no liability associated with the use or misuse of said data. The Assessor retains the right to make changes and update data on this site at anytime without notification. The parcel data on the base map is used to locate, identify and inventory parcels of land for assessment purposes only and is not to be used or interpreted as a legal survey or legal document. Additional data layers not originating in the Assessor's Offices are also presented for informational purposes only. Before proceeding in any legal matter, all data should be verified by contacting the appropriate parish or municipal office.

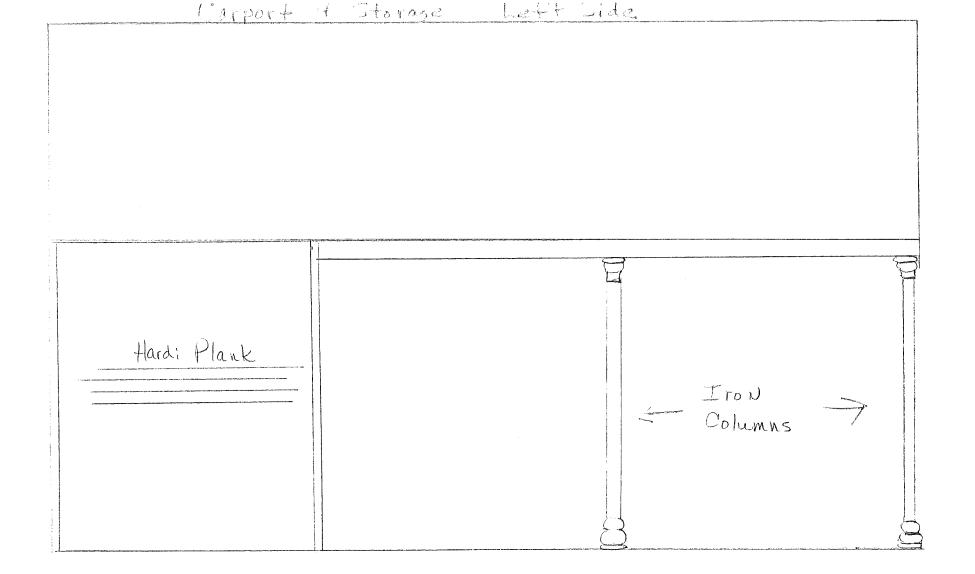
April 25, 2017

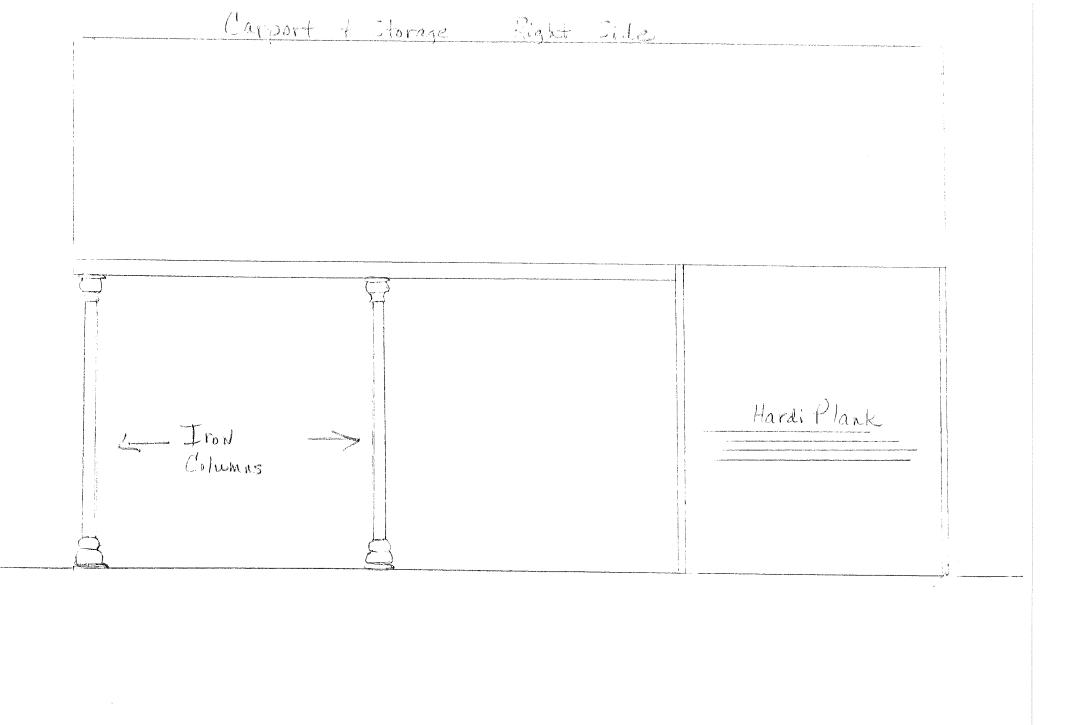


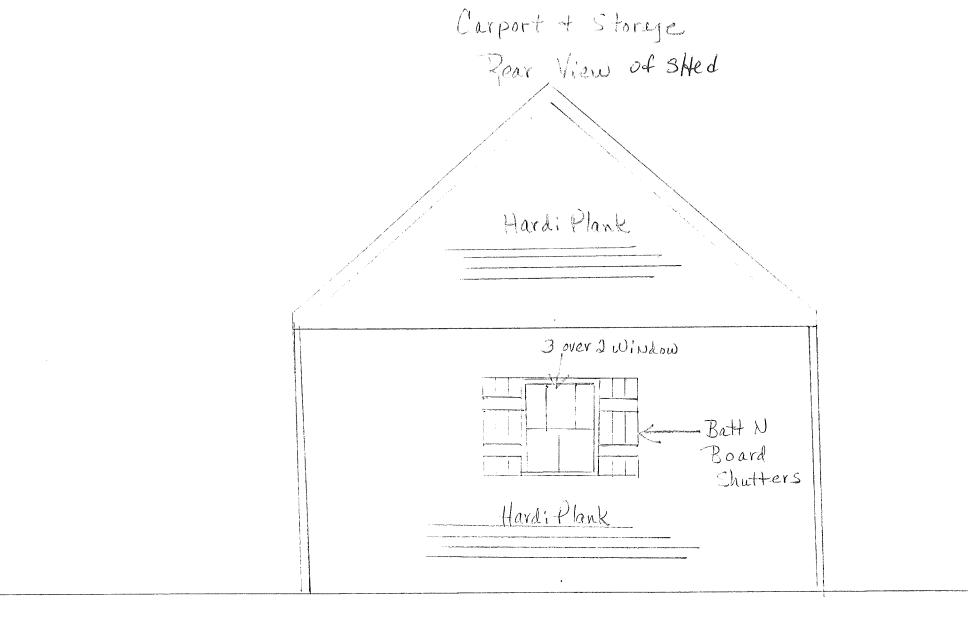


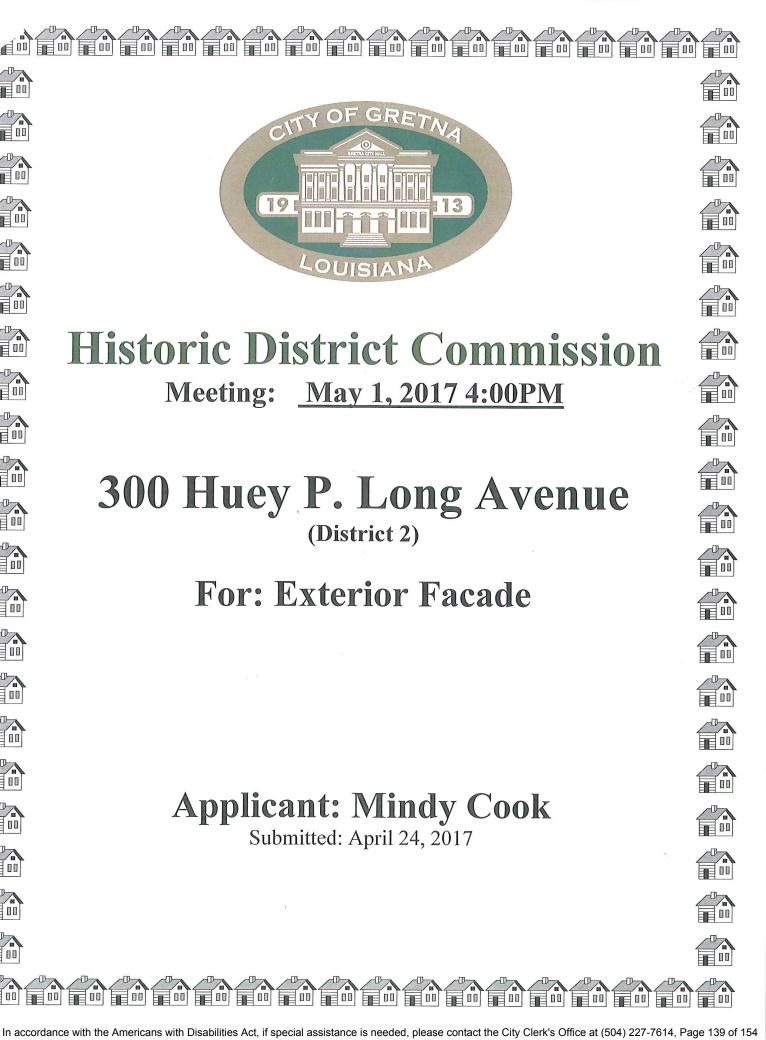
Back Carport & Storage











<u>Historic District Application for Certificate of Appropriateness</u> <u>Governed by Ordinance No. 4653 Adopted 2-11-15</u>

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

V	Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth
	Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east
	side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register
	Historic District is included within the Mechanickham – Gretna Historic District

$oxedsymbol{\square}$ $McDonoghville$ $Historic$ $District$ $ a$ rea bounded by the east side of Ocean Avenue from the river to the
Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the
Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

<u>Alteration</u> – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

<u>Demolition</u> – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

<u>Ordinary Repairs and Standard Maintenance</u> – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

<u>Substantive Change</u> – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

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Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 300 HVEY P. LONE	AVE. GRETNA, LA 70053
Renovation: LACADE WITHER	ew changes from previous approval.
New Construction: _	
Age of Structure: 34 YRS	Demolition:
Building Type:	Building Style:
Creole Cottage	Greek Revival
Shotgun	Italianate
Bungalow	New Orleans Bracketed
Other RECTANGLE BRICK	Eastlake
	Colonial Revival
Exterior materials proposed:	Other MODERN
Roof	Soffit
Fascia	Siding
Masonry BRICK/HARPY BOX TEMPERED GLASS	Porches
Balconies	Handrails
Type of exterior lighting fixtures:	
Style of windows: STORE FRONT LADGE	WINDOWS TEMPERED
Type of exterior doors: WOOD SINGLE PAN	EL WITH GLASS ENTRANCE,
Describe any ornamental woodwork: PICTURE	PANTELS DOORS WITH SINGLE LITER
New - Fire Escape DN 3RdPa	Set Reset Stelle - Legel Stelle - Le



Elevations: Front Space: 50 ft.	Side Space: ft.
Rear Space: 50 ft.	
information showing the proposed exterior alteration	te sketches, drawings, photographs, descriptions or other ion, additions, changes or new construction as would be ittee and City Council to make an informed decision.
Important: This information is for the purpose of H to zoning requirements or other City of Gretna perm public works must be applied for separately.	istoric District Commission review only. Matters relating its such as: building, plumbing, electrical, mechanical and
Applicant's Signature:	Date: 4/30/17
Applicant's Name: MINDY COOK	·
Address: 300 HUEY P. LONG A	
Phone No:()	Cell No: (504 495-0385
For Office Use Only:	Date of Application: $4/24/2017$
Substantive Change: YesNo	Inventory Number:
Contributing Element to Gretna National Register H	
Historic District Commission meeting date:	May 184. 2017 @ 4 6pm
Public Hearing to be held at the Council Regular Mo	eeting; Gretna City Hall, 740 2 nd Street, 2 nd floor
Council Chamber. (Meetings held on the 2 nd Wednesday o	f every month.)
$\label{eq:pagents} Pag$ In accordance with the Americans with Disabilities Act, if special assistance	the $3\ \mathrm{of}\ 3$ e is needed, please contact the City Clerk's Office at (504) 227-7614, Page 142 of 154



City of Gretna

Second Street & Huey P. Long Avenue P. O. Box 404 Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two Mark K. Miller District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory
Danika Gorrondona
Planning & Zoning
Azalea M. Roussell

Office of Tax & Licenses
Norma Cruz

Finance Department
Raylyn Stevens

Human Resources
David Neeb

Public Utilities Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC)
meeting where my application for historic district appropriateness will be considered
will be held on May 184. 2017 at 4:00 pm on
the second floor of City Hall in the Council Chambers. I further understand that a
HDC application and/or Certificate of Appropriateness is NOT permission to
commence any work. A representative for the applied property is expected to attend
the meeting. If no representative attends, review may be deferred until the following
month's agenda. I further understand and acknowledge that a Certificate of
Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building
Department approval because, while a project may be historically appropriate, it may
not meet current building and zoning code requirements.

Applicant	:: <u>Min</u>	OPY	Ca	oK_	
Date:	4/.	20/1	7		
Address:				LONG 700	

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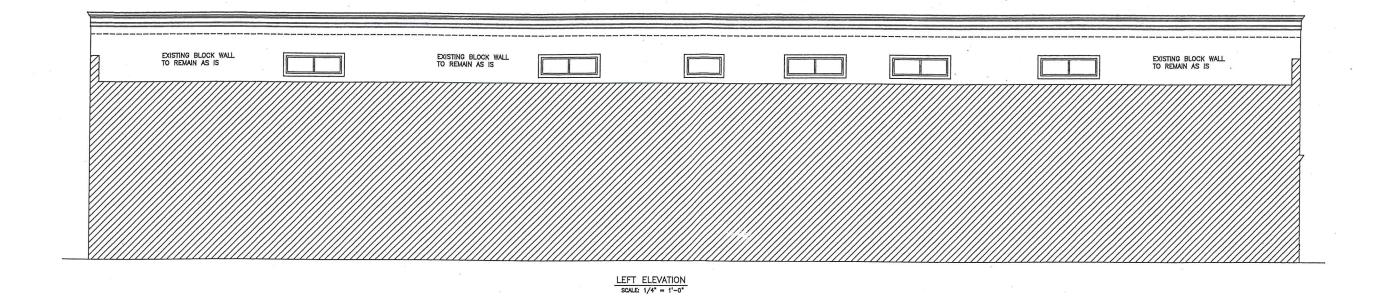


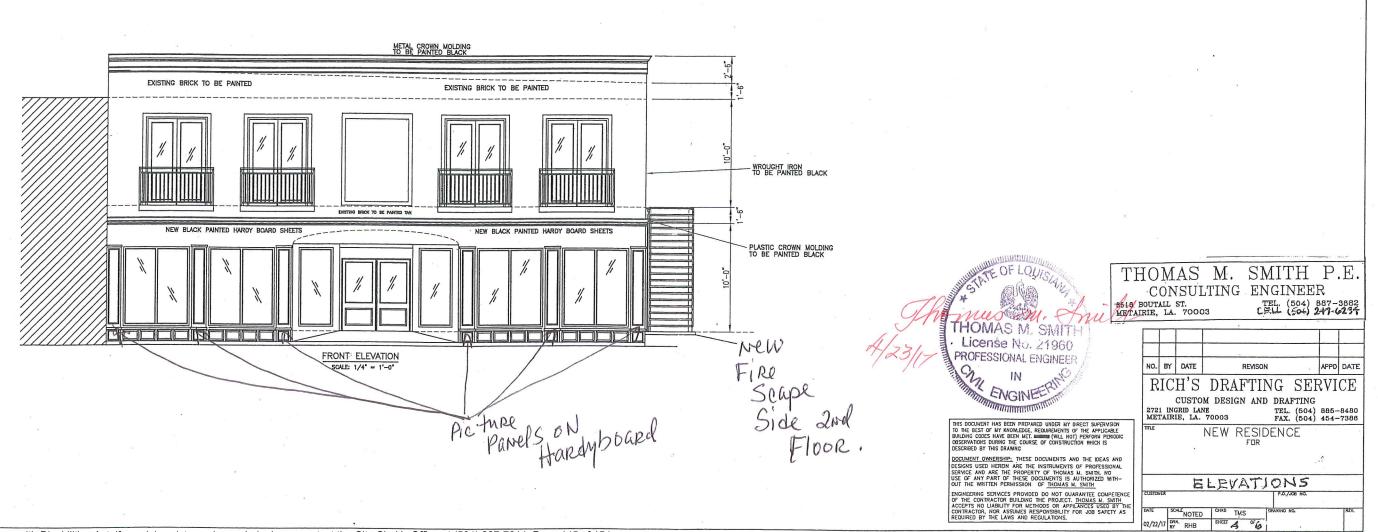
36695 WEYER STREET (Formerly CUVIER) 9 = Fd. 1/2" 1. Rod + Fd. Cross 9 Bidg. 143,7.0 (SIDE) 50.0.0T ., 100.9.3A 50.0.0T 0.75 0.65 STREET Municipal STREE No. 310 HUEY P. LONG AVENUE THIRD 6 NOT A PART FIRE ESCAPE STAIRS 100.9.3A 50.0.0T 56.68 7 44.10' 50.Q.OT 50.9.0 HUEY P. LONG AVENUE (Formerly COPERNICUS) SURVEY OF LOTS 4, 5 & 6 AND PORTIONS OF LOTS 10, 11 & 12 SQUARE 9 VILLAGE OF NEW MECHANICKHAM JEFFERSON PARISH, LA SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS "B" SURVEY, MADE AT THE REQUEST OF: Barbar Investments, Inc. BEN and James B. Barkate CORPORATION The Servitudes and Restrictions shown on this survey are limited to those set forth in the description turnished us and there is no representation that all applicable Servitudes and Restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey. A Professional Land Surveying Company CITY OF KENNER R. P. FONTCUBERTA, JR. REG. No. 4329 JEFFERSON-PARISH, LOUISIANA REGISTERED PROFESCIONAL F. I. A. ZONE : "B" SCALE: $1^m = 30^n$ DATE: January 26, 1995 REGISTERED PROFESSIONAL LAND SURVEYOR

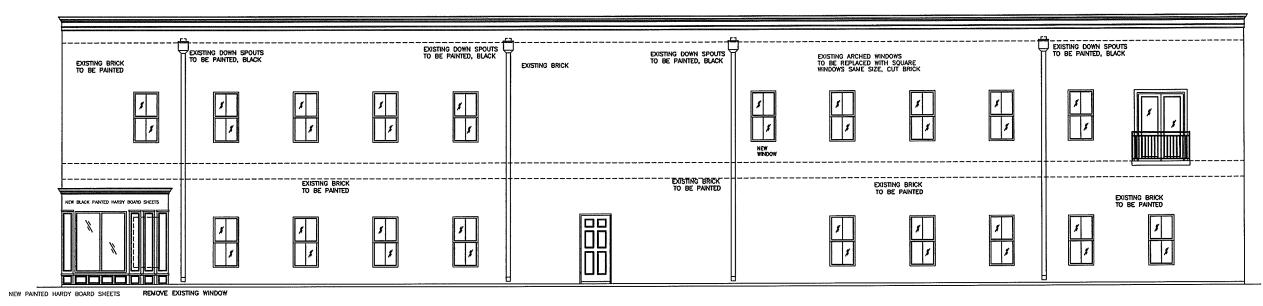
In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clear to the City Clear t

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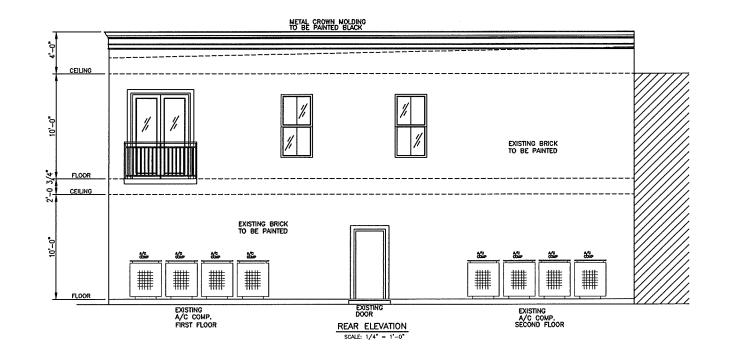




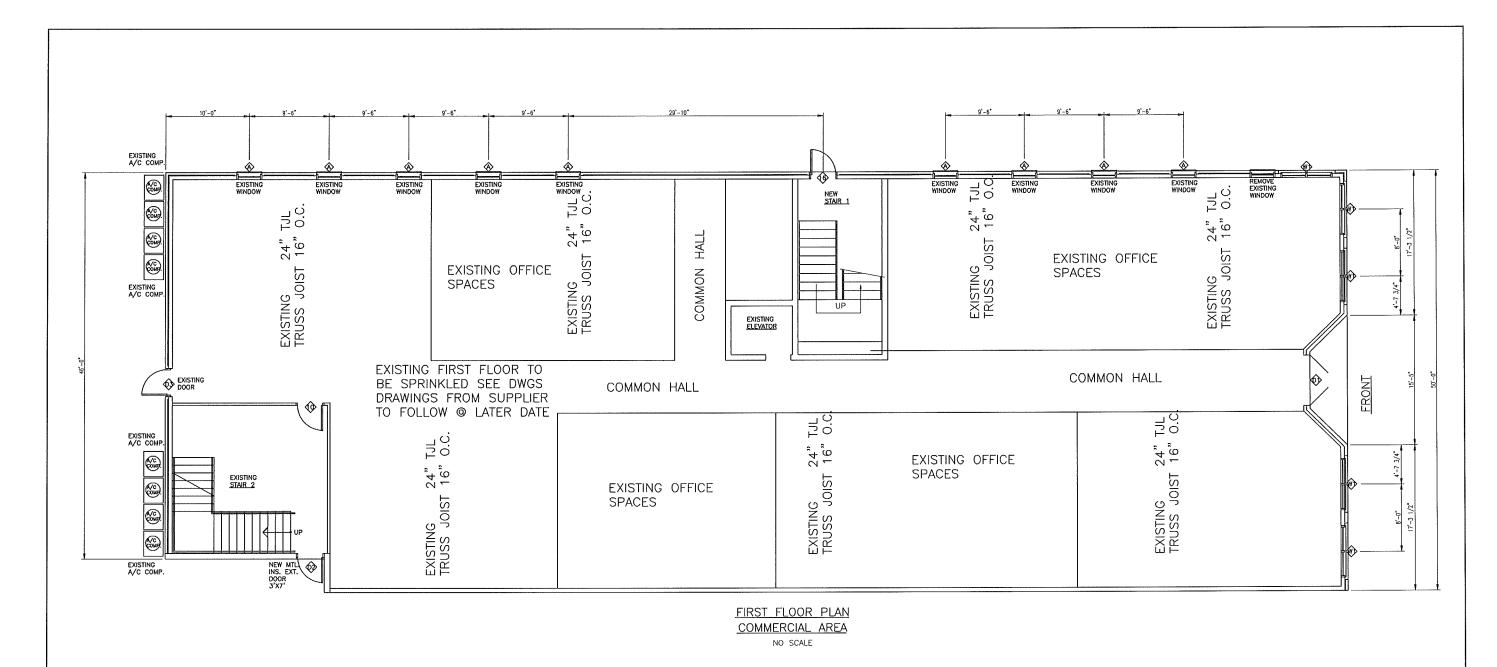


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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DOORS D1 3'0"X8'0"X1 3/4" EXTERIOR WOOD UNIT, GLASS TOP-WOOD PANEL BASE WITH 3'0"X2'0" TRANSOM ABOVE 2 3'0"X7'0"X1 3/4" NEW EXTERIOR METAL 3 PANEL DOOR D3 3'0"X6'8"X1 3/4" EXTERIOR EXISTING METAL DOOR

	WINDOWS							
A	3'0"X6'0"	ALUM. S.HUNG 2/2 LITES						
8	6'6"X2'0"	ALUM. SLIDER 2 LITES - VERIFY SIZE						
С	4'0"X2'0"	ALUM. FIXED 2 LITES - VERIFY SIZE						
W1	6'0"X8'0"	ALUM. FIXED 2 LITES						

CODE COMPLIANCE
CONSTRUCTION TO MEET OR EXCEED ALL REQUIREMENTS OF, A) THE 2012 INTERNATIONAL BUILDING CODE B) NFPA 101 2006 CODE

MINIMUM DESIGN LOADS OF BUILDINGS AND OTHER STRUCTURES, ANSI/ASCE 7-98

I HAVE RESEARCHED THESE CODES AND CHAPTERS, AND THE LOUISIANA UNIFORM CONSTRUCTION CODE AND TO THE DEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

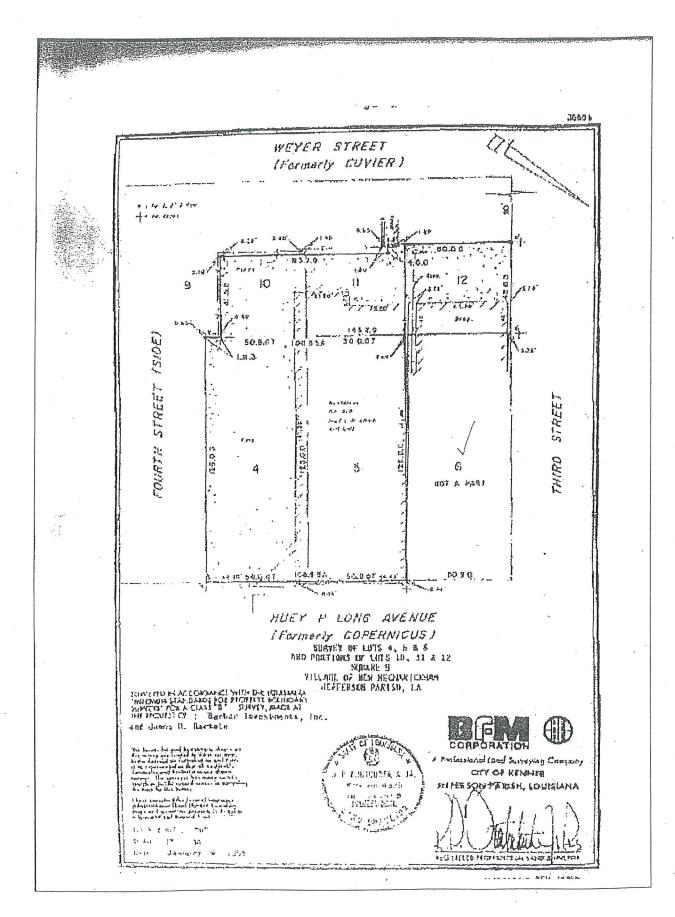
DESIGN LOADS
ROOF LIVE LOAD: 20 PSF
OFFICE CEILING LIVE LOAD: 50 PSF

ULT DESIGN WIND SPEED (V ULT 3 SEC. GUST:140 MPH NOMINAL (V ASD):108 MPH

THOMAS M. SMITH P.E. CONSULTING ENGINEER TEL. (504) 887-3882 CELL (504)247-6294 6516 BOUTALL ST. METAIRIE, LA. 70003 NO. BY DATE APPD DATE RICH'S DRAFTING SERVICE CUSTOM DESIGN AND DRAFTING TEL. (504) 885-8480 FAX. (504) 454-7386 BUILDING RENOVATIONS
FOR
RIVERBEND REVIVAL, LLC 300 HUEY P. LONG GRETNA, LOUISIANA 1st FLOOR PLAN

FIELD VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION

DOCUMENT OWNERSHIP, THESE DOCUMENTS AND THE IDEAS AND DESIGNS USED HEREIN ARE THE HISTRUMENTS OF PROFESSIONAL SERVICE AND ARE THE PROFESTY OF THOMAS M. SVITH. NO USE OF ANY PART OF THESE DOCUMENTS IS AUTHORIZED WITH-OUT THE WRITTEN PERMISSION OF THOMAS M. SWITH. IGNEERING SERVICES PROVIDED DO NOT GLARANTEE COMPETENCE
THE CONTRACTOR BUILDING THE PROJECT, THOMAS M, SWITH
COCETIS NO LIBRUITY FOR METHODS OR APPLIANCES USED BY THI
ONTRACTOR, NOR ASSUMES RESPONSBILITY FOR JOB SAFETY AS
COURTED BY THE LAWS AND REGULATIONS. RIVERBEND REVIVAL LLC. SCALE NOTED CHKO TMS



ORIGINAL SURVEY

ELEC 50.0' PRETING AVE COME. DESTING A/C COMP. (2) (2) (2) (3) (3) (3) SMITH P.E. ENGINEER 7:5 THOMAS M. CONSULTING CONSULTING METARIE, IA. 70003 WALK 44.0, , ABOVE SPACE 144.0' EXISTING BUILDING 9 RESIDENTIAL LIVING EXISTING OFFICE S 0 2mg SHEET \bigcirc Y GRETNA, REVIVAL PERIMETER BUILDING END LONG Ω Ω. RIVE THOMAS M. SMITH HUEY 50.0' FRONT License No. 21960 PROFESSIONAL ENGINEER 300 HUEY P. LONG AVE. 300 SITE PLAN SCALE: 1/8" = 1'-0"LOT #6 SQUARE #9 JEFFERSON PARISH

ORTH STREET (SIDE)

CITY OF GRETNA

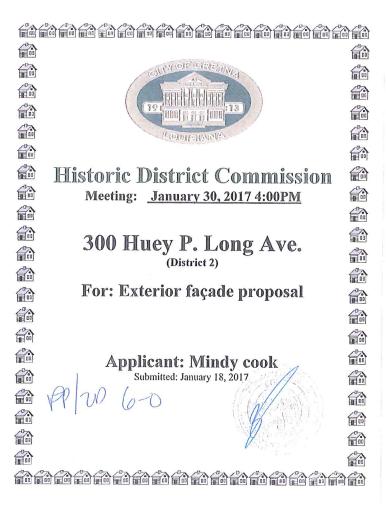
HISTORIC DISTRICT	COMMISSION
CERTIFICATE OF APPE	ROPRIATENESS
PROPERTY ADI	
NAME OF APPL	ICANT
Work Approved: exercise improvements On Side and replacement of a Cedansular hindows. All censua in package. Approved 6-0	Ahhalcony tire door
	:10 11~
Signature of HDC Chairperson	Date 1/30 1 (Date
Signature of Applicant	Date
By signing this notice, the applicant/owner of the property that they acknowledge their legal responsibility for ensu all work performed is completed in accordance with obtained by this Certificate of Appropriateness. Any deviation or failure to comply with this certific	ring that approval

stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

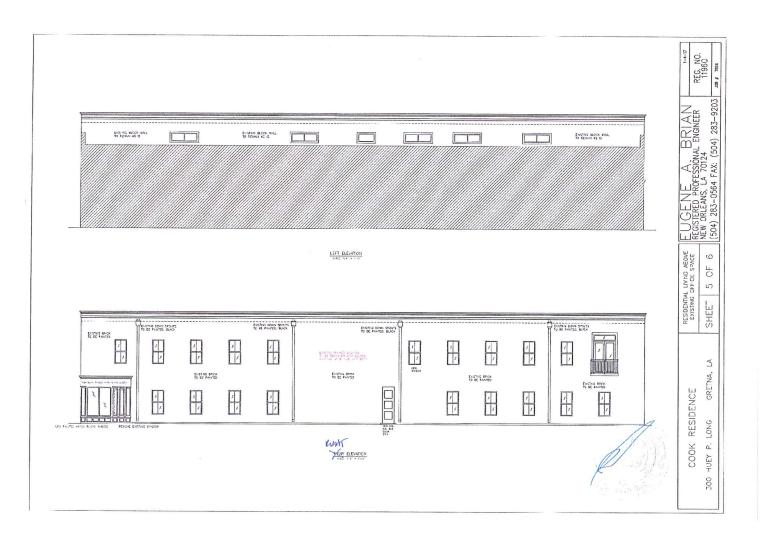
Please address all questions to: **Gretna Department of Inspections** 740 2nd Street, Room 113, Gretna, LA, 70053 (504) 363-1563 - www.gretnala.com

COA-17-0006 In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 149 of 154

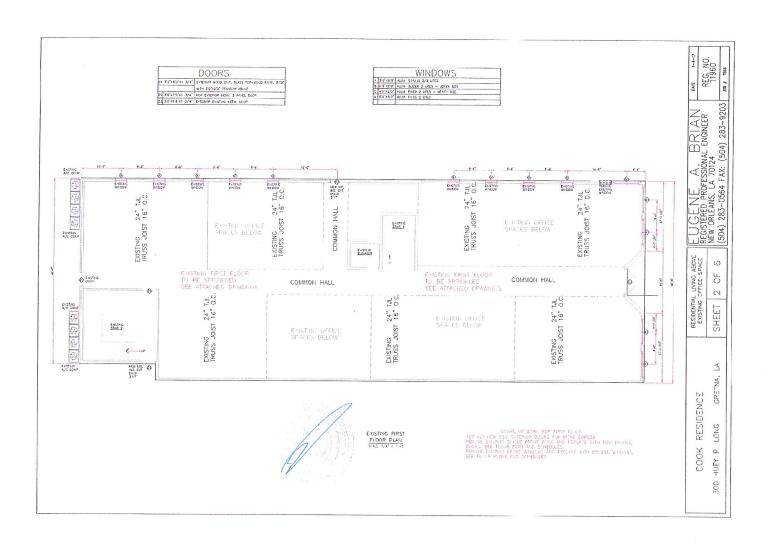




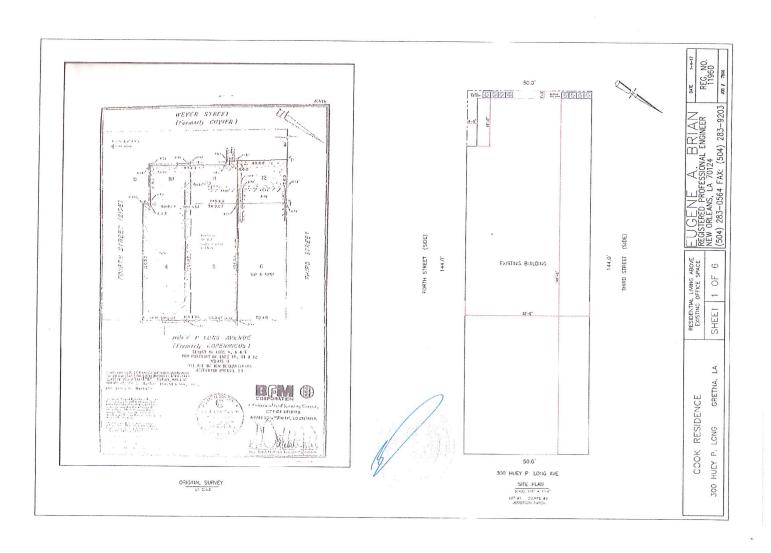
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