

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 2nd Street, Gretna, LA 70053
Council Chambers - 2nd Floor
June 5, 2017 - 4:00 PM**

AGENDA

AGENDA ITEM(S):

- 1. Call to Order/Roll Call**
- 2. CONSENT AGENDA for Certificate of Appropriateness:**
 - A. 710 Amelia Street
For: Iron handrails, gutters, wood fence & gate-Alfred Rousselle, Applicant (District 1)
 - B. 810 Lafayette Street
For: Second amended application - George Kleinpeter Jr, Applicant (Dist. 2)
- 3. Properties with current request for Certificate of Appropriateness:**
 - A. 1130 Lafayette Street
For: Sign - Monica Moreira, Applicant (District 2)
 - B. 1121 8th Street
For: Gazebo - Brad Sullivan, Applicant (District 2)
 - C. 728 Burmaster Street
For: Porch - Jacob Kennedy, Applicant (District 1)
 - D. 1030 11th Street
For: Upper left windows replace with vinyl windows, rear window a/c replace glass window, remove gutter at shed - Dawn Laufenberg and Sue Bankston, Applicants (District2)
 - E. 1321-1323 Franklin Street
For: Handrails - Starletia Goodwin, Applicant (District 1)
 - F. 935 Newton Street
For: Fence - Stefanie Cronin, Applicant (District 2)
 - G. 214-216 Lafayette Street
For: Renovations - Michael Bell, Applicant (District 2)

H. 1104 9th Street

For: Addition extensive change from original HDC meeting April 3, 2017 - Chris Cuccia, Applicant (District2)

I. 1337 Madison Street

For: Applicant response from preliminary conference - Dina Lalley, Applicant (District 1)

4. Adjourn



Historic District Commission

Meeting: June 5, 2017 4:00PM

710 Amelia Street

(District 1)

**For: Iron handrails, gutters, wood fence,
wood gate**

Applicant: Alfred Rousselle

Submitted: May 16, 2017

#1576

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 710 AMELIA AVE.

Renovation: ☒ New Construction: ☐

Age of Structure: 96 (1920) Demolition: ☐

Building Type:	Building Style:
Creole Cottage <input type="checkbox"/>	Greek Revival <input type="checkbox"/>
Shotgun <input type="checkbox"/>	Italianate <input type="checkbox"/>
Bungalow <input checked="" type="checkbox"/> (Frame Bungalow)	New Orleans Bracketed <input type="checkbox"/>
Other <input type="checkbox"/>	Eastlake <input type="checkbox"/>
	Colonial Revival <input type="checkbox"/>
	Other <u>CRAFTSMAN</u>

Exterior materials proposed:

Roof <u>HALF ROUND GUTTERS</u>	Soffit <input type="checkbox"/>
Fascia <input type="checkbox"/>	Siding <input type="checkbox"/>
Masonry <input type="checkbox"/>	Porches <input type="checkbox"/>
Balconies <input type="checkbox"/>	Handrails <u>IRON HANDRAILS</u>

Type of exterior lighting fixtures: ☐

Style of windows: ☐

Type of exterior doors: ☐

Describe any ornamental woodwork: WOODEN FENCE AND GATE

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Alfred J. Roussele Date: 5/16/17

Applicant's Name: ALFRED J. ROUSSELE

Address: 710 AMELIA AVE.

Phone No: (504) 941-7622 Cell No: (504) 554-7707

For Office Use Only:

Date of Application: 5.17.17

Substantive Change: Yes _____ No ✓ Inventory Number: # 677

Contributing Element to Gretna National Register Historic District: Yes ✓ No _____

Historic District Commission meeting date: June 5th 2017 @ 4:00 pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorron dona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, ALFRED J. ROUSSELLE the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on JUNE 5TH 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Alfred J. Roussele
Signature of Applicant

ALFRED J. ROUSSELLE
NAME OF APPLICANT (PLEASE PRINT)

710 AMELIA AVE.
Applicant's address

SAME AS ABOVE
Actual address of the property for review

Date: MAY 16, 2017

Google Maps 712 Amelia St



Image capture: Aug 2016 © 2017 Google

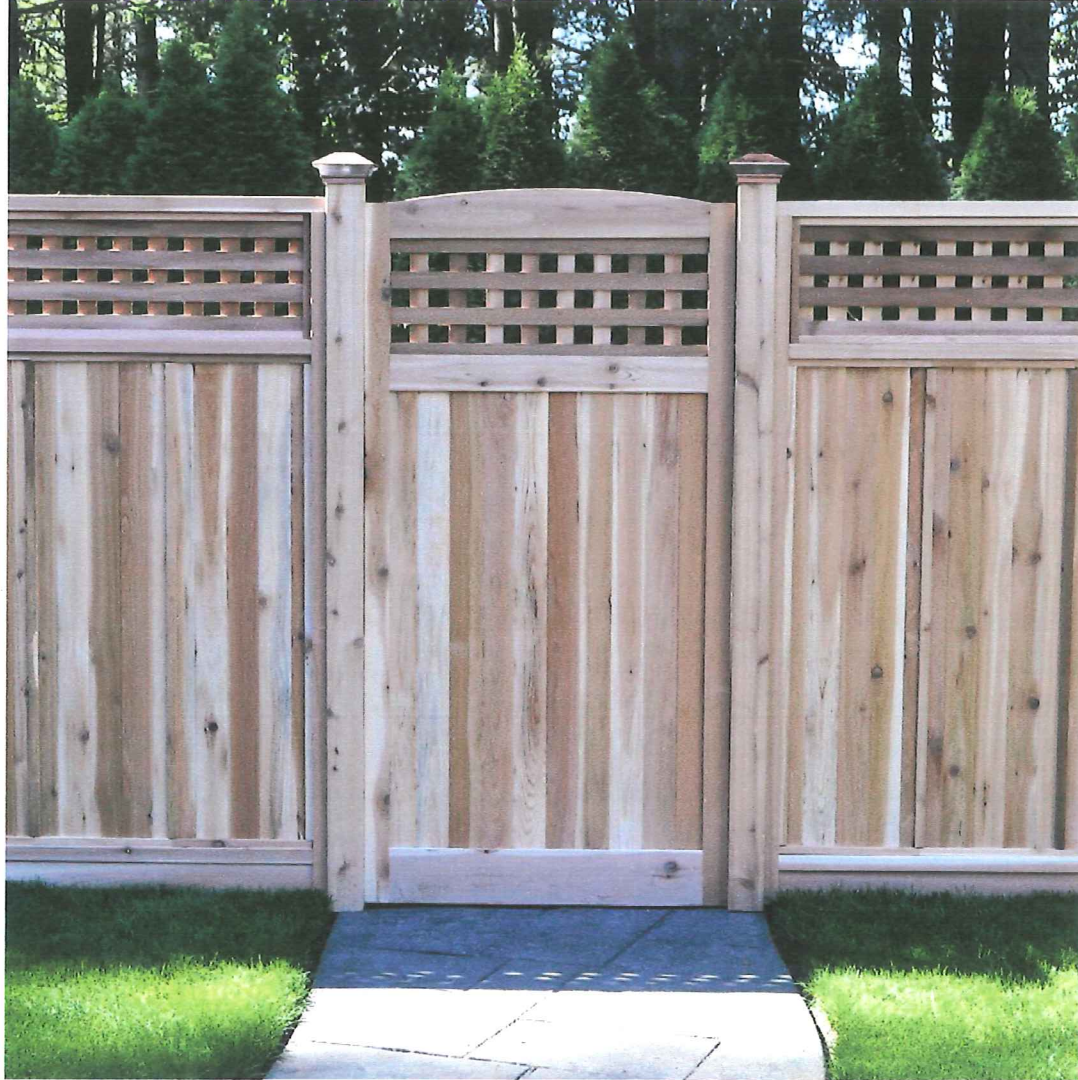
Gretna, Louisiana

PHOTO SPHERE - Aug 2016





1A PROPOSED FENCE & GATE



placing
in
two
areas
front &
Back

2A



option



In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 13 of 154



Historic District Commission

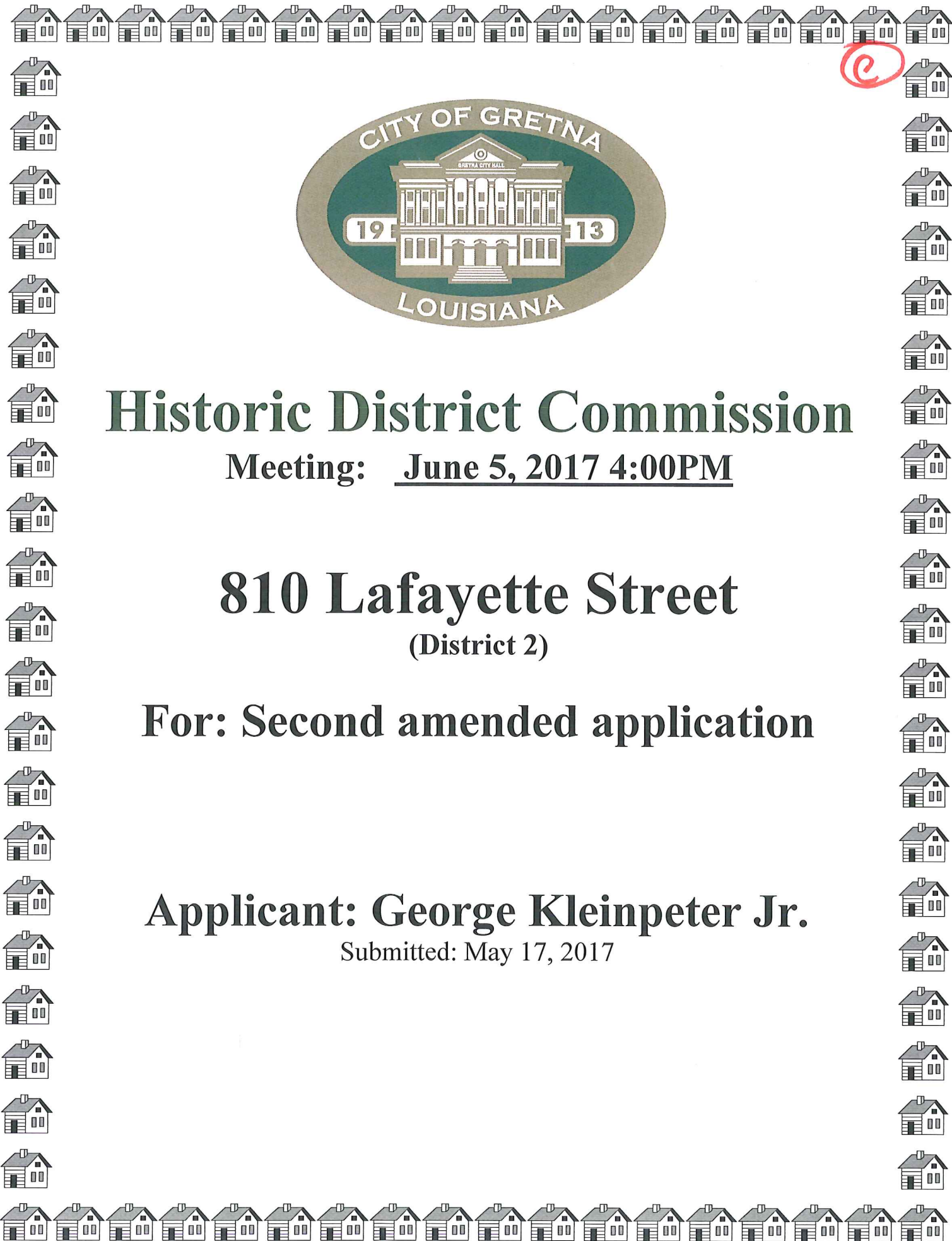
Meeting: June 5, 2017 4:00PM

810 Lafayette Street
(District 2)

For: Second amended application

Applicant: George Kleinpeter Jr.

Submitted: May 17, 2017



e

Permit # 1200

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 810 LAFAYETTE ST.

Renovation: X

New Construction:

Demolition:

Age of Structure: 50+ YEARS

Building Type:

Building Style:

Creole Cottage

Greek Revival

Shotgun

Italianate

Bungalow

New Orleans Bracketed

Other former woodworking shop

Eastlake

Colonial Revival

Other plain

Exterior materials proposed:

Roof Fiberglass SHINGLES Soffit ALUMINUM/HARDI BD.

Fascia ALUMINUM (EXIST) - NEW Siding ALUM. EXIST/HARDI PLANK

Masonry Porches

Balconies Handrails

Type of exterior lighting fixtures: SOFFIT LIGHTS under front overhang

Style of windows: MATCH EXISTING WITH ADDITIONAL WINDOWS

Type of exterior doors: wood w/ glass @ front / wood line @ sides & rear / GARAGE DOOR

Describe any ornamental woodwork:

Elevations:

Front Space: existing ft. Side Space: existing ft.
Rear Space: existing ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

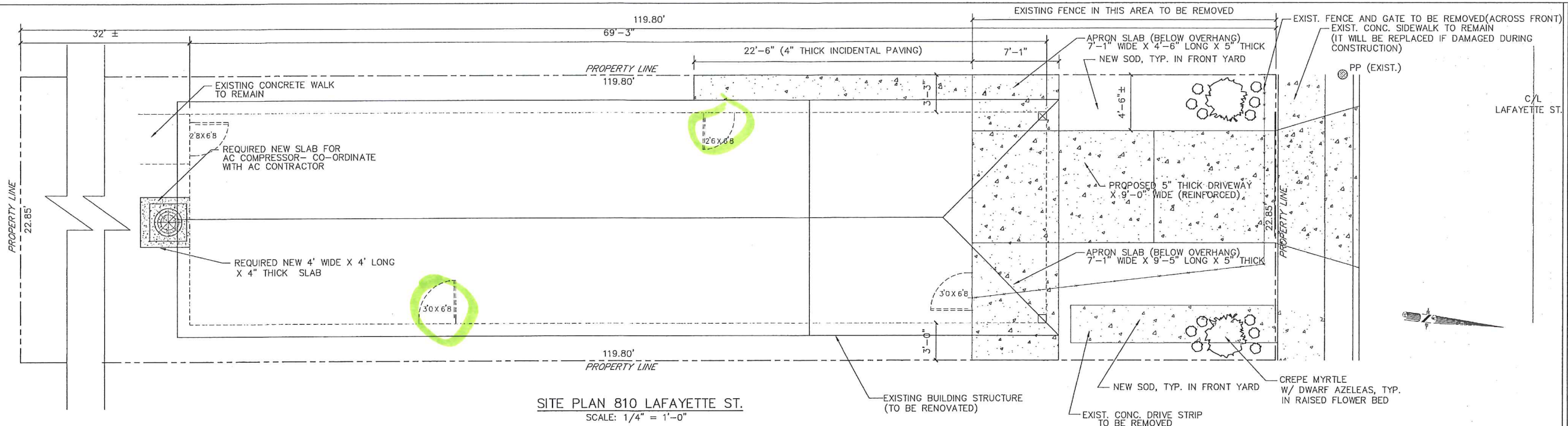
Applicant's Signature: Jody P. Coyne for GEORGE C. KLEINPETER, JR. Date: 5/17/2017
Applicant's Name: JODY P. COYNE for GEORGE C. KLEINPETER, JR.
Address: 76 MARIE DRIVE GRETNA, LA. 70053
Phone No: (504) 483-6200 Cell No: (504) 400-5787

For Office Use Only:

Date of Application: 5/17/2017
Substantive Change: Yes ☒ No ☐ Inventory Number: _____
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☐
Historic District Commission meeting date: June 5th @ 4:00pm
Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor
Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



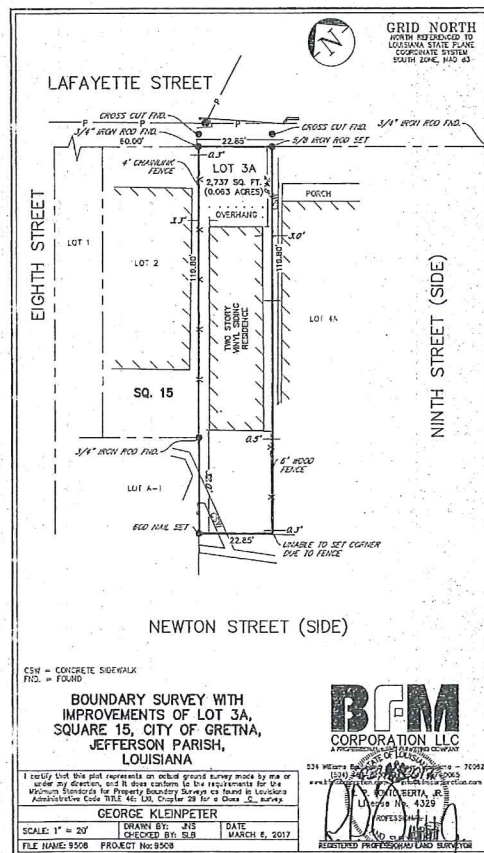




SITE PLAN 810 LAFAYETTE ST.
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. COMPLY WITH ALL LAWS, RULES, ORDINANCES, REGULATIONS AND CODES OF CITY OF GRETN, JEFFERSON PARISH AND THE STATE OF LOUISIANA.
2. DO NOT SCALE ANY DRAWINGS. CONSULT ARCHITECT FOR DIMENSIONS NOT SHOWN.
3. ALL PRODUCTS, MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS PRINTED INSTRUCTIONS AND SPECIFICATIONS, IN COMPLIANCE WITH ALL APPLICABLE CODES, AND WITHIN THE HIGHEST ACCEPTED TRADE STANDARDS BY SKILLED, EXPERIENCED, AND COMPETENT CRAFTSMAN.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE EXACT REQUIRED ROUGH INS AND ROUGH OPENINGS FOR ALL BUILT IN EQUIPMENT AND COMPONENTS AND IF REQUIRED, ADJUST THE DIMENSIONS SHOWN ON THE DRAWINGS. IF ADJUSTMENTS ARE REQUIRED, CONSULT ARCHITECT PRIOR TO ADJUSTING ANY DIMENSION.
5. THE OWNER SHALL SELECT PAINT COLORS, STAIN COLORS, FLOOR TILE, TILE GROUT, VINYL AND ALUMINUM TRIM COMPONENTS, COUNTERTOPS, VANITY TOPS, CABINETRY, WALL COVERINGS, FLOOR FINISHES, CARPET, KITCHEN APPLIANCES, ALL PLUMBING FIXTURES AND TRIM, BATHROOM ACCESSORIES, MEDICINE CABINETS, BRICK VENEER STYLE AND COLOR, ALL LIGHT FIXTURES, COLUMNS, AND ROOFING SHINGLES.
6. ALL FAUCETS SHALL BE WASHERLESS.
7. ALL EXTERIOR WALLS (AT HOUSE) SHALL HAVE KRAFT FACED R-13 FIBERGLASS BLANKET INSULATION (PLUS ALL WALLS WHERE INDICATED ON PLANS). TAPE ALL JOINTS, EDGES, PENETRATIONS. USE 3" WIDE ALUMINUM TAPE, AS MANUFACTURED BY CELOTEX.
8. ENTIRE CEILING OF ALL AIR CONDITIONED SPACES SHALL HAVE KRAFT FACED R-30 FIBERGLASS BLANKET INSULATION.
9. SECURE AND MOUNT ALL CABINETRY, ACCESSORIES, ETC. AS REQUIRED. PROVIDE AND INSTALL ALL REQUIRED GROUNDS AND BLOCKING. PROVIDE AND INSTALL ALL MATCHING FILLER STRIPS AND FINISHED END AND BACK PANELS AS REQUIRED AT CABINETS.
10. PROVIDE DRAPERY BLOCKING AT ALL WINDOWS.
11. ALL EXPOSED EXTERIOR WOOD (TRIMS, MOLDINGS, EXTERIOR OF DOOR AND CASINGS UNLESS OTHERWISE NOTED, PLYWOOD, ETC.) SHALL BE PAINTED WITH ONE COAT OF ALKYD UNDERCOATER PRIMER AND TWO FINISH COATS OF SEMI GLOSS ALKYD ENAMEL. ALL ALKYD COATINGS SHALL HAVE MILDEW/FUNGUS RESISTING ADDITIVE AT THE MAXIMUM DOSAGE ALLOWED BY MANUFACTURER. BACKPAINT ALL EXTERIOR DOOR CASINGS AND FRAME WITH ALKYD UNDERCOATER PRIOR TO INSTALLATION.
12. ALL WORK IS SUBJECT TO OWNER'S INSPECTION, PUNCH LIST, AND ACCEPTANCE PRIOR TO PAYMENT.
13. ALL GYP. BOARD, WALLS AND CEILINGS ARE TO BE 1/2" EXCEPT AS NOTED. WATERPROOF (GREEN) GYPBOARD IS TO BE USED IN BATHROOMS.
14. ALL FLOORING TO BE LAMINATE WITH PAINTED WOOD BASE, EXCEPT AS NOTED. KITCHEN, LAUNDRY AND BATHROOMS WILL HAVE CERAMIC TILE CERAMIC TILE WITH CERAMIC BASE.
15. BATH TUB ON FIRST FLOOR SHALL BE SET ON A CURB TO ALLOW PLUMBING TRAP TO CLEAR EXISTING TOP OF SLAB. REAR OUTLET TOILET SHALL BE INSTALLED IN FIRST FLOOR BATHROOM. SEWER TIE IN SHALL OCCUR ABOVE THE SLAB AND THEN DISCHARGE TO THE EXTERIOR OF THE SLAB, AND THEN TURN DOWN BELOW GRADE. THE PLUMBER IS TO INSTALL NEW SEWER TRUNK LINE OUT TO TIE-IN AT STREET.
16. PLUMBER TO PROVIDE NEW WATER PIPING AS REQUIRED THROUGHOUT THE BUILDING AND ROUTE TO METER AT FRONT.
17. REPAIR AND OR REPLACE ALL GUTTERS AND DOWNSPOUTS.



(NOT A CERTIFIED COPY)



FRONT VIEW 810 LAFAYETTE ST.
(EXISTING)

DRAWING INDEX

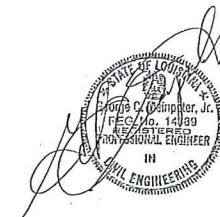
- 1 OF 8 C1 SITE PLAN - GENERAL NOTES
- 2 OF 8 A1 1ST AND 2ND FLOOR PLAN MODIFICATIONS AND BUILDING SECTION
- 3 OF 8 A2 BUILDING ELEVATIONS
- 4 OF 8 A3 FRAMING DETAILS
- 5 OF 8 M1 PROPOSED HVAC PLAN AND ELEVATION
- 6 OF 8 E1 PROPOSED ELECTRICAL PLAN MODIFICATIONS
- 7 OF 8 EX1 EXISTING 1ST AND 2ND FLOOR PLANS
- 8 OF 8 EX2 EXISTING BUILDING ELEVATIONS

NOTES:

OWNER PROPOSES THE FOLLOWING UPDATES FOR CODE COMPLIANCE ISSUES:

1. INSTALL ALL REQUIRED PLUMBING TO CURRENT PLUMBING CODE.
2. UPDATE ELECTRICAL SYSTEM TO CURRENT CODE
3. INSTALL A CODE COMPLIANT HVAC SYSTEM
4. INSTALL NEW ELECTRIC WATER HEATER

OWNER PROPOSES TO RENOVATE THE INTERIOR OF THE EXISTING STRUCTURE FOR THE PURPOSE OF CREATING A SECOND STORY TWO BEDROOM, 2 BATH RENTAL RESIDENTIAL UNIT. CURRENT ZONING IS C-1



OWNER: GEORGE C. KLEMPNER, JR.
BUILDING RENOVATION
810 LAFAYETTE ST.
GRETN, LOUISIANA 70053

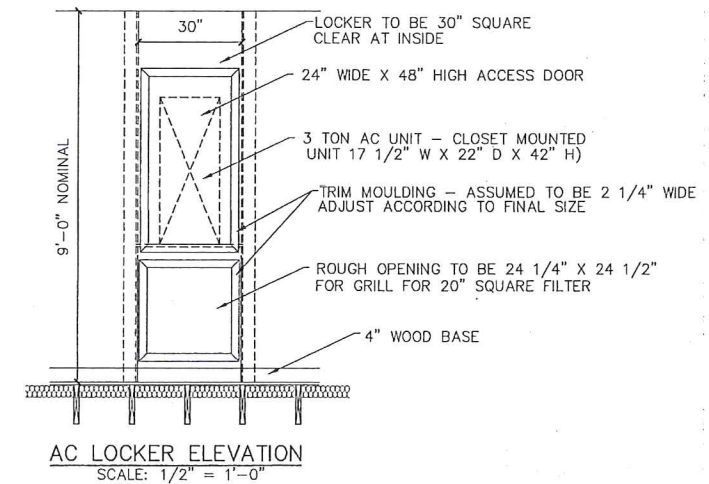
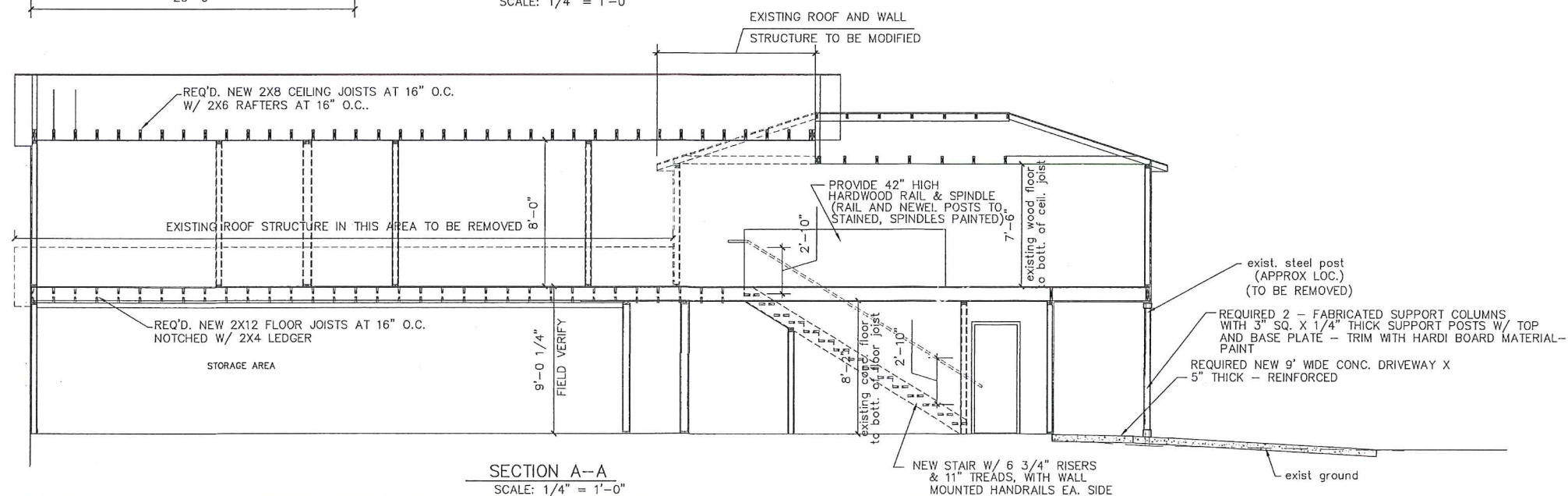
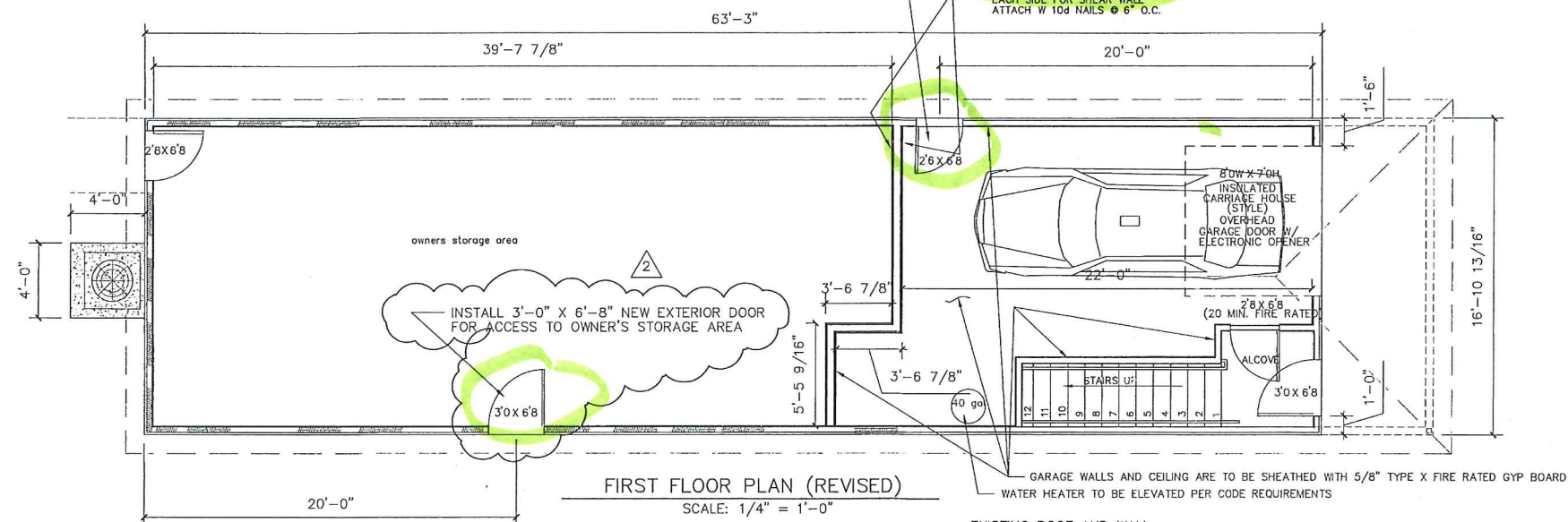
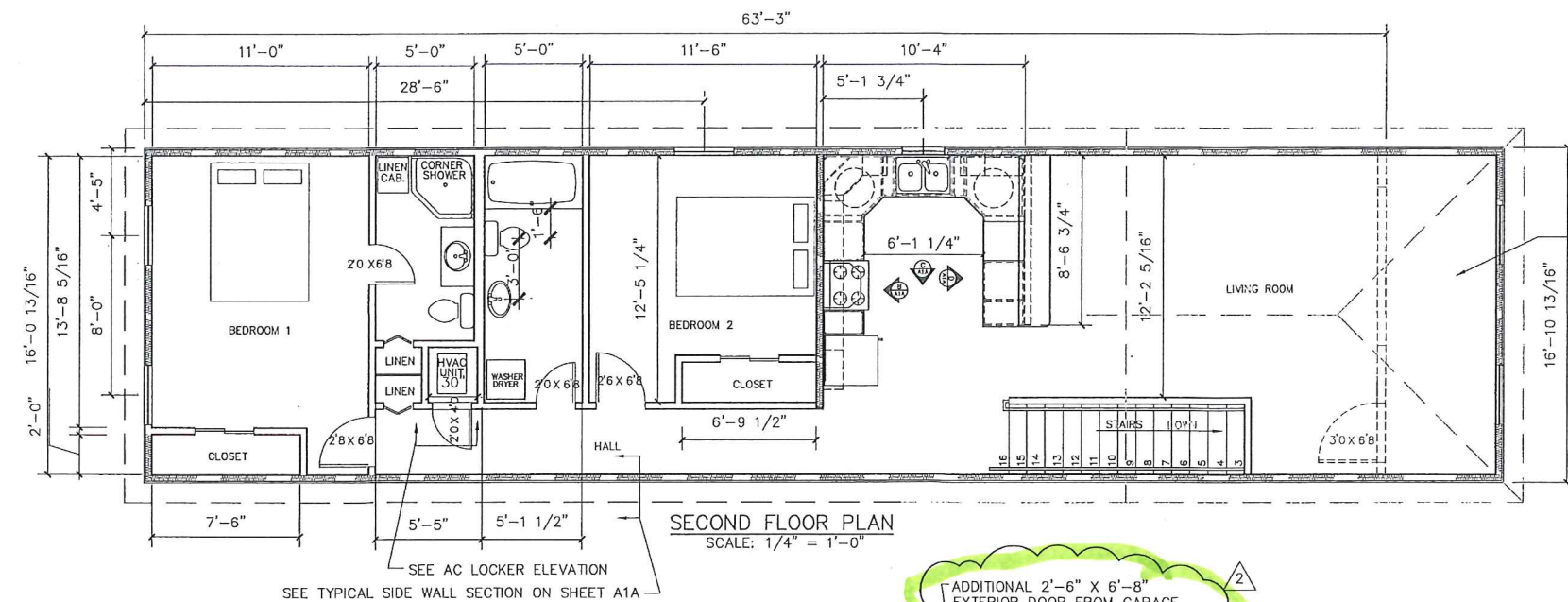
SHEET NO.

C1

1 OF 8
REVISION 2

SITE PLAN, GENERAL NOTES

DECEMBER 2016



DECEMBER 2016

OWEN: GEORGE C. KLEINFELTER, JR.
BUILDING RENOVATION
810 LAVERETTE ST.

810 LAFAYETTE ST.
GRETNA, LOUISIANA 70053

1ST AND 2ND FLOOR PLAN MODIFICATIONS AND BUILDING SECTION

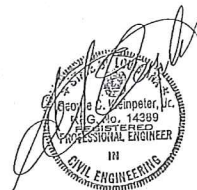
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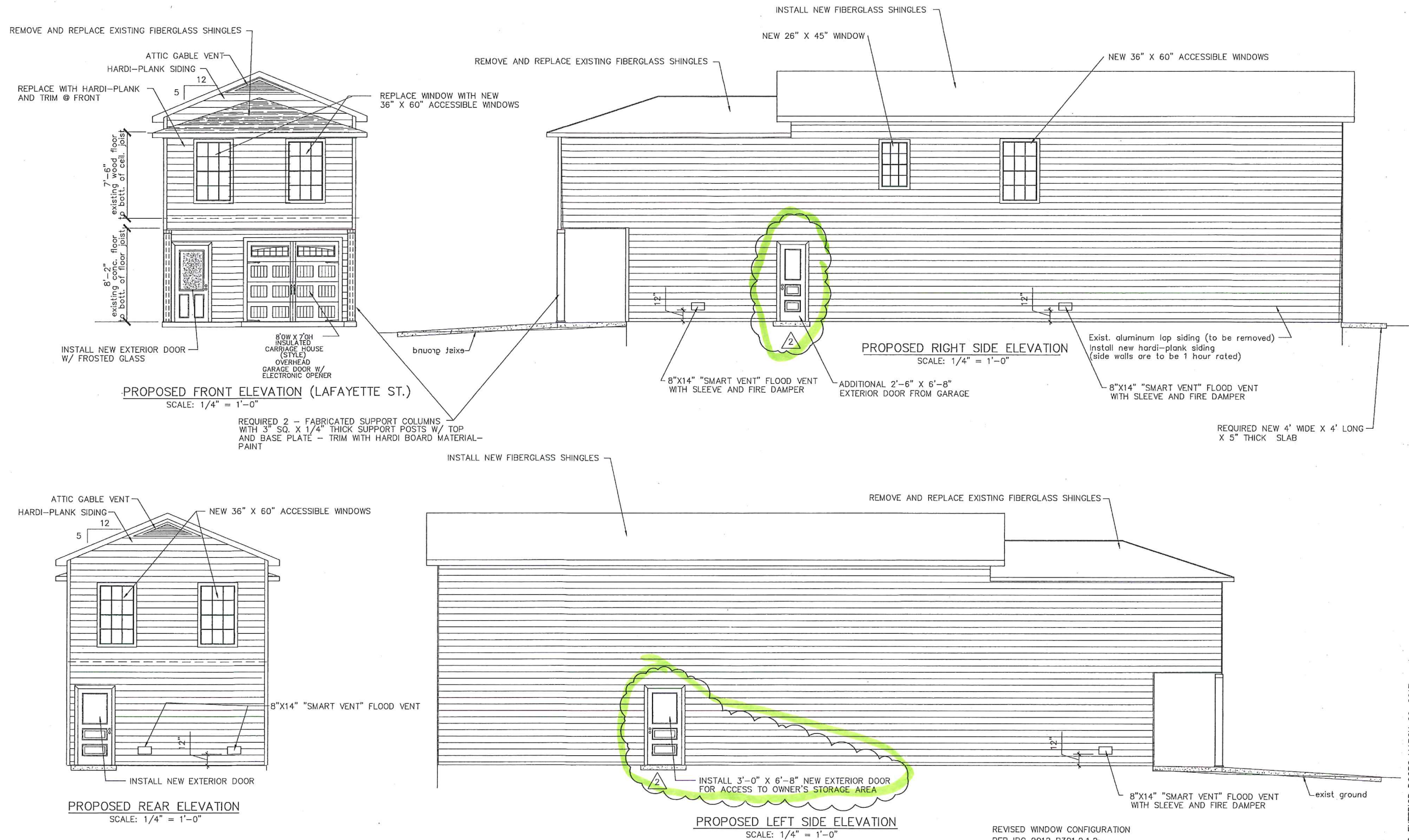
A1

2 OF 8
REVISION 2

REVISED 1ST FLOOR PLAN MARCH 20, 2017. gck

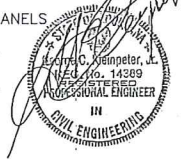
OWNER: GEORGE C. KLEINPETER, JR.





REVISED WINDOW CONFIGURATION
PER IRC 2012 R301.2.1.2:
NOTE: ALL WINDOWS SHALL BE PROVIDED WITH #8 WOOD SCREW BASED ANCHORS WITH 2 INCH MINIMUM EMBEDMENT. SPACING OF SCREWS NOT TO EXCEED 16" O.C.. FASTENERS SHALL BE LOCATED NOT LESS THAN 1 INCH FROM EDGE OF PANELS. ANCHORS SHALL PENETRATE THROUGH THE EXTERIOR WALL COVERING WITH AN EMBEDMENT LENGTH OF NOT LESS THAN 2 INCHES INTO THE STUDS.
(16 SCREWS REQD. FOR 36" X 60" WINDOWS.)
(14 SCREWS REQD. FOR 26" X 45" WINDOWS.)
PROVIDE PRECUT TO SIZE AND DRILLED FOR ANCHORS, 5/8" PLYWOOD PANELS FOR EACH WINDOW (TO BE STORED ON SITE)

NOTE: ONE ADDITIONAL 8"X14" "SMART VENT" FLOOD VENT WITH SLEEVE AND FIRE DAMPER SHALL BE INSTALLED IN THE INTERIOR WALL SEPARATING THE GARAGE FROM THE STORAGE AREA



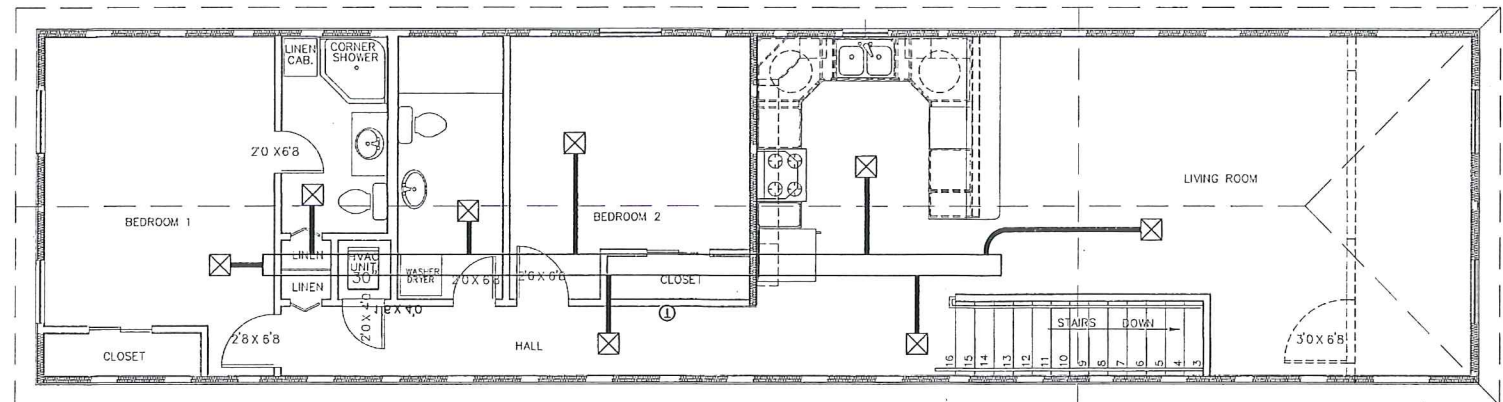
REVISED ADDED EXTERIOR DOORS MARCH 20, 2017. gck

OWNER: GEORGE C. KLEMPETER, JR.
BUILDING RENOVATION
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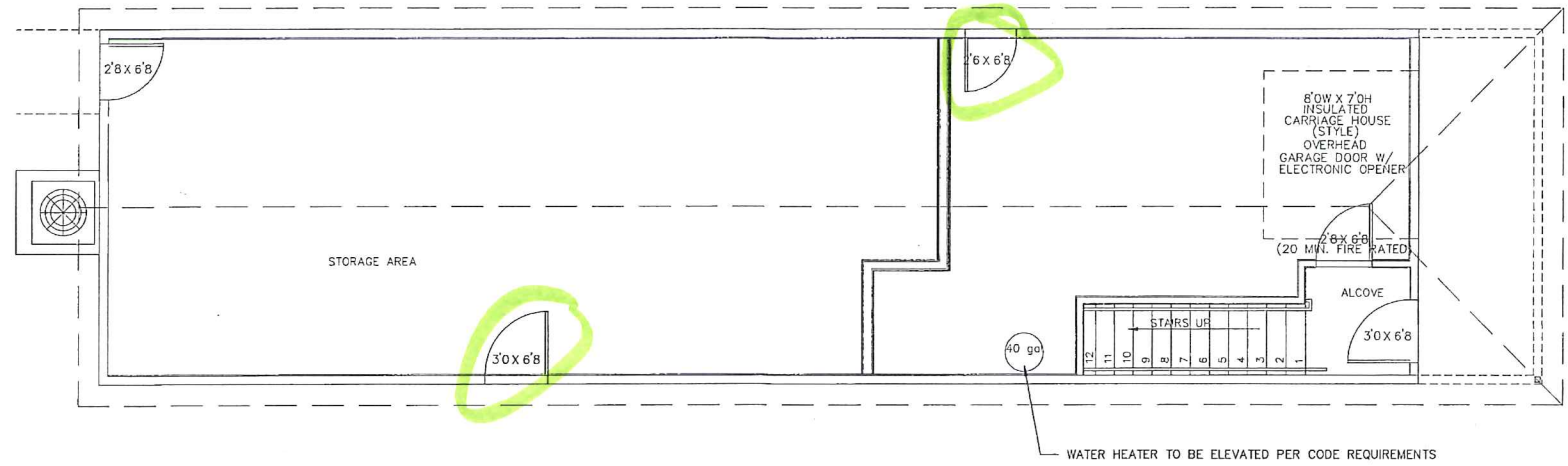
PROPOSED BUILDING ELEVATIONS

DECEMBER 2016

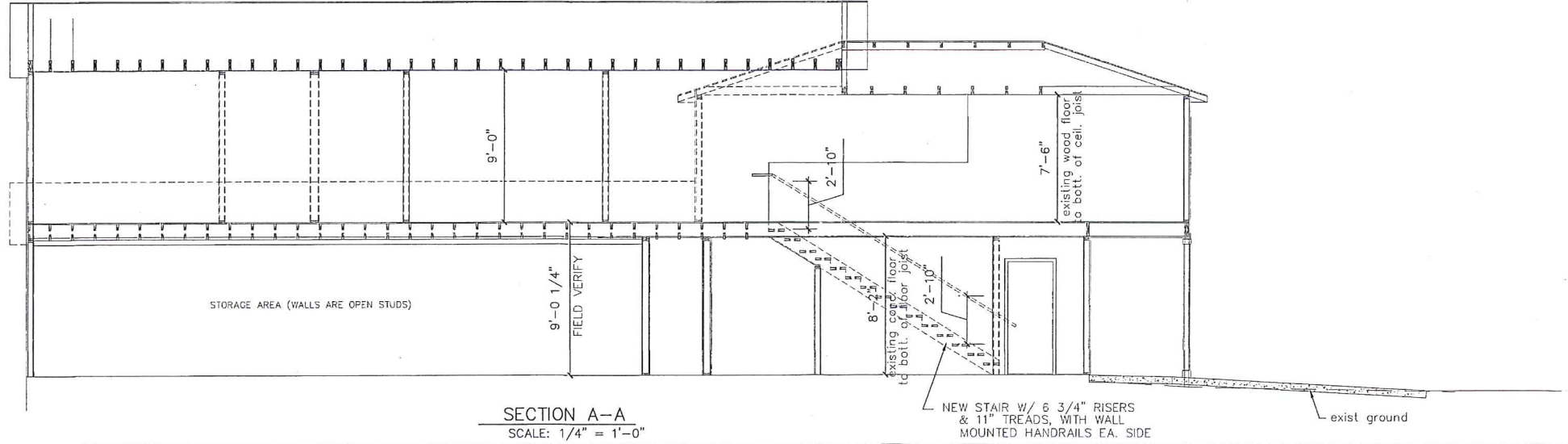
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A2
3 OF 8
REVISION 2



SECOND FLOOR MECHANICAL PLAN (1101 SQ. FT.)
SCALE: 1/4" = 1'-0"



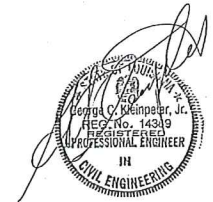
FIRST FLOOR MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



SECTION A-A
SCALE: 1/4" = 1'-0"

- MECHANICAL NOTES:**
1. LICENSED HVAC CONTRACTOR SHALL DESIGN, FURNISH AND PROPERLY INSTALL THE COMPLETE HVAC SYSTEM MEETING OR EXCEEDING ALL CURRENT LOCAL AND STATE REQUIREMENTS.
 2. PROVIDE MINIMUM 5 YEAR MANUFACTURER PARTS AND LABOR WARRANTY ON CONDENSER AND AIR HANDLING UNIT.
 3. COMPLY WITH SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS."
 4. INSTALL EXTERNALLY MOUNTED AC COMPRESSOR UNIT ON PLATFORM ELEVATED MINIMUM 2' ABOVE EXISTING GROUND.
 5. FLEXIBLE DUCTS SHALL BE INSULATED UL 181, CLASS 1, ALUMINUM LAMINATE AND POLYESTER FILM WITH LATEX ADHESIVE SUPPORTED BY HELICALLY WOUND, SPRING STEEL WIRE.
 6. FAN COIL UNIT AND ELEC. HEATER ARE TO BE INSTALLED IN LOCKER WHERE SHOWN ON SECOND FLOOR PLAN. HVAC CONTRACTOR TO CO-ORDINATE WITH FRAMING CONTRACTOR TO PROVIDE REQUIRED SHELF UPON WHICH TO PLACE UNIT. FRAME OPENING AS REQUIRED FOR AC FILTER AND FRAME.

- ⊗ DIFFUSER - SIZE AND THROW TO BE DETERMINED BY HVAC CONTRACTOR
- ⊗ COMPRESSOR
- RIGID DUCT
- FLEXIBLE DUCT
- Ⓢ THERMOSTAT/CONTROLS FOR HVAC SYSTEM, PROGRAMMABLE



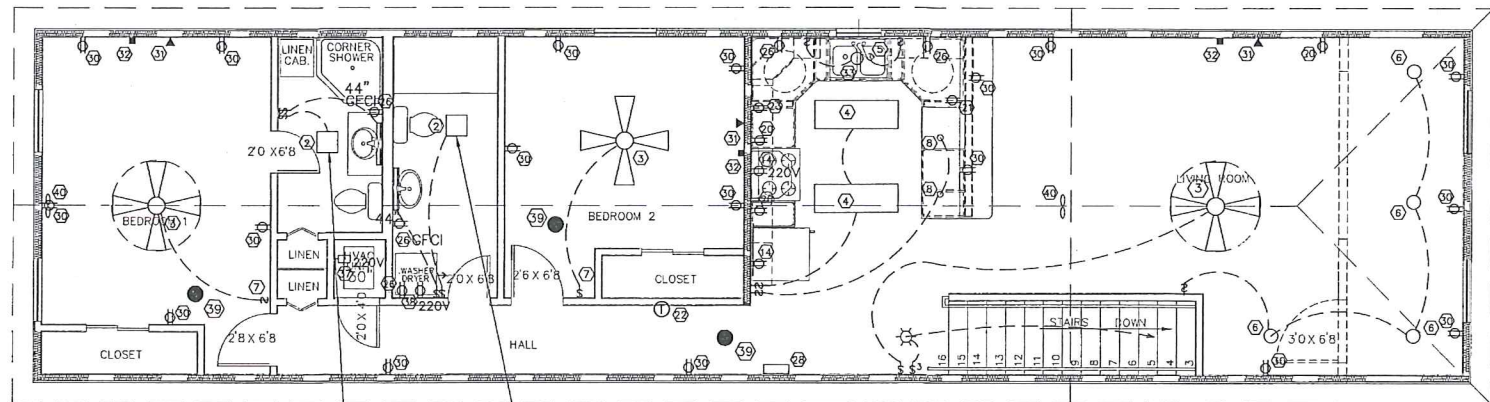
REVISED 1ST FLOOR PLAN MARCH 20, 2017. gck

OWNER: GEORGE C. KLEMPNER, JR.
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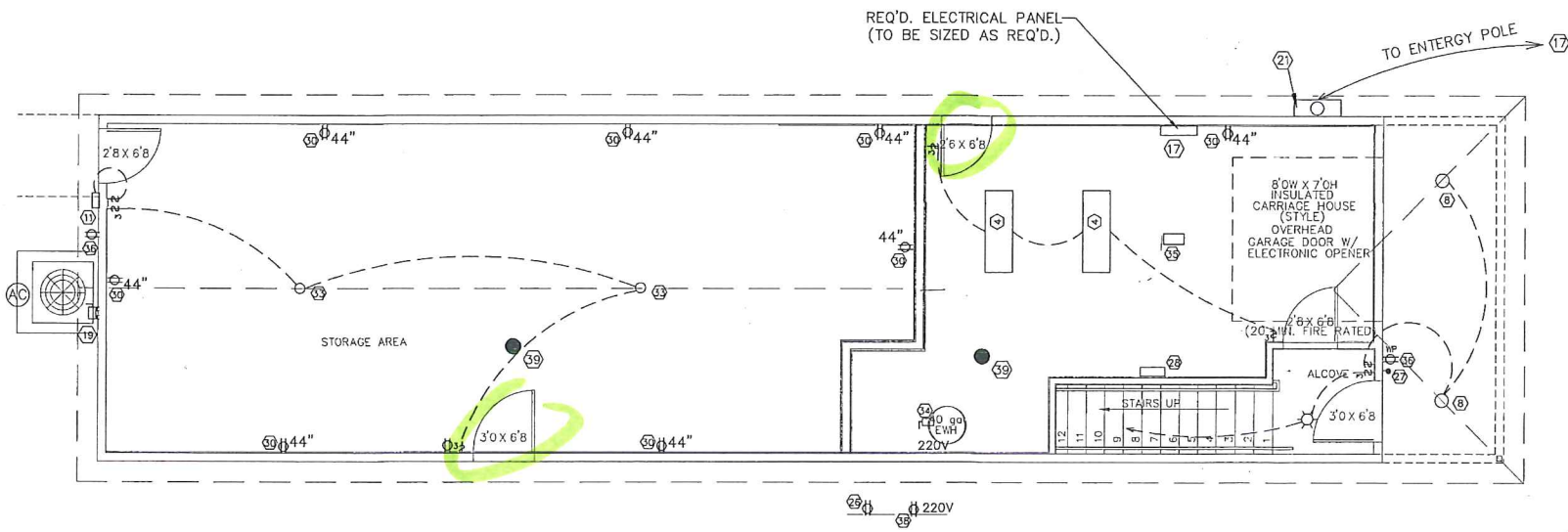
PROPOSED HVAC PLANS AND ELEVATION

SHEET NO.
M1
5 OF 8
REVISION 2

DECEMBER 2016



SECOND FLOOR ELECTRICAL PLAN (1101 SQ. FT.)
SCALE: 1/4" = 1'-0"



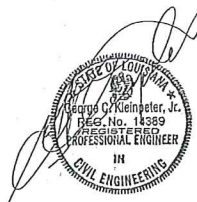
FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

LEGEND - SHEET E1

1. PENDENT MOUNT CEILING FAN W/ LIGHT KIT. UL LISTED. OWNER SELECTED. PROVIDE BLOCKING IN CEILING TO SUPPORT FAN.
2. BATHROOM LIGHT, VENT, AND HEATER W/INDIVIDUAL SWITCH FOR EACH (NUTONE) VENT TO EXTERIOR
3. CEILING HUGGER TYPE CEILING FAN W/ LIGHT KIT. UL LISTED. OWNER SELECTED. PROVIDE BLOCKING IN CEILING TO SUPPORT FAN.
4. 48" 3 LAMP FLUOR. FIXTURE, WRAP AROUND PRISMATIC ACRYLIC LENS, END CAPS, UL LISTED. OWNER SELECTED.
5. GARBAGE DISPOSAL W/ WALL MOUNTED SWITCH
6. RECESSED COMPACT FLUORESCENT CEILING FIXTURE, UL LISTED. OWNER SELECTED.
7. 3 SPEED FAN CONTROL SWITCH, UL LISTED
8. PENDANT LIGHT (LED)
9. 24" FLUOR. FIXTURE, WRAP AROUND PRISMATIC ACRYLIC LENS, END CAPS, UL LISTED. OWNER SELECTED.
10. NOT USED
11. EXTERIOR GRADE COMPACT FLUORESCENT WALL MOUNTED FIXTURE, UL LISTED, OWNER SELECTED
12. 3 POLE TOGGLE LIGHT SWITCH
13. ELECTRIC POWER TO RANGE (110 V.) WALL OUTLET
14. ELECTRIC POWER TO RANGE (220 V) WALL OUTLET
15. NOT USED
16. METER PANEL AND METER, 3R ENCLOSURE, 120/240 V, 1PH, 200 AMP SERVICE, SURFACE MOUNT
17. MAIN ELECTRICAL DISTRIBUTION PANEL, 200 AMP MAIN, 42 POLES, SURFACE MOUNT WITH EXTERIOR GRADE CABINET AND FRONT
18. NEW SERVICE FROM POLE BY ENTERGY (ELECTRICAL SUB TO CO-ORDINATE)
19. FUSED DISCONNECT SWITCH WITH TIME DELAY FUSE FOR HVAC CONDENSING UNIT/COMPRESSOR, 240V, 3R ENCLOSURE, SIZE AS REQ'D. BY EQUIPMENT MANUFACTURER. FINAL CONNECTION TO BE ARMORED CABLE. MOUNT SWITCH ON UNISTRUT FRAME. SUPPORT FRAME W/ FOOTING MADE FROM TWO BAGS OF CONCRETE. (CONDENSING UNIT TO BE ELEVATED AS REQUIRED TO EXCEED BASE FLOOD REQUIREMENTS)
20. ELECTRIC POWER TO RANGE HOOD W/ 2 SPEED FAN AND 75 WATT INCAD. LIGHT, 110V.
21. ELECTRIC POWER TO DISHWASHER, 110 V
22. THERMOSTAT/CONTROLS FOR HVAC SYSTEM, PROGRAMMABLE
23. DUPLEX POLARIZED GROUNDED OUTLET ON DEDICATED/ISOLATED CIRCUIT FOR MICROWAVE OVEN, 110V
24. COMPACT FLUORESCENT CEILING MOUNTED INTERIOR LIGHT FIXTURE, UL LISTED. OWNER SELECTED.
25. DUPLEX POLARIZED GROUNDED APPLIANCE OUTLET, 110V MOUNT 36" ABOVE FLOOR.
26. GROUND FAULT CURRENT INTERRUPT PROTECTED DUPLEX CONVENIENCE OUTLET, POLARIZED, GROUNDED, 110V, 44" A.F.F.
27. DOOR CHIMES BUTTON
28. DOOR BELL CHIMES, WALL MOUNT 64" A.F.F. PROVIDE 110V POWER TO TRANSFORMER IN ATTIC AND PROVIDE ALL LOW VOLTAGE WIRING BETWEEN TRANSFORMER, CHIMES AND ACTIVATOR BUTTON.
29. ELECTRIC POWER TO REFRIGERATOR, 110 V
30. DUPLEX POLARIZED GROUNDED CONVENIENCE OUTLET, 110V (# INDICATES MTG. HT. ABOVE FLOOR IF OTHER THAN STD.)
31. MODULAR TELEPHONE OUTLET
32. CABLE TELEVISION OUTLET
33. CEILING MOUNTED LIGHT FIXTURE, UL LISTED, OWNER SELECTED
34. DEDICATED 220V POWER TO ELECTRIC WATER HEATER
35. POWER TO AUTOMATIC GARAGE DOOR OPENER ON CEILING
36. WATER/WEATHER PROOF DUPLEX POLARIZED GROUNDED CONVENIENCE OUTLET, 110V #INDICATES MOUNTING HEIGHT IF OTHER THAN STANDARD.
37. POWER TO FAN COIL UNIT AND ELEC. HEATER. 220 V WITH DISCONNECT SWITCH.
38. DEDICATED 220V OUTLET FOR ELECTRIC CLOTHES DRYER
39. SMOKE DETECTOR. SEE ELEC. NOTE 8.
40. POWER TO EXHAUST FAN BEHIND GABLE VENTS IN ATTIC (THERMOSTAT CONTROL ON UNIT)

ELECTRICAL NOTES:

1. ALL WIRING TO BE COPPER. MINIMUM WIRE SIZE SHALL BE 12 GA. AWS.
2. CONNECT ALL APPLIANCES SHOWN ON FLOOR PLAN, DETAILS, ELEVATIONS AND SECTIONS AS WELL AS ALL APPLIANCES AND EQUIPMENT SHOWN ON THE ELECTRICAL DRAWINGS.
3. ALL EXTERIOR WALL PENETRATIONS SHALL BE INSTALLED NEAT AND SEALED WITH SEALANT. COORDINATE ROUGH IN OF ALL EXTERIOR OUTLETS AND EXTERIOR WALL MOUNT LIGHT FIXTURES.
4. ALL ELECTRICAL MATERIALS, EQUIPMENT, AND INSTALLATION THEREOF SHALL BE U.L. APPROVED AND IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND WITH ALL APPLICABLE STATE AND LOCAL CODES.
5. ALL LIGHT FIXTURES, FANS AND APPLIANCES SHALL BE SELECTED BY THE OWNER.
6. NOT USED
7. PROVIDE A DETAILED TYPED PANEL DIRECTORY OF EACH LOAD SERVED BY EACH CIRCUIT INCLUDING THESE DETECTOR/ALARMS WHERE SHOWN AND AS REQUIRED BY ALL APPLICABLE CODES AND STANDARDS. THESE DETECTOR/ALARMS SHALL BE LOCATED AS REQUIRED BY THE CODES, AND SHALL BE 110V CONNECTED TO ELECTRICAL SYSTEM WITH NO SWITCHES EXCEPT FOR THE CIRCUIT PROTECTOR SMOKE DETECTOR. SHALL BE LOCATED AT LEAST 36 INCHES FROM TIP OF FAN BLADES AND HVAC GRILLES.
8. ALL BEDROOM OUTLETS SHALL BE ON ARC FAULT CIRCUITS.
9. GROUND ENTIRE ELECTRICAL SYSTEM PER N.E.C.
10. ELECTRICIAN TO WORK IN CONJUNCTION WITH THE HVAC CONTRACTOR TO PROVIDE REQUIRED POWER TO HVAC UNIT COMPONENTS, INCLUDING CONDENSER, COIL UNIT AND THERMOSTAT.



REVISED 1ST FLOOR PLAN MARCH 20, 2017. gk

OWNER: GEORGE C. KLEINPETER, JR.
BUILDING RENOVATION
810 LAFAYETTE ST.
GRETN, LOUISIANA 70053

PROPOSED ELECTRICAL PLAN MODIFICATIONS


SHEET NO.
E1
6 OF 8
REVISION 2

DECEMBER 2016


810 Lafayette Street
PROPERTY ADDRESS

George Kleinpeter Jr.
NAME OF APPLICANT

Work Approved: Approval of renovation plans as submitted with front windows to be covered. Smaller side windows should be proportional. Front support posts to be wider in width. Front door to be simpler without leaded glass. New roof head height may be extended over existing building for a taller appearance - option of owner.



Signature of HDC Chairperson



Signature of Applicant

12/5/16

Date

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 • www.gretnala.com

COA-16-0140

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

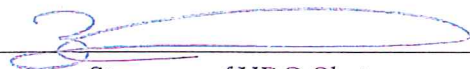
810 Lafayette Street

PROPERTY ADDRESS

George Kleinpeter Jr.

NAME OF APPLICANT

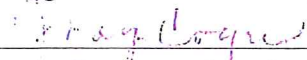
Work Approved: Approval of re-submitted plan for
renovation to property (flipping of layout of
structure).



Signature of HDC Chairperson

1/3/17

Date



Signature of Applicant

1-17-2017

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

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Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com

COA-16-0155



Historic District Commission

Meeting: June 5, 2017 4:00PM

1130 Lafayette Street
(District 2)

For: Sign

Applicant: Monica Moneira

Submitted: May 3, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1130 Lafayette St.

Renovation: New Construction: (1) new monument sign as per drawing provided. Demolition:

Age of Structure:

Building Type:

Creole Cottage Shotgun Bungalow Other

Building Style:

Greek Revival Italianate New Orleans Bracketed Eastlake Colonial Revival Other

Exterior materials proposed:

Roof Soffit Fascia Siding Masonry Porches Balconies Handrails

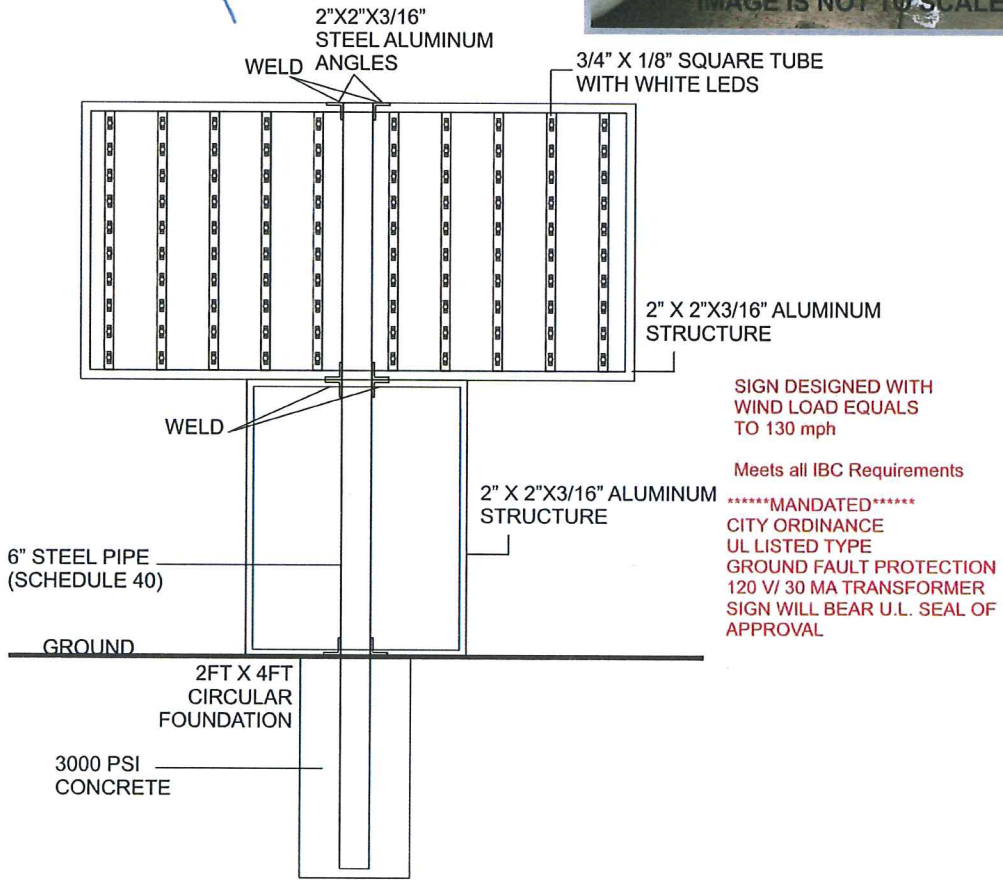
Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork: Sign Made of 1080 Aluminum 1 1/2" x 1 1/2" x 3/16" Alum Angle Structure Acrylic faces with LED internal illumination. Smooth finish. Stucco finish can be provided if necessary.

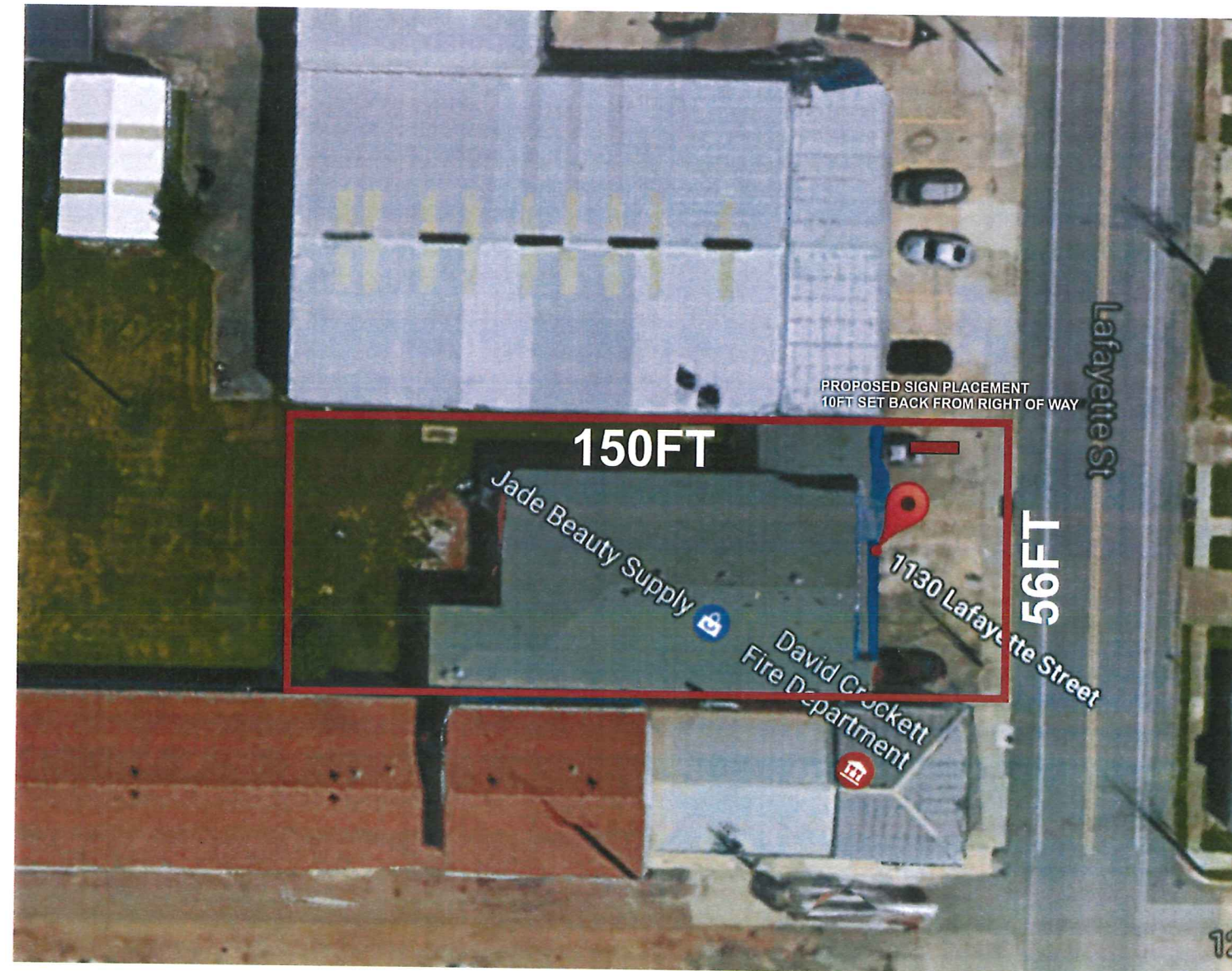
Manufacture & Install (1) Internally Illuminated
Monument Sign Painted Blue with Smooth Finish.
Face: Jade Beauty Supply: 3/16" Acrylic With HP Black Vinyl
Lafayette Cleaners: 3/16" White Acrylic With Trans. Red Vinyl
Cabinet to be Internally Illuminated With White LEDs
Includes Pole Cover With HP White Vinyl Address Numbers.
New Steel Pipe & Foundation Per Engineering Specs



1310 Carroll St.
Kenner, La. 70062
Office: 504.467.5205
Fax: 504.467.5206
www.PROSIGNSNOLA.com

Job Name: Jade Beauty Supply Designer: Monica M. Tymon Sketch #: 16-1210
Location: 1130 Lafayette St Salesman: Chris Nguyen Scale: 3/8" = 1'-0"
Gretna, LA Contact Person: Contact Number:

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY CONFORM TO ALL CITY REQUIREMENTS. I AM NOT GENERALLY ADMINISTERING THE WORK. ALL ELECTRICAL SIGNS UL LISTED WINDLOAD OF 130 MPH. THIS DRAWING IS THE PROPERTY OF PRO SIGNS & GRAPHICS AND CANNOT BE REPRODUCED WITHOUT PERMISSION.



1310 Carroll St.
Kenner, La. 70062
Office: 504.467.5205
Fax: 504.467.5206
www.PROSIGNSNOLA.com

Job Name: Jade Beauty Supply	Designer: Monica M. Tymon	Sketch #: 16-1210-2
Location: 1130 Lafayette St	Salesman: Chris Nguyen	Scale: 3/8" = 1'-0"
Gretna, LA	Contact Person:	Contact Number:

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY CONFORM TO ALL CITY REQUIREMENTS. I AM NOT GENERALLY ADMINISTERING THE WORK. ALL ELECTRIC SIGNS UL LISTED WINDLOAD OF 130 MPH. THIS DRAWING IS THE PROPERTY OF PRO SIGNS & GRAPHICS AND CANNOT BE REPLICATED WITHOUT PERMISSION.

Manufacture & Install (1) Internally Illuminated
Monument Sign Painted Blue with Smooth Finish.
Face: Jade Beauty Supply: 3/16" Acrylic With HP Black Vinyl
Lafayette Cleaners: 3/16" White Acrylic With Trans. Red Vinyl
Cabinet to be Internally Illuminated With White LEDs
Includes Pole Cover With HP White Vinyl Address Numbers.
New Steel Pipe & Foundation Per Engineering Specs

SIGN MUST BE
10' FROM
PROPERTY LINE

1'-4"

10'-0"

10'-0"
4'-0"

10'-0"
4'-0"

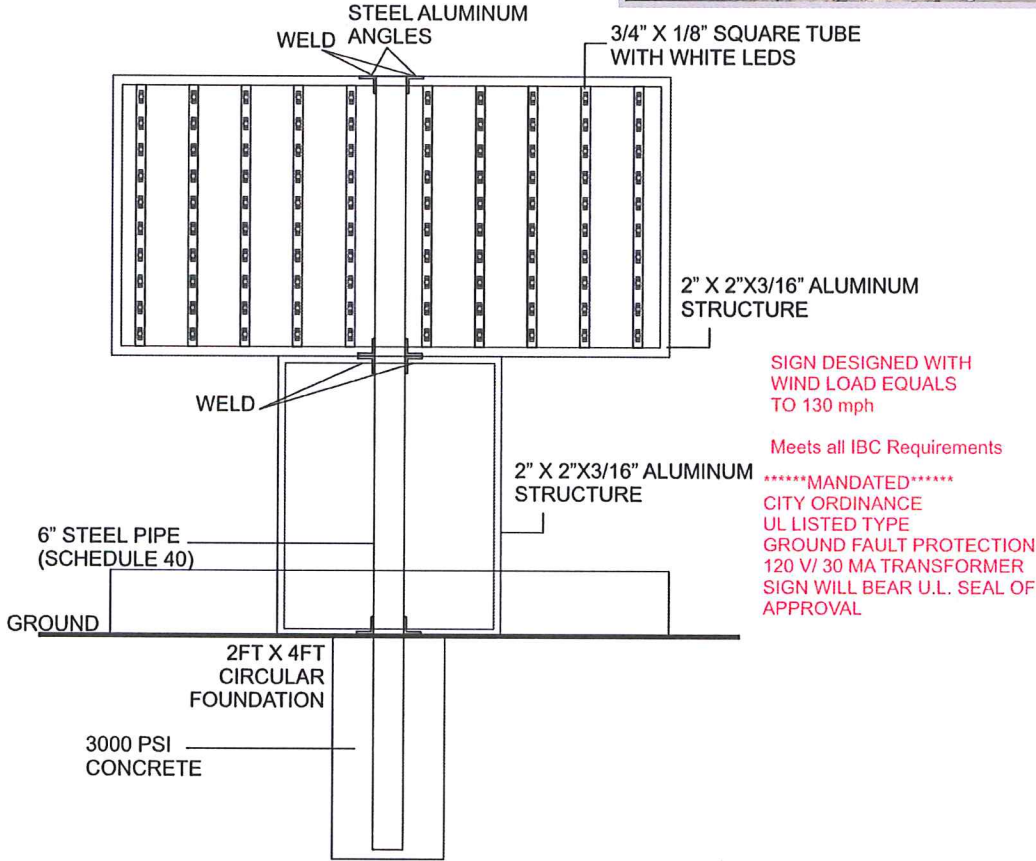
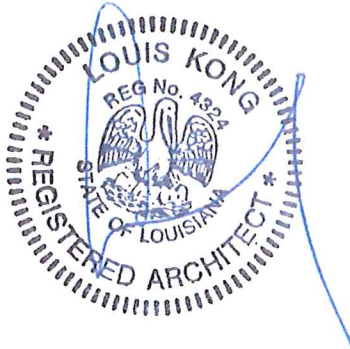
10'-0"
4'-0"

10'-0"
4'-0"

10'-0"
4'-0"

10'-0"
4'-0"

10'-0"
4'-0"



1310 Carroll St.
Kenner, La. 70062
Office: 504.467.5205
Fax: 504.467.5206
www.PROSIGNSOLA.com

Job Name: Jade Beauty Supply Designer: Monica M Tymon Sketch #: 16-1210-R1
Location: 1130 Lafayette St Salesman: Chris Nguyen Scale: 3/8" = 1'-0"
Gretna, LA Contact Person: Contact Number:

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Historic District Commission

Meeting: June 5, 2017 4:00PM

1121 8th Street

(District 2)

For: Gazebo

Applicant: Brad Sullivan

Submitted: May 5, 2017

permit # 1509

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

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- Demolition of a historical building
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Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1121 8TH ST, GREINA, VA 70052

Renovation: / New Construction: GAZEBO (STAND ALONE) Demolition: /

Age of Structure: 60+ yrs

Building Type:

Creole Cottage / Shotgun / Bungalow / Other /

Building Style:

Greek Revival / Italianate / New Orleans Bracketed / Eastlake / Colonial Revival / Other X

Exterior materials proposed:

Roof / Soffit GAZEBO WOOD Fascia / Siding / Masonry / Porches / Balconies / Handrails

Type of exterior lighting fixtures: / Style of windows: / Type of exterior doors: / Describe any ornamental woodwork: /

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant’s Signature:_____ Date: 5/5/2017

Applicant’s Name: BRIAN SULLIVAN

Address: 1121 8TH STREET, GRETTNA, VA 70053

Phone No: (504) 388-3771 Cell No: () _____

For Office Use Only:

Date of Application: 5/5/2017

Substantive Change: Yes _____ No — Inventory Number: None

Contributing Element to Gretna National Register Historic District: Yes _____ No —

Historic District Commission meeting date: 6/5/2017 @ 4:00pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

740 2nd Street, Gretna, LA 70053-5829

P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, BRAD SULLIVAN the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on JUNE 5TH, 2017 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.


Signature of Applicant

BRAD SULLIVAN
NAME OF APPLICANT (PLEASE PRINT)

1121 8TH ST., GRETNA, LA 70053
Applicant's address

1121 8TH ST., GRETNA, LA 70053
Actual address of the property for review

Date: 5/5/17



Google Earth



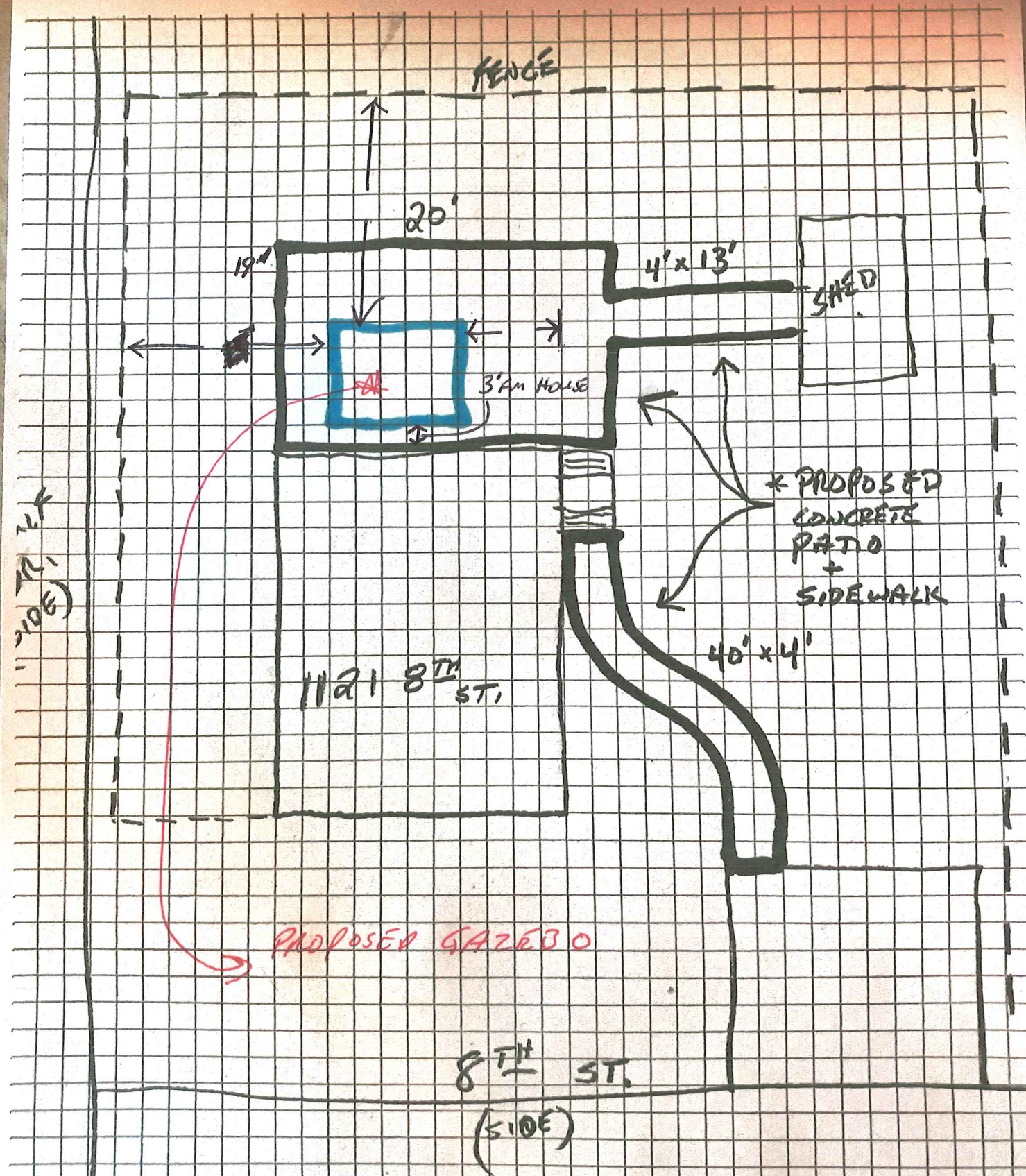


Google Earth











Historic District Commission

Meeting: June 5, 2017 4:00PM

728 Burmaster Street

(District 1)

For: Porch

Applicant: Jacob Kennedy

Submitted: May 4, 2017

Permit #

2017-1547

Historic District Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address 728 Burmaster Street

Renovation: porch (purchased like this)
New Construction: _____

Demolition: _____

Age of Structure: UNKNOWN

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ☒ _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____

Siding _____
*BRING PORCH UP TO **

Masonry _____

Porches *HDC REQUIREMENTS*

Balconies _____

Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

** HOUSE WAS PURCHASED ON Dec 21, 2016, THE PORCH IN QUESTION WAS PART OF THE ^{Page 2 of 3} HOUSE PRIOR PURCHASE. JJK*

Elevations:

Front Space: _____ ft.

Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Jacob L. Kennedy Date: 5-4-2017

Applicant's Name: JACOB L. KENNEDY

Address: 728 BURMASTER ST

Phone No: (7) _____ Cell No: (504) 458-2700

For Office Use Only:

Date of Application: 5-4-2017

Substantive Change: Yes _____ No ✓ Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No _____

Historic District Commission meeting date: June 5th @ 4:00 pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue
P. O. Box 404
Gretna, Louisiana 70054-0404

Mayor

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Councilmembers

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Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

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Danika Gorrondona

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Finance Department

Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on June 5th at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant:

JL Kennedy

Date:

5-4-2017

Address:



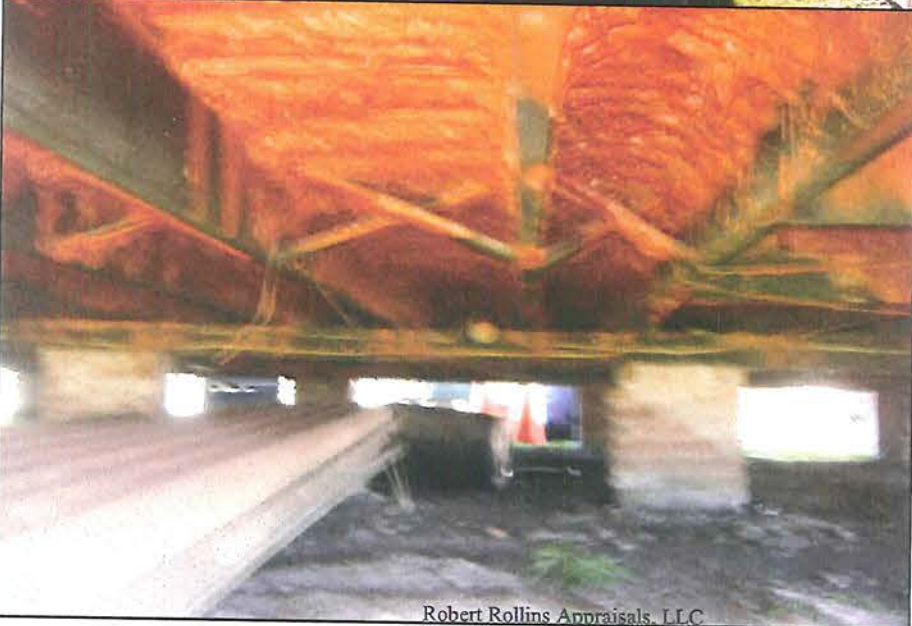
728 BURMASTER









PHOTOGRAPH ADDENDUM				
Borrower or Owner Jacob L. Kennedy				
Property Address 728 Burmaster St.				
City Gretna	County Jefferson Parish	State LA	Zip Code 70053-2218	
Client Standard Mortgage Corp. FSB/VA				
			Left Side View	
			Right Side View	
			Crawl Space	
Robert Rollins Appraisals, LLC				

→ This is copy of
Appraisal prior to
purchase!



Historic District Commission

Meeting: June 5, 2017 4:00PM

1030 11th Street
(District 2)

For: (House) upper left windows replace with vinyl windows, rear window had a/c replace with place glass window, remove gutter at shed

Applicant:
Dawn Laufenberg and Sue Bankston

Submitted: May 26, 2017

Permit # (1563)

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1030 11th Street, Gretna, LA 70053

Renovation: X

New Construction: _____

Demolition: _____

Age of Structure: 7

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed: see attached proposal

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: / ft. Side Space: / ft.
Rear Space: / ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *[Signature]* Date: 5-26-17

Applicant's Name: DLSB Homes LLC (Dawn Laufenberg, Sue Bankston)

Address: 332 N. Bernadotte st, New Orleans LA 70119

Phone No: (651) 285-0740 Cell No: (504) 915-3094

For Office Use Only:

Date of Application: 5/26/17

Substantive Change: Yes No /

Inventory Number: None

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: June 5th 2017 @ 4:00pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



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Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on June 5, 17 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: DLSB Homes LLC

Date: 5-26-17

Address: 1030 11th St, Gretna LA 70053

Google Maps 1039 11th St



Image capture: May 2016 © 2017 Google

Gretna, Louisiana

Street View - May 2016

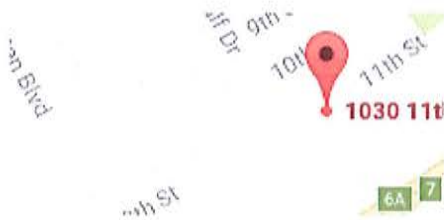




Image capture: Aug 2016 © 2017 Google

Gretna, Louisiana

Street View - Aug 2016

1030 11th Street, Gretna
Exterior Permit

Roof-

- Sweep all loose granules off flat roof.
- Seal all exposed nails along laps and perimeter of flat roof with sealant and membrane cloth.
- Apply two coats of white elastomeric roof coating on flat roof.
- Patch nail pops on main roof .
- Patch damaged ridge cap on gable of main roof.

House Numbers:

Add House numbers on address plaque to front of house.

Rear Porch: Rear Porch Soffit

Plan A: Install vinyl overlay on top of existing plywood soffit. Replace 2 sheets of rotten plywood with same.

Plan B: Replace 2 sheets of rotten plywood.

Mailboxes:

Add 1 additional mailbox for downstairs unit.

Windows-

Lower Left Windows

Window #2: bath window- repair existing wood window.

Window #3: repair existing wood window.

Lower Right Windows

Window #1: Garage window- Replace with same wood window. 31.5 W X 54" L

Window #2: Repair existing wood window.

Upper Left Windows

Windows #1& 2: Double aluminum window- broken, replace with vinyl 6ft W X 59" H

Window #3: Repair existing wood window.

Upper Right Windows

Window #2: Repair wood window, match film on existing window panes

Window #3: Remove window unit. Repair existing wood window.

House:

Rear AC window-unit-hole (currently boarded up), replace with plate glass window. (18"X24")

Rear steps- repair rotten wooden steps and handrail.

Straighten exhaust pipe to code on right side of house.

Rear Shed:

* Gutters

Plan A: Remove Gutters, do not replace.

Plan B: Replace rotten gutters with same.

* Soffit & Fascia

Plan A: Replace rotten Soffit and Fascia in rear of shed with same.

* Replace dog door on side of shed.

Plumbing:

Plan A: Add half bath with sewer connections running along side of existing water lines. Paint same color as house.

Plan B: Add half bath. Dig up cement and bury sewer line with connection to clean out.

Plan C: No change to existing laundry room.



Upper Left Window
window #1 $\frac{1}{2}$ 2

Upper Left Window
window #1





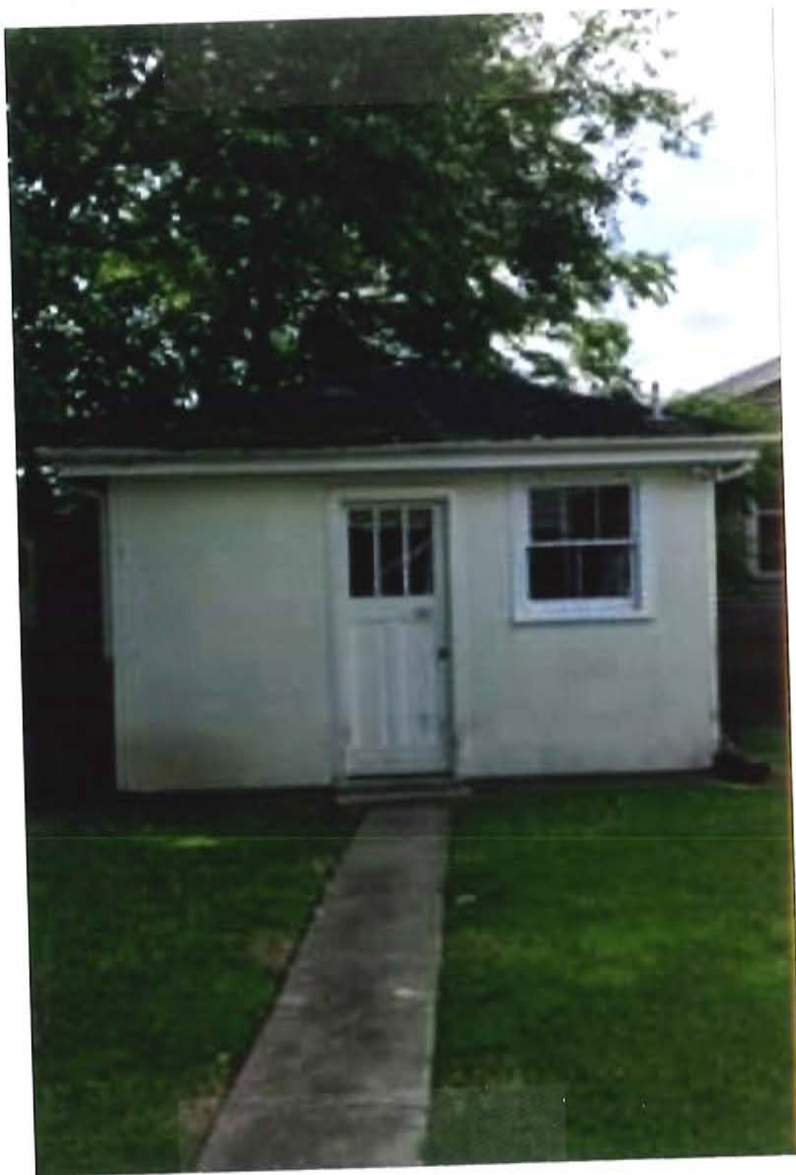
Sample replacement for upper left windows #1 & 2. The upper half of window pattern will be as shown. The lower half will have 1 line in middle to match upper left window #3. (The company did not have a photo to show exact sample)



Rear AC window-unit-hole
Replace with plate glass

Rear steps





Rear Shed

Rear Shed
dog door

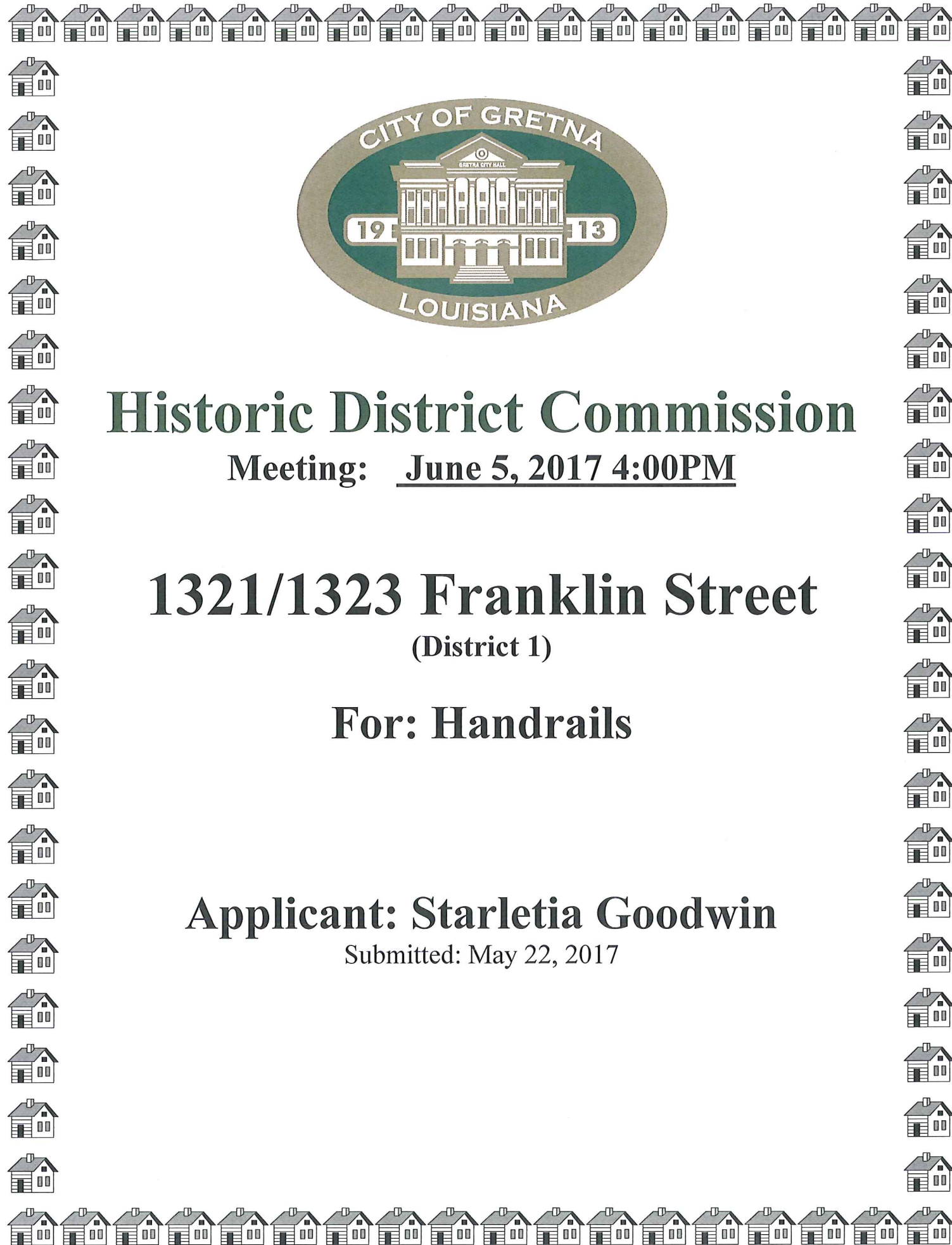




Rear Shed
gutters



Rear Shed
soffit & fascia



Historic District Commission

Meeting: June 5, 2017 4:00PM

1321/1323 Franklin Street
(District 1)

For: Handrails

Applicant: Starletia Goodwin

Submitted: May 22, 2017

permit # 1874

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☐ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☒ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1321 and 1323 Franklin St.

Renovation: New Construction: (Handrails new option, Demolition: Because unable to find style appears

Age of Structure: /

Building Type:

Creole Cottage

Shotgun

Bungalow

Other

Building Style:

Greek Revival

Italianate

New Orleans Bracketed

Eastlake

Colonial Revival

Other

Exterior materials proposed:

Roof Soffit

Fascia Siding

Masonry Porches

Balconies Handrails Metal

Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork:

(please note Mrs. Starr states she saw this style or 3 homes of Huey P. Long Ave.)

Elevations:

Front Space:_____ft. Side Space:_____ft.
Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Starletia Goodwin Date: 5/22/17

Applicant's Name: Starletia Goodwin

Address: 1321 1/2 1323 Franklin Avenue

Phone No: 504 914-0872 Cell No: ()

For Office Use Only:

Date of Application: May 22 2017

Substantive Change: Yes _____ No ✓ Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No ✓

Historic District Commission meeting date: June 5th @ 4:00 p

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)

Maryam G. Bahman

From: Starry Good <starrygood@yahoo.com>
Sent: Thursday, May 04, 2017 2:18 PM
To: Danika Gorrondona; Maryam G. Bahman
Subject: Fw: 1321 and 1323 Franklin Avenue
Attachments: Resized_2.jpg; Resized_2.jpg

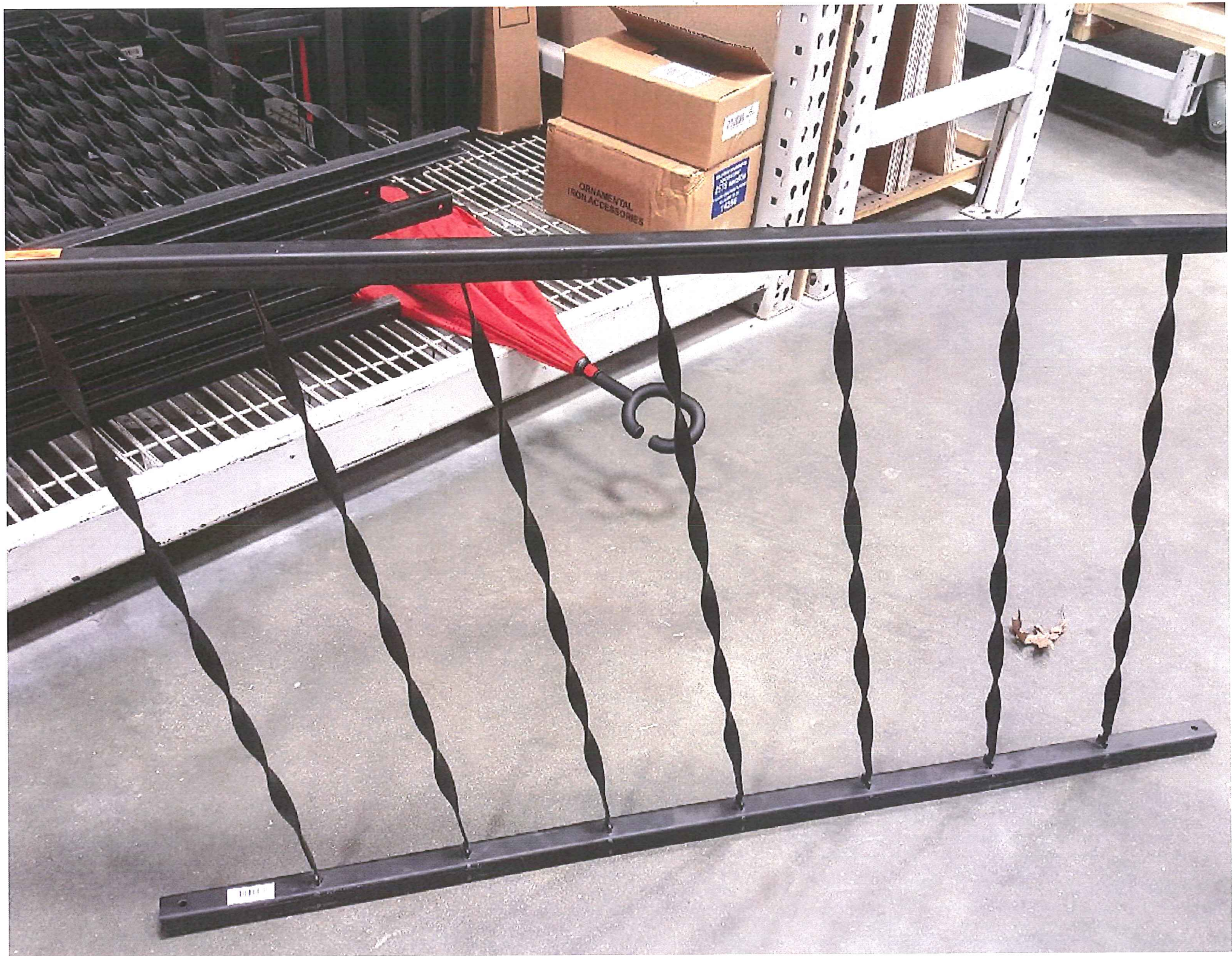
Hi Danika,
If possible, can you please look at the fence on the left to confirm that it is okay. This is the closes I can get to the one on the right.

Please let me know.

Thanks in advance for your ongoing help.

Star Goodwin

On Thursday, May 4, 2017 1:38 PM, "5044911706@mms.att.net" <5044911706@mms.att.net> wrote:



CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

1321-1323 Franklin Street
PROPERTY ADDRESS

Starletta Gaudin
NAME OF APPLICANT

Work Approved: Installation of iron handrails
Second option as submitted Simple iron
spindles.

 Signature of HDC Chairperson
5/1/17 Date
 Signature of Applicant
5/2/17 Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.
Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.
NOT VALID UNLESS POSTED ON SITE
Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com

COA-17-0041



Historic District Commission

Meeting: May 1, 2017 4:00PM

1321/1323 Franklin Street
(District 1)

For: Handrails

Applicant: Starletis Goodwin

Submitted: April 19, 2017



Permit # 1474

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☒ *McDonoughville Historic District* – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

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- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
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- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be closely coordinated with the buildings and the environment with which it is related. The general design, scale, mass, volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not detract from the character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character of a building, including columns, porches, doors and exterior ornamental details.



Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1321 and 1323 Franklin Street Gretna, LA 70053

Renovation: New Construction: Hand rails (For Both Sides) Demolition: only on one side of the stairs

Age of Structure:

Building Type: Building Style:

Creole Cottage Greek Revival

Shotgun Italianate

Bungalow New Orleans Bracketed

Other Eastlake

Colonial Revival

Other

Exterior materials proposed:

Roof Soffit

Fascia Siding

Masonry Porches

Balconies Handrails metal (same as neighbor next door)

Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork:



Elevations:
Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Steele Goodwin Date: 4/21/2017

Applicant's Name: Steele Goodwin

Address: PO Box 2281, Gretna, PA 15054

Phone No: 564 914-0872 Cell No: () _____

For Office Use Only:

Date of Application: 4/19/2017

Substantive Change: Yes _____ No ✓ Inventory Number: NONE

Contributing Element to Gretna National Register Historic District: Yes _____ No ✓

Historic District Commission meeting date: May 1st @ 4:00pm

Public Hearing to be held at the Council Regular Meeting: Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Meetings held on the 2nd Wednesday of every month.)





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Public Utilities

Michael Boudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on May 1st, 2013 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Statebrook

Date: 10/13/2016

Address: 1351 1/2 1323 Franklin Ave, Gretna, LA 70053







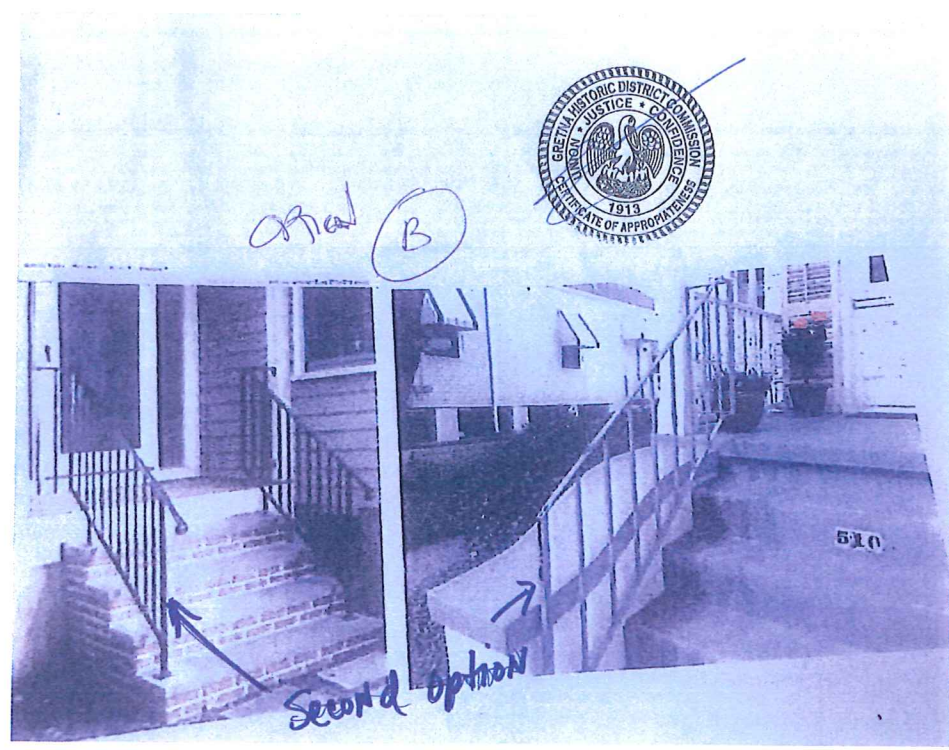
1001 1/2 1323 Fremont St
Gresham, OR 97030



Google Maps



First Option: (A)





CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #: 134211		EXPIRATION DATE: 6/02/2017	
JOB ADDRESS:	1321 FRANKLIN ST	LOT #:	17
PARCEL ID:	0100004700	SQUARE #:	106
SUBDIVISION:		ZONING:	
OWNER:	STARLETIS GOODWIN	CONTRACTOR:	STARLETIS GOODWIN
ADDRESS:	1321 FRANKLIN AVE	ADDRESS:	1321 FRANKLIN AVE
CITY, STATE ZIP:	GRETN, LA 70053-3230	CITY, STATE ZIP:	GRETN, LA 70053-3230
PHONE:		PHONE:	
PROP. USE:		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ. FT.	0.00	FIRE SPRINKLERS:	
OCCUP. TYPE:		OCCUPANT LOAD:	
CNST. TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

NOTES: Conditions: PLEASE NOTE THIS IS NOT A PERMIT. PLEASE APPLY ONLINE AT WWW.MYGVERNMENTONLINE.ORG

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

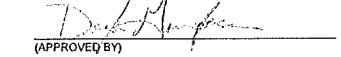
THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY


(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

4/19/17
DATE


(APPROVED BY)

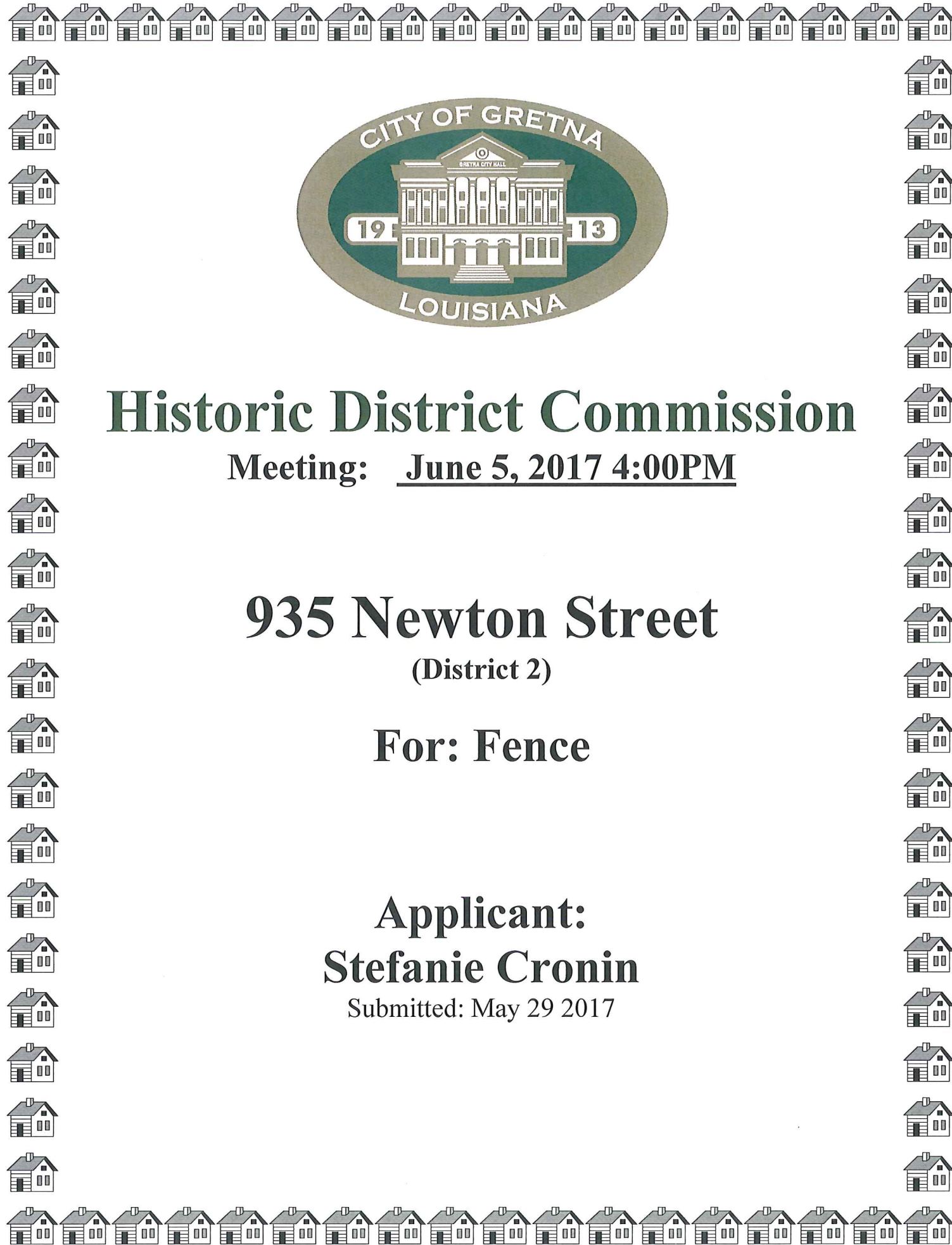
4/19/17
DATE

City Hall Relief Cashier

REC#: 00613609 4/19/2017 2:22 PM
OPER: KLH TERM: 013
REF#: DEBIT 0006

TRAN: 1.4540 BUILDING PROJECTS
134211 50.00CR
GOODWIN, STARLETIS
1321 FRANKLIN ST
HOAC 50.00CR

REMOVED: 50.00 OTHER
APPLIED: 50.00-



Historic District Commission

Meeting: June 5, 2017 4:00PM

935 Newton Street

(District 2)

For: Fence

Applicant:
Stefanie Cronin

Submitted: May 29 2017

perm # 1595

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

✓ Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 935 Newton St.

Renovation: Fencing (moving to new location)
New Construction: Fence (Backyard privacy)
Demolition:

Age of Structure: 70

Building Type:

Creole Cottage
Shotgun
Bungalow ✓
Other

Building Style:

Greek Revival
Italianate
New Orleans Bracketed
Eastlake
Colonial Revival
Other

Exterior materials proposed:

Roof Soffit
Fascia Siding
Masonry Porches
Balconies Handrails

Type of exterior lighting fixtures: French gothic picket fence w spaces
Style of windows: "Please note there is pre-existing of the same style on property at this time"
Type of exterior doors:
Describe any ornamental woodwork:

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 5/29/17

Applicant's Name: Stefanie Cronin

Address: 935 Newton St.

Phone No:() _____ Cell No: 508 669-2838

For Office Use Only:

Date of Application: 5/30/2017

Substantive Change: Yes _____ No ✓ Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No ✓

Historic District Commission meeting date: June 5th 4:00 pm

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue
P. O. Box 404
Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

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Planning & Zoning

Azalea M. Roussell

Office of Tax & Licenses

Norma Cruz

Finance Department

Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on June 5 2017 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: J. Cronin

Date: 5/29/17

Address: 935 Newton St.



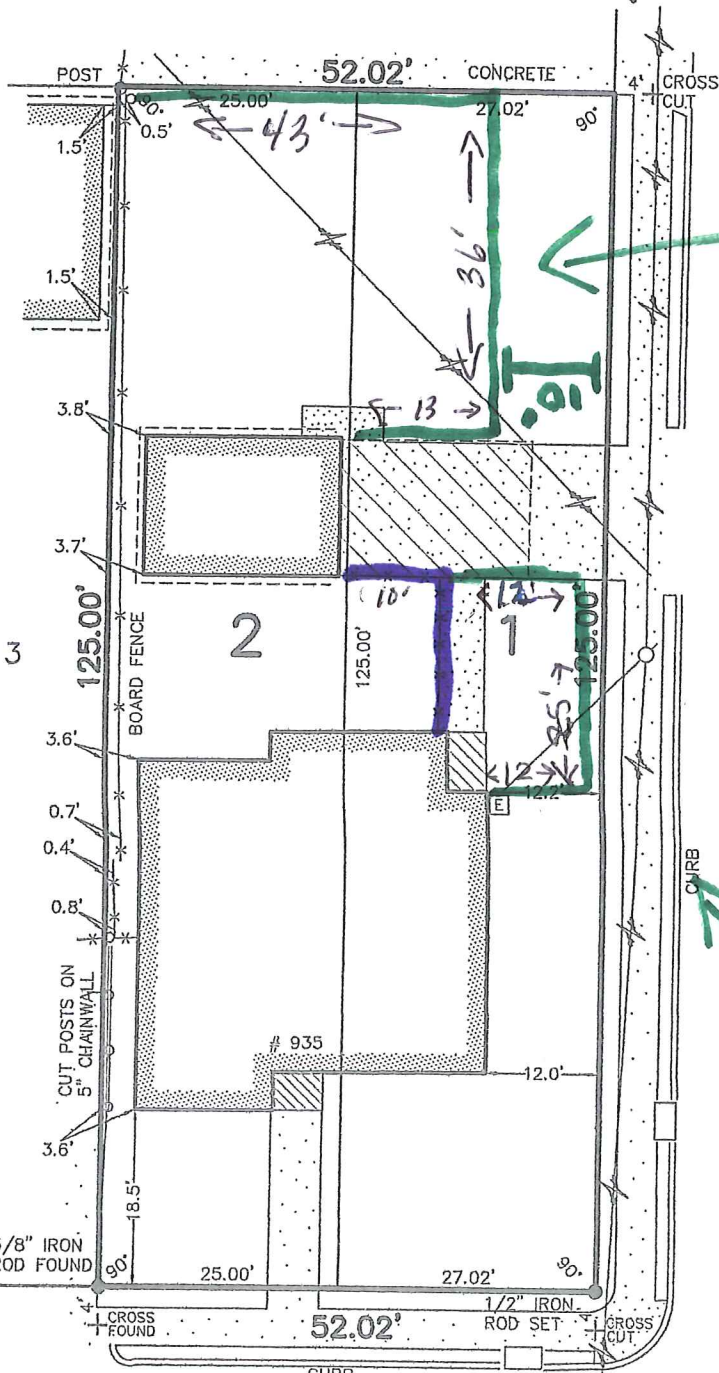
ARE 38
MECHANICKHAM
CITY OF GRETN
JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY
ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION
FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL
APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON.
THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD
SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE: SURVEY OF LOTS 1 & 2 BY
ALVIN E. HOTARD, C.E. 8/19/1965

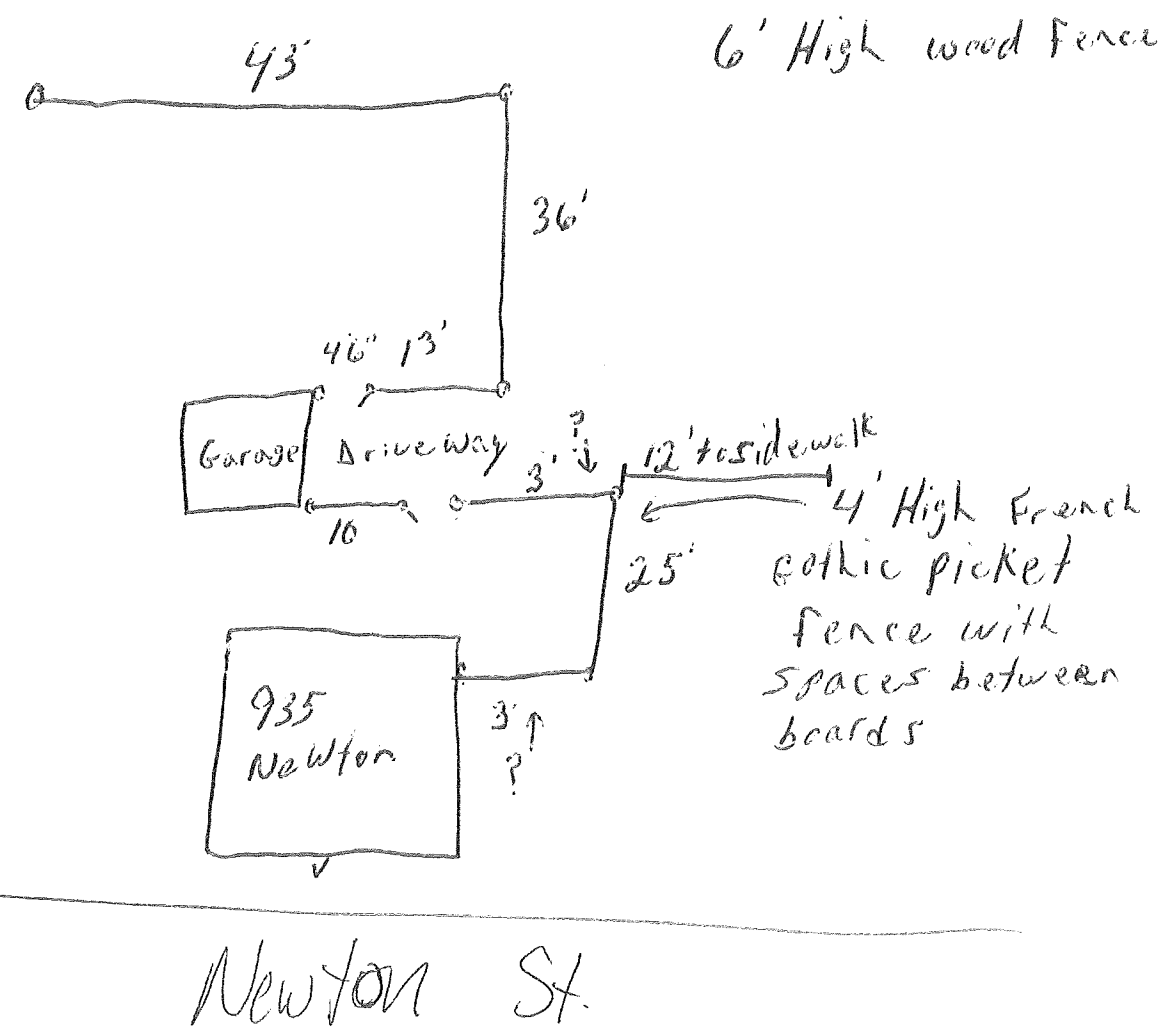
LAFAYETTE STREET (SIDE)

NINTH STREET



4' picket
6' privacy
Green-proposed fence
Blue-pre-existing

Plaisance Fence Co., Inc.
Alvin Plaisance - 504-881-7222







Neighborhood Work







Historic District Commission

Meeting: June 5, 2017 4:00PM

214/216 Lafayette Street
(District 2)

For: Renovations

Applicant:
Michael Bell

Submitted: May 30, 2017



Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

none

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

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Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

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Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 216 LAFAYETTE STREET

Renovation: YES . ENTIRE HOUSE .

New Construction: TWO PORCHES + ONE GARAGE .

Demolition: NONE .

Age of Structure: 1850

Building Type:

Creole Cottage ✓ CENTER HALL

Shotgun

Bungalow

Other

Building Style:

Greek Revival ✓

Italianate

New Orleans Bracketed

Eastlake

Colonial Revival

Other

Exterior materials proposed:

Roof ASPHALT SHINGLES, METAL ^{STANDING SEAM} Soffit OPEN - EXISTING

Fascia WOOD TO MATCH EXISTING Siding WOOD TO MATCH EXISTING.

Masonry BRICK TO MATCH EXISTING Porches PAINTED PRESSURE-TREATED PINE

Balconies N/A Handrails SPANISH CEDAR

Type of exterior lighting fixtures: COPPER GAS LANTERNS

Style of windows: EXISTING DOUBLE HUNG + NEW FIXED SINGLE LITE WOOD W/TRANSOMS

Type of exterior doors: MULTI-LITE FRENCH + WOOD TO MATCH EXISTING.

Describe any ornamental woodwork: SPANISH CEDAR BRACKETS AT REAR.

Elevations:

Front Space:_____ft. Side Space:_____ft.
Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant’s Signature: Michael J. Bell Date: MAY 30, 2017

Applicant’s Name: MICHAEL J. BELL 755 CAMP ST, NEW ORLEANS, LA 70130
Address: PROJECT 214/216 LAFATETTE ST, GRETN, LA

Phone No: (504) 596.2355 Cell No: (504) 908.9223

For Office Use Only:

Date of Application: 5.30.17

Substantive Change: Yes ☒ No ☐ Inventory Number: # 455

Contributing Element to Gretna National Register Historic District: Yes ☒ No ☐

Historic District Commission meeting date: 6.5.17

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue
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Finance Department

Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on MONDAY, JUNE 5 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Michael J. Bell

Applicant: MICHAEL J. BELL

Date: 05.30.17

Address: 759 CAMP STREET, NEW ORLEANS, LA 70130

PROJECT ADDRESS:
214/216 LAFAYETTE ST., GRETN, LA







Derbigny Plantation House. A large, Greek Revival style cottage in the raised villa form, probably dating from about 1840.

galleried, raised **house** were applied the aspects of a Greek temple, with Classical columns and decorative details. Both modest and grandiose houses were adapted to the new Greek Revival style that had only recently been popularized in Britain and New York.

Derbigny Plantation House, at 2009 River Road, on the west bank at Nine Mile Point, demonstrates the application of the Greek Revival in the modest scale of a large cottage. The raised frame cottage has simple Greek posts in the gallery which stretches across the facade and supports a wide entablature with dentils at the cornice. The entrance is of generous proportions, contains a transom and sidelights and is framed with a Greek molding. The gabled roof has two dormers and at the rear is a *cabinet* (recessed) gallery between two small rooms. Each of the four principal rooms of the **house** is nearly 20 feet square and they have 12 foot ceilings. A wide central hall extends through the **house**, which sits with another small original service building on seven acres of former **plantation** land.

In 1833 the property was sold by L. C. Le Breton-Deschappelles to Sieur Noël



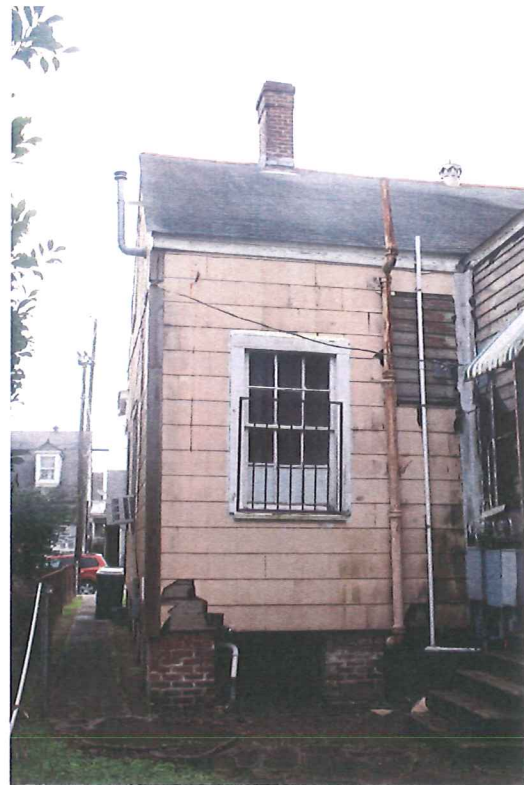
Derbigny Plantation House. Small service building near the **house**.



Derbigny Plantation House. Rear view showing *cabinet* gallery.



FRONT (NORTH) ELEVATION



REAR (SOUTH) ELEVATION



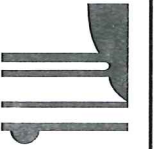
LEFT (EAST) ELEVATION



REAR (SOUTH) ELEVATION



RIGHT (SOUTHWEST) ELEVATION



BELL
ARCHITECTURE

755 CAMP STREET
NEW ORLEANS
LOUISIANA 70130

504-596-2355

bellarchitecture.net

CENTANNI RESIDENCE
216 LAFAYETTE STREET
GRETN, LA, 70053

DRAWN BY:
CHECKED BY:
SCALE: AS NOTED
DATE: MAY 30, 2017
REVISIONS:

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NO. 1703

DRAWING NO.

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PROPERTY INFORMATION

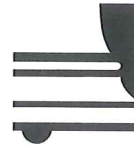
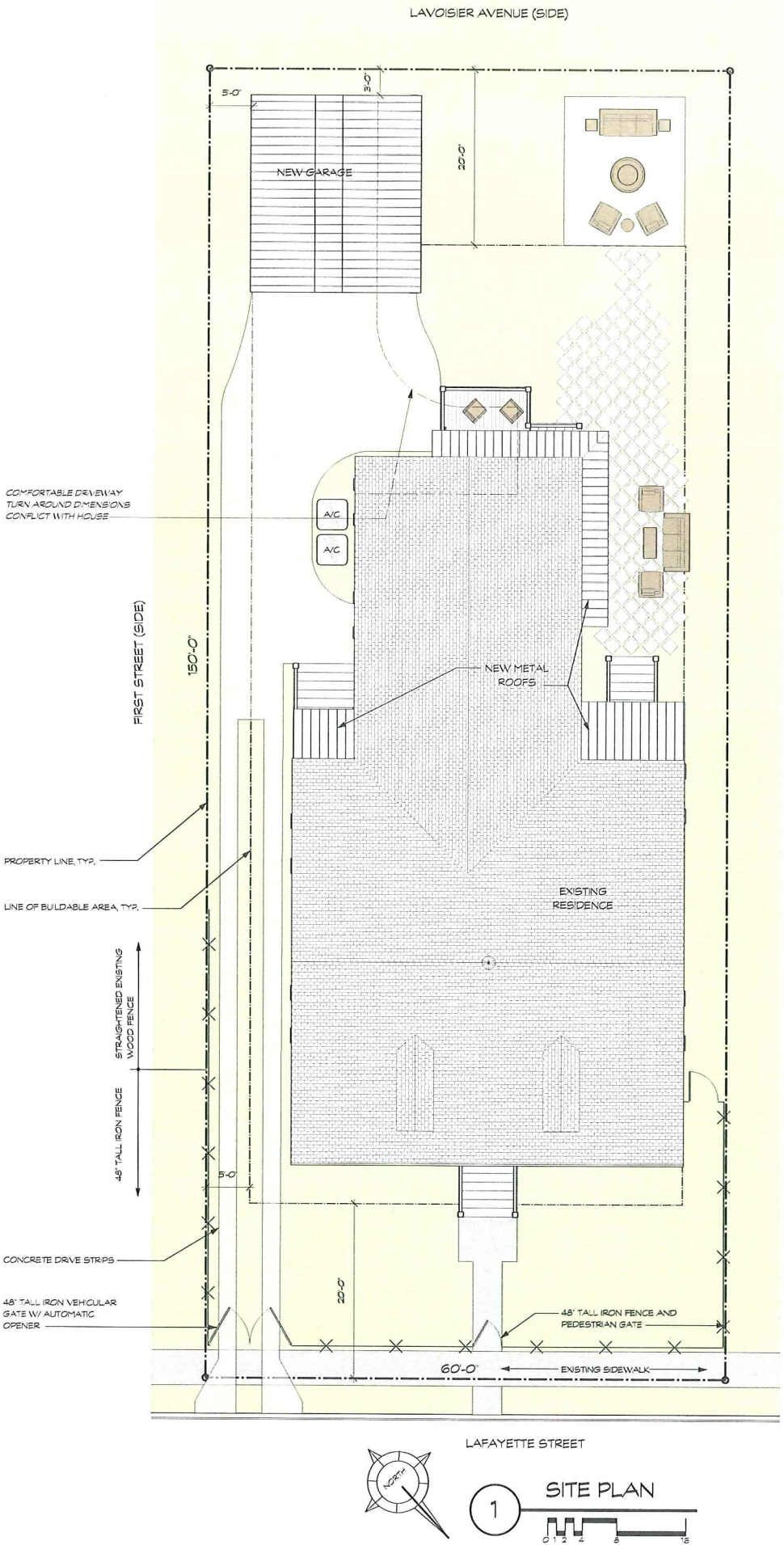
LOT 4 & 5
SQUARE 4
VILLAGE OF GRETN
CITY OF GRETN
JEFFERSON PARISH, LOUISIANA
MUNICIPAL ADDRESS:
216 LAFAYETTE STREET
GRETN, LA 70053

ZONING INFORMATION

ZONING CLASSIFICATION: C-1
MINIMUM YARD REQUIREMENTS:
FRONT - 20'-0"
SIDE - 5'-0"
REAR - MINIMUM OF 20'

AREA TABULATIONS

TOTAL SITE AREA	8,000 SQ. FT.
BUILDABLE AREA	5,500 SQ. FT.
FIRST FLOOR CONDITIONED AREA	2,665 SQ. FT.
FIRST FLOOR GARAGE AREA	308 SQ. FT.
COVERED EXTERIOR AREA (NOT INCLUDING OVERHANGS)	336 SQ. FT.
SECOND FLOOR CONDITIONED AREA	1,398 SQ. FT.
TOTAL CONDITIONED AREA	4,063 SQ. FT.
TOTAL AREA UNDER BEAM (TOTAL CONDITIONED AREA + GARAGE + COVERED PORCHES)	4,707 SQ. FT.



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216 LAFAYETTE STREET
GRETN, LA, 70053

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DATE: MAY 8, 2017
REVISIONS:

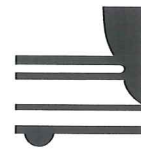
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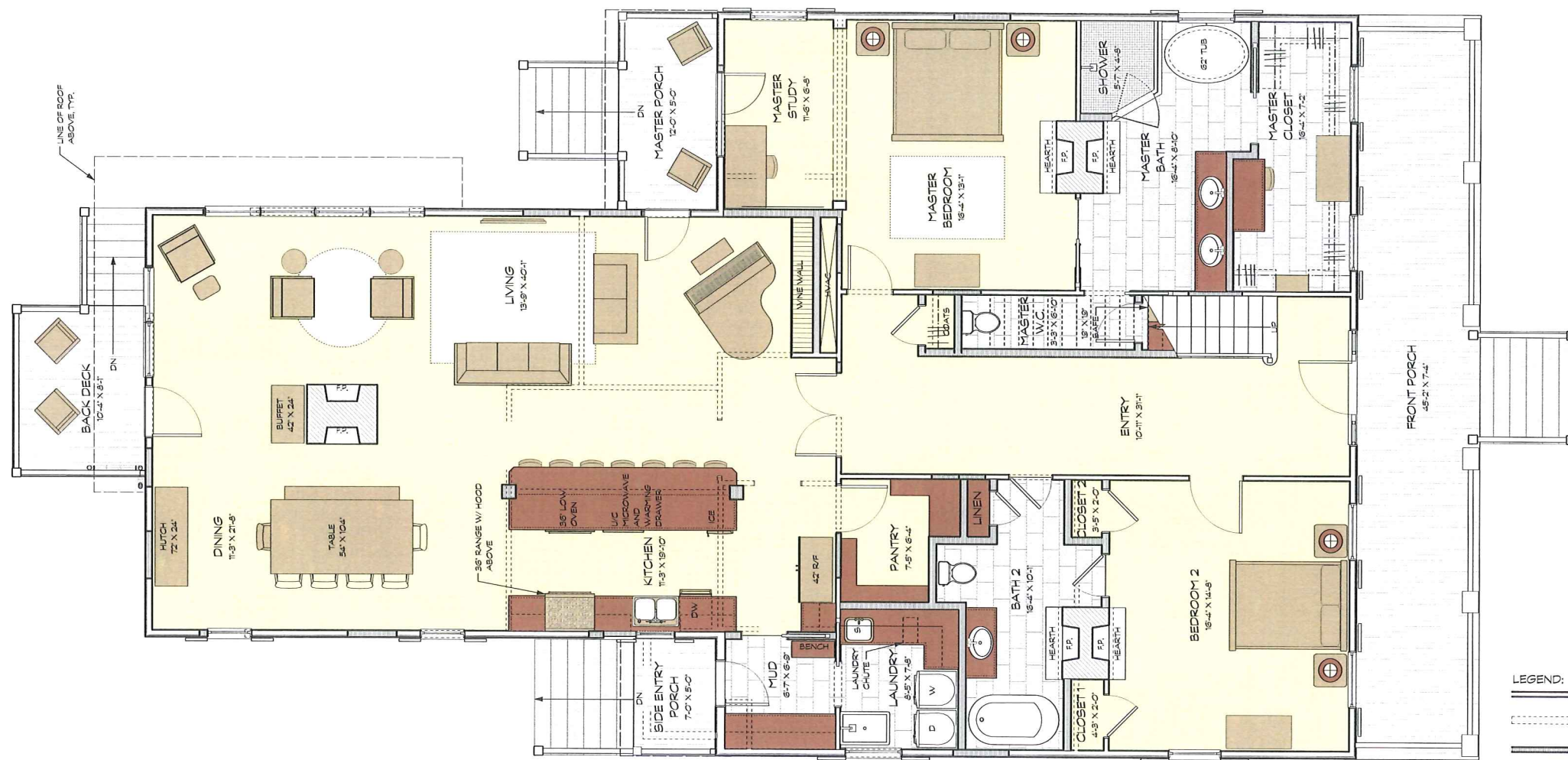
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PROJECT NO. 1703

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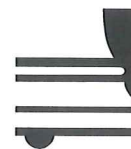
A-201



1 FIRST FLOOR PLAN

LEGEND:
— EXISTING WALL TO REMAIN
--- EXISTING WALL TO BE REMOVED
= NEW WALL

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GRETN, LA, 70053

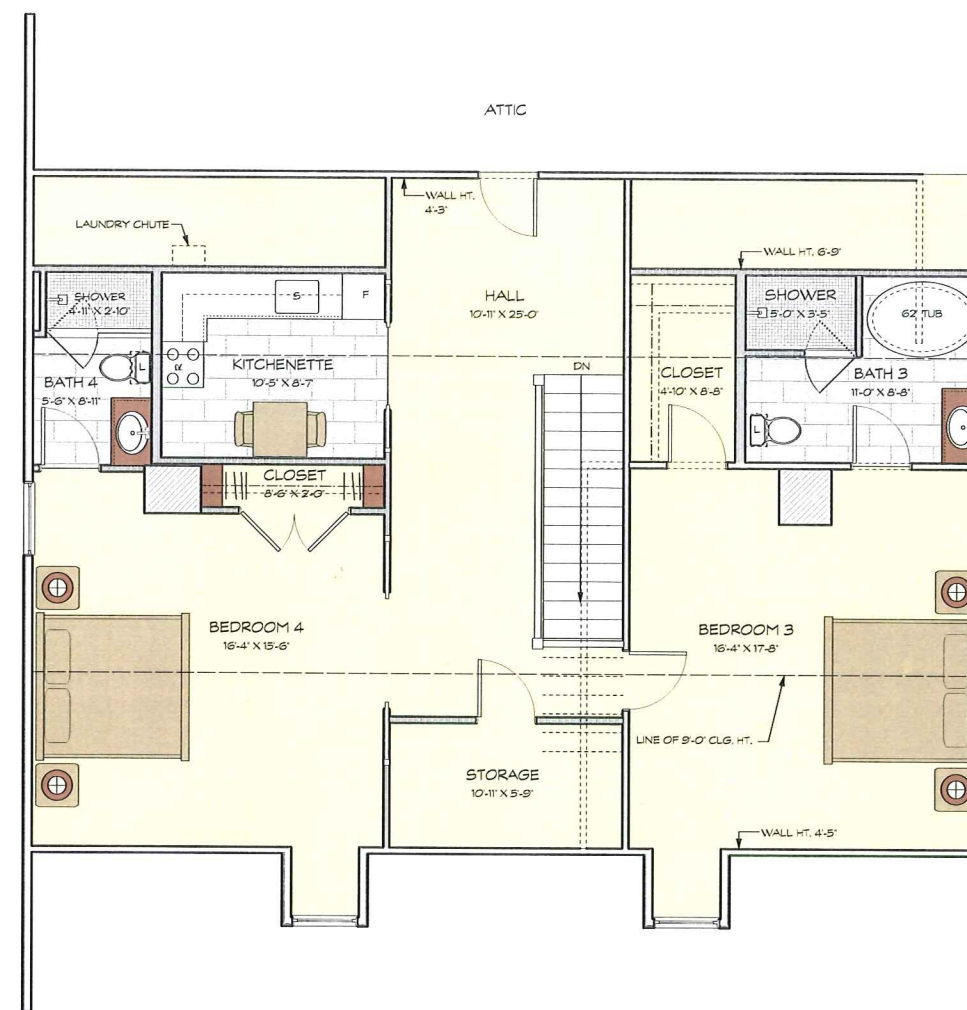
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SCALE: AS NOTED
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REVISIONS:

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PROJECT NO. 1703

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A-202



1 SECOND FLOOR PLAN

LEGEND:
EXISTING WALL TO
REMAIN
NEW WALL

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LOUISIANA 70130

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216 LAFAYETTE STREET
GRETN, LA, 70053

DRAWN BY:
CHECKED BY:
SCALE: AS NOTED
DATE: MAY 8, 2017
REVISIONS:

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NOT FOR CONSTRUCTION

PROJECT NO. 1703

DRAWING NO.

A-301



2 LEFT (EAST) SIDE ELEVATION



1 FRONT (NORTH) ELEVATION



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216 LAFAYETTE STREET
GRETN, LA, 70053

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SCALE: AS NOTED
DATE: MAY 8, 2017
REVISIONS:

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PROJECT NO. 1703

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2 RIGHT (WEST) SIDE ELEVATION



1 REAR (SOUTH) ELEVATION

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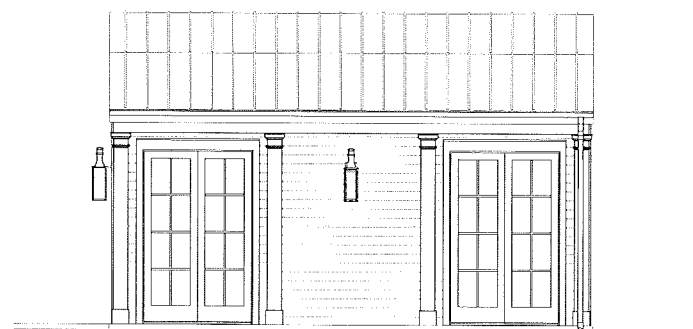
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LOUISIANA 70130

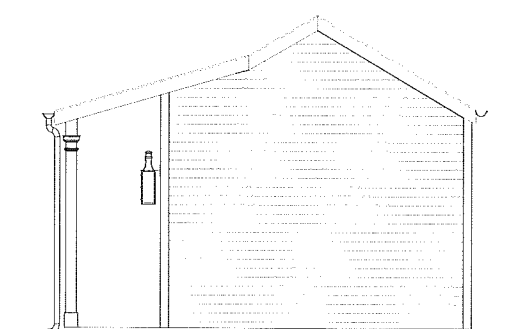
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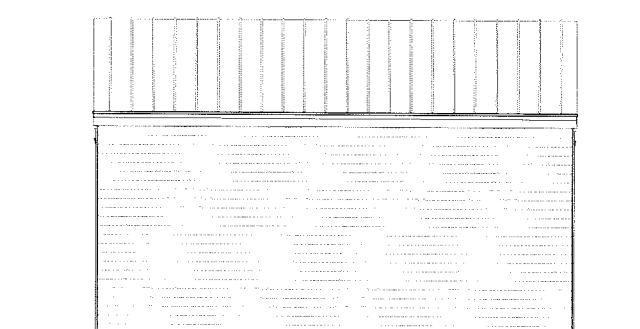
CENTANNI RESIDENCE
216 LAFAYETTE STREET
GRETN, LA, 70053



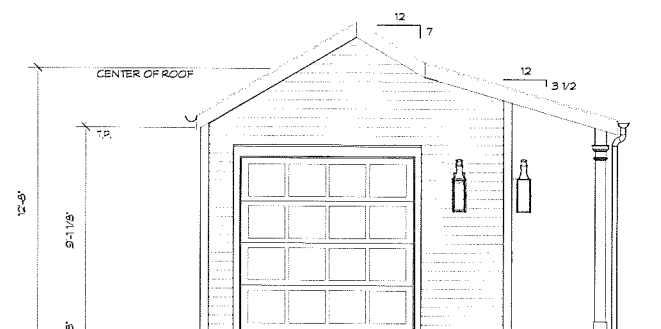
4 RIGHT (WEST) SIDE ELEVATION



3 REAR (SOUTH) ELEVATION



2 LEFT (EAST) SIDE ELEVATION



1 FRONT (NORTH) ELEVATION

DRAWN BY:
CHECKED BY:
SCALE: AS NOTED
DATE: MAY 8, 2017
REVISIONS:

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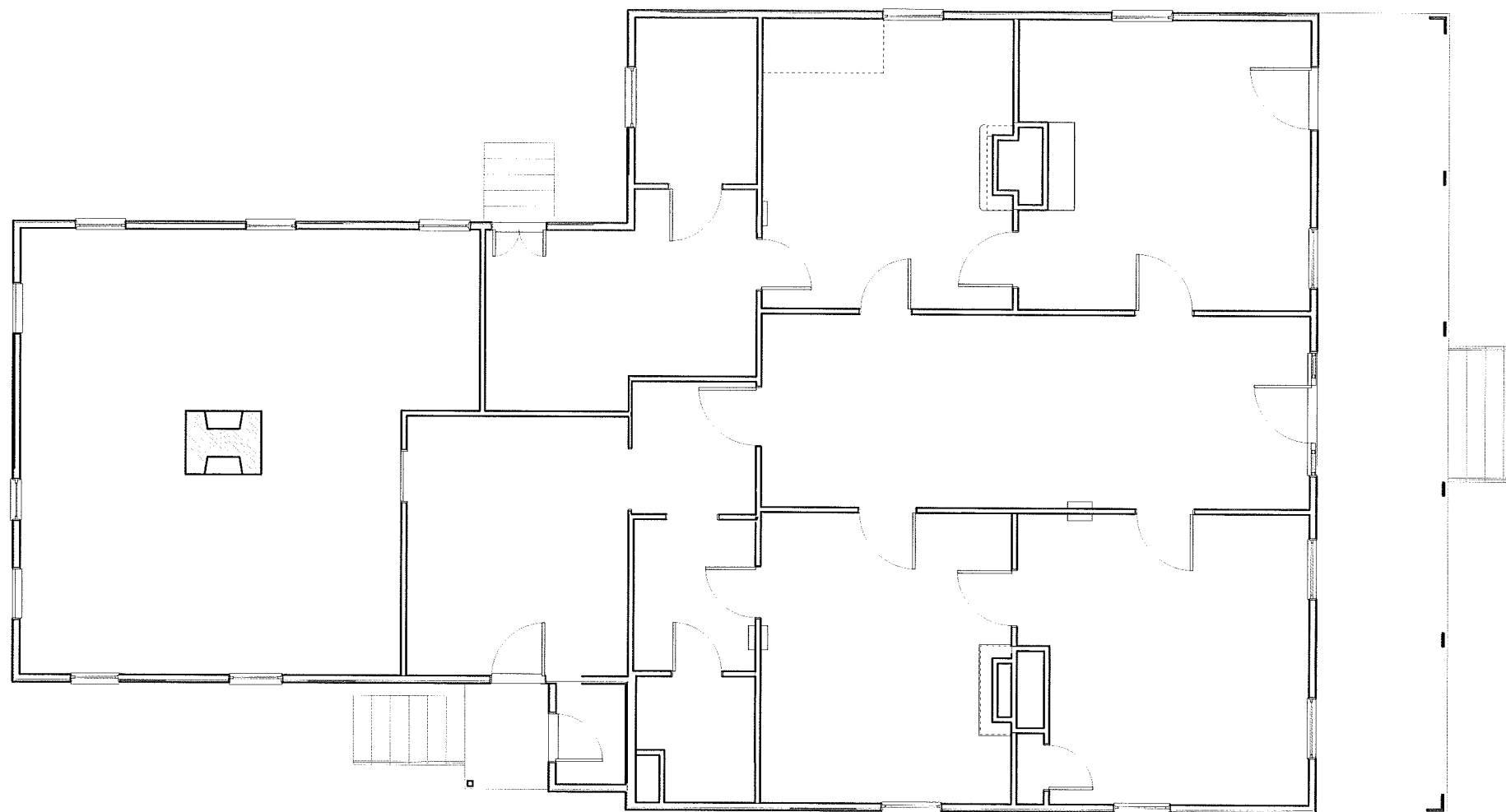
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PROJECT NO. 1703

DRAWING NO.



1

EXISTING FIRST FLOOR PLAN



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Historic District Commission

Meeting: June 5, 2017 4:00PM

1104 9th Street

(District 2)

**For: Addition- Extensive change from
original HDC meeting April, 3 2017**

**Applicant:
Chris Cuccia**

Submitted: May 26, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

Permit # 2017-1589

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1104 9th St

Renovation:

New Construction:

Demolition:

Age of Structure: 75 yrs

Building Type:

Building Style:

Creole Cottage

Greek Revival

Shotgun

Italianate

Bungalow

New Orleans Bracketed

Other

Eastlake

Colonial Revival

Other

Exterior materials proposed:

Roof Fiberglass Shingles Soffit Hardi

Fascia Hardi Siding Hardi

Masonry Brick Chimney Wood Porches Wood treated

Balconies None Handrails Wood treated

Type of exterior lighting fixtures:

Style of windows: 6 over 6

Type of exterior doors: 6 Panel Fiberglass

Describe any ornamental woodwork: None

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Chris M. Vecchio* Date: 5/25/17

Applicant's Name: *Chris M. Vecchio*

Address: 922 Delhonde St

Phone No: () _____ Cell No: (504) 453-3808

For Office Use Only:

Date of Application: 5/25/17

Substantive Change: Yes ☒ No ☐

Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: June 5th 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Chris M. Luccia the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on June 5th 2017 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Chris M. Luccia
Signature of Applicant

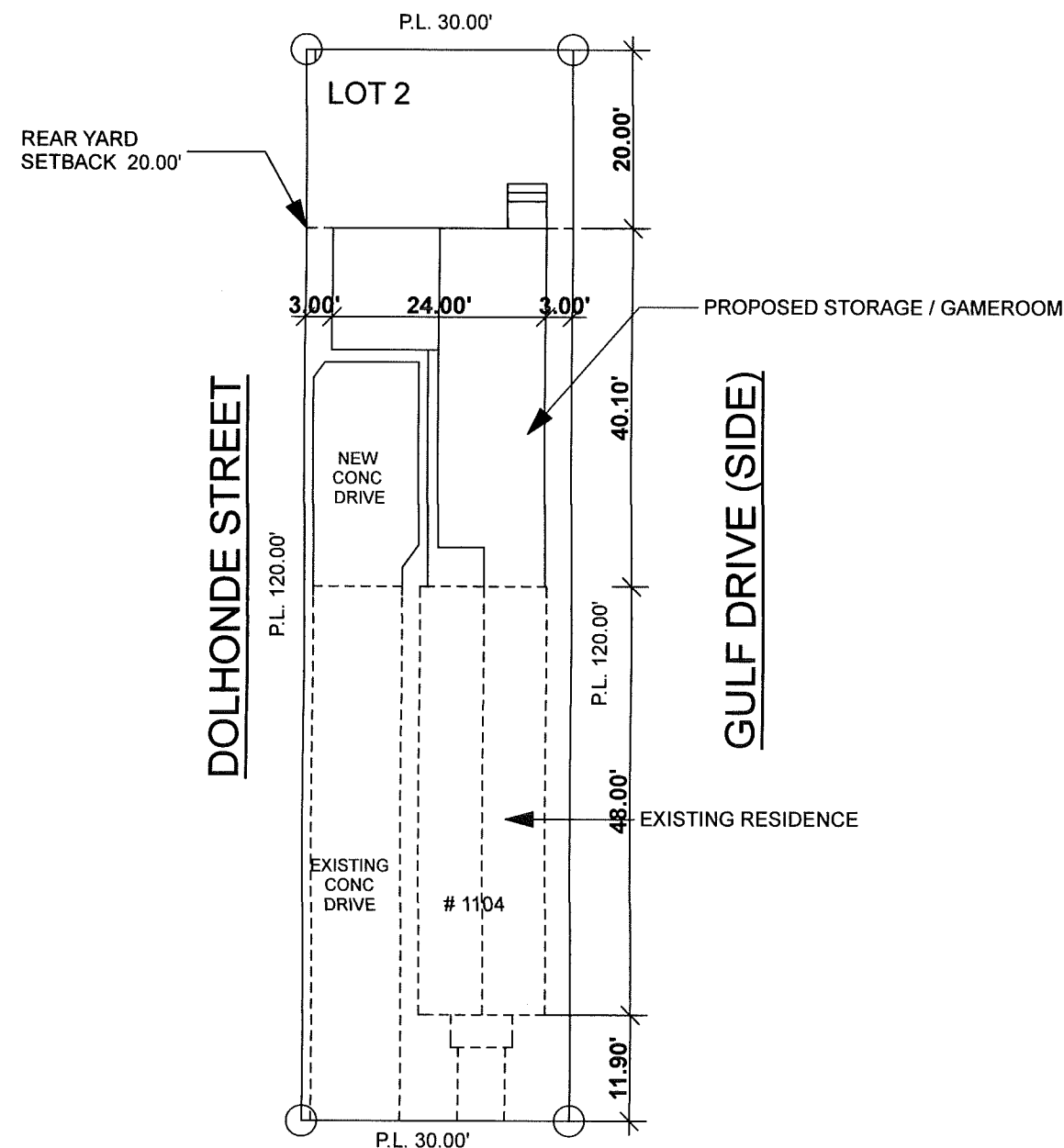
Chris M. Luccia
NAME OF APPLICANT (PLEASE PRINT)

922 Delbondo St.
Applicant's address

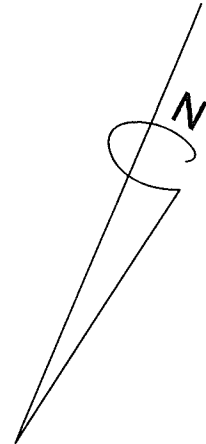
1104 9th St.
Actual address of the property for review

Date: 5/25/17

TENTH STREET (SIDE)



NINTH STREET



SITE PLAN: 1"=20'-0"
LOT 2, SQ. 27,
NEW MACHANICKHAM,
CITY OF GRETNA,
JEFFERSON PARISH, LA.

SITE NOTES:

1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND RESTRICTIONS PRIOR TO CONSTRUCTION.
2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.
3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS AND WALKS
5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.
6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.
7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.
8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT LEAST 4" THICK.
9. THIS IS NOT A SURVEY: CONTRACTOR/ OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT REQUIREMENTS.

NOTE:
THIS DOCUMENT IS BASED UPON THE
INFORMATION SHOWN ON SURVEY
PROVIDED BY OWNER.
NO PUBLIC RECORD OR TITLE RESEARCH
WAS PREFORMED FOR THIS PROJECT.

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Liability for errors or omissions.
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shall be confirmed prior to
commencement of construction.

ENGINEERING BY:
**David R. O'Reilly Engineering
Consultants LLC**
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010 Lic# 34032

CUCCIA GARAGE / GAMEROOM
1104 NINTH STREET GRETN,LA. 70053


LOT 2, SQ. 27, NEW MACHANICKHAM,
CITY OF GRETN,JEFFERSON PARISH, LA.

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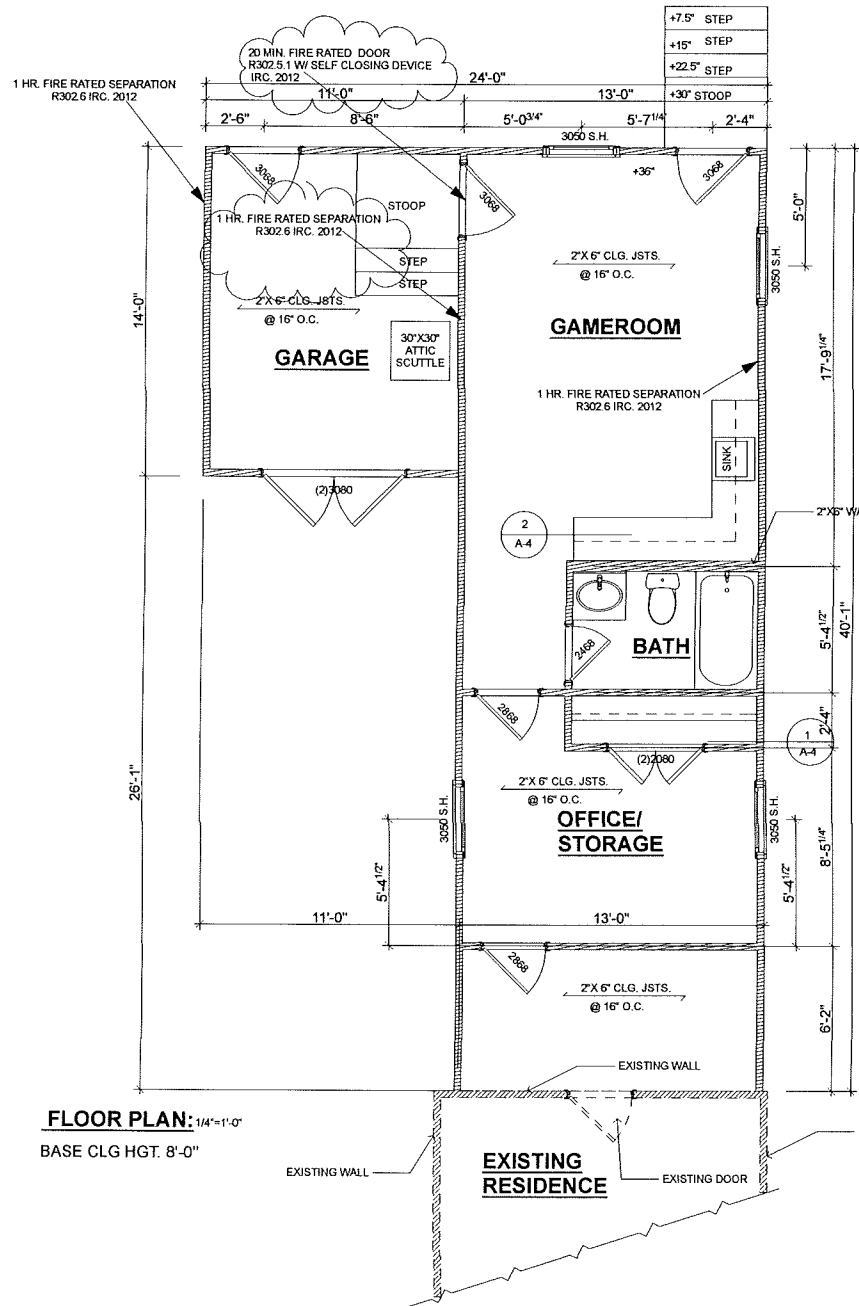
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WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED				
FIRE RATING	SOUND RATING STC	GA FILE NO.	ASSEMBLY DESCRIPTION	SKETCH AND DESIGN DATA
1 HR	30 TO 34	WP 3695	GYPSUM WALLBOARD, WOOD STUDS ONE LAYER 5/8" TYPE X PLAN OR REDECORATED GYPSUM WALLBOARD WATER RESISTANT BACKER BOARD OR VENEER BASE APPLIED PARALLEL WITH OR AT RIGHT ANGLES TO EACH SIDE OF 2"x4" WOOD STUDS 16" O.C. WITH CO COATED NAILS 1 7/8" LONG 0.0915" SHANK, 14" HEADS, 7" O.C. JOISTS OF SQUARE EDGE BEVEL EDGE OR REDECORATED WALLBOARD MAY BE LEFT EXPOSED. SLUGGER JOISTS EACH SIDE (LOAD BEARING). PLEASE NOTE: ONLY NON-BEARING WALLS OF 2-HR FIRE RESISTIVE CONSTRUCTION OR LESS MAY BE CONSTRUCTED OF WOOD AND THEN ONLY FIRE RETARDANT TREATED WOOD MAY BE USED.	 THICKNESS 4 7/8" APPROX. WEIGHT 77PSF FIRE TEST UL R 1319 4-6-6 17-52 DESIGN U305 R2717.39 1-20-66 R3001.52 3-10-66 ULC DESIGN V9001 SOUND TEST: OR 64-8, 2-4-64

THE STRUCTURE IS DESIGNED TO WITHSTAND 130 MPH WINDS AS INDICATED.

ALL FRAMING MATERIAL BELOW MIN B.F.E. SHALL BE WATERPROOF



IRC R302.1 Exterior Walls
 Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1 (1); or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply with Table R302.1 (2).

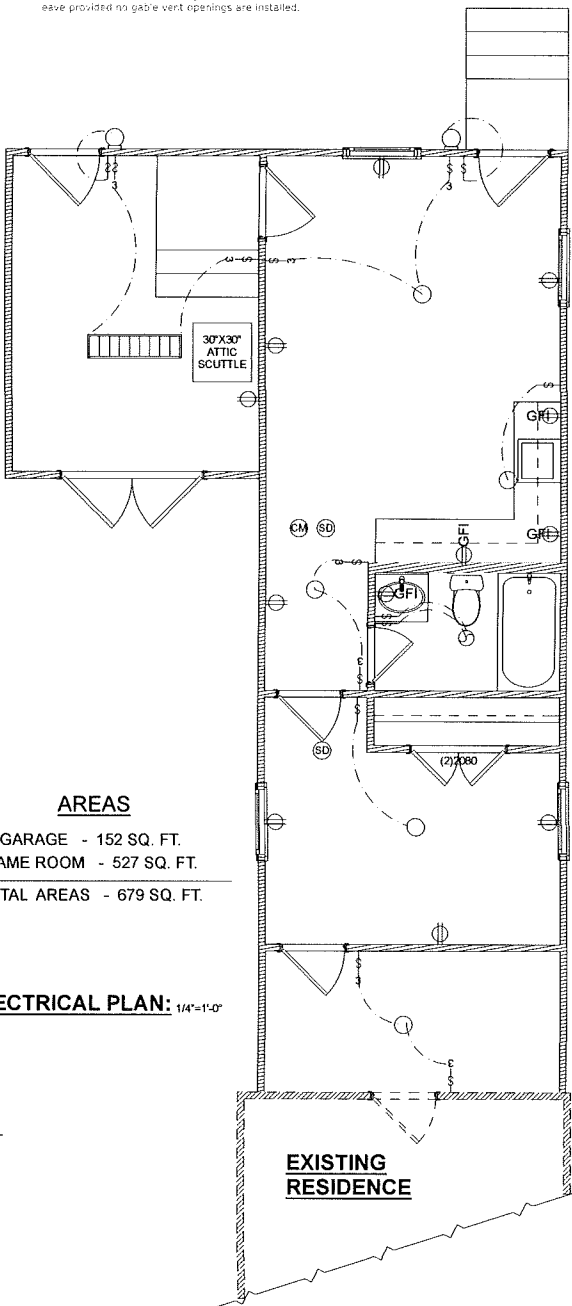
Exceptions:

1. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the fire separation distance.
2. Walls of dwellings and accessory structures located on the same lot.
3. Detached tool sheds and storage sheds, playhouses and similar structures exempted from permits are not required to provide wall protection based on location on the lot. Projections beyond the exterior wall shall not extend over the lot line.
4. Detached garages accessory to a dwelling located within 2 feet (610 mm) of a lot line are permitted to have roof eave projections not exceeding 4 inches (102 mm).
5. Foundation vents installed in compliance with this code are permitted.

WAC Table R302.1(1) Exterior Walls			
Exterior Wall Element	Minimum Fire-Resistance Rating	Minimum Fire Separation Distance	
Walls (Fire-resistance rated)	1-hour tested in accordance with ASTM E 119 or UL 263 with exposure from both sides	< 5 feet	
(Not fire-resistance rated)	0 hours	≥ 5 feet	
Projections (Fire-resistance rated)	1 hour on the underside	≥ 2 feet to 5 feet	
(Not fire-resistance rated)	0 hours	5 feet	
Openings in Walls	Not allowed	N/A	
25% maximum of wall area per story	0 hours	3 feet	
Unlimited	0 hours	5 feet	
Penetrations	Comply with Section R302.4	< 5 feet	
All	None required	5 feet	

For IS: 1 foot = 304.8 mm. N/A = Not Applicable

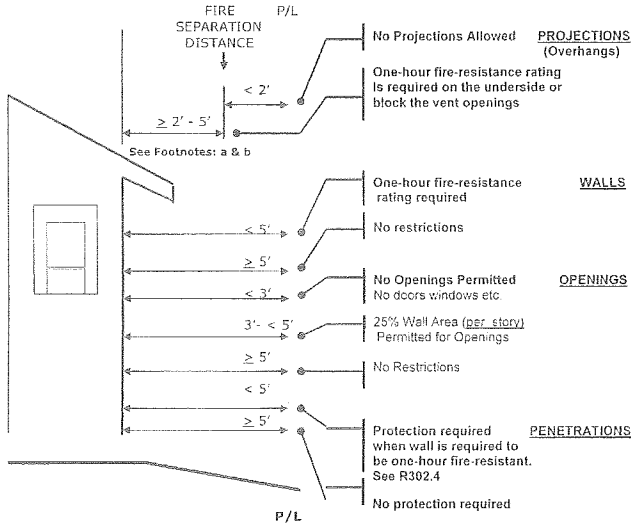
- a. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fire blocking is provided from the wall top plate to the underside of the roof sheathing.
- b. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided no gable vent openings are installed.



AREAS

GARAGE - 152 SQ. FT.
 GAME ROOM - 527 SQ. FT.
 TOTAL AREAS - 679 SQ. FT.

ELECTRICAL PLAN: 1/4"=1'-0"



When any portion of an eave or projection extends into the fire separation distance, it shall have the required protection back to the exterior wall.

- a. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fire blocking is provided from the wall top plate to the underside of the roof sheathing.
- b. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided no gable vent openings are installed.

Note:

When you use option "a" or "b" above, you will need to provide additional roof venting. Refer to IRC Section R806 for roof venting requirements.

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK MUST COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
2. U.L. APPROVED SMOKE DETECTORS MUST BE INSTALLED, AND MUST BE WIRED TO A 110 V CIRCUIT. SMOKE DETECTORS MUST ALSO HAVE BATTERY BACKUP. CEILING MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 6" FROM THE WALL. WALL MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 9" OR MORE THAN 12" FROM THE CEILING, IN ACCORDANCE WITH R 314, IRC 2012.
3. BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENTLY TO EXCHANGE THE VOLUME OF AIR EQUAL TO FIVE CYCLES PER HOUR.
4. A LIGHT ON A 110 VOLT CIRCUIT AND A CONVENIENCE OUTLET ON A 110 VOLT GFI CIRCUIT MUST BE INSTALLED IN THE ATTIC(S) NEAR MECHANICAL EQUIPMENT.
5. THE HVAC CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL HVAC EQUIPMENT AND DUCTWORK. THE HVAC WORK MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
6. PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.

ELECTRICAL LEGEND

- WALL MOUNT LIGHT
- CEILING FIXTURE LIGHT
- ⊕ RECEPTACLE
- ⊕ GFI
- ⚡ SWITCH
- ⚡ SWITCH-3-WAY
- ⊙ SMOKE DETECTOR
- ⊙ CARBON MONOXIDE DETECTOR
- ⊙ VENT LIGHT
- ▨ FLUOR. LIGHT

CONTACT INFO

OWNER/ CONTRACTOR

CHRIS CUCCIA
 (504) 453-3808
PLAN PREPARATION

J. E. BRUCE DESIGN CONSULTANTS
 600 SECOND STREET
 GRETN, LA 70053
 JOHN BRUCE
 (504) 361-0308

ENGINEER OF RECORD

DAVID R. O'REILLY ENGINEERING
 CONSULTANTS LLC
 518 SOUTH RAMPART ST.
 NEW ORLEANS, LA 70113
 (504) 782-2010

NOTES:

1. ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF COLUMN, OR FACE OF BRICK.
2. VERIFY ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION.
3. ALL MATERIAL SHALL BE NEW AND U.L. LISTED.
4. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
6. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCES.
7. CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR.
8. CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES.
9. CAULKING ON EXTERIOR SHALL BE THIKAL CAULK.
10. PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE 3 COATS. COLOR SELECTION BY OWNER
11. PROVIDE CLEAN-UP ON A REGULAR BASIS. NO TRASH STORED IN BUILDING.
12. ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
13. USE 6" STUDS AT ALL PLUMBING WALLS.
14. GRANITE TOPS W/ 4" SPLASH IN KITCHEN.
15. SIM. MARBLE TOPS W/ 4" SPLASH IN BATHS.
16. NO FURRED CEILINGS UNLESS OTHERWISE NOTED.
17. A/C MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN.
18. W.H. MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN. PLUMBER SHALL PROVIDE CONTINUOUS RECIRCULATION SYSTEM.
19. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.
20. EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS.
21. WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH 20". PER R301.1, IRC 2012.
22. EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. ON ANY FIRST FLOOR WINDOW THAT IS MORE THAN 44" FROM THE FINISHED GROUND LEVEL (NOT FINISHED FLOOR) IN ACCORDANCE WITH R 303.1, IRC 2012.
23. ALL SLEEPING AREAS SHALL BE PROTECTED WITH UL-APPROVED SMOKE DETECTORS. THESE SHALL BE WIRED TO THE 110 VOLT HOUSE CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268. THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CEILING, DEPENDING ON WHERE MOUNTED.
24. BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN.) 5 CYCLES PER HOUR PER R 303.3, IRC 2012.
25. PREFABRICATED FIREPLACES SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS.
26. ALL FRAMING MATERIAL TO BE #2 DENSE SYP.
27. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. IRC 2012 R 312.1.
28. ALL LUMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.
29. FOLLOW LOCAL BUILDING CODE FOR TERMITE AND DECAY PROTECTION.
30. DEPTH OF NOTCHES AT ENDS OF FLOOR JSTS NOT TO EXCEED 1/4" DEPTH.
31. BRIDGING REQ'D BETWEEN FLOOR JOIST EXCEEDING 8FT. SPAN.
32. DOUBLE FLOOR JOISTS REQ'D UNDER ALL WALLS
33. FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING
34. ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURES'S SPECIFICATIONS.
35. ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).
36. WHERE DISCREPANCY BETWEEN DRAWINGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE.
37. REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
38. HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSIONS, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS SHALL COMPLY W/ IRC 2012.
39. THE MAXIMUM STAIR RISER HEIGHT SHALL BE 7 3/4" AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH IRC 2012.
40. ALL WINDOWS SHALL COMPLY WITH ARTICLE R 301.2.1.2 OF THE IRC 2012 ED REGARDING WIND BORNE DEBRIS, WHICH STATES THAT WOOD STRUCTURAL PANELS (PLYWOOD) WITH A MIN. THICKNESS OF 7/16 INCH OF MAXIMUM SPAN OF 6 FEET SHALL BE PERMITTED FOR OPENING PROTECTION. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL PROVIDED IN ACCORDANCE WITH LABEL R301.2.1.2.
41. EXTERIOR WALL LOCATIONS (WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY WITH R302, IRC 2012
42. UNDER STAIR PROTECTION (ENCLOSED ACCESS. SPACE UNDER STAIRS IN ACCORDANCE WITH R311.22, IRC 2012.
43. OVERHANGS PROJECTING INTO REQUIRED SIDE YARD SHALL BE PROVIDED W/ 1-HR RATED SOFFIT CONSISTING OF 1 LAYER 5/8" X RATED GYP. BD. PER R 302 IRC 2012.
44. PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.
45. A MIN. TOTAL NET OPENING OF NOT LESS THAN 1 SQ. IN. FOR EVERY 1 SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF OPENING SHALL BE NO HIGHER THAN 1 FT. ABV. GRADE. OPENINGS TO BE PROVIDED AT LEFT WALL OF GARAGE & AT BASE OF GARAGE DOOR (380 SQ. IN. REQ'D. FOR GARAGE 1)
46. VAPOR BARRIER SHALL BE REQUIRED AT OPEN CRAWL SPACES IN ACCORDANCE WITH GUIDELINES SET FORTH IN LSU AG CENTER PUB 3187 INSULATING RAISED FLOORS IN HOT, HUMID CLIMATES.

Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering the work. The plans will also meet the 2012 IRC.

David R. O'Reilly

LIN. NO. 34032

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Lic# 34032

CUCCIA GARAGE / GAMEROOM

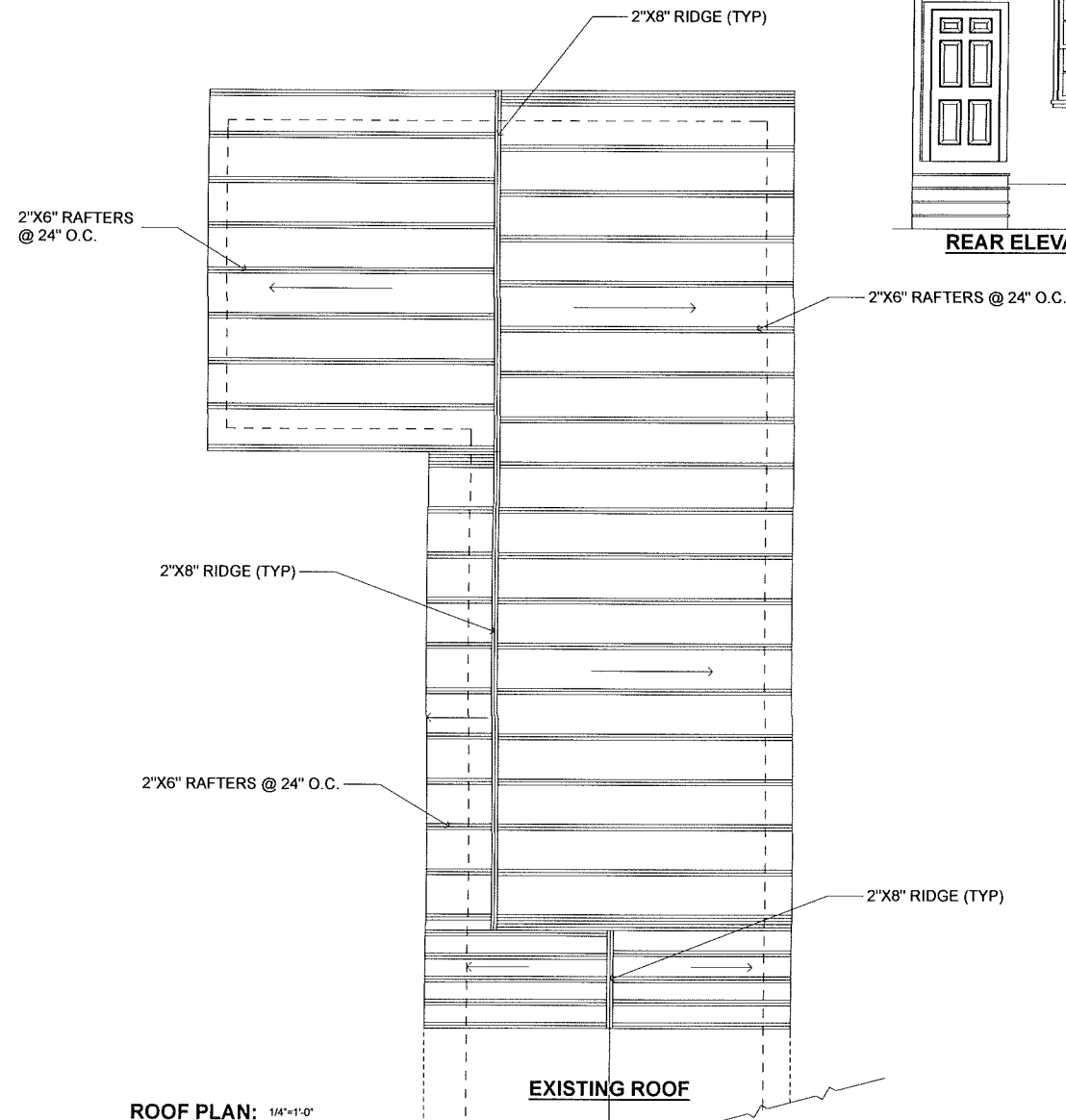
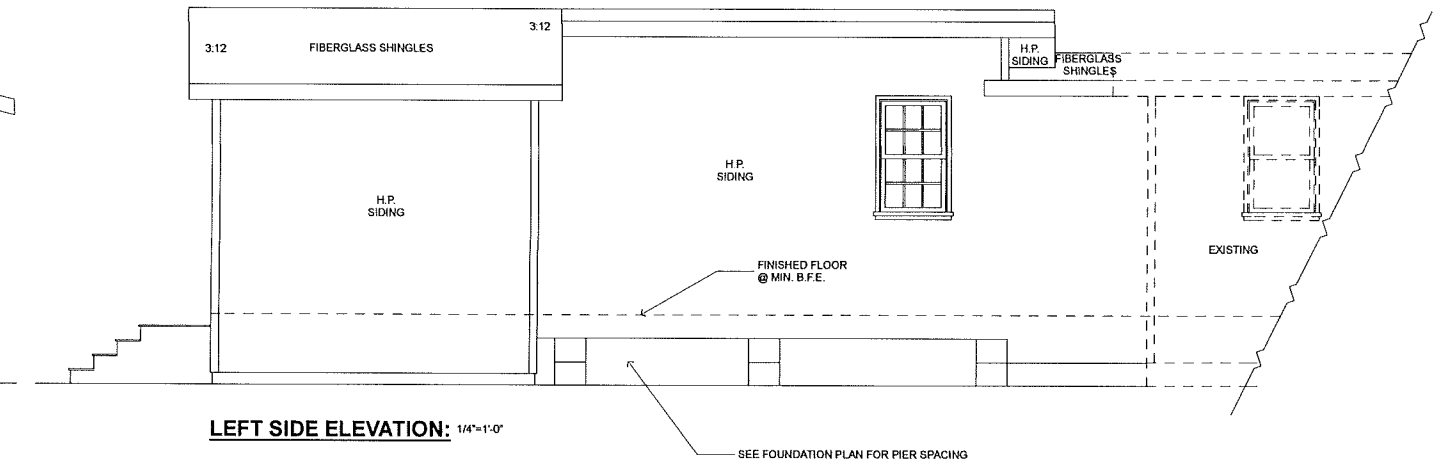
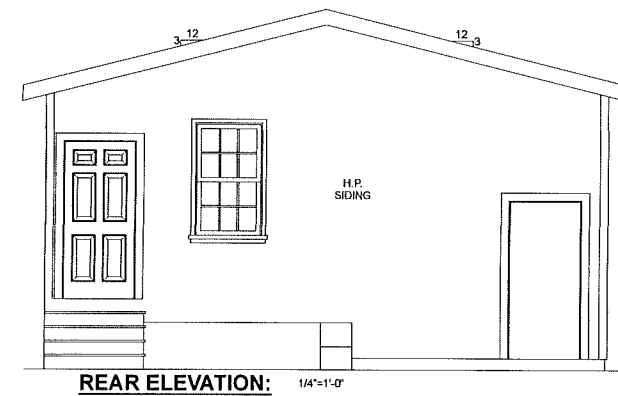
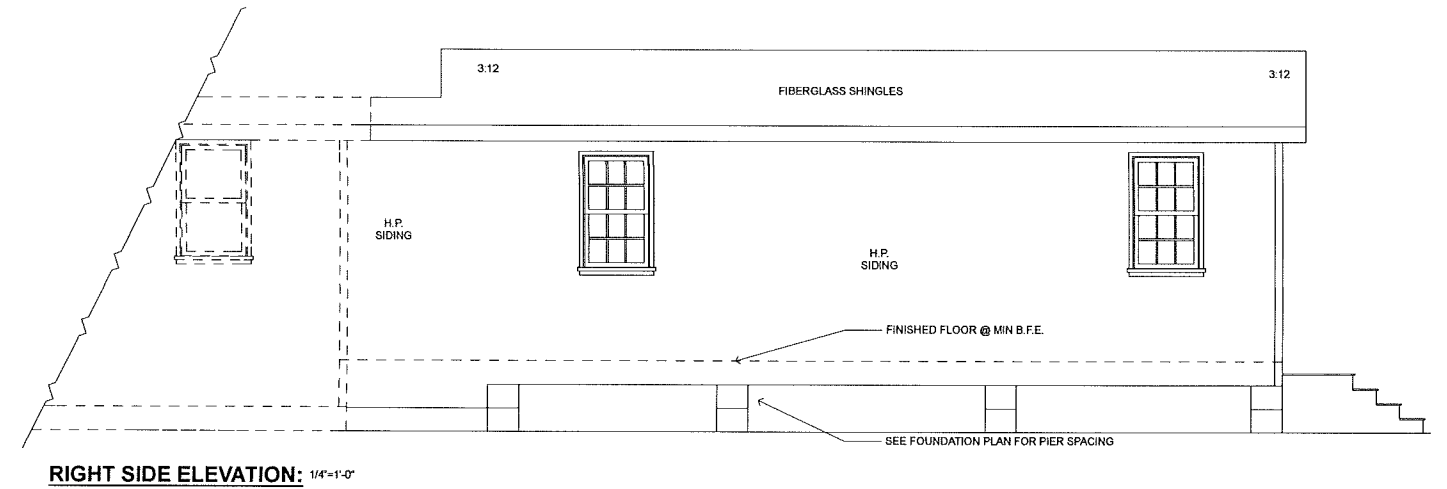
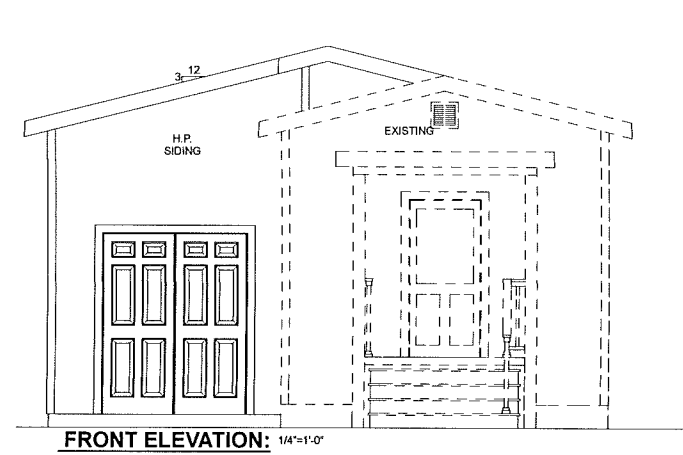
1104 NINTH STREET GRETN, LA. 70053

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 desconss@bellsouth.net / desconsinc.com

INT/ DATE:
 KTC: 3/09/17



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INT / DATE:
KTC: 3/09/17

A-3

1104 9th Street
PROPERTY ADDRESS

Chris Cuccia
NAME OF APPLICANT

Signature of HDC Chairperson _____ Date 4/3/17

Signature of Applicant _____ Date 4/7/17

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 113, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com

COA-17-0027



Historic District Commission

Meeting: April 3, 2017

1104 9th Street
(District 2)

For: New construction of an accessory structure



Applicant: Chris Cuccia

Submitted: March 22, 2017

5-0 Approved as submitted
RP/VK

Permit #
1494

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ *Mechanickham Historic District* – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ *McDonoghville Historic District* – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as near as original to it s condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be designed to be harmonious with the buildings and the environment with which it is related. The new construction shall be in volume, arrangement, site, plan, texture, material and exterior architectural character of the neighborhood. New constructions shall be in harmony with its surroundings and shall not detract from the character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character of a building, columns, porches, doors and exterior ornamental decoration.



As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1104 2nd St

Renovation: New Construction: Garage Demolition:

Age of Structure: New

Building Type: Building Style:

Creole Cottage: Greek Revival

Shotgun: Italianate

Bungalow: New Orleans Bracketed

Other: Garage Eastlake

Colonial Revival

Other:

Exterior materials proposed:

Roof: Fiber Glass Shingles Soffit: HP

Fascia: HP Siding: HP

Masonry: HP Porches: None

Balconies: None Handrails: None

Type of exterior lighting fixtures: LED Flood on Camera

Style of windows: 3" 5" 6" pane for door

Type of exterior doors: 6 pane shut door

Describe any ornamental woodwork: None

Flatwork privk
to Build same size
as accessory struct.



Elevations:
Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Chris M. Lucie* Date: 3/22/17

Applicant's Name: *Chris M. Lucie*

Address: 922 Polkhardt St Gretna LA 70053

Phone No: 504 488 4324 Cell No: 504 453-3808

For Office Use Only:

Date of Application: 3/22/17
Substantive Change: Yes _____ No ☒ Inventory Number: None
Contributing Element to Gretna National Register Historic District: Yes _____ No ☒
Historic District Commission meeting date: April 3rd @ 400 PM

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor
Council Chamber. (Meetings held on the 2nd Wednesday of every month.)





City of Gretna

Second Street & Huey P. Long Avenue
P. O. Box 404
Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Riu

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrodona

Planning & Zoning

Azalea M. Rousell

Office of Tax & Licenses

Norma Cruz

Finance Department

Raylyn Stevens

Human Resources

David Neeb

Public Utilities

Michael Boudoin

Public Works

Danny Lacyone

Parks and Recreation

Annie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on April 5 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Chris R. Vecia

Date: 3/22/17

Address: 922 Delbende St
1104 Del St



Google Maps 1105 9th St



Gretna, Louisiana
Street View - Jul 2011









C.H.I. Raised Panel Steel Series

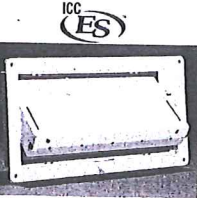
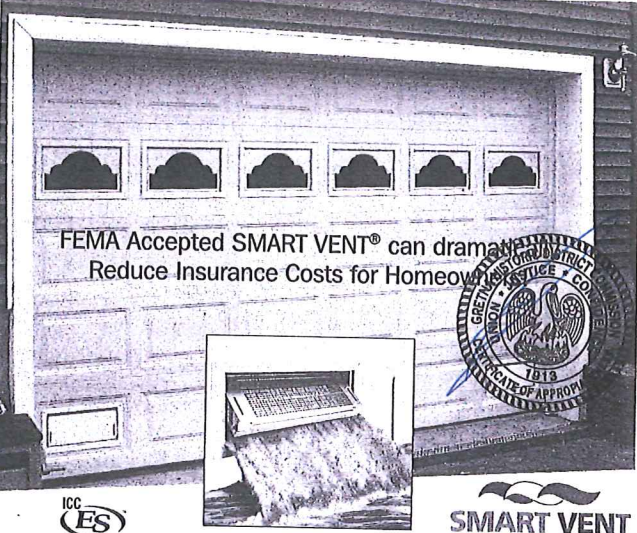
Raise the standard.

depth to your door design with C.H.I.'s raised panel design, available in short and long panel options. The raised panels start with a recessed edge, but the interior surface of each panel is brought slightly forward, adding just a hint of definition to a classic door design.

Garage Door w/
upper window
w/ Flood Vents
on Bottom
of door.



Overhead Garage Door Flood Vents



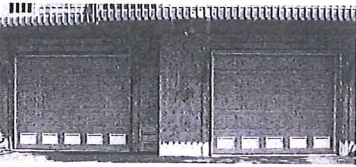
Patented float latch technology keeps the flood vent latched closed until flood waters enter. Then it opens automatically to equalize pressure and release flood waters.

FEMA Elevation Certificate requires evidence that flood prone enclosed areas are vented properly to permit hydrostatic water pressure equalization

- Each Smart Vent® protects up to 200 Sq. Ft. of area below the Base Flood Elevation (BFE). Use fewer vents, and improve home protection
- Flood Insurance rates increase dramatically if no vents or non-compliant vents are used in areas below the BFE
- ICC-ES Evaluated, FEMA Accepted and approved by the Florida Building Code Commission

Overhead Garage Door Flood Vents

A typical garage (less than 600 sq. ft.) requires just 3 vents in total to be in compliance with NFIP requirements and building codes



How Smart Vent® Works

Flood Protection Only: For flood protection, the Smart Vent door is always latched closed until flood waters enter. Rising water lifts the patented internal float latch, releasing the flood door to rotate open. Flood water enters and exits, equalizing water pressure.



Template makes installation simple and error free.



Mounting hardware included

Two sizes of Insulated Smart Vent® are available for most panel sizes.

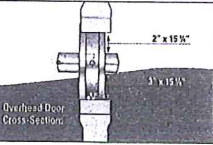
Additional options for frame or masonry side walls available.

Flood Protection And Ventilation: In addition to the flood protection, Dual Function Models have vent louvers that open and close automatically as temperatures change. Closed in cold weather, warm weather for automatic garage ventilation.

Retrofitting: Install in new or existing garage doors. Template provided for door cut out. Stainless Steel fasteners included.

Other available Models: Foundation Wall, Stud Wall, Stacked or Quad configurations as well as Floor in Place truck systems.

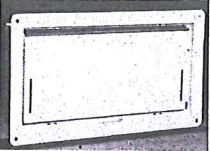
Easy To Install: Install in insulated or non-insulated sectional or one piece doors. Cut out template & Stainless Steel fasteners included.



RE-SOURCE

Taylor Sinterback

INSULATED MODEL



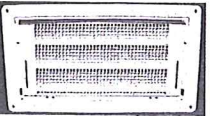
Smart Vent® stays latched closed until needed.



Float latch opens automatically in flood waters to equalize pressure and release flood waters.



DUAL FUNCTION MODEL



Special vent louvers in our Dual Function Models open automatically in warm weather, close in cold weather to vent the garage.



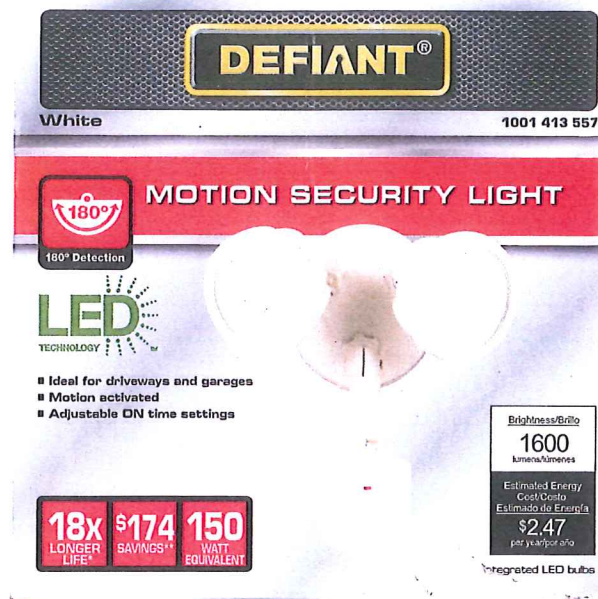
RE-SOURCE INDUSTRIES INC.
520 North Beach St. • Fort Worth, Texas 76111 • 817-222-0060



1001 564 123

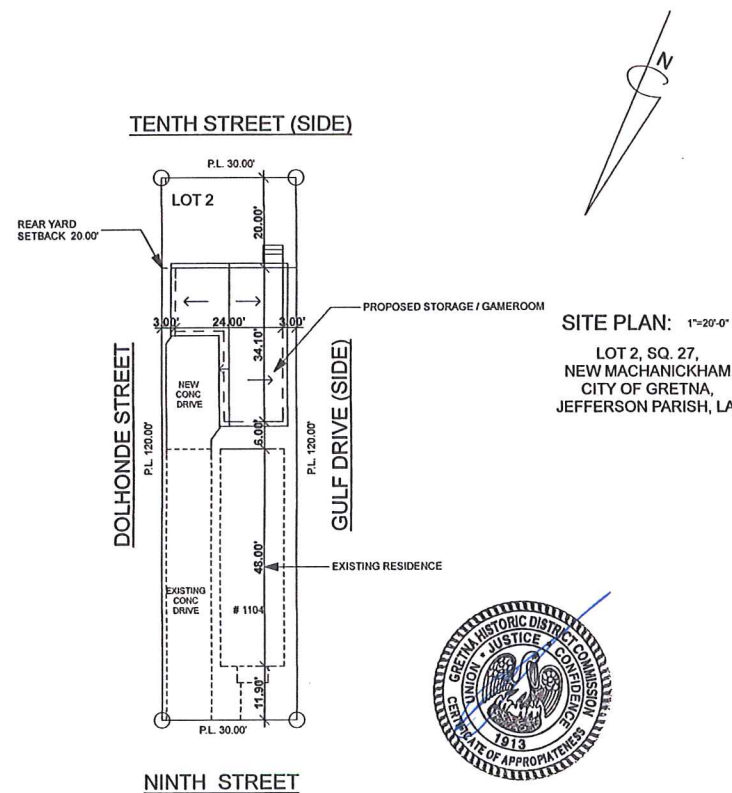


"Light By Back Door"



*Would like these
lights on all
(4) corners*





SITE PLAN: 1"=20'-0"
LOT 2, SQ. 27,
NEW MACHANICKHAM,
CITY OF GRETN,
JEFFERSON PARISH, LA.

SITE NOTES:

1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND RESTRICTIONS PRIOR TO CONSTRUCTION.
2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.
3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS AND WALKS
5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.
6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.
7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.
8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT LEAST 4" THICK.
9. THIS IS NOT A SURVEY. CONTRACTOR/ OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT REQUIREMENTS.

NOTE:
THIS DOCUMENT IS BASED UPON THE
INFORMATION SHOWN ON SURVEY
PROVIDED BY OWNER.
NO PUBLIC RECORD OR TITLE RESEARCH
WAS PERFORMED FOR THIS PROJECT.

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Design Consultants, Inc.

NOTE:
J.E. Bruce Design Consultants, Inc./
Advance Design Group. Assumes no
liability for errors or omissions.
All information contained here in
shall be confirmed prior to
commencement of construction.

ENGINEERING BY:
David R. O'Reilly Engineering
Consultants LLC
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010 Lic# 34032

CUCCIA GARAGE / GAMEROOM	RTZ/DATE
1104 NINTH STREET GRETN, LA. 70053	
LOT 2, SQ. 27, NEW MACHANICKHAM, CITY OF GRETN, JEFFERSON PARISH, LA.	
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 351-0308	
400 2ND STREET GRETN, LOUISIANA 70053 drc@jesbdesign.com / drc@jesbdesign.com	

A-1



Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering the work. The plans will also meet the 2012 IRC.

David R. O'Reilly LVE No. 34032
COPYRIGHT 2017 J.E. BRUCE DESIGN CONSULTANTS, P.A.
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ENGINEERING BY:
**David R. O'Reilly Engineering
Consultants LLC**
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010
Lic# 34032

CUCCIA GARAGE / GAMERO
1104 NINTH STREET GRETNALA, 71
LOT 2, SQ. 27, NEW MACHANICKHAM
CITY OF GRETN JEFFERSON PAR

J.E. BRUCE DESIGN CONSULTANTS, INC.
BILLORETTA RD., JERSEY BEACH, N.C. 28540

A-3



CITY OF GRETNA
Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 361-1563 8:00 a.m. to 4:00 p.m.

Cable
GARD

HISTORIC DISTRICT PERMIT

PERMIT #:	134197	EXPIRATION DATE:	4/04/2017
JOB ADDRESS:	1104 9TH ST	LOT #:	
PARCEL ID:		SQUARE #:	
SUBDIVISION:		ZONING:	
OWNER:	CHRIS CUCCIA	CONTRACTOR:	CHRIS CUCCIA
ADDRESS:	1104 9TH STREET	ADDRESS:	1104 9TH STREET
CITY, STATE ZIP:	GRETN LA 70053	CITY, STATE ZIP:	GRETN LA 70053
PHONE:		PHONE:	
PROP. USE:		STORIES:	
VALUATION:	\$ 0.00	UNITS:	
SQ. FT.		FIRE SPRINKLERS:	
OCCUP. TYPE:		OCCUPANT LOAD:	
CNST. TYPE:		FLOOD ZONE:	

FEE CODE	DESCRIPTION	QTY	AMOUNT
HDAC	HISTORIC DISTRICT ADVISORY BOARD	0	\$ 50.00
TOTAL			\$ 50.00

NOTES: Conditions: PLEASE NOTE THIS IS NOT YOUR PERMIT THIS IS ONLY YOUR HDC APPLICATION. PLEASE APPLY ON LINE PRIOR TO THE HDC MEETING AT WWW.MYGOVERNMENTONLINE.ORG . PLEASE ALSO MAKE SURE THAT SOMEONE IS PRESENT ON THE APRIL 3RD MEETING AT 4:00PM INCASE THE BOARD WOULD LIKE TO DISCUSS YOUR PROPERTY.

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

Chris Cuccia
(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

Dick Humphreys
(APPROVED BY)

3/22/2017
DATE

3/22/2017
DATE

City Hall - Cashier

#: 00608212 3/22/2017 12:27 PM
R: EB TERM: 001
#: 0014
N: 1,4540 BUILDING PROJECTS
134197 50.00CR
CLULTA, CHRIS
1104 9TH ST
H0AC 50.00CR
***** 50.00 CREDIT CARD



Historic District Commission

Meeting: June 5, 2017 4:00PM

1337 Madison Street

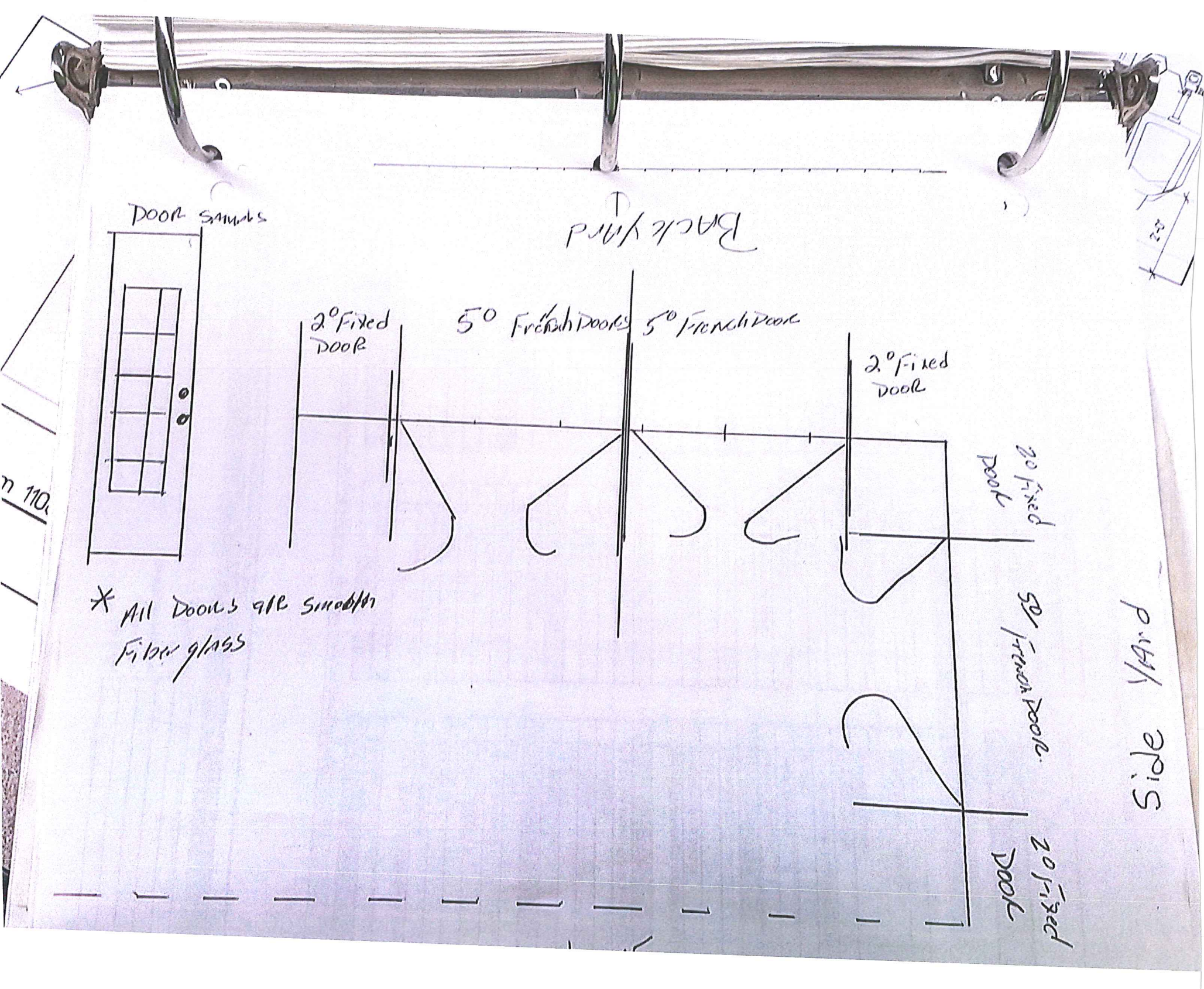
(District 1)

**For: Applicant response from preliminary
conference**

**Applicant:
Dina Lalley**

Submitted: June 1, 2017





Proposed Replacement Glass Doors at rear of 1337 Madison St

New doors will be of similar appearance of old glass doors except being fiberglass + energy efficient. They will be of similar dimensions. The new doors will also increase the structural integrity of the rear of the house. The rear steel door will be replaced by a 2ft fixed door. Then there will be 2- 5ft french doors then a 2ft fixed glass door. This will be across the rear of the house.

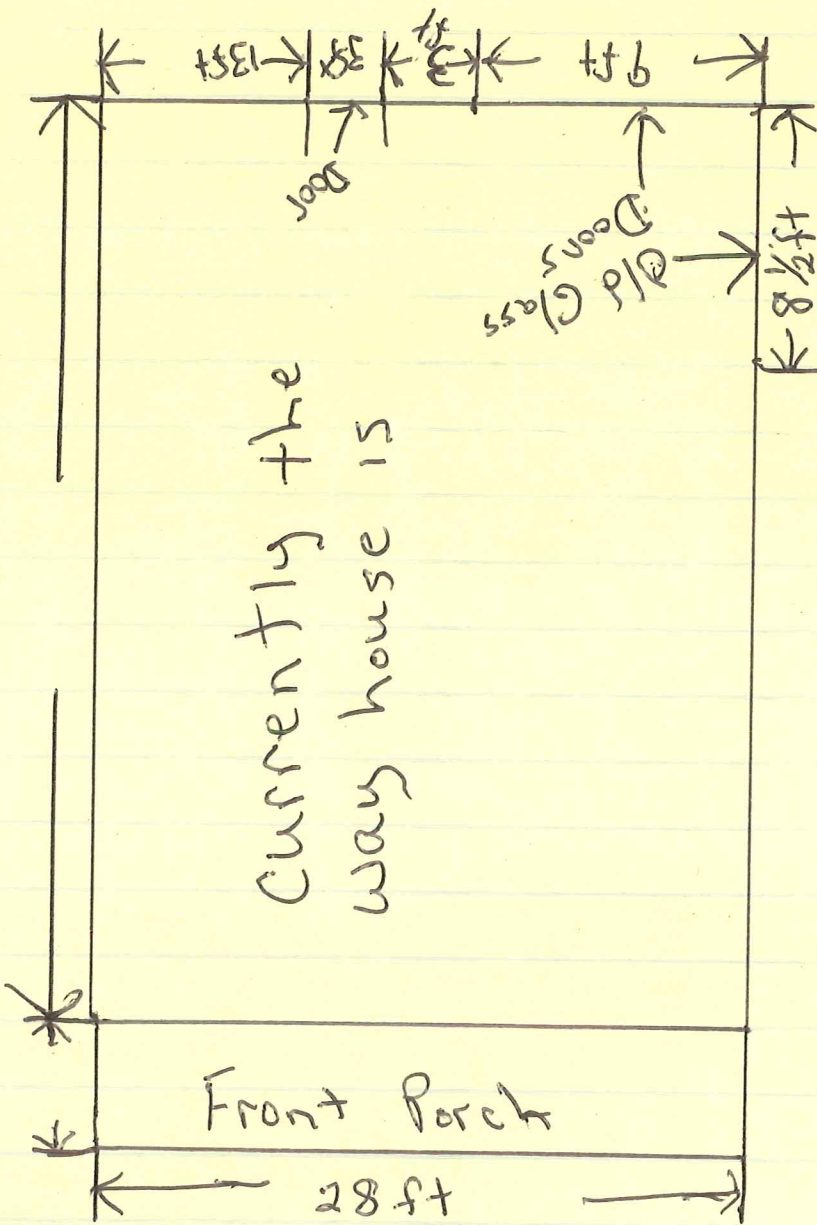
The side opposite Romain St will have a 2ft fixed door at the rear corner then a 5ft french door then a 2ft fixed door connected at wall to finish the enclosure. The glass doors will be the same height of 7ft as the original ones. They will also have the same amount of lights in them.

see attached drawings; i.e. current
+ proposed

Current Glass Doors at rear of
1337 Madison St.

Neighbor

Roman St

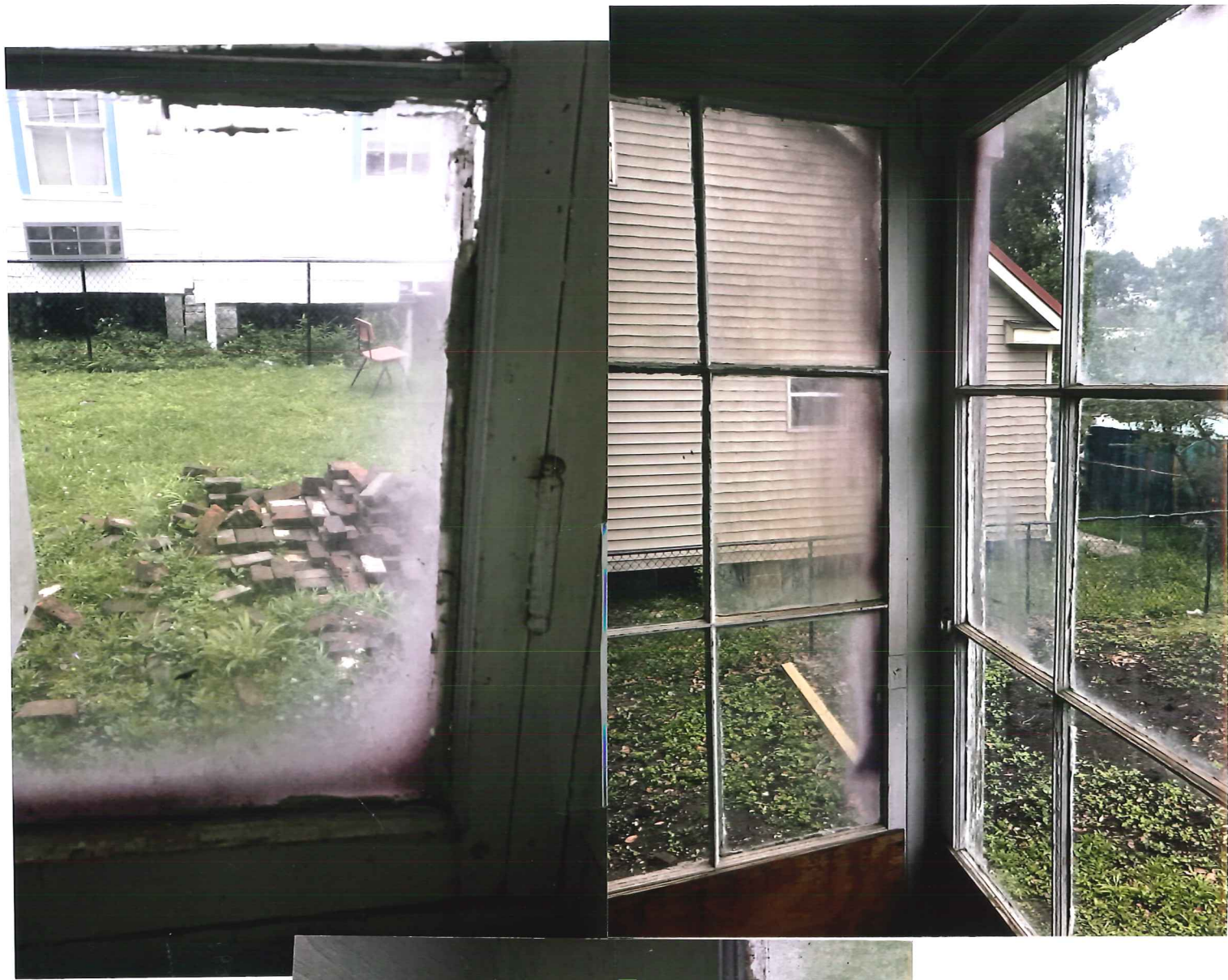


Neighbor

Madison St









Historic District Commission

Meeting: May 1, 2017 4:00PM

1337 Madison Street

(District 1)

For: Doors and Fence

Applicant: Dina Lalley

Submitted: April 24, 2017

Doors @ front
Doors @ Rear -- MAKE BACK MORE SOLID & ADD
DARKER DOORS
Fence --
96'-0" Added & Installed -- Need drawing of rear and where
applied

→ Preliminary Conference - DR/RS
-- Next Month -- get w/dar manufactory
to replace glass, fence simplified finish,

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

Permit
#1515
#1519

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

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- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1337 Madison St

Renovation: ✓- New Construction: (of new fence) Demolition:

Age of Structure: 96 yrs

Building Type:

Creole Cottage

Shotgun double shotgun

Bungalow

Other

Building Style:

Greek Revival

Italianate

New Orleans Bracketed

Eastlake

Colonial Revival

Other Craftsman

Exterior materials proposed:

Roof Soffit

Fascia Siding

Masonry Porches

Balconies Handrails

Type of exterior lighting fixtures:

Style of windows: hinged windows - converting to French Doors

Type of exterior doors: Mahogany Doors with bevelled glass

Describe any ornamental woodwork:

Elevations:

Front Space: < 4 ft. Side Space: < 4 ft.

Rear Space: < 4 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Dina Lalley* Date: 4-24-17

Applicant's Name: Dina Lalley

Address: 1337 Madison St

Phone No: (330) 503-4434 Cell No: (330) 503-4434

For Office Use Only:

Date of Application: 4-24-17

Substantive Change: Yes ☐ No ☒ Inventory Number: NONE

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: May 1st @ 4:00 PM.

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

Second Street & Huey P. Long Avenue

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

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Milton L. Crosby

District One

Michael Hinyub

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Public Utilities

Michael Baudoin

Public Works

Danny Lasyone

Parks and Recreation

Amie Hebert

Information Technology

Michael Wesley

I, the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be considered will be held on May, 1st 2017 at 4:00 pm on the second floor of City Hall in the Council Chambers. I further understand that a HDC application and/or Certificate of Appropriateness is NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If no representative attends, review may be deferred until the following month's agenda. I further understand and acknowledge that a Certificate of Appropriateness, if issued by the HDC, does not guarantee Zoning and/or Building Department approval because, while a project may be historically appropriate, it may not meet current building and zoning code requirements.

Applicant: Dina Lalley

Date: 4-24-17

Address: 1337 Madison St.