

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 2nd Street, Gretna, LA 70053
Council Chambers - 2nd Floor
July 3, 2017 - 4:00 PM**

AGENDA

AGENDA ITEM(S):

1. Call to Order/Roll Call

2. Properties with current request for Certificate of Appropriateness:

- (1) 1130 Lafayette Street
For: Sign - Monica Moreira, Applicant (District 2)
- (2) 433-435 Hancock Street
For: Accessory structure & front porch handrails-Maria Plaisance, Applicant (Dist.1)
- (3) 806 Huey P. Long Avenue
For: New single-family dwelling - Terry Talamo, Applicant (District 2)
- (4) 1104 9th Street
For: New plans for addition (Preliminary conference)-Chris Cuccia, Applicant (District 2)
- (5) 510 Lafayette Street
For: Complete renovation - Joseph Hermo, Applicant (District 2)

3. Adjourn



Historic District Commission

Meeting: July 3, 2017 4:00PM

1130 Lafayette Street
(District 2)

For: Sign (Preliminary Conference)

Applicant:
Monica Moreira

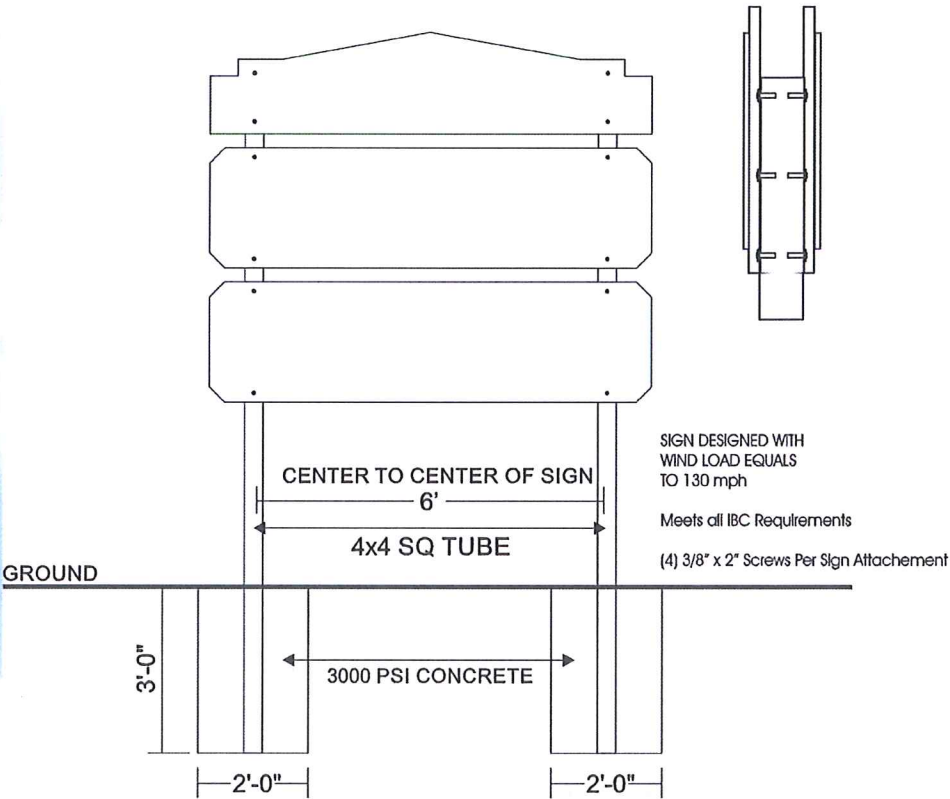
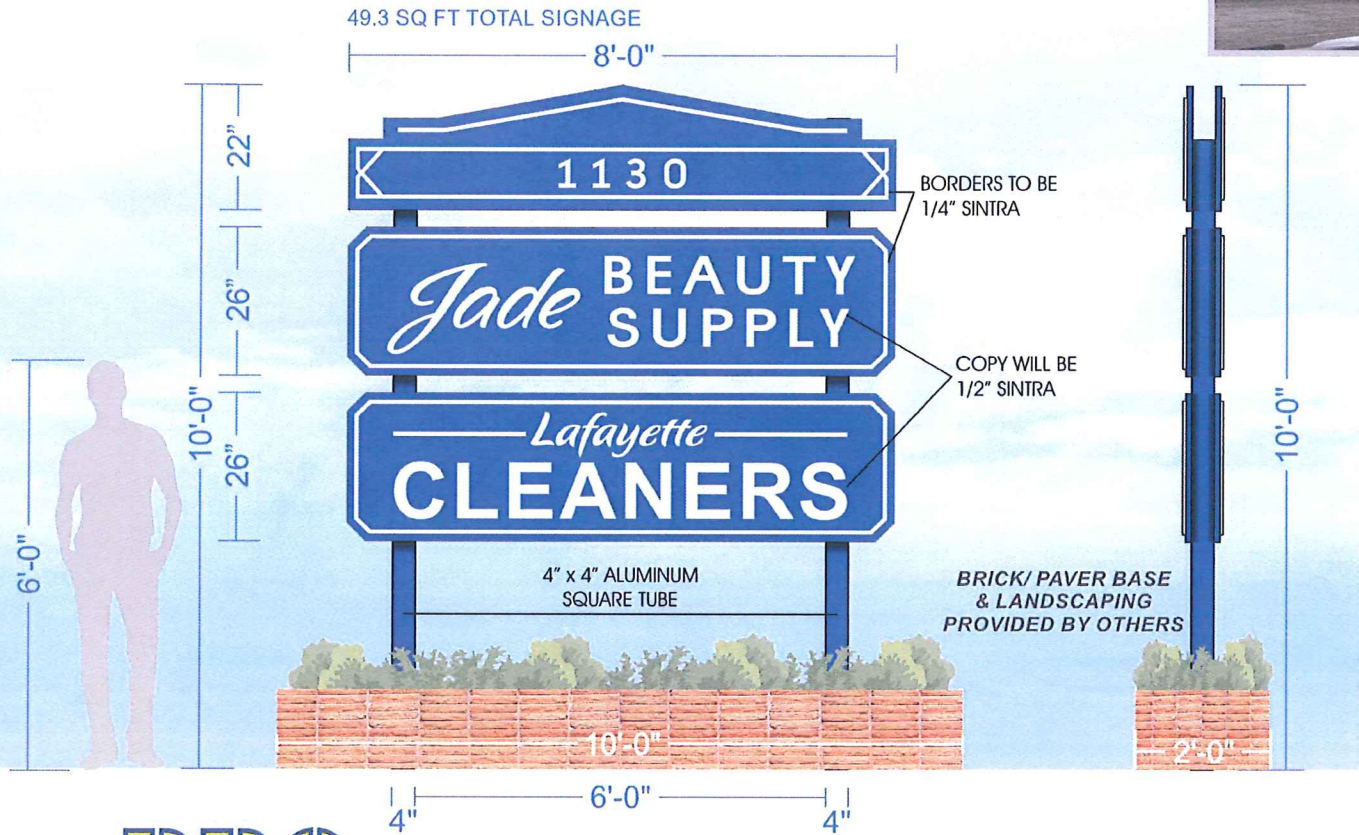
Submitted: June 29, 2017



Manufacture & Install (1) Double Sided Non - Illuminated Detached Sign.
All Copy To Be 1/2" Sintra Painted White. Borders To Be 1/4" Sintra Painted White.
Background Will Be 1" Sintra Painted Blue to Match Building Awning
New Square Tube & Foundation



IMAGE IS NOT TO SCALE



1310 Carroll St.
Kenner, La. 70062
Office: 504.467.5205
Fax: 504.467.5206
www.PROSIGNSNOLA.com

Job Name:	Jade Beauty Supply	Designer:	Lily Pham	Sketch #:	16-0636-P2R2
Location:	1130 Lafayette St	Salesman:	Chris Nguyen	Scale:	3/8" = 1'-0"
	Gretna, LA	Contact Person:		Contact Number:	

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY CONFORM TO ALL CITY REQUIREMENTS. I AM NOT GENERALLY ADMINISTERING THE WORK. ALL ELECTRICAL SIGNS UL LISTED WINDLOAD OF 130 MPH. THIS DRAWING IS THE PROPERTY OF PRO SIGNS & GRAPHICS AND CANNOT BE DUPLICATED WITHOUT PERMISSION.

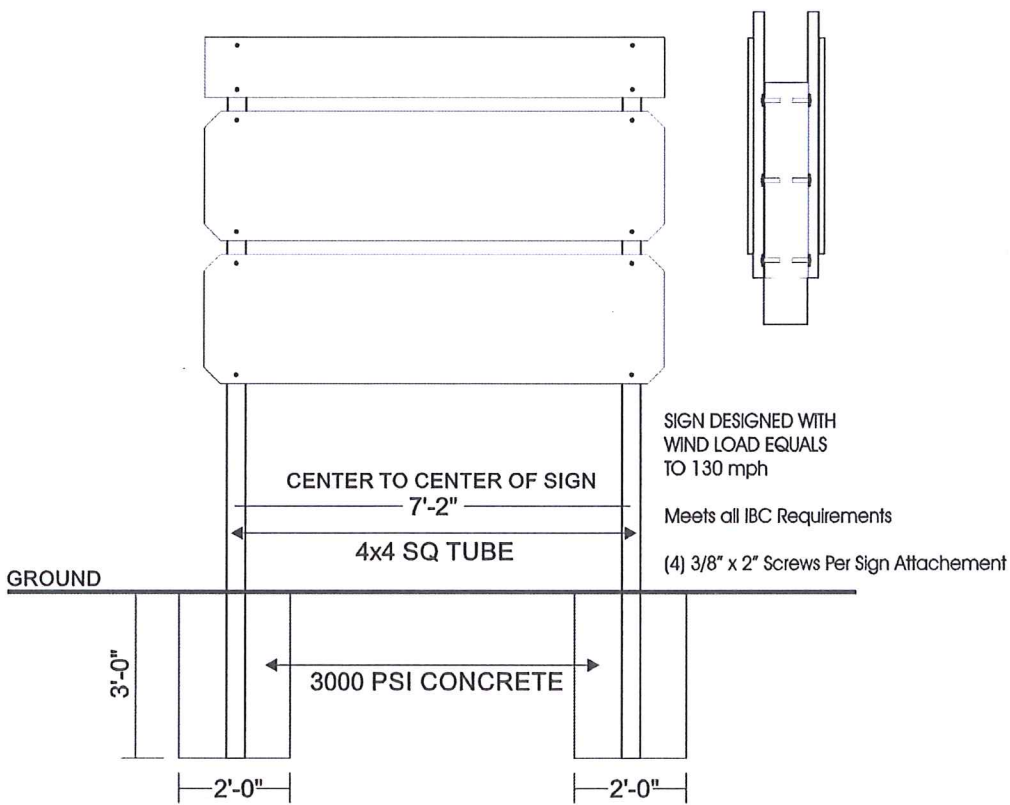
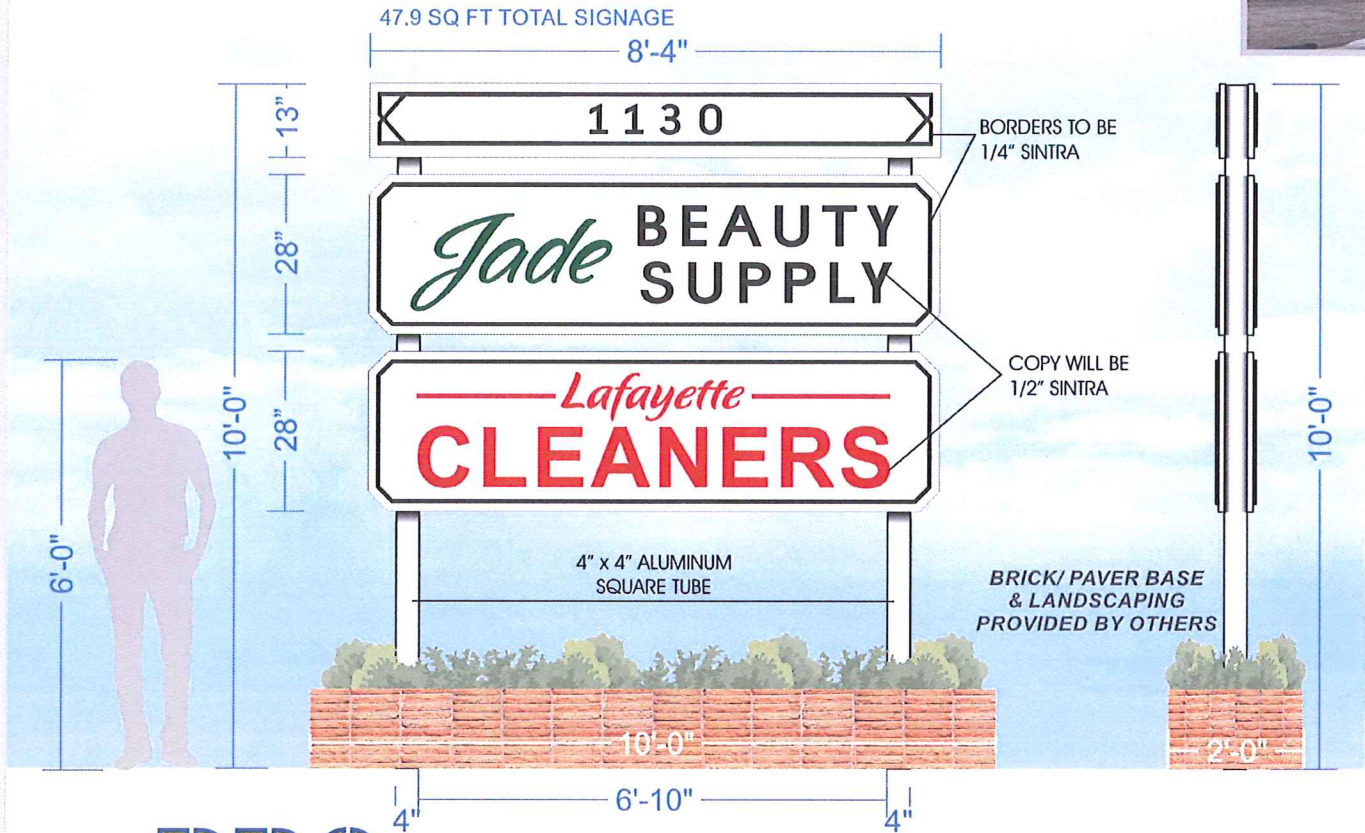
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Background Will Be 1" Sintra Painted White.
New Square Tube & Foundation



STOREFRONT



IMAGE IS NOT TO SCALE



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Historic District Commission

Meeting: June 5, 2017 4:00PM

1130 Lafayette Street
(District 2)

For: Sign

Preliminary Conference
7-0

Applicant: Monica Moneira

Submitted: May 3, 2017

- important in immediate
- need - elevation of front
- location
- internal illumination

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 1130 Lafayette St.

Renovation: New Construction: (1) new monument sign As per Drawing provided. Demolition:

Age of Structure:

Building Type:

Creole Cottage
Shotgun
Bungalow
Other

Building Style:

Greek Revival
Italianate
New Orleans Bracketed
Eastlake
Colonial Revival
Other

Exterior materials proposed:

Roof Soffit
Fascia Siding
Masonry Porches
Balconies Handrails

Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork:
Sign Made of 1080 Aluminum 1 1/2" x 1 1/2" x 3/16" Alum Angle Structure
Acrylic faces with LED internal illumination.
Smooth finish. Paints - Stucco finish can be provided if necessary.
Monument sign of foundation in the back.

Elevations:

Front Space:_____ft. Side Space:_____ft.

Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant’s Signature: *[Signature]* Date: 5/2/17

Applicant’s Name: Monica Moreira for Pro Signs & Graphics

Address: 1310 Carroll St., Kenner LA 70062

Phone No: (504) 467-5205 Cell No: (504) 559-5831

For Office Use Only:

Date of Application: 5/2/17

Substantive Change: Yes ☒ No ☐ Inventory Number: none

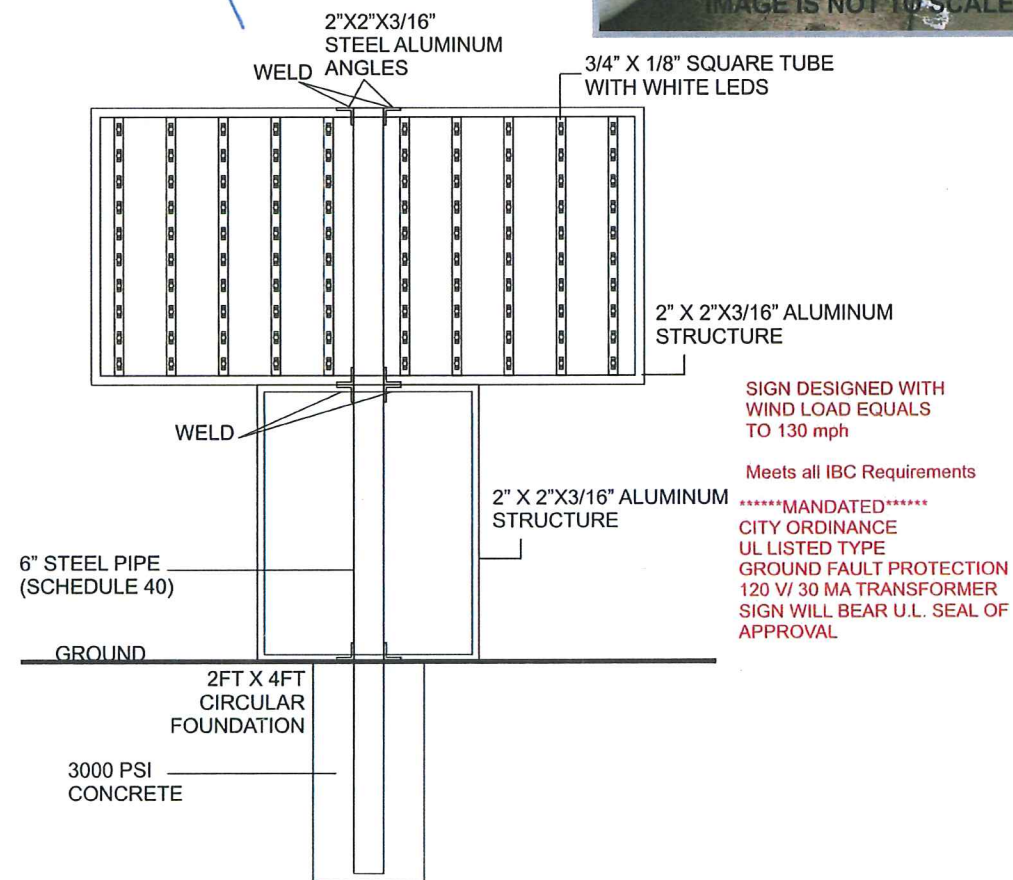
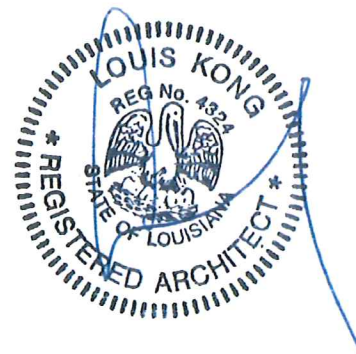
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: June 5th 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)

Manufacture & Install (1) Internally Illuminated
Monument Sign Painted Blue with Smooth Finish.
Face: Jade Beauty Supply: 3/16" Acrylic With HP Black Vinyl
Lafayette Cleaners: 3/16" White Acrylic With Trans. Red Vinyl
Cabinet to be Internally Illuminated With White LEDs
Includes Pole Cover With HP White Vinyl Address Numbers.
New Steel Pipe & Foundation Per Engineering Specs



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www.PROSIGNSNOLA.com

Job Name: Jade Beauty Supply Designer: Monica M. Tymon Sketch #: 16-1210
Location: 1130 Lafayette St Salesman: Chris Nguyen Scale: 3/8" = 1'-0"
Gretna, LA Contact Person: Contact Number:

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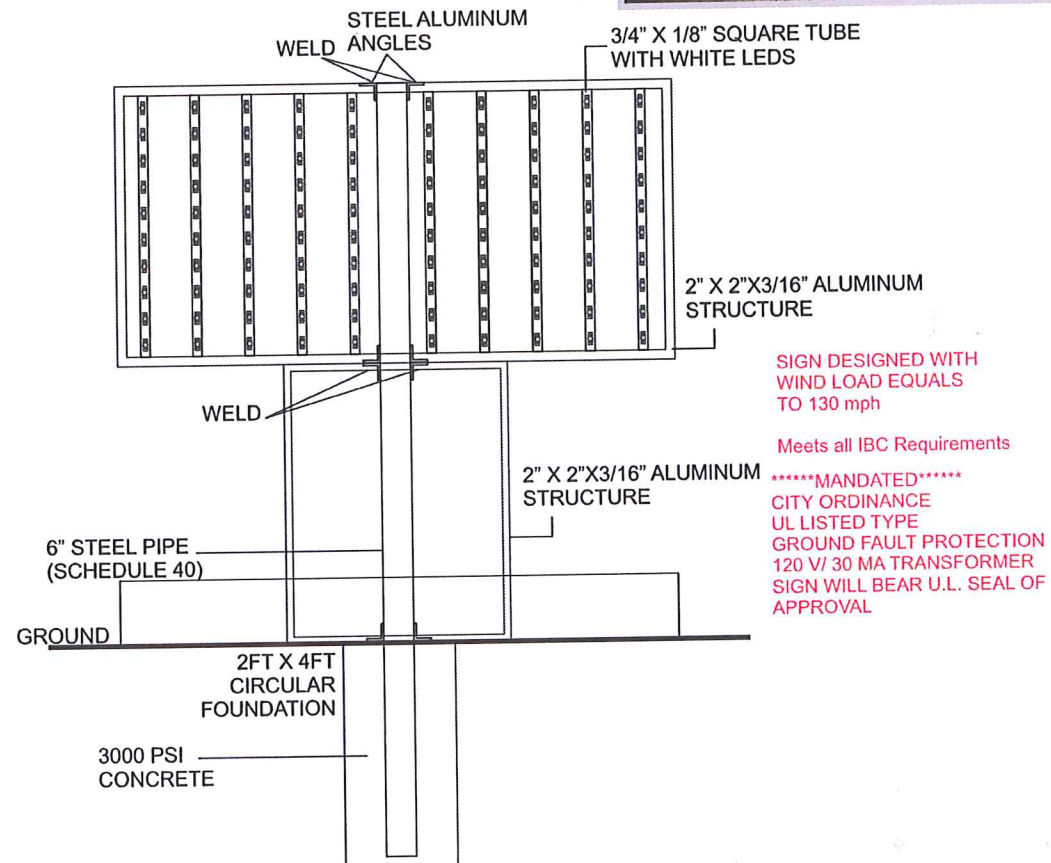
Job Name: Jade Beauty Supply	Designer: Monica M. Tymon	Sketch #: 16-1210-2
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Gretna, LA	Contact Person:	Contact Number:

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SIGN MUST BE
10' FROM
PROPERTY LINE



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Job Name: Jade Beauty Supply Designer: Monica M. Tymon Sketch #: 16-1210-R1
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Historic District Commission

Meeting: June 5, 2017 4:00PM

1130 Lafayette Street
(District 2)

For: Sign

Applicant: Monica Moneira

Submitted: May 3, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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Age of Structure:

Building Type:

Creole Cottage Shotgun Bungalow Other

Building Style:

Greek Revival Italianate New Orleans Bracketed Eastlake Colonial Revival Other

Exterior materials proposed:

Roof Soffit Fascia Siding Masonry Porches Balconies Handrails

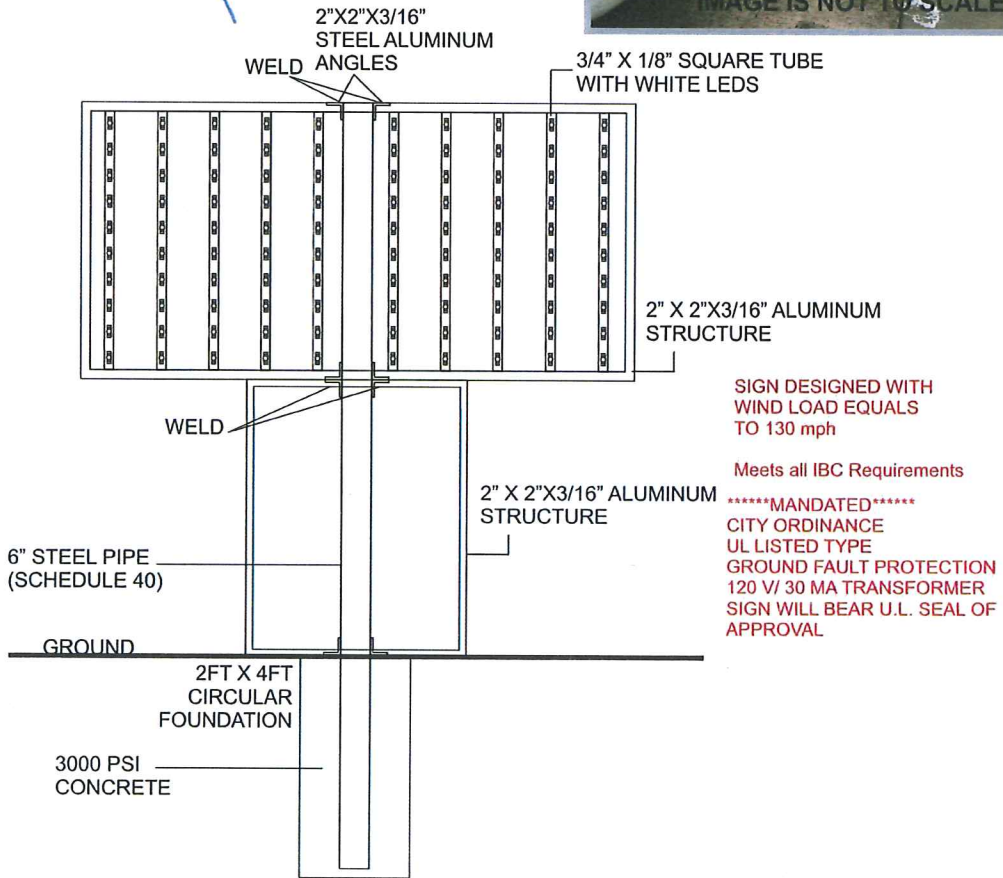
Type of exterior lighting fixtures:

Style of windows:

Type of exterior doors:

Describe any ornamental woodwork: Sign Made of 1080 Aluminum 1 1/2" x 1 1/2" x 3/16" Alum Angle Structure Acrylic faces with LED internal illumination. Smooth finish. Stucco finish can be provided if necessary.

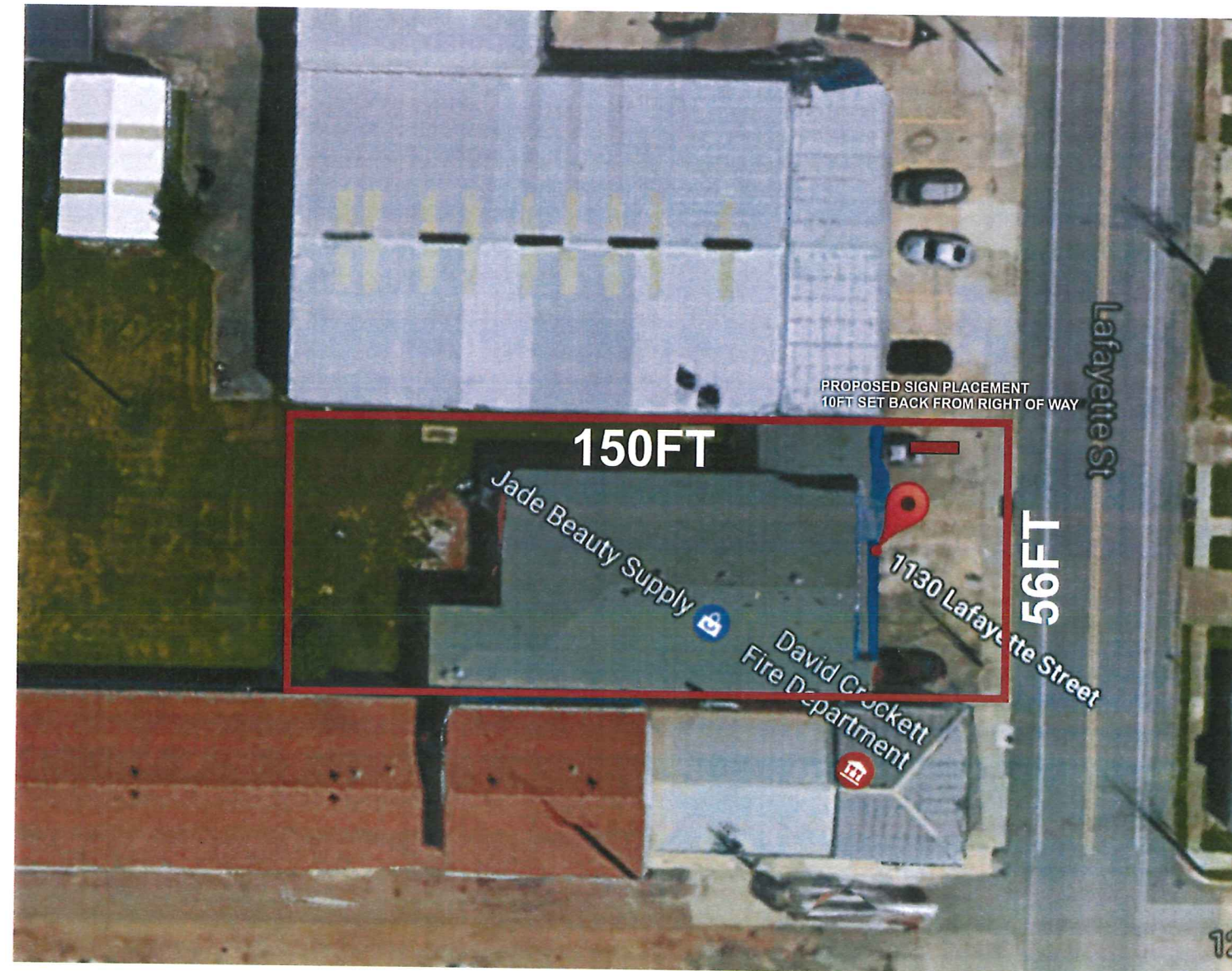
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Cabinet to be Internally Illuminated With White LEDs
Includes Pole Cover With HP White Vinyl Address Numbers.
New Steel Pipe & Foundation Per Engineering Specs



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Job Name: Jade Beauty Supply Designer: Monica M. Tymon Sketch #: 16-1210
Location: 1130 Lafayette St Salesman: Chris Nguyen Scale: 3/8" = 1'-0"
Gretna, LA Contact Person: Contact Number:

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PRO
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& GRAPHICS

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SIGN MUST BE
10' FROM
PROPERTY LINE

1'-4"

10'-0"

10'-0"
4'-0"

10'-0"
4'-0"

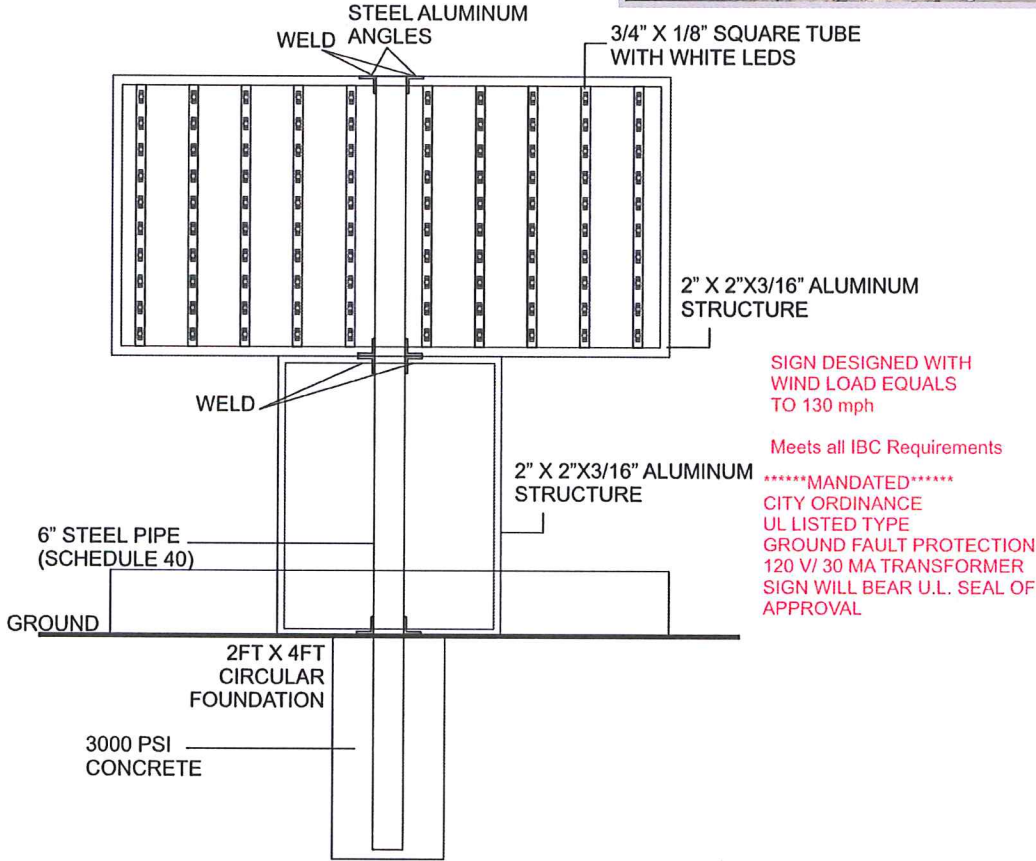
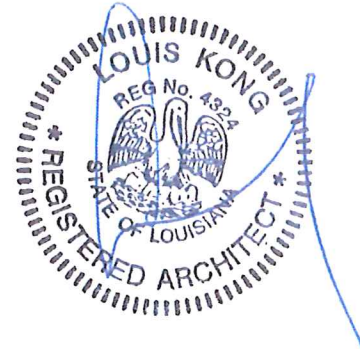
10'-0"
4'-0"

10'-0"
4'-0"

10'-0"
4'-0"

10'-0"
4'-0"

10'-0"
4'-0"



SIGN DESIGNED WITH
WIND LOAD EQUALS
TO 130 mph

Meets all IBC Requirements

*****MANDATED*****
CITY ORDINANCE
UL LISTED TYPE
GROUND FAULT PROTECTION
120 V/ 30 MA TRANSFORMER
SIGN WILL BEAR U.L. SEAL OF
APPROVAL



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Historic District Commission

Meeting: July 3, 2017 4:00PM

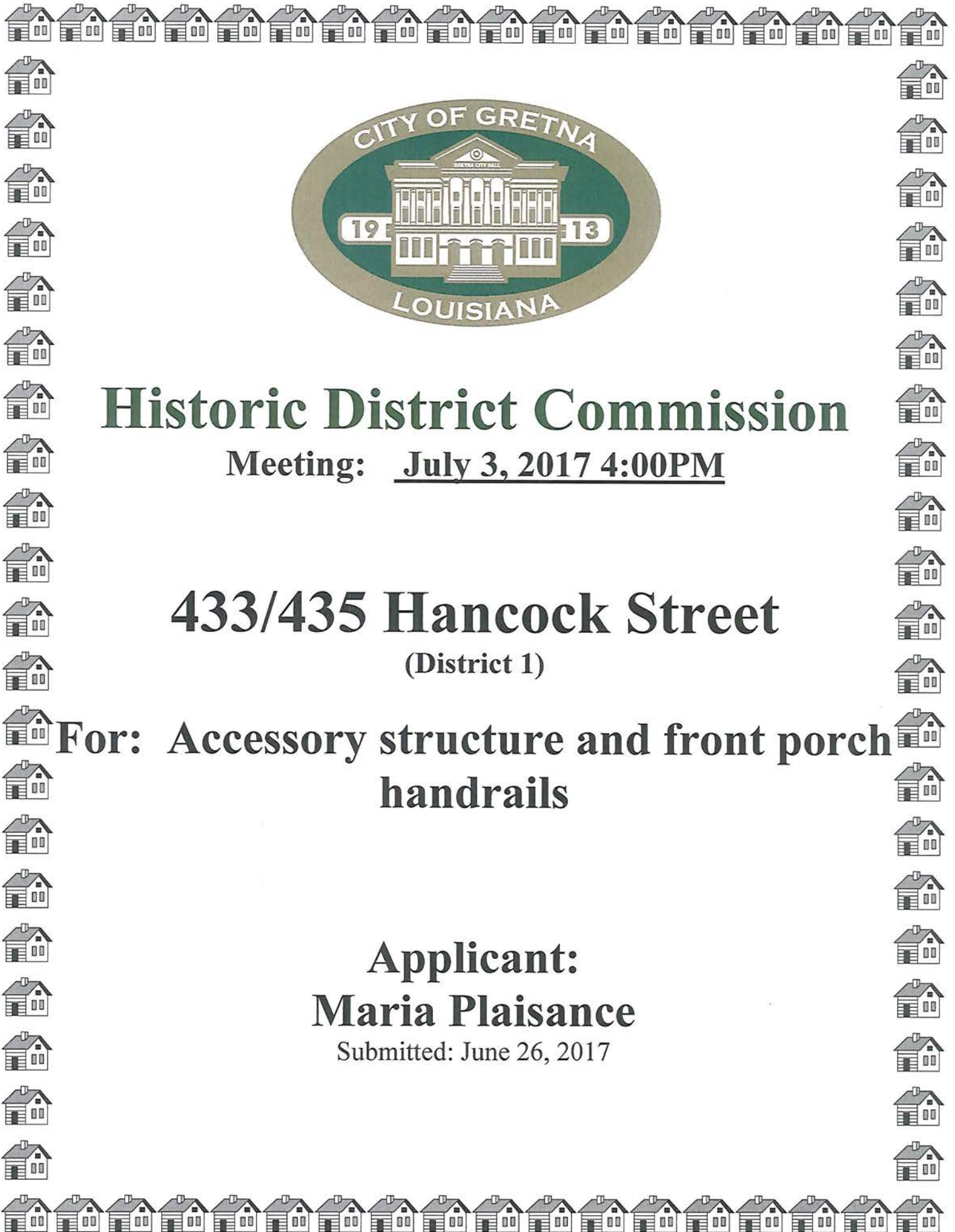
433/435 Hancock Street

(District 1)

**For: Accessory structure and front porch
handrails**

**Applicant:
Maria Plaisance**

Submitted: June 26, 2017



Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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Re: Address 433-435 Hancock St.

Renovation: ✓

New Construction: ✓

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ✓

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof 30yrs dimensional Asphalt Soffit _____

Fascia Hardi Plank Siding Hardi Plank

Masonry _____ Porches _____

Balconies _____ Handrails Square Spindles w/ Rails

Type of exterior lighting fixtures: _____

Style of windows: 2 over 2

Type of exterior doors: Metal Double Doors

Describe any ornamental woodwork: _____

(wood) Front porch of House

Elevations:

Front Space: 62' ft. Side Space: 3' ft.
Rear Space: 46' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Maria Plaisance Date: 6/26/17

Applicant's Name: MARIA PLAISANCE

Address: 93 MARIEDR. GRETNA, LA 70053

Phone No: () _____ Cell No: (504) 228-9557

For Office Use Only:

Date of Application: 6/26/17

Substantive Change: Yes _____ No ☒ Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No _____

Historic District Commission meeting date: July 3rd 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory
Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, MARIA PLAISANCE the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 7/3/17 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Maria Plaisance

Signature of Applicant

MARIA PLAISANCE

NAME OF APPLICANT (PLEASE PRINT)

93 MARIE DR. GRETN, LA 70053

Applicant's address

433-435 HANCOCK ST GRETN, LA 70053

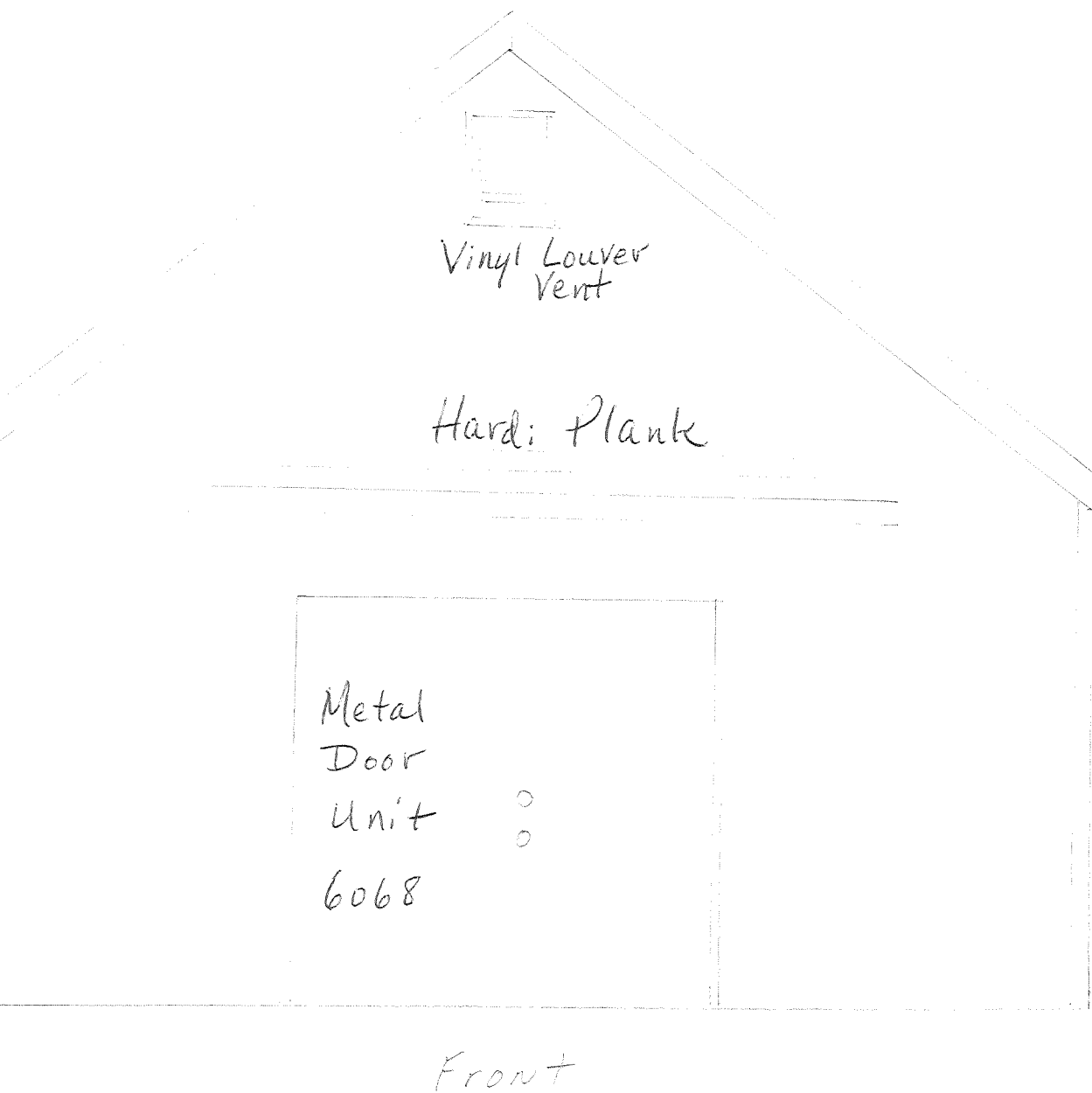
Actual address of the property for review

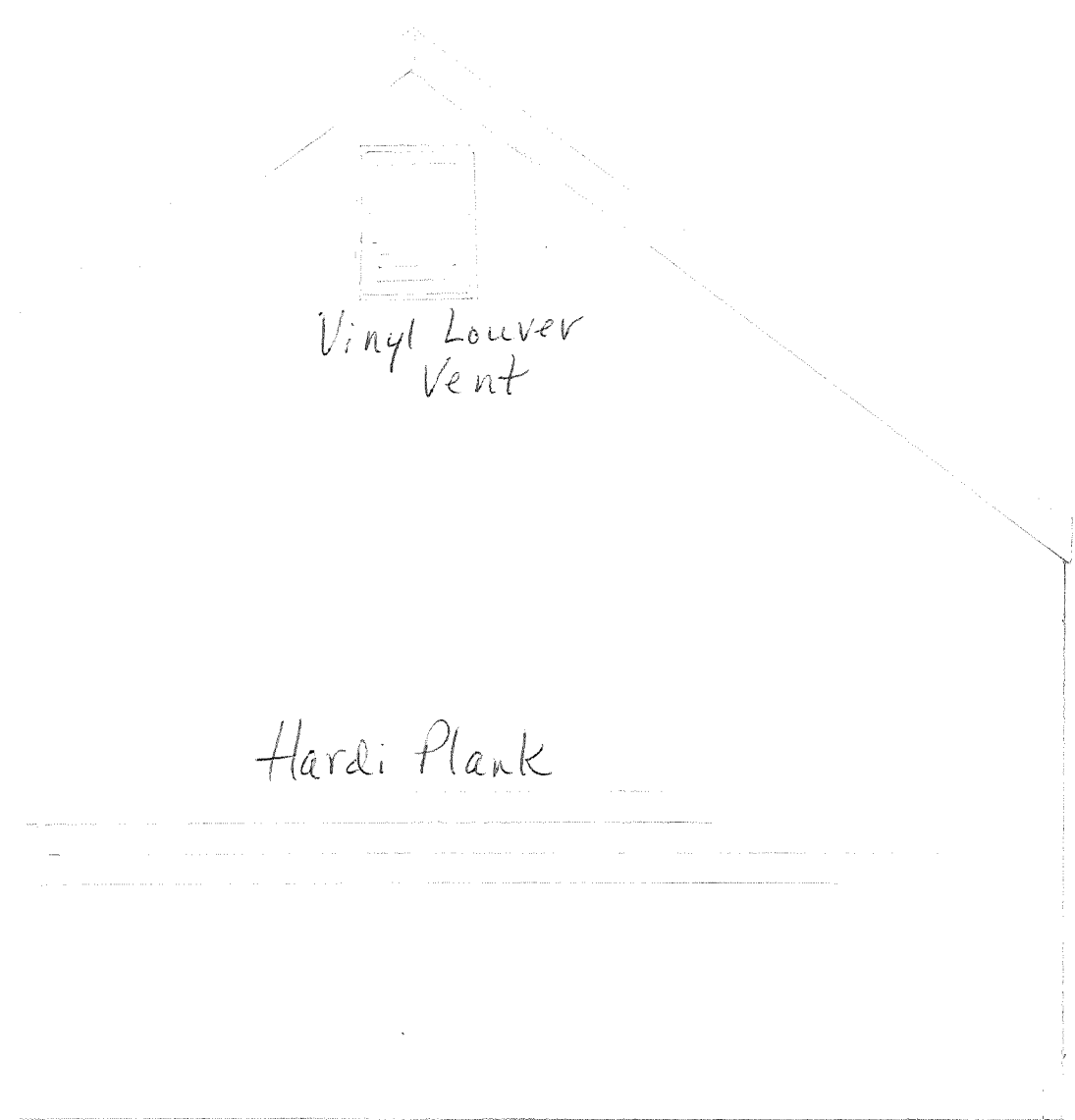
Date: 6/26/17

Google Maps ~~428 Hancock St.~~



~~12016 © 2017 Google~~





Vinyl Louver
Vent

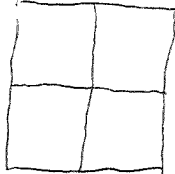
Hardi Plank

Back

30 year single = Asphalt



3050 Window



2 over 2

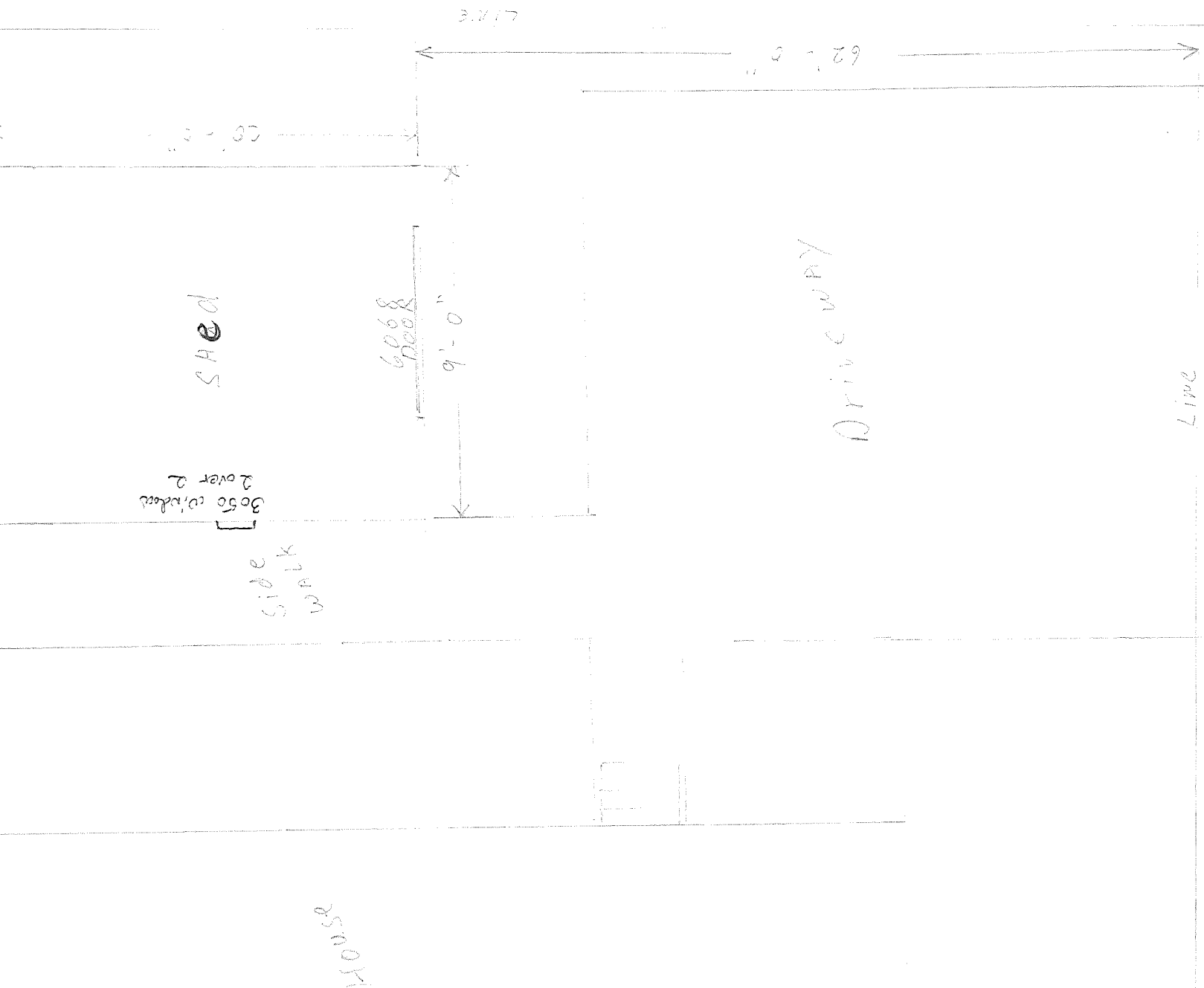
Cardy P-R-R-R

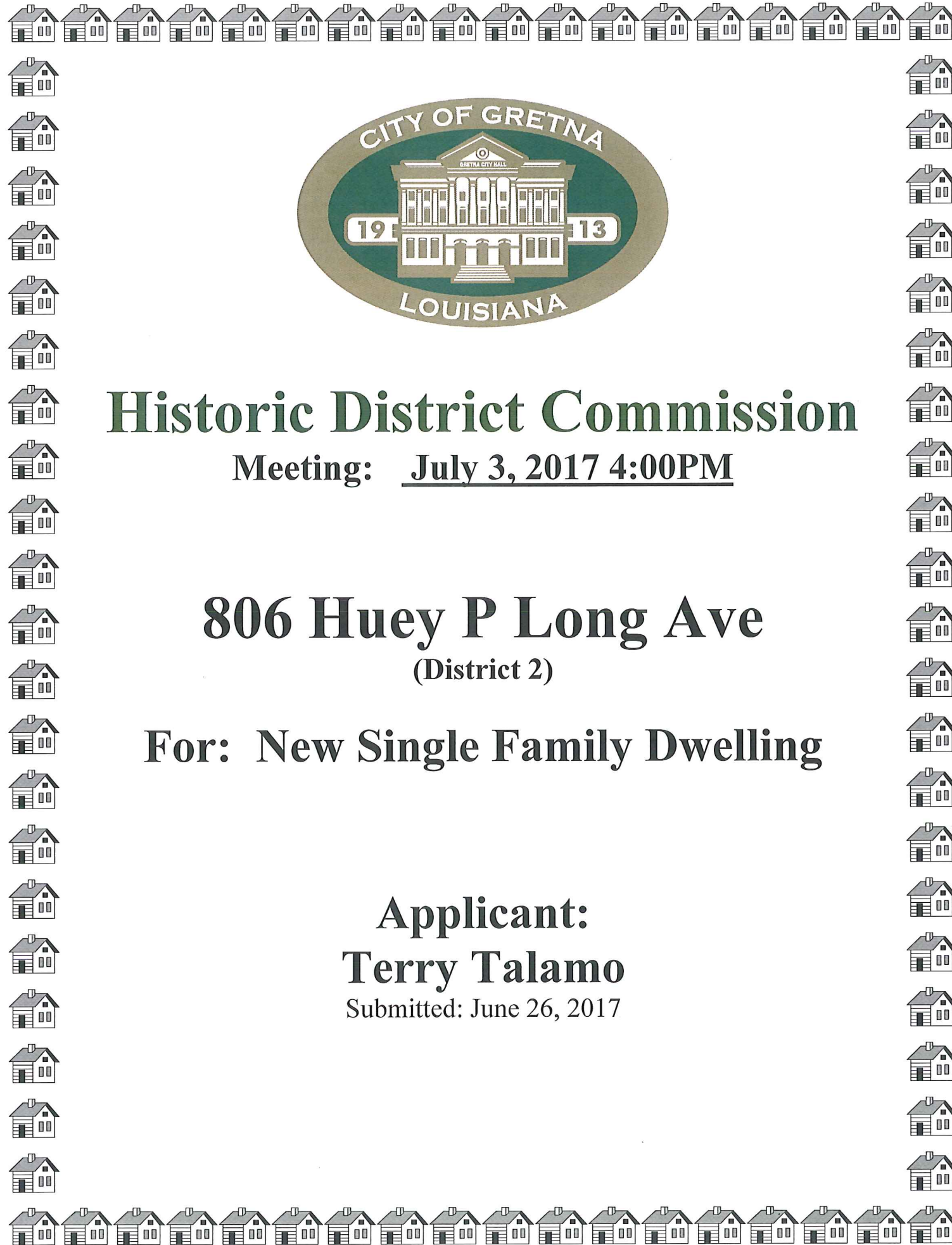
Left side

30 year shingles Asphalt

Hardy Plank

Right side





Historic District Commission

Meeting: July 3, 2017 4:00PM

806 Huey P Long Ave
(District 2)

For: New Single Family Dwelling

Applicant:
Terry Talamo

Submitted: June 26, 2017

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

*No permit was
told to
place*

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ ***Mechanickham Historic District*** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ ***McDonoghville Historic District*** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 806 Hung P. Long Ave

Renovation:

New Construction:

Demolition:

Age of Structure:

Building Type:

Building Style:

Creole Cottage

Greek Revival

Shotgun

Italianate

Bungalow

New Orleans Bracketed

Other

Eastlake

Colonial Revival

Other

Exterior materials proposed:

Roof Shingles

Soffit Wood

Fascia Wood

Siding Hardi Board

Masonry Brick

Porches Cement

Balconies None

Handrails Metal

Type of exterior lighting fixtures: Electric + Gas (front door)

Style of windows: Two over two

Type of exterior doors: Wood + Glass

Describe any ornamental woodwork: None

Elevations:

Front Space:_____ft. Side Space:_____ft.
Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Terry J. Talano Date: 6-26-17

Applicant's Name: TERRY T TALANO

Address: _____

Phone No: (504) 415-9002 Cell No: (504) 940-7868

For Office Use Only:

Date of Application: 6-26-17

Substantive Change: Yes ✓ No _____ Inventory Number: none

Contributing Element to Gretna National Register Historic District: Yes _____ No ✓

Historic District Commission meeting date: July 3rd

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory
Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk
Norma J. Cruz

Finance & Tax Departments
Raylyn C. Stevens

Human Resources
David Neeb

Public Utilities
Michael J. Baudoin

Public Works
Daniel Lasyone

Parks and Recreation
Amie H. Hebert

Information Technology
Michael Wesley

I, Terry Talamo the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on July 3 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Terry J. Talamo
Signature of Applicant

TERRY J. TALAMO
NAME OF APPLICANT (PLEASE PRINT)

806 Huey P. Long
Applicant's address

Actual address of the property for review

Date: 6-26-17

I HAVE RESEARCHED THIS CHAPTER OF THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

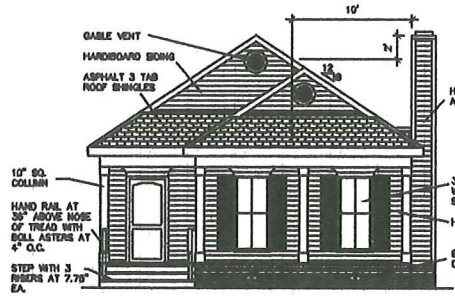
THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE AND 2001 WFCM. THIS STRUCTURE WAS DESIGNED TO WITHSTAND 130 MPH 3 SECOND WIND GUST.

HPB, INC. MAY NOT BE HELD RESPONSIBLE FOR LOCAL SITE CONDITIONS OR FOR THE CONSTRUCTION MEANS OR METHODS, WORKMANSHIP, QUALITY OR EQUIPMENT UTILIZED IN THE CONSTRUCTION OR DRAWINGS

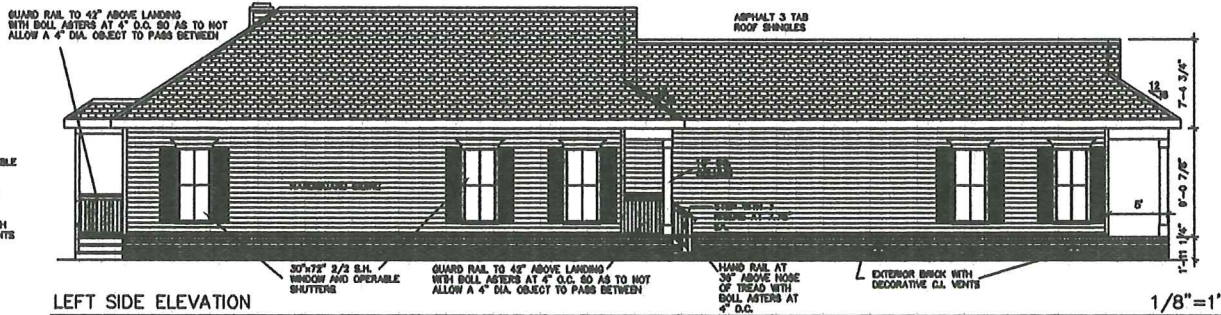
THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE MEET ALL LOCAL AND PARISH CODES. I WILL NOT PERIODICALLY VISIT THE CONSTRUCTION

SEAL

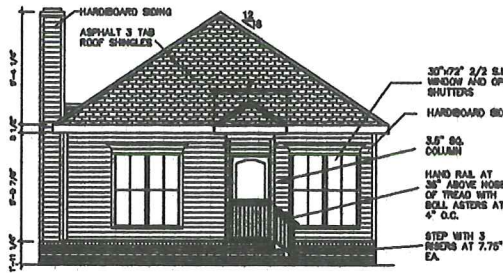
A SINGLE FAMILY RESIDENCE FOR
TERRY TALAMO
806 HUEY P. LONG AVE.
GRETN, LOUISIANA. 70056



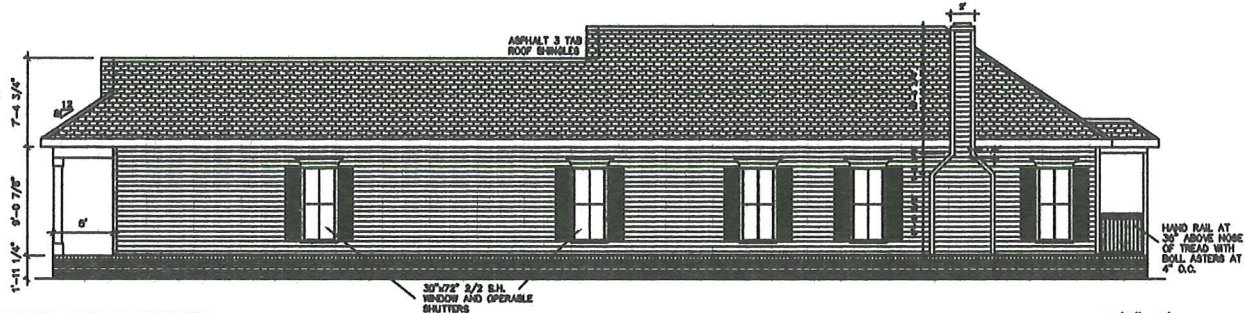
HUEY P. LONG ELEVATION 1/8"=1'



LEFT SIDE ELEVATION 1/8"=1'



WEYER STREET (SIDE) ELEVATION 1/8"=1'



RIGHT SIDE ELEVATION 1/8"=1'



A PROFESSIONAL CORPORATION
ELLIOT J. HANO
ARCHITECT ■ PLANNER
TERRYTOWN, LOUISIANA 70055

05/22/17	
DATE: 05/23/17	
JOB NO. 1023	
SHEET	NO.
2	2
OF	

THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE MEET ALL LOCAL AND PARISH CODES. I WILL NOT PERIODICALLY VISIT THE CONSTRUCTION



Professional Engineer Seal for the State of Louisiana, No. 1943, signed by J. H. H.

06/22/17

DATE: 06/23/17

JOB NO. 1623

SHEET NO. 1 OF 2



Historic District Commission

Meeting: July 3, 2017 4:00PM

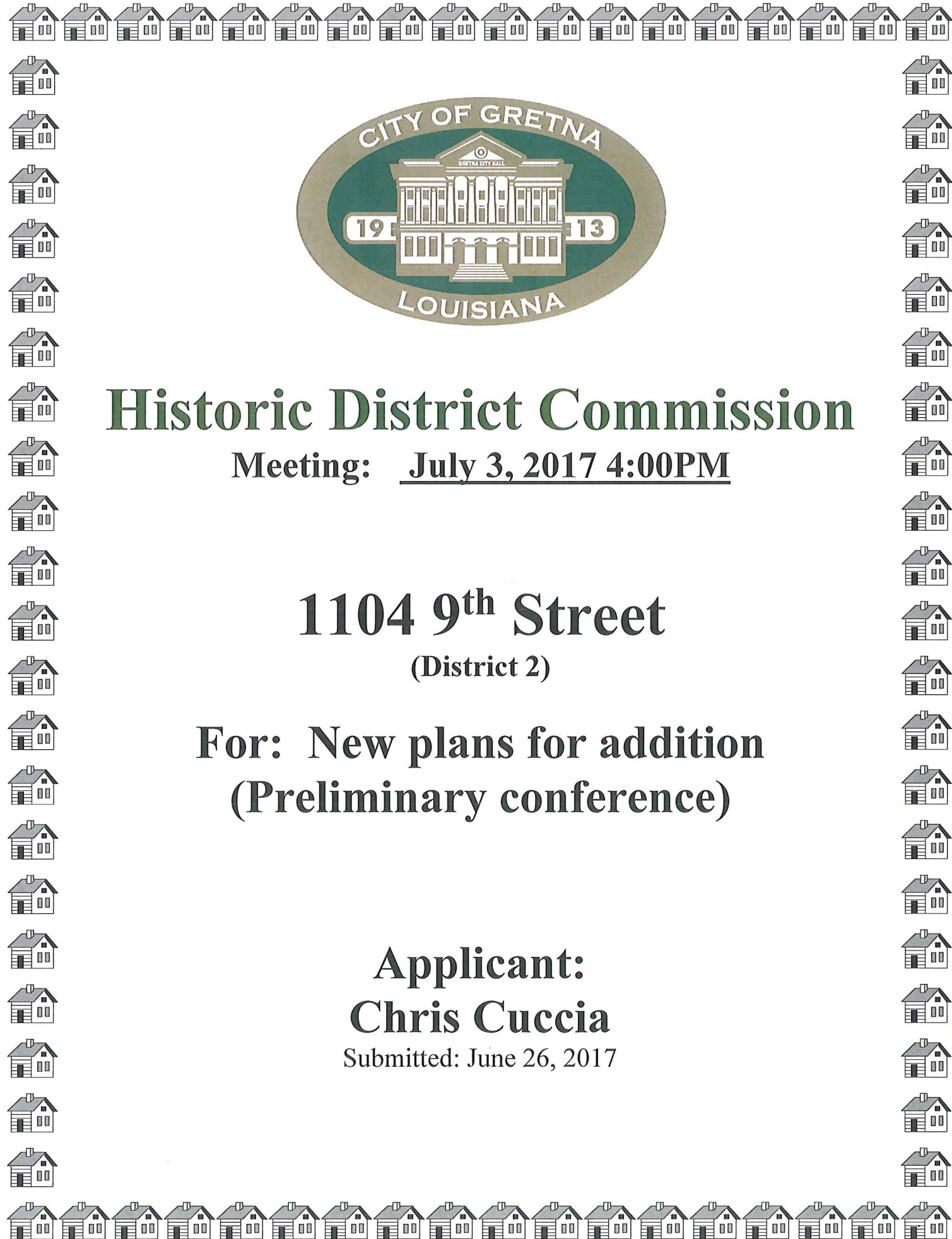
1104 9th Street

(District 2)

**For: New plans for addition
(Preliminary conference)**

**Applicant:
Chris Cuccia**

Submitted: June 26, 2017

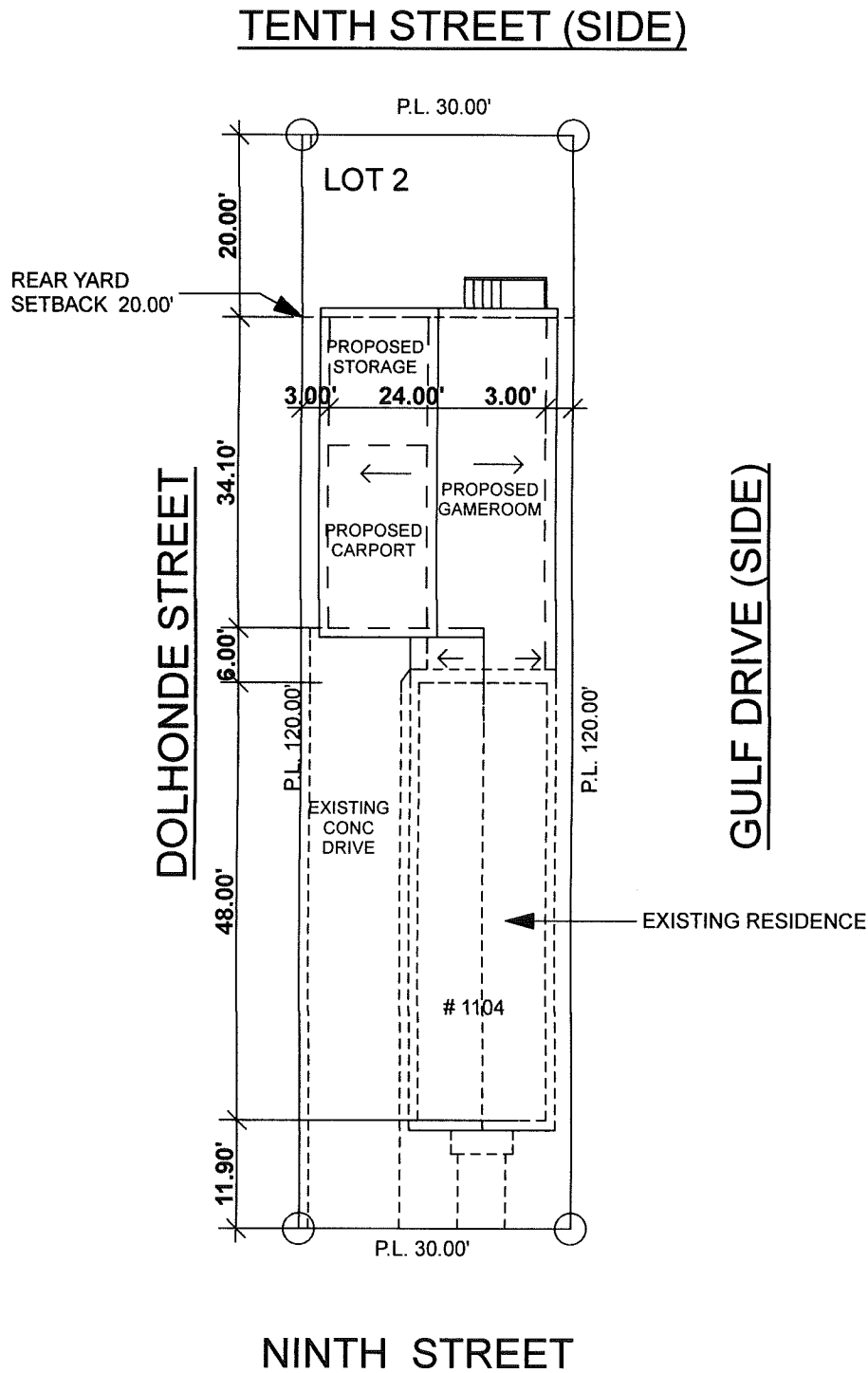


SITE NOTES:

- 1. THE OWNER/ CONTRACTOR MUST VERIFY ALL DIMENSIONS, SETBACKS, SERVITUDES AND RESTRICTIONS PRIOR TO CONSTRUCTION.
- 2. THIS PLAN IS NOT A SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED TO US BY THE OWNER/BUILDER. IT IS NOT IMPLIED THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. WE HAVE NOT MADE TITLE SEARCH OR PUBLIC SEARCH PRIOR TO PREPARING THIS PLAN.
- 3. THE OWNER/BUILDER IS REQUIRED TO DETERMINE THE LOCATION OF ALL UTILITIES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
- 4. INSTALL EXPANSION JOINTS AT 20'-0" O.C. AT DRIVEWAYS AND WALKS
- 5. INSTALL EXPANSION JOINTS WHERE DRIVEWAYS AND SIDEWALKS ABUT TO HOUSE FOUNDATION, STREET CURB OR EACH OTHER.
- 6. INSTALL EXPANSION JOINTS AT ALL INTERSECTIONS AND CORNERS.
- 7. CONTROL JOINTS MUST BE CUT AT 4'-0" O.C. AT WALKS.
- 8. ALL FLATWORK MUST BE A MINIMUM OF 3000 PSI CONCRETE AT LEAST 4" THICK.
- 9. THIS IS NOT A SURVEY: CONTRACTOR/ OWNER RESPONSIBLE FOR COORDINATION OF THIS SITE PLAN WITH ALL SETBACK AND EASEMENT REQUIREMENTS.

SITE PLAN: 1"=20'-0"

LOT 2, SQ. 27,
NEW MACHANICKHAM,
CITY OF GRETN,
JEFFERSON PARISH, LA.




NOTE:
THIS DOCUMENT IS BASED UPON THE
INFORMATION SHOWN ON SURVEY
PROVIDED BY OWNER.
NO PUBLIC RECORD OR TITLE RESEARCH
WAS PREFORMED FOR THIS PROJECT.

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Design Consultants, Inc.

NOTE:
J.E. Bruce Design Consultants, Inc./
Advance Design Group. Assumes no
Liability for errors or omissions.
All Information contained here in
shall be confirmed prior to
commencement of construction.

ENGINEERING BY:
David R. O'Reilly Engineering
Consultants LLC
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010 Lic# 34032

CUCCIA STORAGE / GAMEROOM 1104 NINTH STREET GRETN,LA. 70053	<u>INT./ DATE:</u>
LOT 2, SQ. 27, NEW MACHANICKHAM, CITY OF GRETN,JEFFERSON PARISH, LA.	A-1
J.E. BRUCE DESIGN CONSULTANTS, INC. PHONE/ FAX: (504) 361-0308	
600 2ND STREET GRETN, LOUISIANA 70053 desconss@bellsouth.net / desconsinc.com	

WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED				
FIRE RATING	SOUND RATING STC	GA FILE NO.	ASSEMBLY DESCRIPTION	SKETCH AND DESIGN DATA
1 HR	30 TO 34	WP 3605	GYP/UM VALLEBOARD, WOOD STUDS ONE LAYER 5/8" TYPE X PLAN OR REINFORCED GYP/UM VALLEBOARD WATER RESISTANT BACKER BOARD OR VENEER BASE APPLIED PARALLEL WITH OR AT RIGHT ANGLES TO EACH SIDE OF 2 X 4 WOOD STUDS 16" O.C. WITH G.O. COATED NAILS 1 7/8" LONG @ 9" O.C. SPACING, 1/4" HEADS, 7" O.C. JOINTS OF SQUARE EDGE REVEL EDGE OR REINFORCED VALLEBOARD MAY BE LEFT EXPOSED, SLAGGER JOINTS EACH SIDE. (LOAD BEARING) PLEASE NOTE: ONLY NON-BEARING WALLS OF 2-HR FIRE RESISTIVE CONSTRUCTION OR LESS MAY BE CONSTRUCTED OF WOOD AND THEN ONLY FIRE RETARDANT TREATED WOOD MAY BE USED	 THICKNESS 4 7/8" APPROX. WEIGHT 7PST FIRE TESTUL R 1319 4 6 6 17 52 DESIGN U305 R2717 39 1-20-66 R2001 52 3-10-66 U.L.C. DESIGN V301 SOUND TEST: OR 64-8, 2-4-64

ALL WALLS LESS THAN 5' FROM ADJACENT PROPERTY LINES MUST OF NOT LESS THAN 1 HOUR FIRE RESISTIVE CONSTRUCTION AS PER IRC 2012
SOFFITS ARE TO BE 1 HOUR RATED PER IRC 2012 TABLE R302.1(1)

ROOF VENTING
AS PER IRC 2012

THE STRUCTURE IS DESIGNED TO
WITHSTAND 130 MPH WINDS AS INDICATED.
ALL FRAMING MATERIAL BELOW MIN B.F.E.
SHALL BE WATERPROOF

DETAILS OF HANDRAILS AND GUARDRAILS IN COMPLIANCE
WITH R 311.7.7 AND R312 OF THE IRC 2012 ED.

DIMENSIONS OF GUARD OPENINGS TO VERIFY
THAT SUCH OPENINGS SHALL NOT ALLOW
PASSAGE OF A 4" SPHERE IN COMPLIANCE
WITH R 312.3 IRC 2012 ED.

THE MINIMUM STAIR TREAD DEPTH SHALL BE
10 INCHES AND THE MAXIMUM RISER HEIGHT SHALL BE
7 3/4 INCHES IN ACCORDANCE
WITH R 311.7.5 OF THE IRC 2012 ED.

STAIRWAY NOTES

- HANDRAILS WITH HEIGHTS NO LESS THAN 34" AND NO MORE THAN 38" WILL BE PROVIDED ON ONE SIDE OF ALL STAIRWAYS OF 3 OR MORE RISERS.
- MINIMUM TREAD WIDTH SHALL BE 36".
- ALL RISERS MUST BE EQUAL IN HEIGHT.
- MINIMUM LANDING SIZE SHALL BE 36" X 36".

HANDRAILS CAN BE ATTACHED TO
WALL(S) FOR STAIRWAYS THAT
ARE ENCLOSED ON BOTH SIDES

BRACKETS AS REQ'D.

3/4" MIN.
3/8" MAX.
1 1/4" NOSING
10" MIN.
2" X 4" PLATE

TYPICAL STAIR DETAIL

IN ACCORDANCE WITH R 311.5, IRC 2012
(NOT TO SCALE)

ELECTRICAL NOTES:

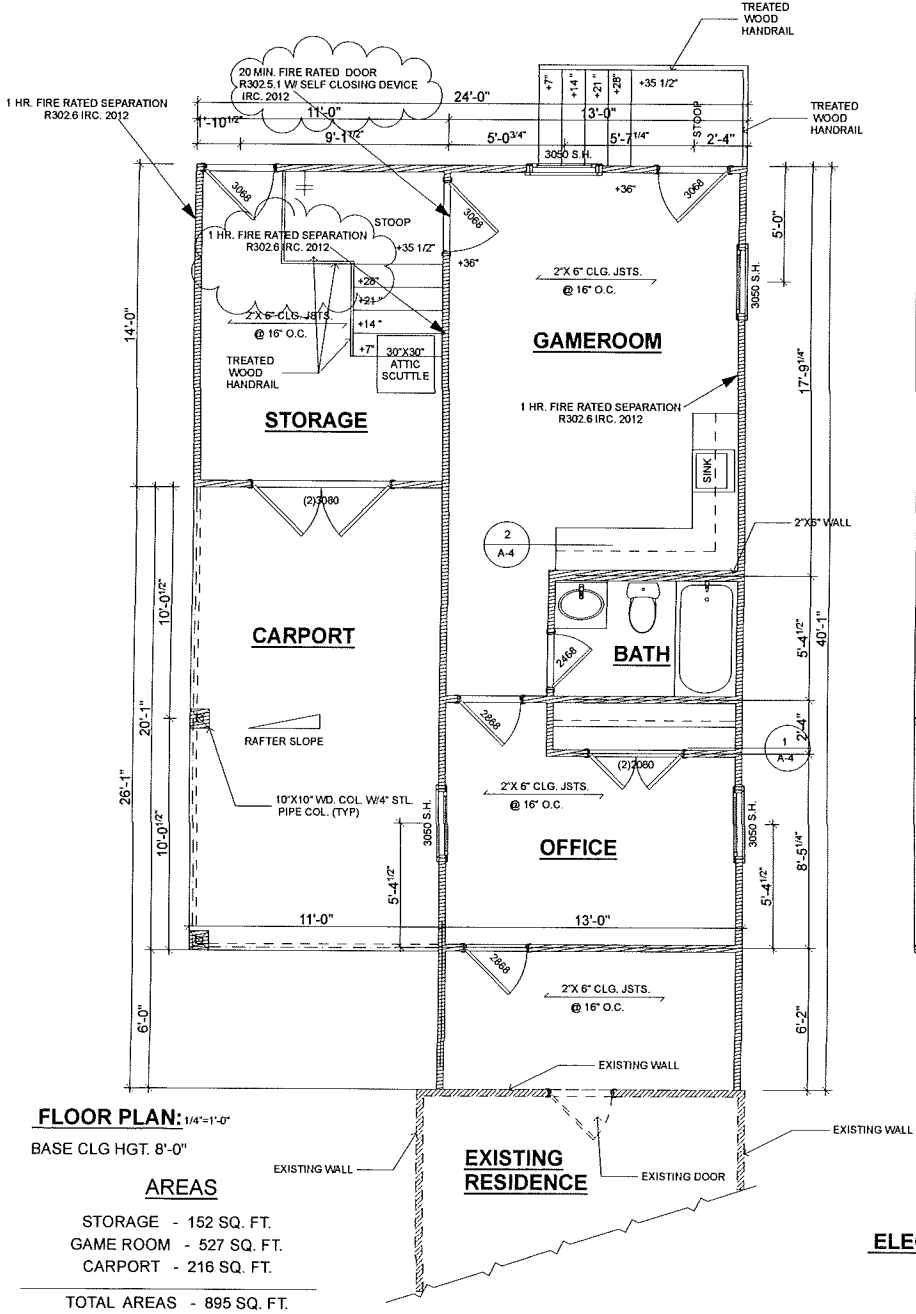
- ALL ELECTRICAL WORK MUST COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- U.L. APPROVED SMOKE DETECTORS MUST BE INSTALLED, AND MUST BE WIRED TO A 110 V CIRCUIT. SMOKE DETECTORS MUST ALSO HAVE BATTERY BACKUP. CEILING MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 6" FROM THE WALL. WALL MOUNTED DETECTORS WILL BE INSTALLED NOT LESS THAN 9" OR MORE THAN 12" FROM THE CEILING, IN ACCORDANCE WITH R 314, IRC 2012.
- BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENTLY TO EXCHANGE THE VOLUME OF AIR EQUAL TO FIVE CYCLES PER HOUR.
- A LIGHT ON A 110 VOLT CIRCUIT AND A CONVENIENCE OUTLET ON A 110 VOLT GFI CIRCUIT MUST BE INSTALLED IN THE ATTIC(S) NEAR MECHANICAL EQUIPMENT.
- THE HVAC CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL HVAC EQUIPMENT AND DUCTWORK. THE HVAC WORK MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.

ELECTRICAL LEGEND

- WALL MOUNT LIGHT
- CEILING FIXTURE LIGHT
- RECEPTACLE
- GFI
- SWITCH
- SWITCH-3-WAY
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- VENT LIGHT
- FLUOR. LIGHT

NOTES:

- ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF COLUMN, OR FACE OF BRICK.
- VERIFY ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION.
- ALL MATERIAL SHALL BE NEW AND U.L. LISTED.
- NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCES.
- CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR.
- CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES.
- CAULKING ON EXTERIOR SHALL BE THICKAL CAULK.
- PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE 3 COATS. COLOR SELECTION BY OWNER.
- PROVIDE CLEAN-UP ON A REGULAR BASIS. NO TRASH STORED IN BUILDING.
- ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
- USE 6" STUDS AT ALL PLUMBING WALLS.
- GRANITE TOPS W/ 4" SPLASH IN KITCHEN.
- SIM. MARBLE TOPS W/ 4" SPLASH IN BATHS.
- NO FURRED CEILINGS UNLESS OTHERWISE NOTED.
- A/C MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN.
- W.H. MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN. PLUMBER SHALL PROVIDE CONTINUOUS RECIRCULATION SYSTEM.
- ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.
- EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS.
- WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH 20". PER R310.1, IRC 2012.
- EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. ON ANY FIRST FLOOR WINDOW THAT IS MORE THAN 44" FROM THE FINISHED GROUND LEVEL (NOT FINISHED FLOOR) IN ACCORDANCE WITH R 303.1, IRC 2012.
- ALL SLEEPING AREAS SHALL BE PROTECTED WITH UL-APPROVED SMOKE DETECTORS. THESE SHALL BE WIRED TO THE 110 VOLT HOUSE CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268. THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CEILING, DEPENDING ON WHERE MOUNTED.
- BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN.) 5 CYCLES PER HOUR PER R 303.3, IRC 2012.
- PREFABRICATED FIREPLACES SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS.
- ALL FRAMING MATERIAL TO BE #2 DENSE SYP.
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. IRC 2012 R 312.1.
- ALL LUMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.
- FOLLOW LOCAL BUILDING CODE FOR TERMITE AND DECAY PROTECTION.
- DEPTH OF NOTCHES AT ENDS OF FLOOR JSTS NOT TO EXCEED 1/4" DEPTH.
- BRIDGING REQ'D BETWEEN FLOOR JOIST EXCEEDING 8FT. SPAN.
- DOUBLE FLOOR JOISTS REQ'D UNDER ALL WALLS.
- FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING.
- ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURES'S SPECIFICATIONS.
- ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).
- WHERE DISCREPANCY BETWEEN DRAWNGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE.
- REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSIONS, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS SHALL COMPLY W/ IRC 2012.
- THE MAXIMUM STAIR RISER HEIGHT SHALL BE 7 3/4" AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH IRC 2012.
- ALL WINDOWS SHALL COMPLY WITH ARTICLE R 301.2.1.2 OF THE IRC 2012 ED REGARDING WIND BORNE DEBRIS, WHICH STATES THAT WOOD STRUCTURAL PANELS (PLYWOOD) WITH A MIN. THICKNESS OF 7/16 INCH OF MAXIMUM SPAN OF 6 FEET SHALL BE PERMITTED FOR OPENING PROTECTION. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL PROVIDED IN ACCORDANCE WITH LABEL R301.2.1.2.
- EXTERIOR WALL LOCATIONS (WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY WITH R302, IRC 2012.
- UNDER STAIR PROTECTION (ENCLOSED ACCESS, SPACE UNDER STAIRS IN ACCORDANCE WITH R311.22, IRC 2012.
- OVERHANGS PROJECTING INTO REQUIRED SIDE YARD SHALL BE PROVIDED W/ 1-HR RATED SOFFIT CONSISTING OF 1 LAYER 5/8" X RATED GYP. BD. PER R 302 IRC 2012.
- PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2012 ED.
- A MIN. TOTAL NET OPENING OF NOT LESS THAN 1 SQ. IN. FOR EVERY 1 SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF OPENING SHALL BE NO HIGHER THAN 1 FT. ABV. GRADE. OPENINGS TO BE PROVIDED AT LEFT WALL OF GARAGE & AT BASE OF GARAGE DOOR (390 SQ. IN. REQ'D. FOR GARAGE 1)
- VAPOR BARRIER SHALL BE REQUIRED AT OPEN CRAWL SPACES IN ACCORDANCE WITH GUIDELINES SET FORTH IN LSU AG CENTER PUB 3187 INSULATING RAISED FLOORS IN HOT, HUMID CLIMATES.



CONTACT INFO

OWNER/ CONTRACTOR

CHRIS CUCCIA
(504) 453-3808
PLAN PREPARATION

J. E. BRUCE DESIGN CONSULTANTS
600 SECOND STREET
GRETNA, LA 70053
JOHN BRUCE
(504) 361-0308

ENGINEER OF RECORD

DAVID R. O'REILLY ENGINEERING
CONSULTANTS LLC
518 SOUTH RAMPART ST.
NEW ORLEANS, LA 70113
(504) 782-2010

Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering the work. The plans will also meet the 2012 IRC.

David R. O'Reilly

LIN. NO. 34032

ENGINEERING BY:
David R. O'Reilly Engineering
Consultants LLC
518 South Rampart Street
New Orleans, Louisiana 70113
(504) 782-2010
Lic# 34032

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All Information contained here in shall be confirmed prior to commencement of construction.

CUCCIA STORAGE / GAMEROOM
1104 NINTH STREET GRETNA, LA. 70053

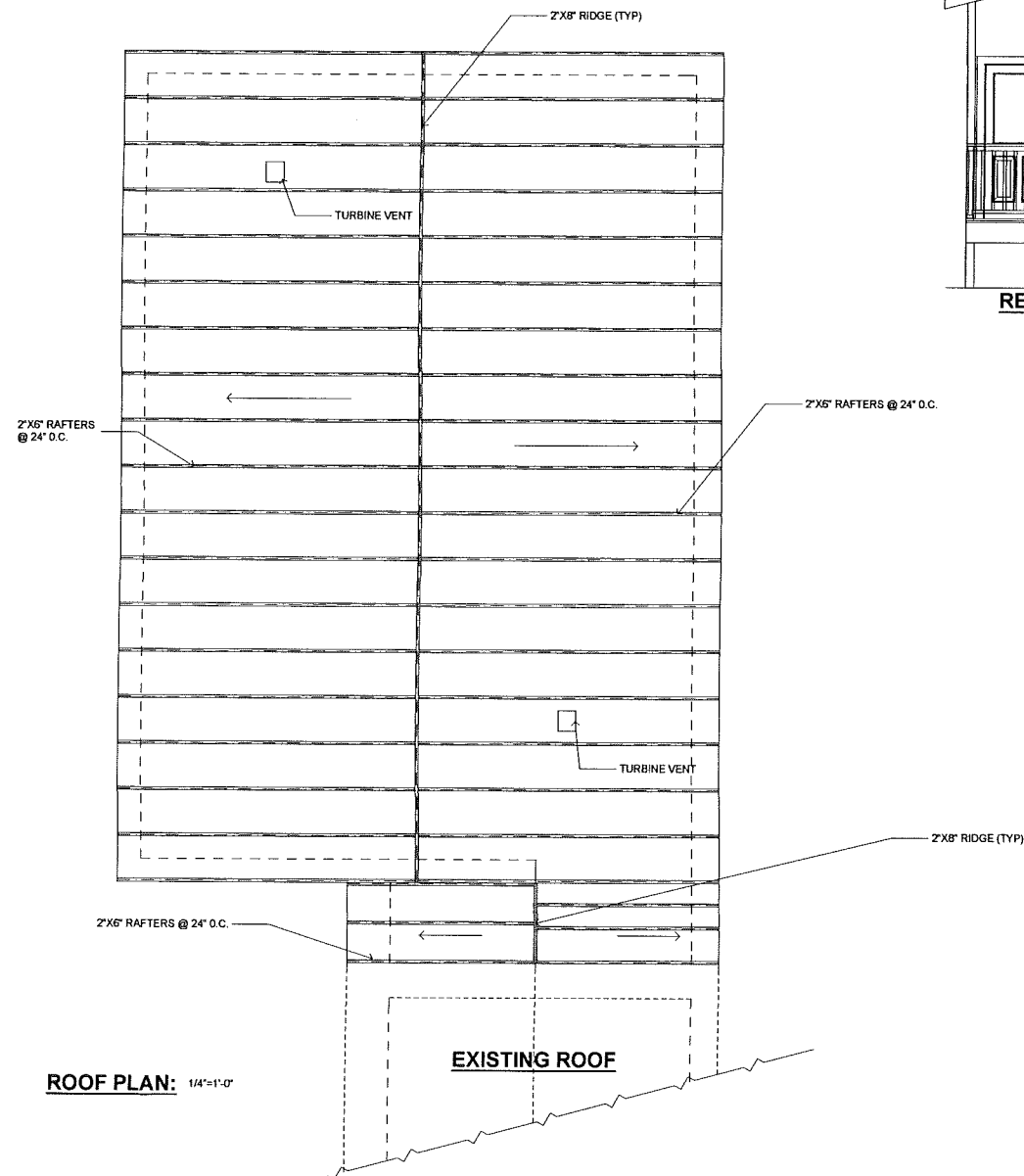
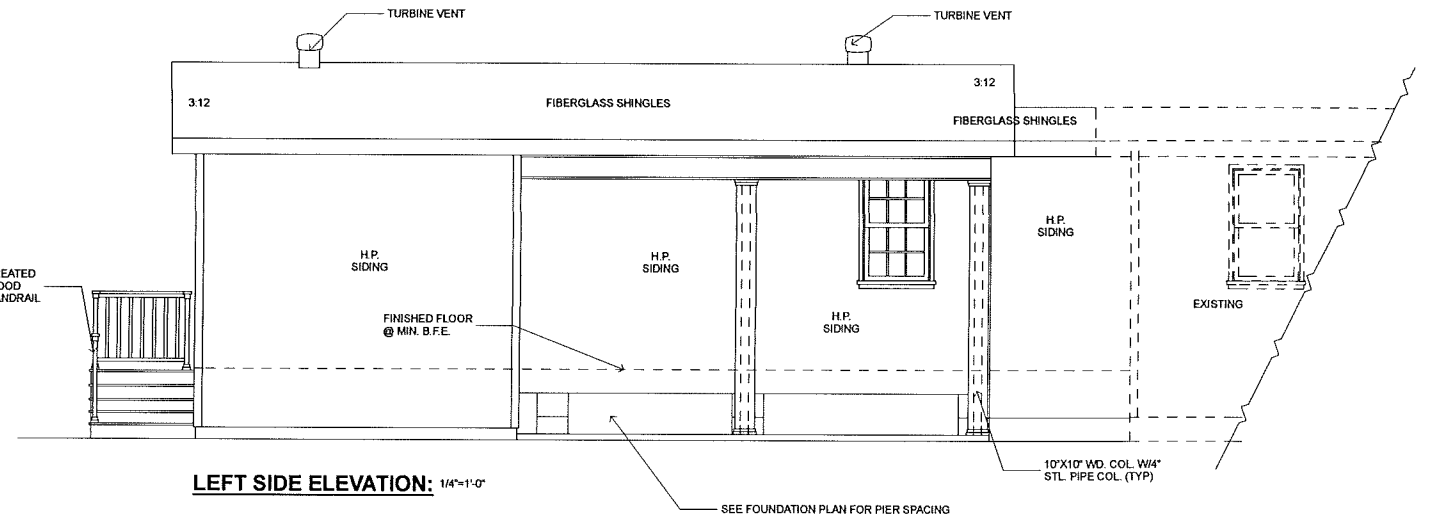
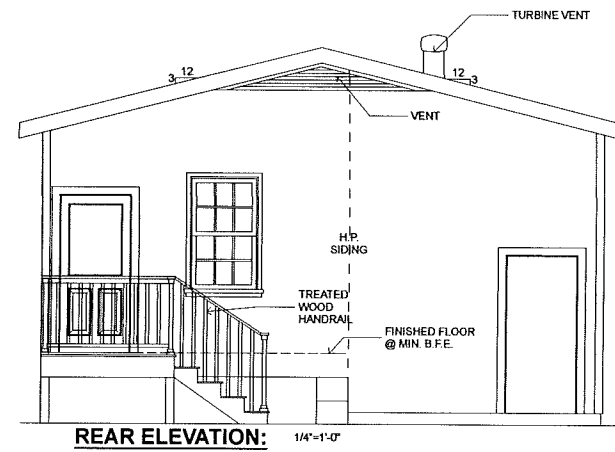
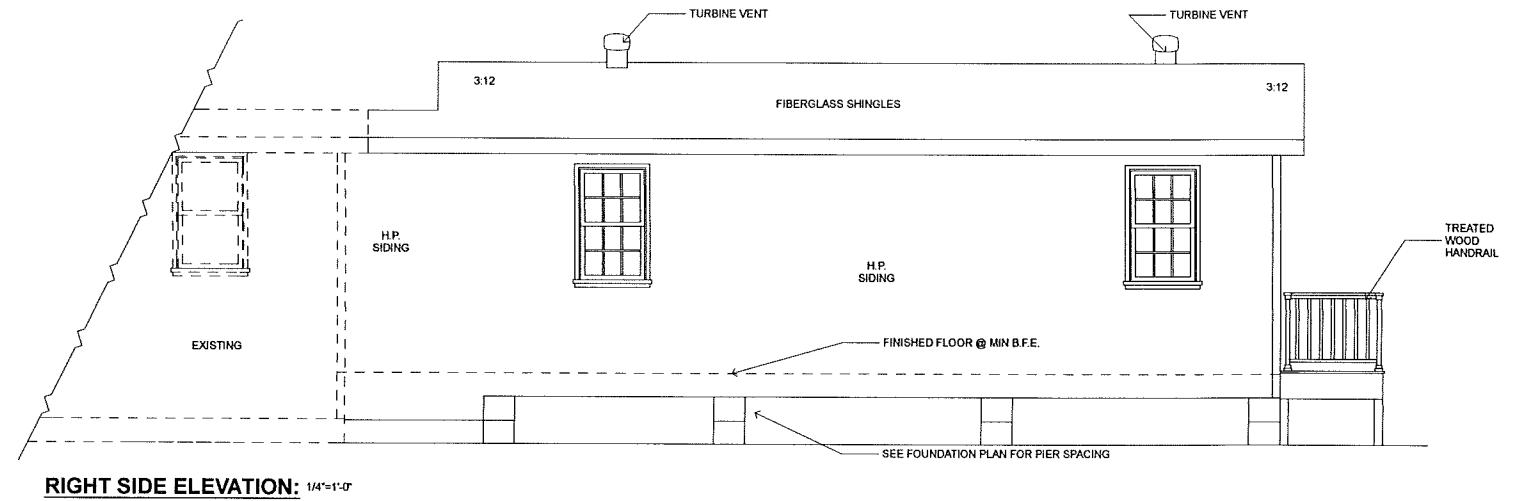
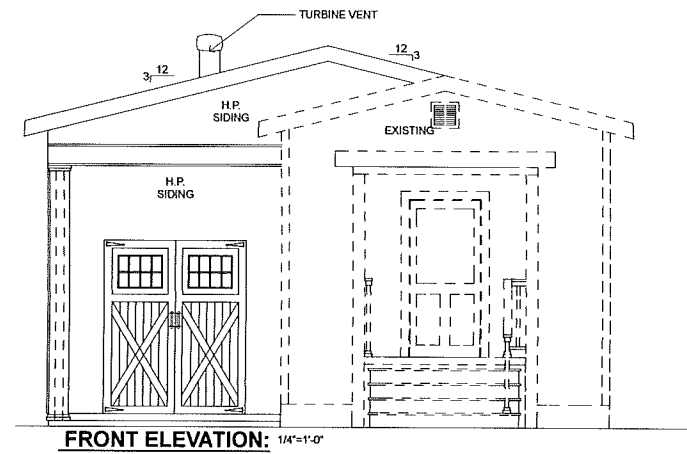
LOT 2, SQ. 27, NEW MACHANICKHAM,
CITY OF GRETNA, JEFFERSON PARISH, LA.

J.E. BRUCE DESIGN CONSULTANTS, INC.
PHONE/ FAX: (504) 361-0308

600 2ND STREET
GRETNA, LOUISIANA 70053
desconns@bellsouth.net / desconnsinc.com

ALL WALLS LESS THAN 5' FROM ADJACENT PROPERTY LINES
MUST OF NOT LESS THAN 1 HOUR FIRE RESISTIVE
CONSTRUCTION AS PER IRC 2012
SOFFITS ARE TO BE 1 HOUR RATED
PER IRC 2012 TABLE R302.1(1)

ROOF VENTING
AS PER IRC 2012



ROOF PLAN: 1/4"=1'-0"

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David R. O'Reilly

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desconss@bellsouth.net / desconsinc.com

INT / DATE:
KTC/3/09/17

A-3



CITY OF GRETNA
HISTORIC DISTRICT COMMISSION

DENIAL

1104 9th Street

PROPERTY ADDRESS

Chris Cuccia

NAME OF APPLICANT

Work Denied: Addition of previously approved
accessory structure connector to existing
residence. Double french doors installed
in place of approved garage door.

Signature of HDC Chairperson

6/5/17

Date

City Ordinance Sec. 52-11 Appeals

Any person or persons aggrieved by any decision, act or proceedings of the Historic District Commission shall have a right to an appeal before the City Council for reversal or modification thereof; such appeal shall be lodged with the City Clerk, and the Mayor, or presiding officer of the City Council, shall have the right to stay all further action until the City Council shall have had an opportunity to rule thereon. Any such appeal shall be taken within 5 days, exclusive of holidays and week-ends from date of the written decision, and the City Council may consider said appeal at its next general or special meeting, but, in any event, not more than forty-five days thereafter. The City Council may affirm a decision of the Historic District Commission by majority vote of all its members. The City Council shall have the right to reverse, change or modify any decision of the Historic District Commission by majority vote of all its members.

Please address all questions to:

Gretna Department of Inspections

740 2nd Street, Room 113, Gretna, LA, 70053

(504) 363-1563 - www.gretnala.com

COD-17-0003



Historic District Commission

Meeting: June 5, 2017 4:00PM

1104 9th Street

(District 2)

**For: Addition- Extensive change from
original HDC meeting April, 3 2017**

DENIAL 5-2

**Applicant:
Chris Cuccia**

Submitted: May 26, 2017

*ISSUE - ① GARAGE DOOR expressed
as a garage door
② AVOIDANCE NOT DISPERSED
APPROPRIATE.*





Historic District Commission

Meeting: July 3, 2017 4:00PM

510 Lafayette Street
(District 2)

For: Complete renovation

Applicant:
Joseph Hermo

Submitted: June 26, 2017



— no permit at this time

Historic District Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District Permits are *Required* for the following activities:

- Demolition of a historical building
- Moving of an historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic Building – a building at least fifty (50) years-old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important Criteria for New Construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

As part of its monthly meeting, the City Council shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be reviewed.

The Historic District Commission (HDC) shall review all applications requiring a Historic District Certificate of Appropriateness representing substantive changes and report its recommendations to the Gretna City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 510 Lafayette Street, Gretna, LA 70053

Renovation: ✓

New Construction:

Demolition: ✓

Age of Structure: Unknown

Building Type:

Creole Cottage

Shotgun

Bungalow

Other ✓

Building Style:

Greek Revival

Italianate

New Orleans Bracketed

Eastlake

Colonial Revival

Other ✓

Exterior materials proposed:

Roof Architectural Shingles Soffit Hardi-Board

Fascia Hardi-Board Siding Hardi-Board

Masonry Porches Hardi-Board

Balconies Wrought Iron Handrails Wrought Iron

Type of exterior lighting fixtures: Electric

Style of windows: White Vinyl

Type of exterior doors: Metal

Describe any ornamental woodwork: None

Elevations:

Front Space:_____ft. Side Space:_____ft.
Rear Space:_____ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: _____ Date: 5-22-17
Applicant's Name: Joseph Henno
Address: 1717 Winchester Place, Harvey, LA 70058
Phone No: 504-228-6666 Cell No: 504-228-6666

For Office Use Only:

Date of Application: 5/31/2017
Substantive Change: Yes ☒ No ☐ Inventory Number: none
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☐
Historic District Commission meeting date: June 5th 2017

Public Hearing to be held at the Council Regular Meeting; Gretna City Hall, 740 2nd Street, 2nd floor

Council Chamber. (Meetings held on the 2nd Wednesday of every month.)



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

David Neeb

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, JOE HERMO the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on July 3rd 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

[Signature]
Signature of Applicant

JOE HERMO
NAME OF APPLICANT (PLEASE PRINT)

1717 W WILSON ST APT 111
510 LAFAYETTE
Applicant's address

510 LAFAYETTE
Actual address of the property for review

Date: _____



Image capture: Aug 2016 © 2017 Google

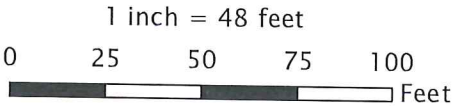
Gretna, Louisiana
Street View - Aug 2016

Geoportal Map



DISCLAIMER: Every reasonable effort has been made to assure the accuracy of the parcel data presented. The Assessor makes no warranties, express or implied, regarding the completeness, reliability or suitability of the site data and assumes no liability associated with the use or misuse of said data. The Assessor retains the right to make changes and update data on this site at anytime without notification. The parcel data on the base map is used to locate, identify and inventory parcels of land for assessment purposes only and is not to be used or interpreted as a legal survey or legal document. Additional data layers not originating in the Assessor's Offices are also presented for informational purposes only. Before proceeding in any legal matter, all data should be verified by contacting the appropriate parish or municipal office.

May 31, 2017



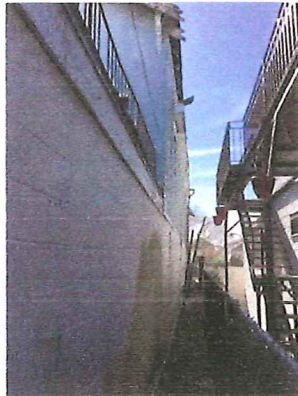


Proposal of Demo just the
Bottom front only!

Photo Gallery

510 LAFAYETTE ST

front



Right
Side



Left
Side



Photo Gallery

510 LAFAYETTE ST

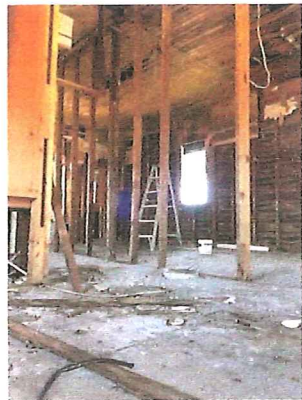
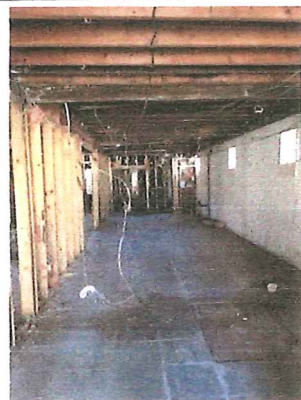


Figure 1.1 shows examples of standard architectural symbols. The symbols are organized into two columns. The left column includes: North Indicator (a circle with a vertical line and an arrow), Center Line (a circle with the letter 'C'), Window Designation (a hexagon with the letter 'F'), Door Designation (a hexagon with the number '1.01'), Reference Note (a circle with the number '9' and an arrow pointing to the text 'Refer to schedule on same sheet'), and Elevation Marker (a circle with the number '10' and an arrow). The right column includes: Drawing Designation (a dashed rectangle with the number '1.1' and the text 'Detail page reference'), Drawing Reference (a circle with the number '1' and the text 'Drawing reference, Scale: 1/4" = 1'-0"', and 'Sheet reference'), Section (a circle with the number '2' and the text 'Drawing reference' and 'Sheet reference'), Elevation (a circle with the letter 'P' and the number '10' and the text 'Drawing Reference', 'Sheet reference', and 'Elevation reference number'), and Wall Type (a circle with the number '1' and the text 'Wall reference number').

CONTRACTOR SHALL PROVIDE ANY NECESSARY ELEVATION AND INSTALLATION OF ATTACHMENTS AND FIXTURES.

CONTRACTOR SHALL COORDINATE AND CO-NECT COVER WORK PROVIDED OR DISTING AFFRANCES.

ALL NEW AFFRANCES, JOINT FIXTURES, MECHANICAL EQUIPMENT SHALL BE ENERGY STAR RATED.

ALL PLUMBING FIXTURES SHALL BE LOW FLOW WITH LOW FLOW RATES AS REQUIRED BY EPC 2008.
TUBS, 1.3 GPF MIN. SHOWER HEADS, 2.0 GPM MAX. KITCHEN SINKS, 2.0 GPM MAX. BATHROOM FAUCETS, 2.0 GPM MAX.

WINDOWS PROVIDE CORE COMPLAINT PLYWOOD COVERS, WOOD SHUTTERS OR PROVIDE IMPACT RESISTANT GLASS OR EQUAL. ALL IMPACT RESISTANT GLASS SHALL MEET MINIMUM DESIGN CRITERIA 201.202, AND BE CERTIFIED TO FPA AND ASTM F1555 LEVEL C-6000.

ALL PARTS, FRAMERS, ADHESIVES AND SEALANTS SHALL BE LOW VOC. CONTRACTOR SHALL PROVIDE MODS SHEETS FOR ALL PROJECTS. LISTS FOR INTERIOR PARTS AND JOINTS, PLATS AND NON-PLATS, 50 G/L, FLOOR, 100 G/L, OIL BASED PAINTS AND FINISHES ARE TO BE USED ON ALL EXTERIOR SURFACES.

KITCHEN COUNTERTOP TO BE SELECTED BY OWNER, G.C. TO COORDINATE INSTALLATION.

FLOOR FINISHES SHALL BE STORED INSIDE THE BUILDING FOR NO LESS THAN 10 DAYS TO ACCUMULATE TO THE INTERIOR CONDITIONS.

PROVIDE WIRE IN PLUMBING CLOSETS AND UTILITY ROOMS.

PROVIDE WINDOW SCREENS TO ALL WINDOWS, SELECTED BY OWNER, G.C. TO COORDINATE SHEET A1.3.

PROVIDE A RAINFALL BARRIER AT ALL NEW AND EXISTING ROOF FRAMING. PROVIDE A RAINFALL BARRIER AT THE UPSIDE OF THE EXISTING ROOF JOISTS.

REGULATION 8.6. RAINFALL INSTALLERS SHALL PROVIDE A CERTIFICATION LISTING IN THE "MANUFACTURER AND RAINFALL" OF THE RAINFALL INSTALLER, TO BE EXEMPTED FROM THE BUILDING THRESHOLD. THE CERTIFICATION FOR RAINFALL SHALL INCLUDE:

- INSTALLED THICKNESS
- RAINFALL FOR BLOWN CELLULOSE THE CERTIFICATION SHALL INCLUDE:
 - INITIAL INSTALLED THICKNESS
 - SETTLED IN PLACE
 - SETTLED IN PLACE
 - INSTALLED DENSITY
 - COVERAGE AREA
 - NUMBER OF BAYS INSTALLED

THE REGULATION INSTALLER SHALL SIGN DATE, AND PROVIDE THE CERTIFICATION IN A CONSPICUOUS LOCATION ON THE JOB SITE. THE CERTIFICATION SHALL BE IN THE FORM OF A LETTER, THE BUILDING OWNER WILL NEED TO WORK ON SCHEDULE. IF INSPECTION REPORTS ARE NOT IN PLACE, THE SUBCONTRACTOR WILL NEED TO WORK ON SCHEDULE AND VALUES FOR EPC 2008.

- WALL CAVITY INSULATION TO BE R-19, R-20, BATT, BATT, CELLULOSE OR FIRM
- CEILING INSULATION TO BE R-30, BATT, BATT, CELLULOSE OR FIRM
- BATTLES TO BE INSTALLED AT ALL BAYS

THICKNESS OF INSULATION SHALL BE WRITTEN IN INCHES ON MARKERS THAT ARE INSTALLED AT LEAST ONE JOIST AND TWO TO FOUR THROUGHOUT THE ATTIC SPACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOISTS AND MARKED WITH THE NOMINAL INSTALLED THICKNESS WITH NUMBERS APPROXIMATE OF 1 INCH HIGH.

HVAC

- 10 SEER, TWO STAGE VARIABLE SPEED HEAT PUMP WITH ELECTRIC HEAT, 40% IN WATER LOCATED IN ATTIC
- PROVIDE VARIABLE TEMPERATURE CONTROLS
- HEAT PUMP WITH A HEATING SENSITIVE COIL OR COILIZATION OF 6.5
- ALL FLEXIBLE DUCT SHALL BE INSTALLED WITH PROPER SIZES AND MASTIC TO PROVIDE 15 CM AT 25 PASCALS IN DUCT LEAKAGE TESTING.
- DUCTS INSTALLED IN FLOOR
- ALL FLEXIBLE DUCT CONNECTIONS SHALL HAVE A MESH, MASTIC AND CLAMPS TO ESTABLISH AN AIRTIGHT CONNECTION

INSULATION SHALL BE SUPPORTED BY MINIMUM STRUCTURES RECOMMENDED INTERVALS, BUT NO GREATER DISTANCE THAN 3 FEET. MAXIMUM PERMISSIBLE SPACING, 100% PER FOOT OF SPACE BETWEEN SUPPORTS, THE SUPPORTS SHALL NOT COMPLY THE FLEXIBLE DUCT.

INSULATION SHALL BE INSTALLED TO PROVIDE A MINIMUM OF 10 INCHES OF INSULATION, BUT NOT BE LESS THAN ONE DUCT CHARACTER

DUCTS TO BE INSTALLED TO AT LEAST 10 INCHES

INSULATION SHALL BE A WHOLE HOUSE VENTILATION SYSTEM THAT PROVIDES FRESH AIR PER ASHRAE 62.2-2010, EQUIVALENT TO 15 CFM PER 100 SQ FT OF FLOOR AREA, SYSTEM OR APPROVED EQUAL, ALL FILTERS TO BE MERV 8 OR GREATER.

1. HEATING AND COOLING EQUIPMENT SHALL BE USED IN ACCORDANCE WITH LOCAL MATH, PARTS AND JOBS, AND MECHANICAL EQUIPMENT TO PROVIDE ADEQUATE DUCTWORK.

INTERIOR LIGHTING MUST BE ENERGY STAR RATED, 100 WATT PACKAGES, EXTERIOR LIGHTING SHALL HAVE DAYLIGHT SENSORS OR DIMMERS, ALL LIGHTING THAT ILLUMINATES THE EXTERIOR LIGHTING SHALL BE 100 WATT UNITS.

PROVIDE TANKLESS WATER HEATERS, MAXIMUM A MAXIMUM HOT WATER LINE RUN OF 30 FEET OR CONSULT WITH ARCHITECT, LOCATE AT INTERIOR OR PROVIDE LOCATION FOR REVIEW PRIOR TO INSTALLATION.

G.C. TO VERIFY GAS SERVICE TO BUILDING IS PROVIDED, FLAME ADJUST ALL BURNERS AFFRANCES.

PROVIDE A COATING OF SEALANT REPAIR AT ALL TOP AND BOTTOM PLATES AND DOOR, WINDOW AND EQUIPMENT PENETRATIONS IN EXTERIOR ENVELOPE.

DEDICATED EXHAUST FANS THAT EXHAUST TO THE EXTERIOR MUST BE PROVIDED TO VENT FANS IN KITCHEN, BATHROOMS AND LAUNDRIES. BATHROOM AND KITCHEN EXHAUST FANS SHALL BE COMPLIANT WITH ASHRAE 62.2-2010, EQUIVALENT TO 15 CFM PER 100 SQ FT OF FLOOR AREA, SYSTEM OR APPROVED EQUAL, ALL FILTERS TO BE MERV 8 OR GREATER.

FORMULATED THE FREE CONCRETE WOOD, ALL CHAIRS BOND, NAIL AND CONCRETE BORDERS SHALL BE COMPLY WITH CALIFORNIA 310.010.

ALL THE SHALL BE INSTALLED OVER CONCRETE BACKER BOARD, ALL THE INVENT AREAS SHALL BE SEALED.

ALL FLASHING AND SHEET METAL WORK SHALL COMPLY WITH MICHIGAN AND NATIONAL STANDARDS.

ROOFING SHALL BE A SPHINX SLAT, 1/4" ARCHITECTURAL SHINGLE OF LIGHT COLOR WITH A 40 YEAR WARRANTY, ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 100 WATT WOOD REQUIREMENTS IN EPC 2008, AND ASTM D 7158 (100 WATT) (RATED) SHALL BE USED FOR ROOFING AND FLASHING AND SHEET METAL WORK.

CONTRACTOR AND SUB CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION SITE AND VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

2. CONTRACTOR SHALL VERIFY VUL CANALS AND DIMENSIONS AT JOIN SITE PRIOR TO COMMENCING CONSTRUCTION AND SHALL CORRECT ANY OF THE ARCHITECT'S OR THE OWNER'S INADEQUATE REVIEW CALLS ONLY ALL CONDITIONS AND SYSTEMS TO BE MAINTAINED INSTEAD WITH ALL ASPECTS OF THE FLOORED WORK FOR A COMPLETE INSTALLATION. ALL LOCATION CHANGES NECESSARY TO ACHIEVE A COMPLETE INSTALLATION SHALL BE CALLED OUT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO SUBMITTING FINAL DRAWING TO MAKE NECESSARY ADJUSTMENTS SO AS TO AVOID ANY EXTRA COSTS DURING CONSTRUCTION.

3. CONTRACTOR SHALL AT ALL TIMES KEEP THEMSELVES FREE FROM ACCUMULATION OF DEMOLITION OR EXCESSIVE WASTE AND SHALL REMOVE MATERIALS FROM THE WORK AREA AS THE WORK PROGRESSES. CONTRACTOR SHALL ENSURE ALL MATERIALS AND WASTE COMPLY WITH APPLICABLE GOVERNING CODES.

4. ALL MATERIALS AND WORK SHALL CONFORM TO ALL COVERING CODES, REGULATIONS AND APPLICABLE STANDARDS AND SHALL BE APPROVED BY THE ARCHITECT.

5. CONTRACTOR SHALL INSTALL AND PROVIDE ALL SAFETY BARRIERS DURING CONSTRUCTION AND ACCESS TO PROTECT THE PUBLIC FROM INJURY AND ACCESS TO THE BUILDING OR ADJACENT FLOORS.

6. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION OF AREA IN QUESTION.

7. PERMITTER UPDATES ARE TO BE FROM FRESH FACE TO FRESH FACE UNLESS NOTED OTHERWISE.

8. ALL RATED PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERLIE OF STRUCTURE. INTEGRITY OF EXISTING RATED PARTITIONS SHALL REMAIN UNCHANGED. RATED PARTITIONS SHALL BE VERIFIED AT CORNERS AND AT INTERSECTIONS OF OTHER PARTITION TYPES.

9. UNLESS OTHERWISE NOTED OR DETAILED ALL FIVE CHASE WALLS WITH A THICKNESS GREATER THAN 4 INCHES ARE TO BE CONSTRUCTED OF 6" STUDS WITH AN 8" TYPE X DRYWALL ON EACH SIDE. PROVIDE VERTICAL CHASE WALL CRUISS CROSS AS REQUIRED TO MATTEN THE CHASE WALLS. PROVIDE VERTICAL CHASE WALLS WITH A THICKNESS GREATER THAN 4 INCHES. VERTICAL HYDROCALCULATED WITHIN THE STUDS OF RATED PARTITIONS SHALL BE COMPLETELY ENCLOSED WITH FULFILL THE WEBS OF STUDS ON EACH SIDE OF STUD.

10. RECESSES FOR ELECTRICAL PANELS, FIRE EXTINGUISHING CABINETS, AND VENTILATION DOWNS, ETC., LOCATED IN RATED PARTITIONS SHALL BE PROTECTED WITH DRYWALL TO CREATE A SEED ENCLOSE AS REQUIRED TO RETAIN RATED WALL.

11. JOINTS OCCURRING IN RATED DRYWALL PARTITIONS SHALL BE STAGGERED BOTH HORIZONTALLY AND VERTICALLY.

12. ALL WALLS AND FLOOR OPENINGS SHALL BE PRESTRESSED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL MECHANICALLY FASTENED IN PLACE TO PROVIDE AN APPROVED AND APPROVED FIRE STOP. PROVIDE SLEEPS OR STAYS TO PROVIDE A PROPER FIRE STOP. PROVIDE SLEEPS OR STAYS TO PROVIDE AN APPROVED NON-COMBUSTIBLE MATERIAL TO PROVIDE AN APPROVED SEAL TO PREVENT THE PASSAGE OF FIRE OR SMOKE.

13. PROVIDE 6 INCH STUDS BEHIND SINKS AND WHIPS. NOTED OR OTHERWISE REQUIRED TO CONCEAL PIPING AND OTHER ITEMS OCCURRING WITH PARTITIONS.

14. NAILERS, BLOCKING AND OTHER SUFFICIENT CARRYING ITEMS LOCATED AS "WOOD", PLY WOOD, OR TREATED WOOD SHALL BE TREATED FOR WATER RESISTANCE.

15. THE CONTRACTOR AND SUB CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE FOLLOWING AND SHALL COMPLY WITH THE SPECIFICATIONS AND STANDARDS WHICH MAY BE USED IN THIS SET OF DRAWINGS.

T.O.T. - FACE OF TRUSS
D.O.S.H. - FACE OF SKEATING
F.O.S. - FACE OF SLUD
F.O.C. - FACE OF EXISTING
F.O.C. - FACE OF CONCRETE (MASONRY)
A.F.F. - ABOVE FINISHED FLOOR
R.F.F. - ROOF FINISHED FLOOR
M.O. - MASONRY OPENING
U.O. - UNLESS OTHERWISE NOTED OR OTHERWISE
T.O.S. - TOP OF STEP
T.O.F. - TOP OF FINISH FLOOR

16. CONTRACTOR TO PROVIDE FRESH MATERIALS SUBMITALS TO ARCHITECT FOR OWNER REVIEW.

17. ANY REQUEST FOR CONSIDERATION BY THE OWNER OF SUBSTITUTIONS OF SPECIFIED MATERIALS OR PRODUCTS CALLED FOR OR SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS, SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO ANY WRITTEN APPROVAL OF THE OWNER. SHALL BE RECEIVED BY THE OWNER PRIOR TO ANY WRITTEN APPROVAL OF THE OWNER. PRIOR TO THE SPECIFIED DATE, ANY SUBSTITUTION OF MATERIALS CALLED FOR OR SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE DISCLOSED.

18. DO NOT SUBSTITUTE MATERIALS, PRODUCTS OR EQUIPMENT UNLESS SUCH SUBSTITUTION HAVE BEEN APPROVED BY THE ARCHITECT AND APPROVED FOR THIS WORK BY THE OWNER.

19. WHEN THE PHASE, OR PHASE AS APPROVED BY THE ARCHITECT, OCCURS IN THE CONTRACT DOCUMENTS, DO NOT ASSUME THAT MATERIALS, PRODUCTS OR EQUIPMENT WILL BE PROVIDED AS CALLED UNLESS THE ITEM HAS BEEN SPECIFICALLY APPROVED IN WRITING FOR THIS WORK BY THE ARCHITECT. THE DECISION OF THE OWNER SHALL BE FINAL IN RELATION TO SUBSTITUTIONS.

20. ANY SUBSTITUTIONS FOR SPECIFIED MATERIALS CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, SHALL BE SUBMITTED TO THE OWNER PRIOR TO ANY WRITTEN APPROVAL. 10 DAYS PRIOR TO THE SPECIFIED DATE.

21. DIMENSIONS, JUNCTIONS, DETAILS AND FLOOR PLAN DIMENSIONS SHOWN ON THESE DOCUMENTS ARE BASED UPON ASSUMED MANUFACTURER'S STANDARD DETAILS. IF A MANUFACTURER IS SUBSTITUTED AND/OR APPROVED AS BELOW BY THE ARCHITECT AS SPECIFIED IN THE "ELECTRICAL" SECTION, THE MANUFACTURER'S DIMENSIONS SHALL BE USED. IF THE ARCHITECT IS REQUIRED TO RECONCILE THE DIMENSIONS AND OTHER REQUIREMENTS OF THE SUBSTITUTED MANUFACTURER WITH THE DIMENSIONS AND OTHER REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE ARCHITECT TO REVEAL AND RECONCILE THE CONTRACT DOCUMENTS AS MAY BE REQUIRED.

22. CONTRACTOR TO COORDINATE ALL FINISHES WITH OWNER AND ARCHITECT OF RECORD.

23. CONTRACTOR TO PROVIDE BLOCKING FOR ALL CABINETS AND CASEWORK.

24. PROVIDE BLOCKING FOR ALL SLEEPS REQUIRED. SLEEPS REQUIRED OR HIGHER LEVELS SUCH AS CEILING, CHASE WALLS, CLOSET RODS AND GUMS, DRYWALL RODS, SLEEPS, CHASE WALLS, CLOSET RODS, ETC.

25. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF MECHANICAL, ELECTRICAL, PLUMBING, ETC WORK SO THAT THE WORK IN THE FIELD WILL ACCEDE THE DESIGN CRITERION SET OUT IN THE ARCHITECTURAL PACKAGE.

26. CONSTRUCTION OF ALL VERTICAL OPENINGS (SHAFTS) SHALL BE IN ACCORDANCE WITH ALL CODE REQUIREMENTS.

27. ALL SUB CONTRACTORS TO SEAL ALL PENETRATIONS, SPANS, OPENINGS THROUGHOUT WALLS AND FLOORS. SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF MECHANICAL, ELECTRICAL, PLUMBING, ETC WORK SO THAT THE WORK IN THE FIELD WILL ACCEDE THE DESIGN CRITERION SET OUT IN THE ARCHITECTURAL PACKAGE.

28. SEAL ALL PENETRATIONS THROUGH ALL PARTITIONS.

29. ALL WALL AND FLOOR ASSEMBLIES MUST MEET THE REQUIREMENTS OF THE U.S. ASSOCIATION SYSTEM REFERENCED.

30. CALLS ARCHITECT FOR APPROVAL OF PARTITION LAYOUT ON EACH FLOOR BEFORE CONSTRUCTION PROCEEDS. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARISE.

Gretna Historic Districts

Historic Districts

- Mechanistown Historic District
- McDougallville Historic District
- Gretna Historic District
- National Historic District

0 0.25 0.6 Miles

W E N S

Created for Planning purposes only, April 2012

510 Lafayette Street; Gretna, LA

Renovation
Renovation of an existing single-family home.

Mechanical
HVAC system to be installed per plans per applicable codes.

Electrical
New electrical system to be installed per plans per applicable codes.

Plumbing
New plumbing supply and drain lines to be installed per applicable codes. Fixtures to be installed per plans.

I WILL ~~WILL NOT~~ OBSERVE THE WORK.

TED

AD.0 GENERAL INFORMATION

A0.1	SURVEY & FLOOD ELEVATION CERTIFICATE
A0.2	SPECIFICATIONS
A0.3	SPECIFICATIONS
D1.1	DEMOLITION PLAN
A1.1	INTERIOR DETAILS
A1.2	EXTERIOR DETAILS
A2.0	SITE PLAN & ROOF PLAN
A2.1	1ST FLOOR PLAN
A2.2	2ND FLOOR PLAN
A3.1	REFLECTED CEILING PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A5.2	STRUCTURAL DETAILS
A5.3	STRUCTURAL DETAILS



RENOVATION TO AN EXISTING STRUCTURE AT
510 LAFAYETTE STREET

GRETNA, LOUISIANA

[illegible]

JUNE 7, 2017

A0.0

U.S. DEPARTMENT OF HOMELAND SECURITY
FEDERAL EMERGENCY MANAGEMENT AGENCY
Form 0-12 (Rev. 10-10-09)

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

FOR INSURANCE COMPANY USE
Policy Number: _____
Company M/C Number: _____

FOR INSURANCE COMPANY USE
Policy Number: _____
Company M/C Number: _____

SECTION A - PROPERTY INFORMATION

A1. Building Owner Name: DEEP SOUTH HOMEBUYERS
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) and P.O. Box or Mailing Address: 510 LAFAYETTE STREET
City: GRETNA State: LA ZIP Code: 70056
A3. Property Description (lot and block number, Tax Parcel Number, Legal Description, etc.): LOT 4, SQUARE 10, CITY OF GRETNA
A4. Building Use (e.g., Residential, Non-Residential, Address, Assembly, etc.): (COMMERCE/INDUSTRIAL)
A5. Estimated completion date: 06/20/2019
A6. Attach at least 2 photographs of the building from the Community Flood Map (see Section B, Item B1) showing the building's location relative to the flood zone.
A7. Building Diagram Number: 1
A8. For a building with a basement or crawlspace:
a) Square footage of crawlspace or basement: _____
b) Number of permanent flood openings in the crawlspace or basement: _____
c) Total net area of flood openings in ft²: _____
d) Elevation of flood openings: _____
A9. For a building with an attached garage:
a) Square footage of attached garage: _____
b) Number of permanent flood openings in the attached garage: _____
c) Total net area of flood openings in ft²: _____
d) Elevation of flood openings: _____

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. FIRM Community Name & Community Number: CITY OF GRETNA 220158
B2. County Name: ORLEANS
B3. State: LA
B4. Map Panel Number: 220158 (15)
B5. FIRM Date: 3/22/99
B6. FIRM Panel: 3/22/99
B7. Flood Zone: A
B8. Flood Elevation (Zone A, unless flood depth is noted): NONE
B9. Indicate the source of the Base Flood Elevation (BFE) data or other flood depth entered in item B8:
a) FIRM ☐ FIRM ☐ Other Source: _____
B10. Indicate the elevation used for the BFE in item B8:
a) NAVD 1988 ☐ NGVD 1929 ☐ Other Source: _____
B11. Is the building located in a Coastal Barrier Resources System (CBRS) area or a designated Flood Hazard Area (FHA)?
a) CBRS ☐ No ☐ Yes ☐ No ☐ Yes ☐ No

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:
a) "As Built" conditions and require no further action by the building owner. ☐ Construction Drawing ☐ Building Under Construction ☐ Avoided Construction
b) Elevations - Zones A1-A30, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100, A101, A102, A103, A104, A105, A106, A107, A108, A109, A110, A111, A112, A113, A114, A115, A116, A117, A118, A119, A120, A121, A122, A123, A124, A125, A126, A127, A128, A129, A130, A131, A132, A133, A134, A135, A136, A137, A138, A139, A140, A141, A142, A143, A144, A145, A146, A147, A148, A149, A150, A151, A152, A153, A154, A155, A156, A157, A158, A159, A160, A161, A162, A163, A164, A165, A166, A167, A168, A169, A170, A171, A172, A173, A174, A175, A176, A177, A178, A179, A180, A181, 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RENOVATION TO AN EXISTING STRUCTURE AT
510 LAFAYETTE STREET

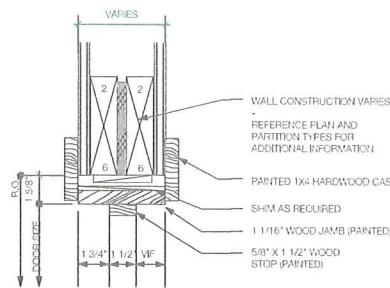
GRETNAL, LOUISIANA

REVISION DATE	REVISION	ISSUED DATE	ISSUED FOR	PROJECT NO.	DRAWN BY	APPROVED BY
				14-037		

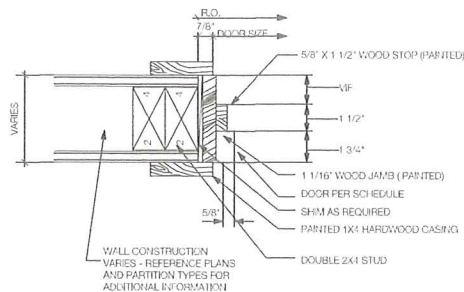
INTERIOR DETAILS

JUNE 7, 2017

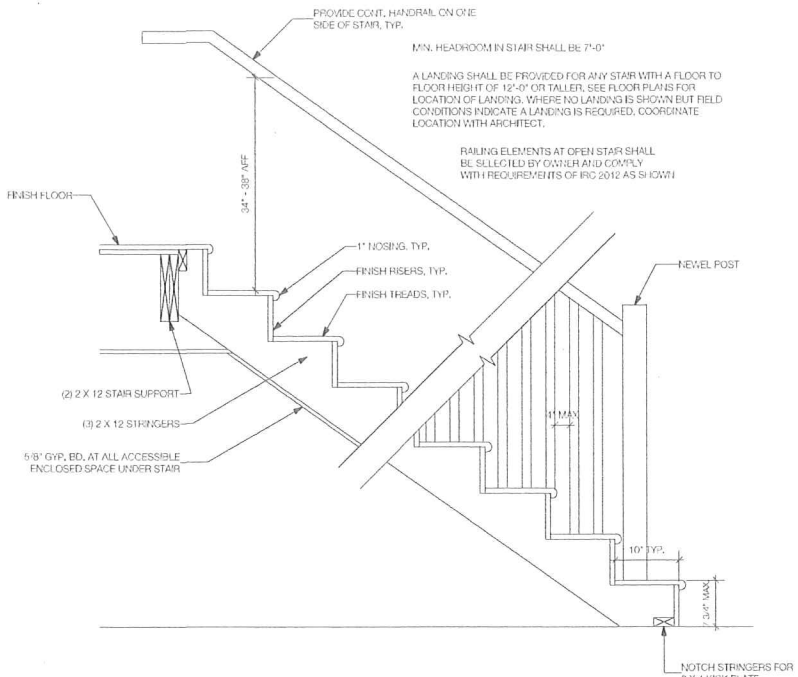
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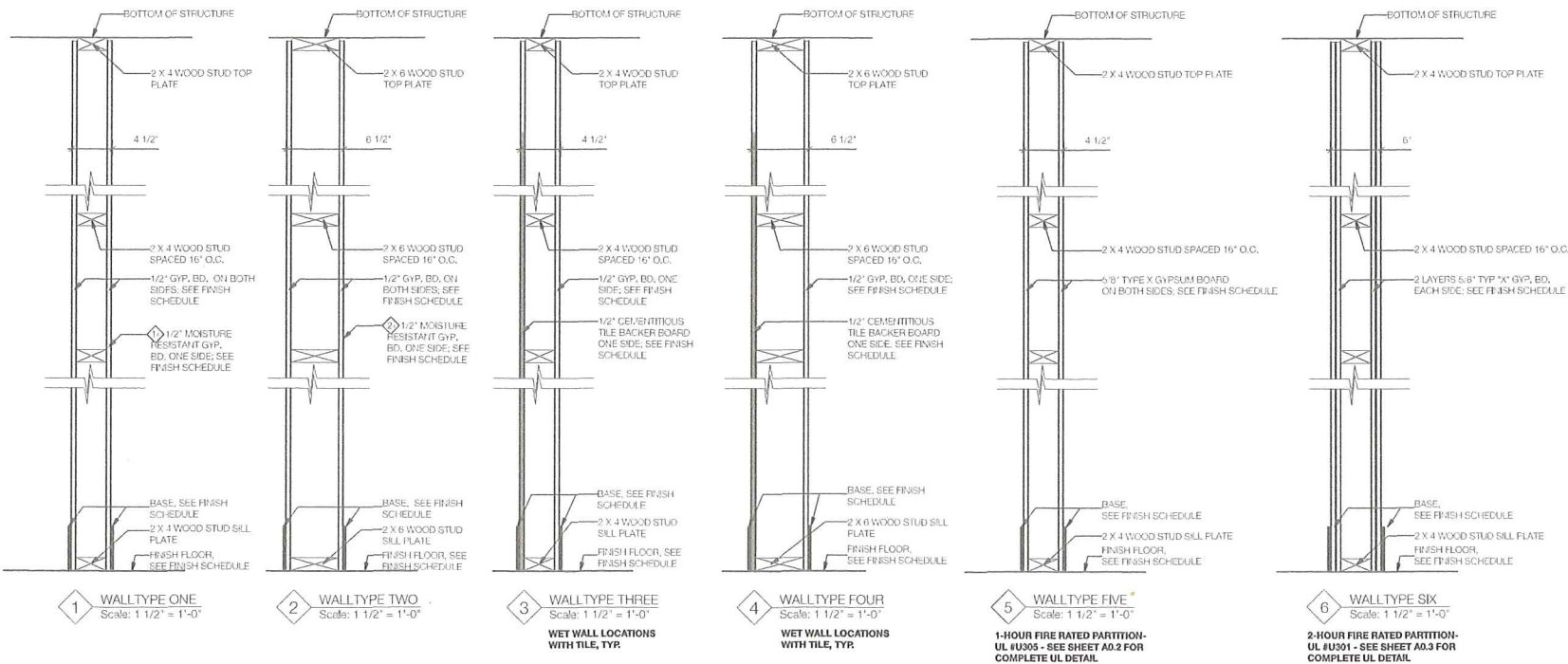
2 DOOR HEAD DETAIL - INTERIOR
Scale: 3" = 1'-0"

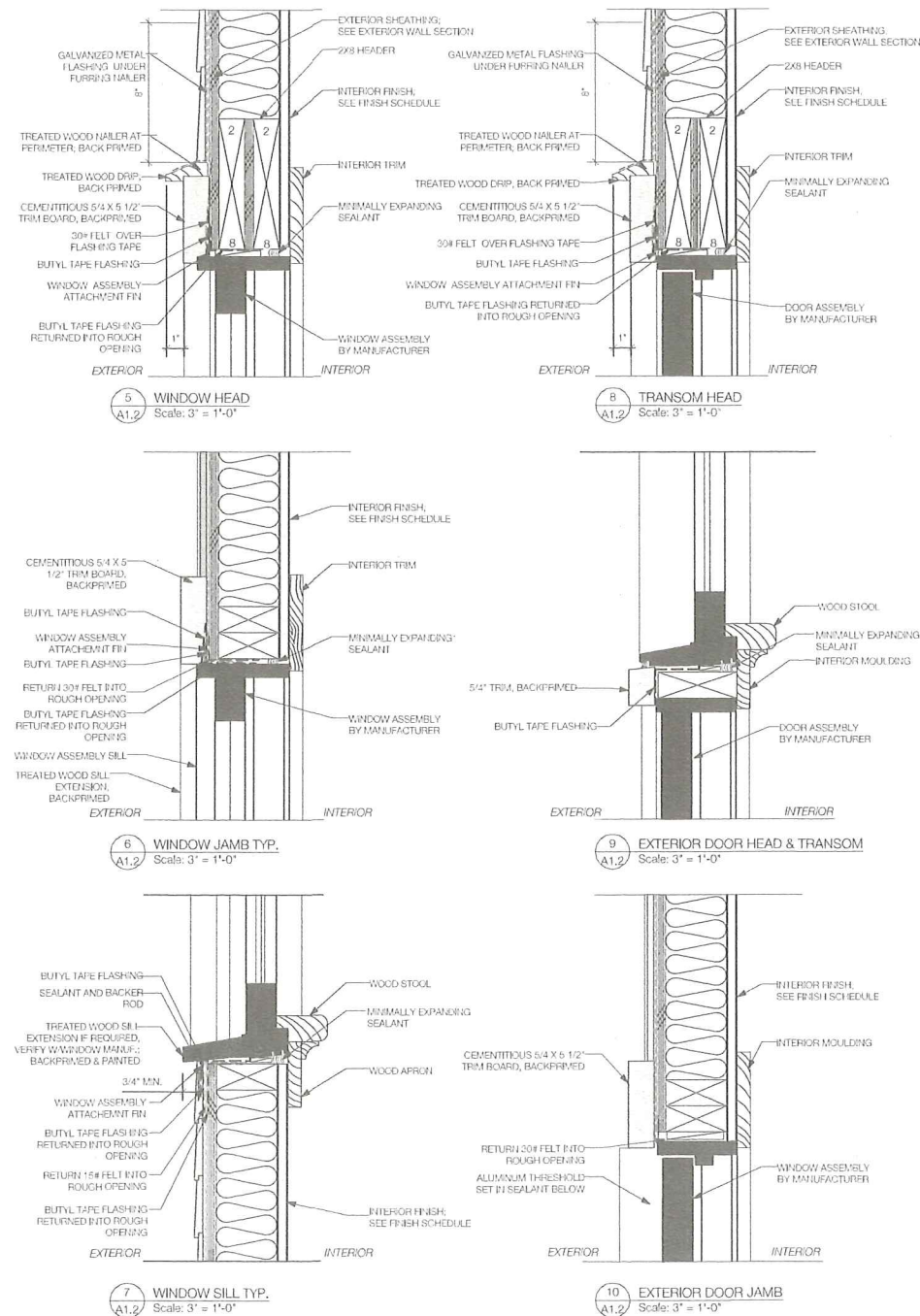
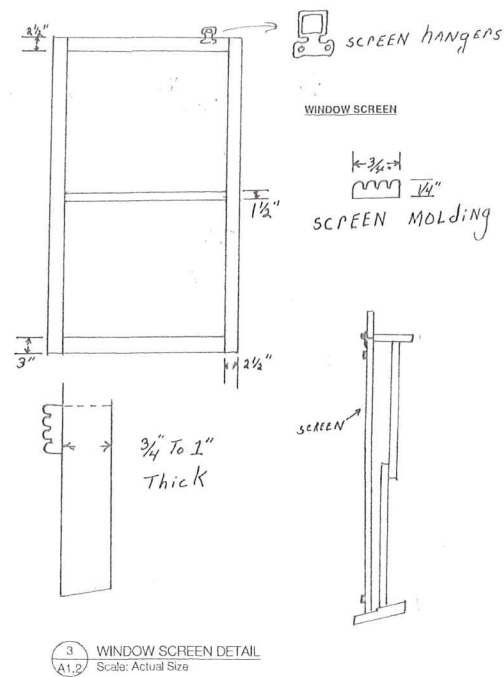


3 DOOR JAMB DETAIL - INTERIOR
Scale: 3" = 1'-0"



1 INTERIOR STAIR SECTION
Scale: 1" = 1'-0"



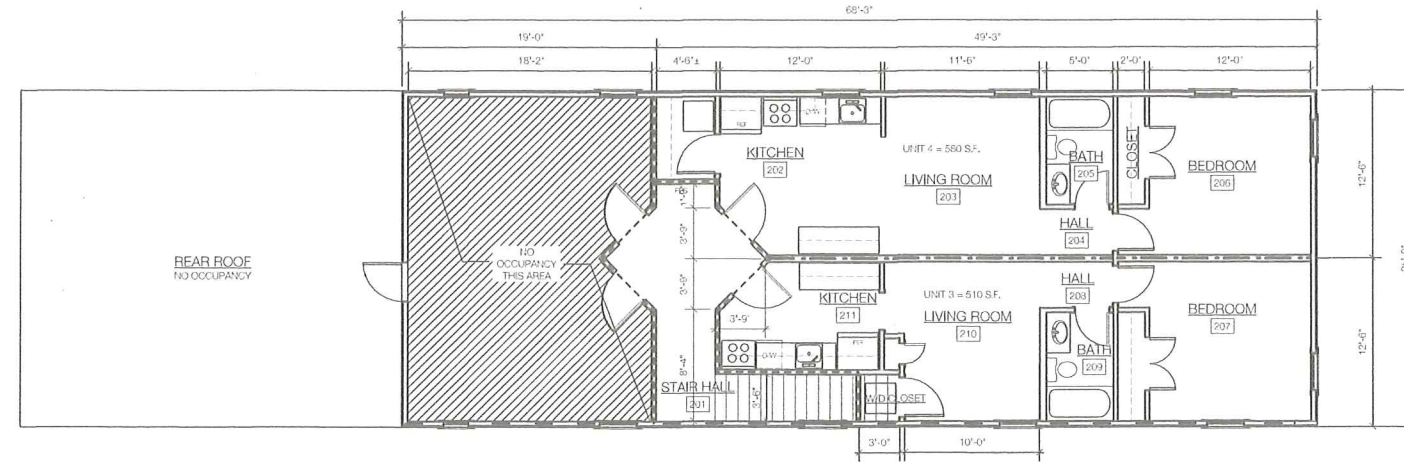


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504.754.1275 (o)
504.754.1446 (f)



RENOVATION TO AN EXISTING STRUCTURE AT

GRETNA LOUISIANA



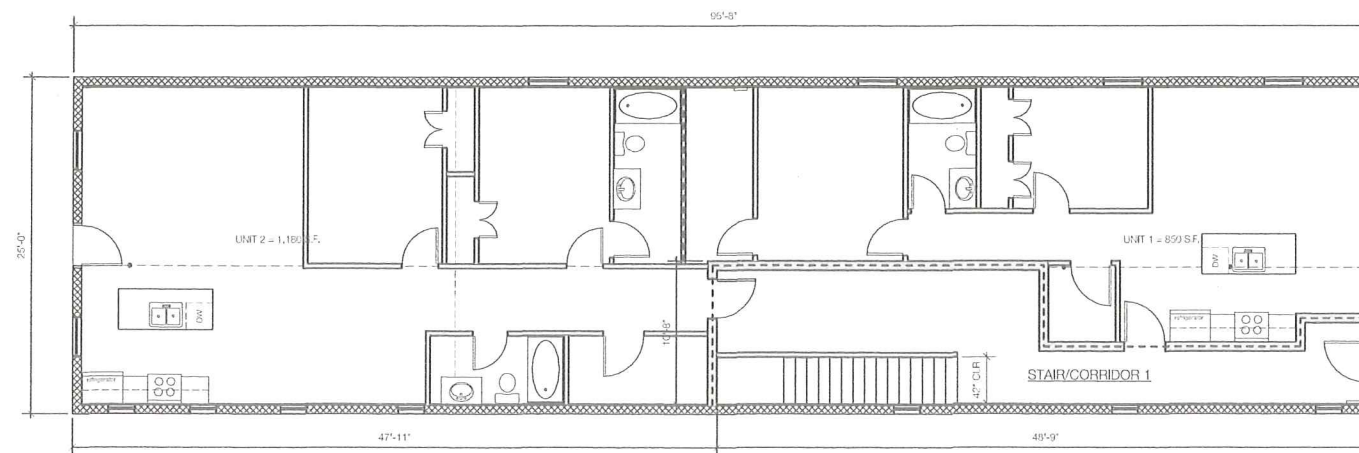
2 SECOND FLOOR PLAN
A2.1 Scale: 3/16" = 1'-0"

NEW WALL TO BE CONSTRUCTED

1-HR RATED INTERIOR WALL TO UNDERSIDE OF ROOF DECKING - UL DESIGN U305

1-HR RATED EXTERIOR WALL - UL DESIGN U300
SEE UL DETAIL ON SHEET A0.1

2-HR RATED INTERIOR WALL - UL DESIGN U301
SEE UL DETAIL ON SHEET A0.1



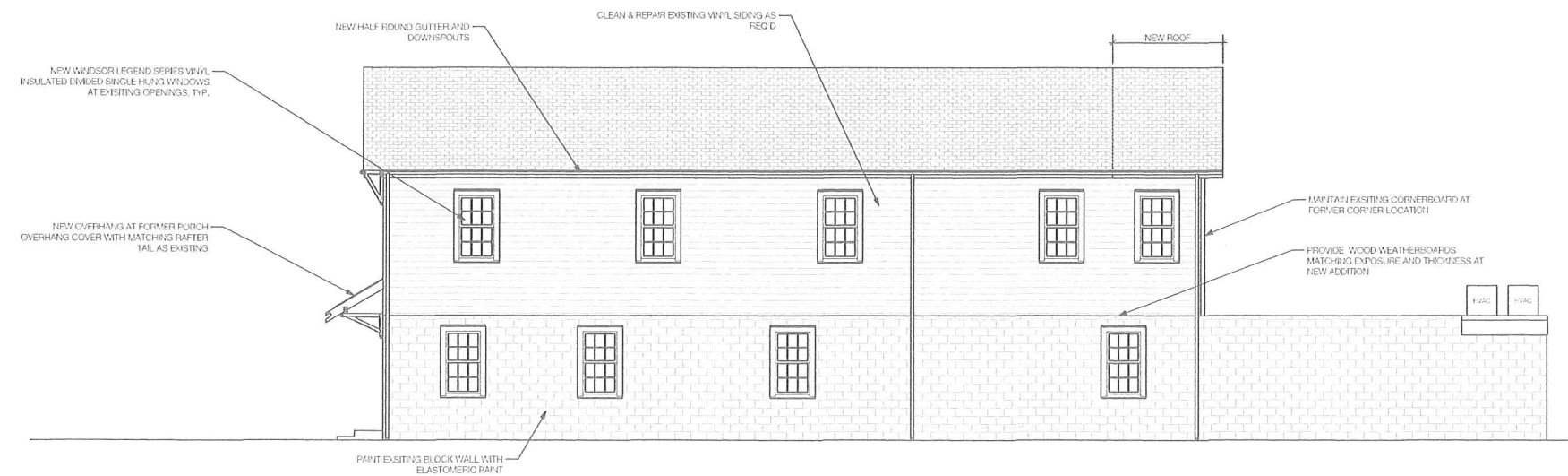
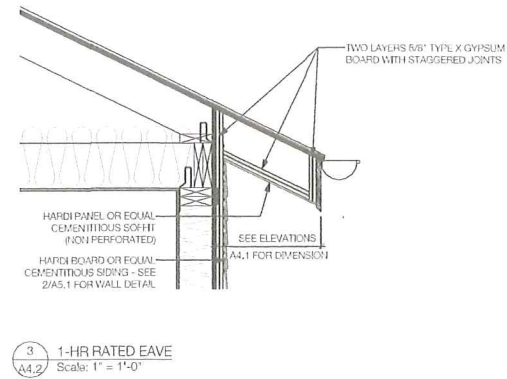
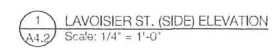
1 FIRST FLOOR PLAN
A2.1 Scale: 3/16" = 1'-0"

[illegible]

FLOOR PLANS

JUNE 7, 2017

A2.1



2 5TH ST. (SIDE) ELEVATION
A4.2 Scale: 3/16" = 1'-0"

[illegible]

EXTERIOR
ELEVATIONS

JUNE 7, 2017

A4.2