

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 Second Street, Gretna, LA 70053
Council Chamber, 2nd floor.**

April 29, 2024 - 4:00 PM

AGENDA

AGENDA ITEM(S):

1. Call to Order/Roll Call

2. CONSENT APPROVAL for Certificate of Appropriateness:

- (1) 520 Derbigny Street
Gutters - Karie Dubreuil, Applicant (District 2)
- (2) 929 8th Street
Solar Panels - Joshua Theard, Applicant (District 2)

3. Properties with request for Certificate of Appropriateness:

- (1) 701 Franklin Street
Windows and Front Porch - Jimmy Cao, Applicant (District 1)
- (2) 911 Amelia Street
Electronic Gate - Nannette Saucier, Applicant (District 1)
- (3) 433 LAvoisier Street
New Construction - Mary and Ben Tucker, Applicants (District 2)
- (4) 349 Hamilton Street
Windows, doors, gutters. Remove vinyl siding and replace with Hardy Board - Joe Broussard, Applicant (District 2)
- (5) 836 Huey P. Long Avenue
Garage Doors & Windows - Robert Wolfe, Applicant (District 2)
- (6) 300 Lafayette Street
Windows, Doors, & Shutters - Robert Wolfe, Applicant (District 2)
- (7) 230 Lafayette Street
Renovations - Bert Turner, Applicant (District 2)

- (8) 1001 Washington Street
New Construction - Edwin Nelson Clayton II, Applicant (District 2)
- (9) 1114 Washington Street
Revisions to Original Approved COA -24-032 - Edwin Nelson Clayton II, Applicant (District 2)
- (10) 152 Huey P. Long Avenue
Revisions - Paula Peer, Applicant (District 2)

4. Adjournment.



Historic District Commission

Meeting: March 29, 2024

520 Derbigny Street
(District 2)

For: Gutters

Applicant: Karie Dubreuil



permit
7633

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 520 Derbigny Street, Gretna, LA 70053

Renovation: ~~Paint~~

New Construction: Gutters

Demolition: _____

Age of Structure: 1920

Building Type:

Creole Cottage _____

Shotgun ✓

Bungalow Raised

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Craftsman

Exterior materials proposed:

Roof _____ Soffit _____

Fascia Gutters 6" K-Style
Aluminum Seamless

Siding _____

Masonry _____

Porches _____

Balconies _____

Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: ~~Double Hung~~

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Karie Schexnayder Dubreuil Date: April 15, 2024
Applicant's Name: Karie Schexnayder Dubreuil
Applicant's Address: 520 Derbigny Street, Gretna, LA 70053
Phone No: () N/A Cell No: (504) 957-5097

For Office Use Only:

Application date: 04-15-24
Substantive Change: Yes ☐ No ☒ Inventory Number: 67
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: 04/29/24

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

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Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, _____ the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on _____ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

NAME OF APPLICANT (PLEASE PRINT)

Applicant's address

Actual address of the property for review

Date: _____

Google Maps 520 Derbigny St



Image capture: Mar 2022 © 2024 Google



Google Maps 525 Derbigny St



Image capture: Mar 2022 © 2024 Google







Joess Gutters & Patios

1601 Belle Chasse Highway | Suite 104 | Gretna, Louisiana 70056
5048134293 | joesgutters@gmail.com | patiosandgutters.com

RECIPIENT:

Karie Dubruil

520 Derbigny Street
Gretna, Louisiana 70053

Phone: 5049575097

Estimate #80201

Sent on

Mar 25, 2024

Total

\$2,200.00

| Product/Service | Description | Total |
|--|--|-------------|
| Gutters - 6 Inch K-Style Aluminum Seamless Gutters | Installation: left side and right side only Gutter Color: black Downspout Size: 3x4 Square Downspout Qty: 6 footage: 140Lf Gutter Removal: no Height: double Hand Mitered Corners: Yes Alum Riveted Corners: Yes 1 1/2 Support Brackets: Yes 1 1/2 install screw: Yes Neoprene Washers: Yes | \$2,200.00* |

Rest assured, we will install your gutters with precision and attention to detail, using only the finest quality components. The downspout placement has been marked with an X on the gutter diagram, but we're happy to make adjustments at your request. All Gutters are installed with our supreme heavy-duty brackets for the best support, and mitered corners are connected with rivets. To top it off, we also use inch-and-a-half screws with neoprene washers to guarantee no leaks!!

A deposit of \$100.00 will be required to begin.

Total

\$2,200.00

* Non-taxable

This quote is valid for the next 30 days, after which values may be subject to change. Joess Gutters & Patios, LLC is committed to supplying all labor and materials needed to finish the project. Any licenses required for the project must be obtained and maintained in good standing by the client if needed. By signing the contract, the buyer agrees to all terms. Balance is due on the day of the job completion.

-----THREE MUST HAVE,-----

1:(Residential and commercial license: 65670)

2:(Insured with State Farm: This protects you from damages.)

3:(Workers Compensation with State Farm: This Protects you from being liable for injuries)

Payment type accepted



Joess Gutters & Patios

1601 Belle Chasse Highway | Suite 104 | Gretna, Louisiana 70056
5048134293 | joesgutters@gmail.com | patiosandgutters.com

Notes Continued...

Cash:
Checks:
Zelle: 504-400-6688
Apple-Pay: 504-400-6688
Vinmo:@JoessGuttersAndPatios
Credit Card: 4% Fee

Signature: _____ Date: _____

Founded in St. Petersburg, Florida in 1978 by military veteran, Tom Snell, Sr., Spectra Gutter Systems is celebrating decades of family-owned and operated innovation in the rainware and gutter manufacturing and distribution industry. After moving the corporate headquarters to Atlanta, Georgia in 1992, together with his sons, they transformed Spectra's manufacturing and distribution capabilities from a small regional supplier into the national powerhouse that you know today.

Spectra Gutter Systems is proud to say that our full line of premier aluminum and steel rainware and gutter products are manufactured by us, right here in the U.S.A. This allows us to ensure the highest quality control from our state-of-the-art coil coating, coil processing, stamping, and roll forming lines. Because our manufacturing facilities and customer care locations are strategically located throughout the nation, we have the ability to quickly get you the products that you need to finish your jobs faster.

We pride ourselves on building our business with loyalty, honor, and determination to support you as our business partner and part of our Spectra family. We maintain high standards for our quality and service, while continuing to give back to our country's veterans and our community. We look forward to a long and successful partnership with you.



800-299-5305

In accordance with the Americans with Disabilities Act, if special assistance is needed, please call the City Clerk's Office at 215-690-1900.



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

| | | | |
|------------------|---------------------|------------------|---------------------|
| PERMIT #: | 135202 | EXPIRATION DATE: | 4/30/2024 |
| JOB ADDRESS: | 520 DERBIGNY ST | LOT #: | 23 |
| PARCEL ID: | 0004251 | SQUARE #: | 14 |
| SUBDIVISION: | NEW MECHANICKHAM | ZONING: | R-1 |
| OWNER: | KARIE DUBREUIL | CONTRACTOR: | KARIE DUBREUIL |
| ADDRESS: | 520 DERBIGNY ST | ADDRESS: | 520 DERBIGNY ST |
| CITY, STATE ZIP: | GRETN LA 70053-6018 | CITY, STATE ZIP: | GRETN LA 70053-6018 |
| PHONE: | | PHONE: | |
| PROP. USE | | STORIES: | |
| VALUATION: | \$ 0.00 | UNITS: | |
| SQ FT | 0.00 | FIRE SPRINKLERS: | |
| OCCP TYPE: | | OCCUPANT LOAD: | |
| CNST TYPE: | | FLOOD ZONE: | AE |

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS 04/29/2024 AT 4:00 P.M. IN COUNCIL CHAMBER

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

____/____/____
DATE

(APPROVED BY)

____/____/____
DATE



Historic District Commission

Meeting: March 29, 2024

929 8th Street
(District 2)

For: Solar Panels

Applicant: Joshua Theard



Permit
7660

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Joshua Theard Date: 3/27/2024

Applicant's
Name: _____

Applicant's
Address: _____

Phone No: (504) - 616 - 0204 Cell No: ()

For Office Use Only:

Application date: 3-27-24

Substantive Change: Yes ☐ No ☒ Inventory Number: 182

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: April 29, 2024

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 929 8th St Gretna La 70053

Renovation: Addition of Solar Panels and Mounting

New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun X _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof Solar Panel Mounted on roof surface Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Joshua Theard the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on April 29th 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
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If unable to attend, review may be deferred until the following month HDC
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I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Joshua Theard
Signature of Applicant

Joshua Theard

NAME OF APPLICANT (PLEASE PRINT)

145 James Dr. E Suite 300 St. Rose La 70087

Applicant's address

929 8th St. Gretna LA 70053

Actual address of the property for review

Date: 3/27/2024

Google Maps 929 8th St

Gretna, Louisiana
Google Street View
Mar 2022 See more dates



Google

Image capture: Mar 2022 © 2024 Google












Image capture: Mar 2022 © 2024 Google

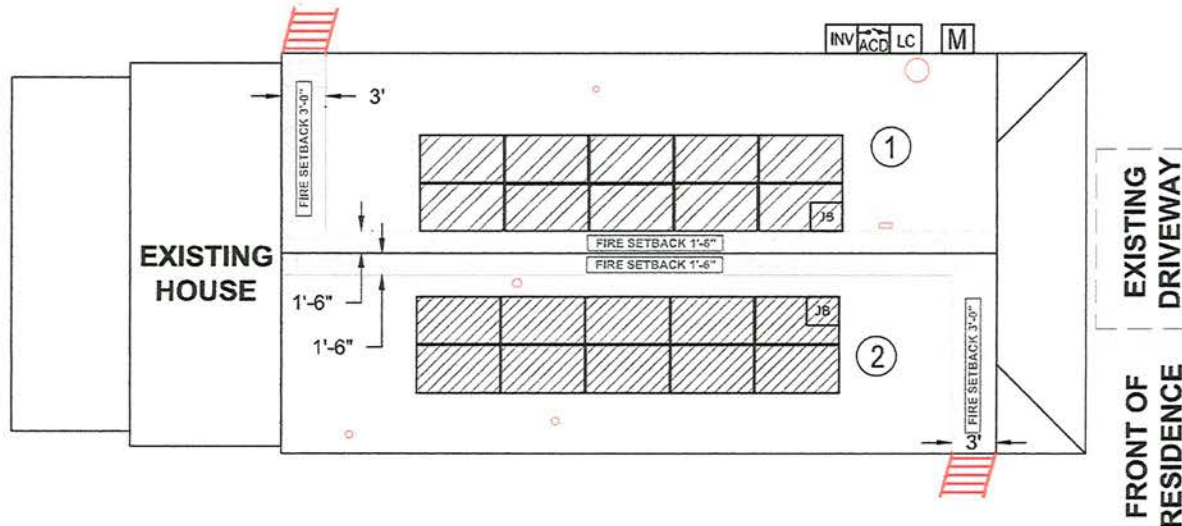


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|---|---|---|--|--|-------------|------|-----------|------|-----------------|------|-------------------|------|---------------------|--------|------------------|------|---------|------|---------------|--|------------------|--|------------------|--|---------------------|--|--------------------|--|---------------------------|--|------------------------------------|--|--|
| ABBREVIATIONS A AMPERE AC ALTERNATING CURRENT BLDG BUILDING CONC CONCRETE C COMBINER BOX D DISTRIBUTION PANEL DC DIRECT CURRENT EGC EQUIPMENT GROUNDING CONDUCTOR (E) EXISTING LFMC ELECTRICAL METALLIC TUBING GALV GALVANIZED GEC GROUNDING ELECTRODE CONDUCTOR GND GROUND HDG HOT DIPPED GALVANIZED I CURRENT Imp CURRENT AT MAX POWER INVS INVERTERS Isc SHORT CIRCUIT CURRENT kVA KILOVOLT AMPERE kW KILOWATT LBW LOAD BEARING WALL MIN MINIMUM (N) NEW NEC NATIONAL ELECTRIC CODE NIC NOT IN CONTRACT NTS NOT TO SCALE OC ON CENTER P PANEL BOARD PL PROPERTY LINES PV PHOTOVOLTAIC PVC POLYVINYL CHLORIDE S SUBPANEL SCH SCHEDULE SS STAINLESS STEEL SSD SEE STRUCTURAL DIAGRAMS STC STANDARD TESTING CONDITIONS SWH SOLAR WATER HEATER TYP TYPICAL UON UNLESS OTHERWISE NOTED UPS UNINTERRUPTIBLE POWER SUPPLY V VOLT Vmp VOLTAGE AT MAX POWER Voc VOLTAGE AT OPEN CIRCUIT W WATT 3R NEMA 3R, RAIN TIGHT | ELECTRICAL NOTES 1. WHERE ALL TERMINALS OF THE DISCONNECTING MEANS MAY BE ENERGIZED IN THE OPEN POSITION, A SIGN WILL BE PROVIDED WARNING OF THE HAZARDS PER ART. 690.17. 2. EACH UNGROUNDED CONDUCTOR OF THE MULTIWIRED BRANCH CIRCUIT WILL BE IDENTIFIED BY PHASE AND SYSTEM PER ART. 210.5. 3. A NATIONALLY-RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART. 110.3. 4. CIRCUITS OVER 250V TO GROUND SHALL COMPLY WITH ART. 250.97, 250.92(B) 5. DC CONDUCTORS EITHER DO NOT ENTER BUILDING OR ARE RUN IN METALLIC RACEWAYS OR ENCLOSURES TO THE FIRST ACCESSIBLE DC DISCONNECTING MEANS PER ART. 690.31(E). 6. ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY UL LISTING. 7. MODULE FRAMES SHALL BE GROUNDED AT THE UL-LISTED LOCATION PROVIDED BY THE MANUFACTURER USING UL LISTED GROUNDING HARDWARE. 8. ALL EXPOSED METAL PARTS (MODULE FRAMES, RAIL, BOXES, ETC.) SHALL BE GROUNDED USING UL LISTED LAY-IN LUGS LISTED FOR THE PURPOSE. POSTS SHALL BE MADE ELECTRICALLY CONTINUOUS WITH ATTACHED RAIL. 9. MODULE FRAMES, RAIL, AND POSTS SHALL BE BONDED WITH EQUIPMENT GROUND CONDUCTORS AND GROUNDED AT THE MAIN ELECTRIC PANEL. 10. THE DC GROUNDING ELECTRODE CONDUCTOR SHALL BE SIZED ACCORDING TO ART. 250.166(B) & 690.47. | <div style="text-align: center;"> AERIAL VIEW  </div> <div style="text-align: center;"> VICINITY MAP  </div> <div> GENERAL NOTES 1. THIS SYSTEM IS GRID-INTERTIED VIA A UL-LISTED POWER-CONDITIONING INVERTER. 2. THIS SYSTEM HAS NO BATTERIES, NO UPS. 3. ALL INVERTERS AND ARRAYS ARE NEGATIVELY GROUNDED. 4. SOLAR MOUNTING FRAMES ARE TO BE GROUNDED. </div> | <div style="text-align: center;"> INDEX </div> <table border="1"> <tr><td>PV-1</td><td>COVER SHEET</td></tr> <tr><td>PV-2</td><td>SITE PLAN</td></tr> <tr><td>PV-3</td><td>ATTACHMENT PLAN</td></tr> <tr><td>PV-4</td><td>ATTACHMENT DETAIL</td></tr> <tr><td>PV-5</td><td>SINGLE-LINE DIAGRAM</td></tr> <tr><td>PV-5.1</td><td>ELECTRICAL NOTES</td></tr> <tr><td>PV-6</td><td>PLACARD</td></tr> <tr><td>PV-7</td><td>SAFETY LABELS</td></tr> <tr><td></td><td>BILL OF MATERIAL</td></tr> <tr><td></td><td>MODULE DATASHEET</td></tr> <tr><td></td><td>OPTIMIZER DATASHEET</td></tr> <tr><td></td><td>INVERTER DATASHEET</td></tr> <tr><td></td><td>MOUNTING SYSTEM DATASHEET</td></tr> <tr><td></td><td>MOUNTING SYSTEM ENGINEERING LETTER</td></tr> <tr><td></td><td>UL 2703 GROUND AND BONDING CERTIFICATION</td></tr> </table> | PV-1 | COVER SHEET | PV-2 | SITE PLAN | PV-3 | ATTACHMENT PLAN | PV-4 | ATTACHMENT DETAIL | PV-5 | SINGLE-LINE DIAGRAM | PV-5.1 | ELECTRICAL NOTES | PV-6 | PLACARD | PV-7 | SAFETY LABELS | | BILL OF MATERIAL | | MODULE DATASHEET | | OPTIMIZER DATASHEET | | INVERTER DATASHEET | | MOUNTING SYSTEM DATASHEET | | MOUNTING SYSTEM ENGINEERING LETTER | | UL 2703 GROUND AND BONDING CERTIFICATION |
| PV-1 | COVER SHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PV-2 | SITE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PV-3 | ATTACHMENT PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| PV-5 | SINGLE-LINE DIAGRAM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PV-5.1 | ELECTRICAL NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PV-6 | PLACARD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PV-7 | SAFETY LABELS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | BILL OF MATERIAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | MODULE DATASHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | OPTIMIZER DATASHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | INVERTER DATASHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | MOUNTING SYSTEM DATASHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | MOUNTING SYSTEM ENGINEERING LETTER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | UL 2703 GROUND AND BONDING CERTIFICATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | <div style="text-align: center;"> APPLICABLE CODES </div> <ul style="list-style-type: none"> INTERNATIONAL BUILDING CODE 2021 (IBC 2021) INTERNATIONAL RESIDENTIAL CODE 2021 (IRC 2021) INTERNATIONAL FIRE CODE 2021 (IFC 2021) NATIONAL ELECTRICAL CODE 2020(NEC 2020) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | AHJ: GRETNA CITY UTILITY: ENTERGY LOUISIANA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|  POSIGEN DEVELOPER, LLC 145 JAMES DR E, STE 300, ST ROSE, LA 70087 LA ELECTRICAL LICENSE :74446 | JOB NUMBER: P-050965 ACCOUNT NO. : 25729450 RACKING: K2 CROSSRAIL SYSTEM MODULES: (20)M SOLAR TXI10-410108BB OPTIMIZERS: (20) SOLAREDGE S440 OPTIMIZER INVERTER: (1)SOLAREDGE SE7600H-US (240V) | UTILITY: ENTERGY LOUISIANA UTILITY CUSTOMER NAME: ALBERT L CHAUVIN OWNER: ALBERT CHAUVIN JR, 929 8TH ST, GRETN, LA 70053 | DESCRIPTION: ALBERT CHAUVIN JR, RESIDENCE 8.20 KWDC ROOF SOLAR SYSTEM PRODUCTION: 10,340kWH  DESIGNED BY: ENERQUAL TECHNOLOGY PVT. LTD. | <div style="text-align: center;">  PV-1 PAGE NAME: COVER SHEET SCALE: NTS DATE: 3/26/2024 </div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



ROOF SECTION(S):

- ① PITCH - 30
AZIMUTH - 60
MATERIAL - COMP.
SHINGLE
- ② PITCH - 30
AZIMUTH - 240
MATERIAL - COMP.
SHINGLE



NOTE :- "ALL BOS COMPONENTS
SHALL BE INSTALLED WITHIN 10
FT OF ADJACENT COMPONENTS



POSIGEN DEVELOPER, LLC
145 JAMES DR E, STE 300, ST
ROSE, LA 70087
LA ELECTRICAL LICENSE :74446

JOB NUMBER: P-050965

ACCOUNT NO. : 25729450

RACKING: K2 CROSSRAIL SYSTEM

MODULES: (20)M SOLAR TXI10-410108BB

OPTIMIZERS: (20) SOLAREDGE S440 OPTIMIZER

INVERTER: (1)SOLAREDGE SE7600H-US (240V)

UTILITY: ENTERGY LOUISIANA

UTILITY CUSTOMER NAME: ALBERT L CHAUVIN

OWNER:

ALBERT CHAUVIN JR,
929 8TH ST,
GRETN, LA 70053

DESCRIPTION:

ALBERT CHAUVIN JR,
RESIDENCE

8.20 KWDC ROOF SOLAR SYSTEM
PRODUCTION: 10,340kWH



DESIGNED BY:

ENERQUAL
TECHNOLOGY PVT. LTD.



LEGEND

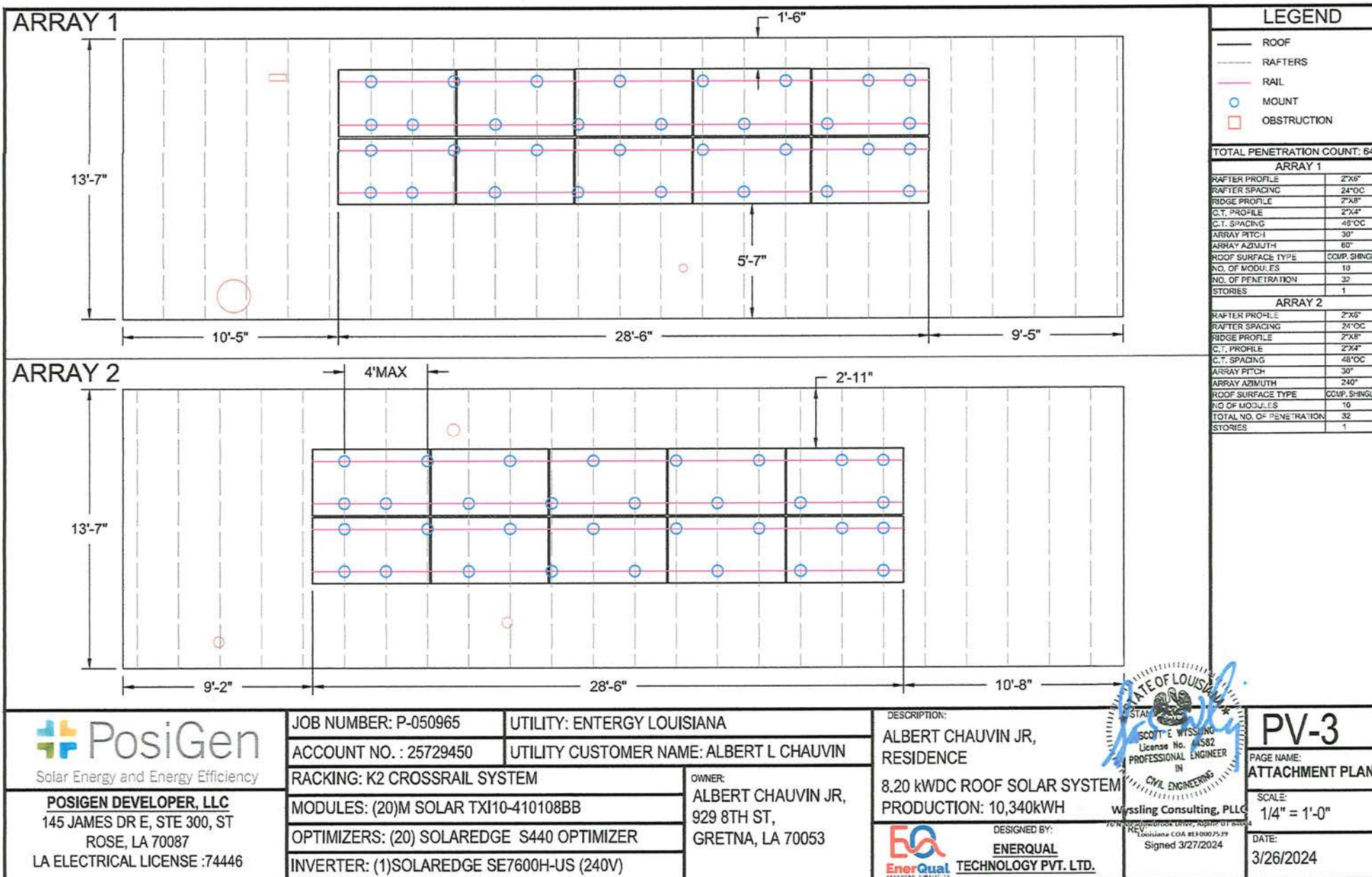
- UTILITY METER
- MAIN SERVICE PANEL
- LOAD CENTER
- AC DISCONNECT
- INVERTER
- JUNCTION BOX
- OBSTRUCTION
- DRIVEWAY
- SOLAR MODULE
- STRING #1
10 MODULE
- STRING #2
10 MODULE
- FIRE CODE OFFSET
- GROUND ACCESS POINT

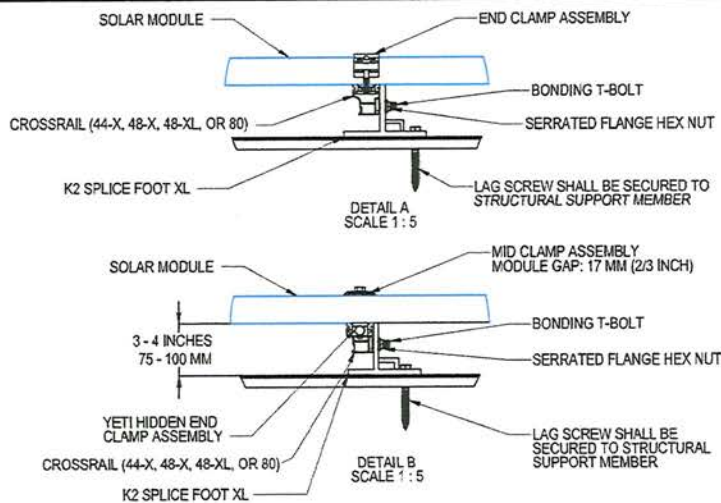
PV-2

PAGE NAME:
SITE PLAN

SCALE:
1/8" = 1'

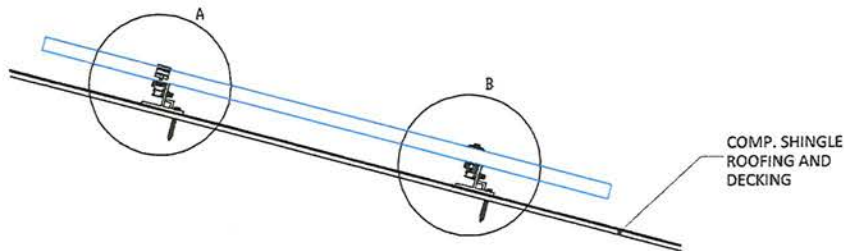
DATE:
3/26/2024





1 ENLARGED VIEW

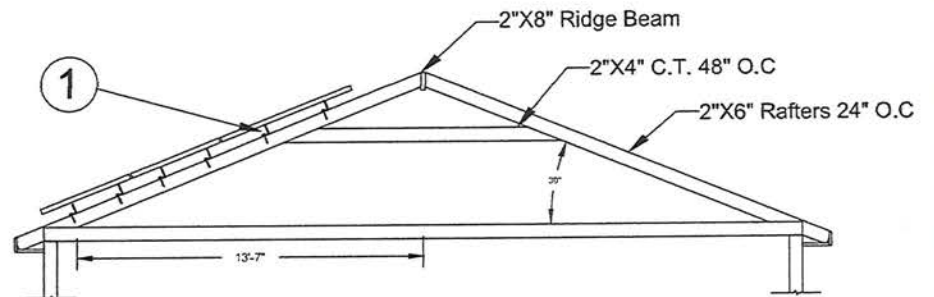
SCALE: NTS



2 ATTACHMENT DETAIL (SIDE VIEW)

SCALE: NTS

FRAME SECTION 1



POSIGEN DEVELOPER, LLC
145 JAMES DR E, STE 300, ST
ROSE, LA 70087
LA ELECTRICAL LICENSE :74446

JOB NUMBER: P-050965

ACCOUNT NO. : 25729450

RACKING: K2 CROSSRAIL SYSTEM

MODULES: (20)M SOLAR TXI10-410108BB

OPTIMIZERS: (20) SOLAREEDGE S440 OPTIMIZER

INVERTER: (1)SOLAREEDGE SE7600H-US (240V)

UTILITY: ENTERGY LOUISIANA

UTILITY CUSTOMER NAME: ALBERT L CHAUVIN

OWNER:

ALBERT CHAUVIN JR,
929 8TH ST,
GRETNA, LA 70053

DESCRIPTION:

ALBERT CHAUVIN JR,
RESIDENCE

8.20 kWDC ROOF SOLAR SYSTEM
PRODUCTION: 10,340kWH



DESIGNED BY:

ENERQUAL
TECHNOLOGY PVT. LTD.



PV-4

PAGE NAME:
ATTACHMENT DETAIL

SCALE:
NTS

DATE:
3/26/2024



Scott E. Wyssling, PE
Coleman D. Larsen, SE, PE
Gregory T. Elvestad, PE

76 North Meadowbrook Drive
Alpine, UT 84004
office (201) 874-3483
swyssling@wysslingconsulting.com

March 27, 2024

PosiGen Developer, LLC
145 James Dr E, Ste 300
St Rose, LA 70087

Re: Engineering Services
Chauvin Residence
929 8th Street, Gretna LA
8.200 kW System

To Whom It May Concern:

We have received information regarding solar panel installation on the roof of the above referenced structure. Our evaluation of the structure is to verify the existing capacity of the roof system and its ability to support the additional loads imposed by the proposed solar system.

A. Site Assessment Information

1. Site visit documentation identifying attic information including size and spacing of framing for the existing roof structure.
2. Design drawings of the proposed system including a site plan, roof plan and connection details for the solar panels. This information will be utilized for approval and construction of the proposed system.
3. The addition of solar panels will not exceed the height of the existing building
4. The outermost part of the solar panels will be less than 6 inches off the existing slope of the existing roof.

B. Description of Structure:

Roof Framing: 2 x 6 dimensional lumber spaced at 24" on center.
Roof Material: Composite Asphalt Shingles
Roof Slope: 30 degrees
Attic Access: Accessible
Foundation: Permanent

C. Loading Criteria Used

- **Dead Load**
 - Existing Roofing and framing = 7 psf
 - New Solar Panels and Racking = 3 psf
 - TOTAL = 10 PSF
- **Live Load** = 20 psf (reducible) – 0 psf at locations of solar panels
- **Ground Snow Load** = 0 psf
- **Wind Load** based on ASCE 7-16
 - Ultimate Wind Speed = 146 mph (based on Risk Category II)
 - Exposure Category C

Analysis performed of the existing roof structure utilizing the above loading criteria is in accordance with the 2021 International Residential Code, including provisions allowing existing structures to not require strengthening if the new loads do not exceed existing design loads by 105% for gravity elements and 110% for seismic elements. This analysis indicates that the existing framing will support the additional panel loading without damage, if installed correctly.


D. Solar Panel Anchorage

1. The solar panels shall be mounted in accordance with the most recent K2 Systems installation manual. If during solar panel installation, the roof framing members appear unstable or deflect non-uniformly, our office should be notified before proceeding with the installation.
2. The maximum allowable withdrawal force for a M5 x 60mm lag screw is 162 lbs per inch of penetration as identified in the National Design Standards (NDS) of timber construction specifications. Based on two (2) screws with a minimum penetration depth of 1.25", the allowable capacity per connection is greater than the design withdrawal force (demand). Considering the variable factors for the existing roof framing and installation tolerances, the connection using two (2) M5 x 60mm lag screw with a minimum of 1.25" embedment will be adequate and will include a sufficient factor of safety.
3. Considering the wind speed, roof slopes, size and spacing of framing members, and condition of the roof, the panel supports shall be placed no greater than 48" on center.

Based on the above evaluation, this office certifies that with the racking and mounting specified, the existing roof system will adequately support the additional loading imposed by the solar system. This evaluation is in conformance with the 2021 IRC, current industry standards, and is based on information supplied to us at the time of this report.

Should you have any questions regarding the above or if you require further information do not hesitate to contact me.

Very truly yours,


Scott E. Wyssling, PE
Louisiana License No. 44582
Louisiana COA No. EF0007539



Wyssling Consulting, PLLC

76 N Meadowbrook Drive, Alpine UT 84004

Louisiana COA #EF0007539

Signed 3/27/2024

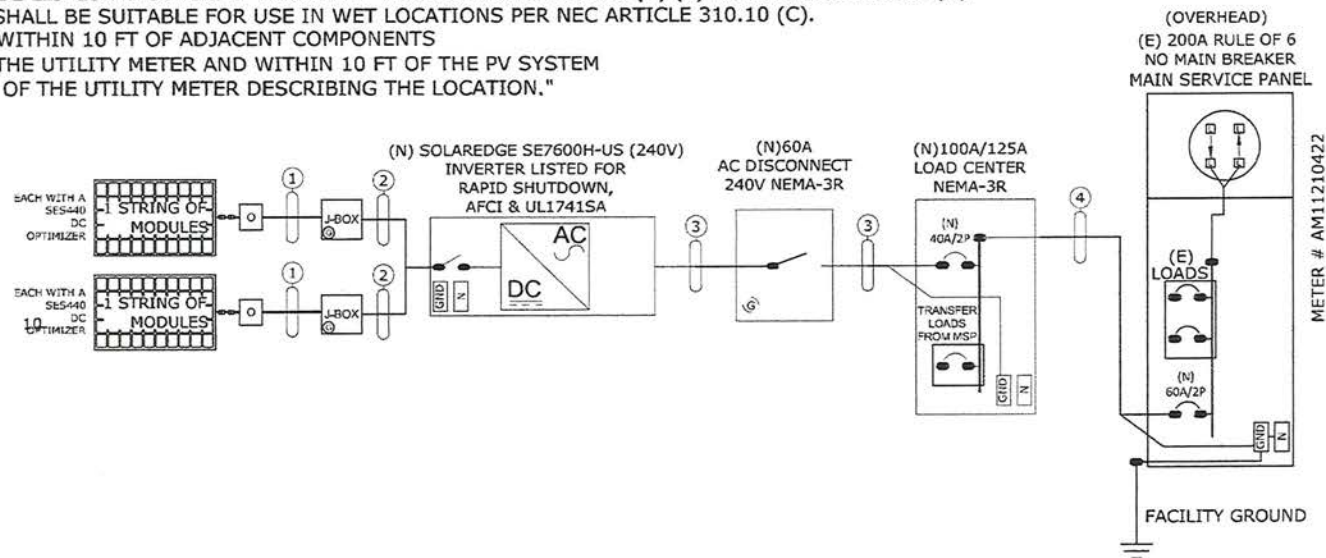


| WIRE TAG # | CONDUIT | WIRE QTY | WIRE GAUGE | WIRE TYPE | TEMP RATING | WIRE AMP | TEMP DE-RATE | CONDUIT FILL | WIRE OCP | TERMINAL 75°C RATING | STRING WATTAGE | OPERATING VOLTAGE | STRING AMPS | MAX AMPS | MAX. SYSTEM VOLTAGE | GRND SIZE | GRND WIRE TYPE |
|------------|-----------|----------|------------|-----------|-------------|----------|--------------|--------------|----------|----------------------|----------------|-------------------|-------------|------------------|---------------------|-----------|----------------|
| 1 | Open Air | 2 | #10 | PV WIRE | 90° | 40 | x 0.96 | x 1 | = 38.40A | 35 A | 4100 | / 380 | = 10.79 | x 1.25 = 13.49 A | 480 | #6 | SBC |
| 2 | 3/4" LFMC | 2 | #10 | THWN-2 | 90° | 40 | x 0.96 | x 1 | = 38.40A | 35 A | 4100 | / 380 | = 10.79 | x 1.25 = 13.49 A | 480 | #10 | THWN-2 |
| 3 | 3/4" LFMC | 3 | #8 | THWN-2 | 90° | 55 | x 0.96 | x 1 | = 52.80A | 50 A | / | | = 32 | x 1.25 = 40.00 A | 240 | #10 | THWN-2 |
| 4 | 3/4" LFMC | 3 | #6 | THWN-2 | 90° | 75 | x 0.96 | x 1 | = 72.00A | 65 A | / | | = 48 | x 1.25 = 60.00A | 240 | #8 | THWN-2 |



| INVERTER SPECS | OPTIMIZER SPECS | MODULE SPECS | ASHRAE AMBIENT TEMPERATURE SPECS | DISCONNECTS |
|---|---|--|--|--|
| INVERTER: SE7600H-US QTY: 1 VOLTAGE: 240 WATTAGE: 7600 NEC EFF: 99.2% | OPTIMIZER: S440 QTY: 20 MAX STRING CELL: 60 WATTAGE: 5700 ISC: 14.5 | MODULE TYPE: TX110-410108BB QTY: 20 WATTAGE: 410 FRAME COLOR: BLACK Voc: 37.32V Isc: 13.95A Imp: 13.04A Vpmax: 31.45V | High Temp 2% Avg. 34.1° C DISTANCE ABOVE ROOF 1" NO TEMP ADDER PER 310.15(B)(2) | EXTREME MIN -3.6° C MAKE: EATON DG222URB QTY: 1 RATED CURRENT: 60A MAX RATED VOLTAGE: 240V |

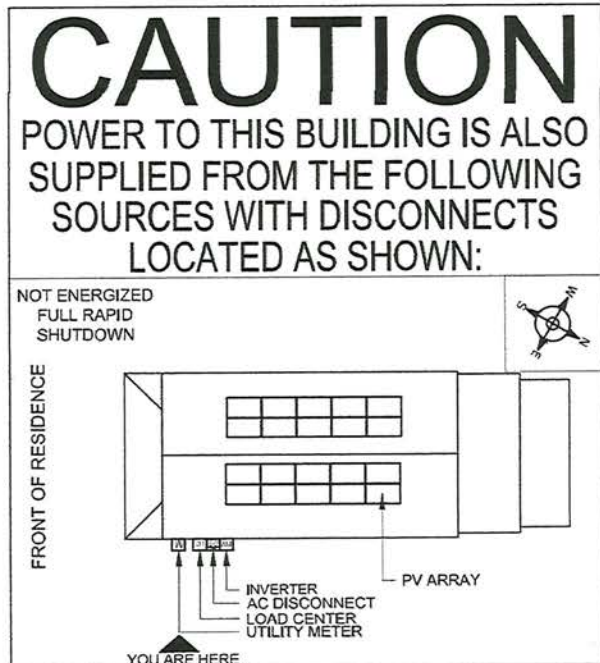
UTILITY HAS 24-HR UNRESTRICTED ACCESS TO ALL PHOTOVOLTAIC SYSTEM COMPONENTS LOCATED AT THE SERVICE ENTRANCE.
CONDUCTORS EXPOSED TO SUNLIGHT SHALL BE LISTED AS SUNLIGHT RESISTANT PER NEC ARTICLE 300.6 (C) (1) AND ARTICLE 310.10 (D).
CONDUCTORS EXPOSED TO WET LOCATIONS SHALL BE SUITABLE FOR USE IN WET LOCATIONS PER NEC ARTICLE 310.10 (C).
ALL BOS COMPONENTS SHALL BE INSTALLED WITHIN 10 FT OF ADJACENT COMPONENTS
"THE DISCONNECT SHALL BE LOCATED NEAR THE UTILITY METER AND WITHIN 10 FT OF THE PV SYSTEM OR PLAQUE MUST BE INSTALLED WITHIN 3 FT OF THE UTILITY METER DESCRIBING THE LOCATION."

AC SYSTEM SIZE- 7.60 kWAC



| | | | | | |
|--|--|---|--|--------|---|
| <p>POSIGEN DEVELOPER, LLC 145 JAMES DR E, STE 300, ST ROSE, LA 70087 LA ELECTRICAL LICENSE :74446</p> | JOB NUMBER: P-050965 | UTILITY: ENTERGY LOUISIANA | DESCRIPTION: | STAMP: | <p>PV-5</p> <p>PAGE NAME: SINGLE-LINE DIAGRAM</p> <p>SCALE: NTS</p> <p>DATE: 3/26/2024</p> |
| | ACCOUNT NO. : 25729450 | UTILITY CUSTOMER NAME: ALBERT L CHAUVIN | ALBERT CHAUVIN JR, RESIDENCE | | |
| | RACKING: K2 CROSSRAIL SYSTEM | OWNER: ALBERT CHAUVIN JR, 929 8TH ST, GRETN, LA 70053 | 8.20 kWDC ROOF SOLAR SYSTEM PRODUCTION: 10,340kWH | | |
| | MODULES: (20)M SOLAR TX110-410108BB | | DESIGNED BY: ENERQUAL TECHNOLOGY PVT. LTD. | REV: | |
| | OPTIMIZERS: (20) SOLAREEDGE S440 OPTIMIZER | | | | |
| | INVERTER: (1)SOLAREEDGE SE7600H-US (240V) | | | | |

| | | | | | | |
|---|--|--|--|---|--|---|
| GROUNDING NOTES | | 7 | EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED ACCORDING TO NEC ARTICLE 690.45, AND BE A MINIMUM OF #10AWG WHEN NOT EXPOSED TO DAMAGE, AND #6AWG SHALL BE USED WHEN EXPOSED TO DAMAGE | NOTES : 1. MATING CONNECTORS SHALL COMPLY WITH NEC 690.33. 2. SOLAR EDGE SYSTEM MEETS REQUIREMENTS FOR PHOTOVOLTAIC RAPID SHUTDOWN SYSTEM (PVRSS), AS PER NEC 690.12(B). 3. THE SPECIFIED OPTIMIZER CAN BE SUBSTITUTED WITH A P400, P405, P505, P401, OR P485. THESE OPTIMIZERS HAVE AN INPUT VOLTAGE WINDOW WIDE ENOUGH TO ACCOMMODATE THE OUTPUT VOLTAGE RANGE OF THE MODULE AT THE DESIGN TEMPERATURES, HAVE A MAX INPUT CURRENT RATING THAT IS ABOVE THE MAX OUTPUT CURRENT OF THE MODULE, AND A MAX POWER INPUT THAT IS ABOVE THE RATED POWER OUTPUT OF THE MODULE. 4. DC PV CONDUCTORS ARE NOT SOLIDLY-GROUNDED. NO DC PV CONDUCTOR SHALL BE WHITE- OR GRAY-COLORED 5. ALL METAL ENCLOSURES, RACEWAYS, CABLES AND EXPOSED NONCURRENT-CARRYING METAL PARTS OF EQUIPMENT SHALL BE GROUNDED TO EARTH AS REQUIRED BY NEC 250.4(A) AND PART III OF ARTICLE 250 AND EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED ACCORDING TO NEC 690.45. THE GROUNDING ELECTRODE SYSTEM SHALL ADHERE TO NEC 690.47(A) AND NEC 250.169. THE DC GROUNDING ELECTRODE SHALL BE SIZED ACCORDING TO NEC 250.166 AND INSTALLED IN COMPLIANCE WITH NEC 250.64. 6. MAX DC VOLTAGE OF ARRAY FIXED BY THE INVERTER AT 380V REGARDLESS OF TEMPERATURE. THE MAX DC VOLTAGE OF THE MODULE AT -15°C IS 53.2V (-15°C - 25°C) X -0.138V/C + 47.7V = 53.2V). 7. POINT-OF-CONNECTION IS ON THE SUPPLY SIDE OF SERVICE DISCONNECT, INSIDE PANELBOARD ENCLOSURE USING UNUSED TERMINALS, TERMINALS THAT ARE SUITABLE FOR DOUBLE LUGGING, OR USING OTHER LOCALLY-APPROVED METHODS AND HARDWARE, IN COMPLIANCE WITH NEC 705.12(A). THE PANELBOARD SHALL HAVE SUFFICIENT SPACE TO ALLOW FOR ANY TAP HARDWARE AS REQUIRED BY NEC 110.3 AND NEC 312.8(A) 8. PV SYSTEM DISCONNECT SHALL BE A VISIBLE KNIFE-BLADE TYPE DISCONNECT THAT IS ACCESSIBLE AND LOCKABLE BY THE UTILITY. THE DISCONNECT SHALL BE LOCATED WITHIN 10 FT OF UTILITY METER. DISCONNECT SHALL BE GROUPED IN ACCORDANCE WITH NEC 230.72. | | |
| 1 | ALL EQUIPMENT SHALL BE PROPERLY GROUNDED PER THE REQUIREMENTS OF NEC ARTICLES 250 & 690 | | | | | |
| 2 | INSTALLER SHALL CONFIRM THAT MOUNTING SYSTEM HAS BEEN EVALUATED FOR COMPLIANCE WITH UL 2703 "GROUNDING AND BONDING" WHEN USED WITH PROPOSED PV MODULE. | | | | | |
| 3 | PV MODULES SHALL BE GROUNDED TO MOUNTING RAILS USING MODULE LUGS OR RACKING INTEGRATED GROUNDING CLAMPS AS ALLOWED BY LOCAL JURISDICTION. ALL OTHER EXPOSED METAL PARTS SHALL BE GROUNDED USING UL-LISTED LAY-IN LUGS. | | | | | |
| 4 | GROUNDING AND BONDING CONDUCTORS, IF INSULATED, SHALL BE COLOR CODED GREEN, OR MARKED GREEN IF #4AWG OR LARGER | | | | | |
| 5 | AC SYSTEM GROUNDING ELECTRODE CONDUCTOR (GEC) SHALL BE A MINIMUM SIZE #8AWG WHEN INSULATED, #6AWG IF BARE WIRE. | | | | | |
| 6 | IF THE EXISTING MAIN SERVICE PANEL DOES NOT HAVE A VERIFIABLE GROUNDING ELECTRODE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL A SUPPLEMENTAL GROUNDING ELECTRODE. | | | | | |
|  POSIGEN DEVELOPER, LLC 145 JAMES DR E, STE 300, ST ROSE, LA 70087 LA ELECTRICAL LICENSE :74446 | | JOB NUMBER: P-050965 | UTILITY: ENTERGY LOUISIANA | DESCRIPTION: | STAMP: | PV-5.1 PAGE NAME: ELECTRICAL NOTES |
| | | ACCOUNT NO. : 25729450 | UTILITY CUSTOMER NAME: ALBERT L CHAUVIN | ALBERT CHAUVIN JR, RESIDENCE | | |
| | | RACKING: K2 CROSSRAIL SYSTEM | | OWNER: | 8.20 kWDC ROOF SOLAR SYSTEM PRODUCTION: 10,340kWH | SCALE: NTS |
| | | MODULES: (20)M SOLAR TXI10-410108BB | | ALBERT CHAUVIN JR, 929 8TH ST, GRETN, LA 70053 | | DATE: 3/26/2024 |
| | | OPTIMIZERS: (20) SOLAREEDGE S440 OPTIMIZER | | | | |
| | | INVERTER: (1)SOLAREEDGE SE7600H-US (240V) | | | DESIGNED BY:  ENERQUAL TECHNOLOGY PVT. LTD. | |





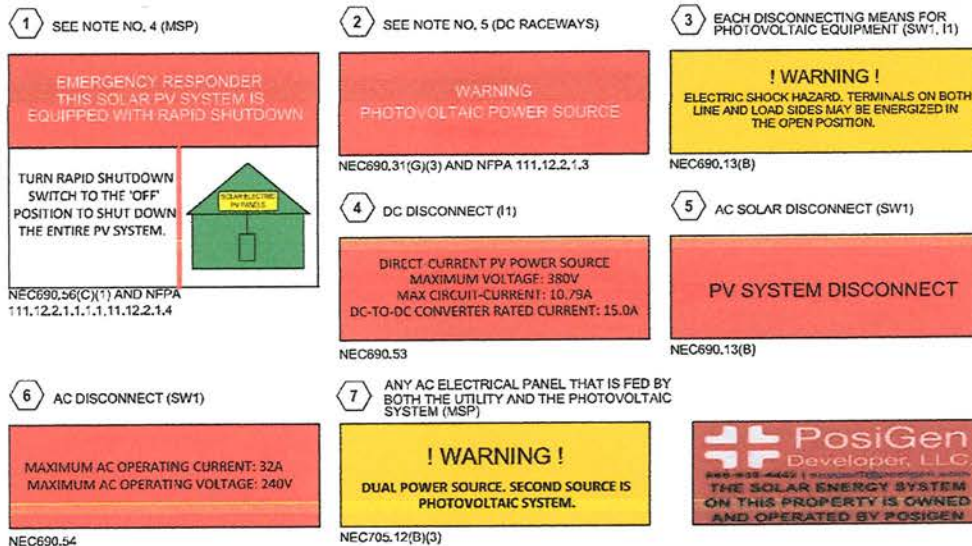
PLACARD RIVETED TO THE MAIN SERVICE PANEL

DIRECTORY



PERMANENT PLAQUE OR DIRECTORY PROVIDING THE LOCATION OF THE
SERVICE DISCONNECTING MEANS AND THE PHOTOVOLTAIC SYSTEM.

(ALL PLAQUES AND SIGNAGE WILL BE INSTALLED AS OUTLINED WITHIN:
NEC 690.56(B)&(C), [NEC 705.10])

| | | | | | |
|---|---|--|---|--------|--------------------------------------|
|  <p>Solar Energy and Energy Efficiency</p> <p>POSIGEN DEVELOPER, LLC 145 JAMES DR E, STE 300, ST ROSE, LA 70087 LA ELECTRICAL LICENSE :74446</p> | JOB NUMBER: P-050965 | UTILITY: ENTERGY LOUISIANA | DESCRIPTION: ALBERT CHAUVIN JR, RESIDENCE | STAMP: | PV-6 PAGE NAME: PLACARD |
| | ACCOUNT NO. : 25729450 | UTILITY CUSTOMER NAME: ALBERT L CHAUVIN | 8.20 kWDC ROOF SOLAR SYSTEM PRODUCTION: 10,340kWH | | |
| | RACKING: K2 CROSSRAIL SYSTEM | OWNER: ALBERT CHAUVIN JR, 929 8TH ST, GRETN, LA 70053 | DESIGNED BY:  ENERQUAL TECHNOLOGY PVT. LTD. | REV: | SCALE: NTS |
| | MODULES: (20)M SOLAR TXI10-410108BB | | | | DATE 3/26/2024 |
| | OPTIMIZERS: (20) SOLAREDGE S440 OPTIMIZER | | | | |
| | INVERTER: (1)SOLAREDGE SE7600H-US (240V) | | | | |



| | LABELING NOTES |
|---|--|
| 1 | ALL PLAQUES AND SIGNAGE REQUIRED BY 2020 NEC AND 2018 NFPA 1 WILL BE INSTALLED AS REQUIRED. |
| 2 | LABELS, WARNING(S) AND MARKING SHALL COMPLY WITH ANSI Z39.5, WHICH REQUIRES THAT DANGER, WARNING, AND CAUTION SIGNS USE THE STANDARD HEADER COLORS, HEADER TEXT, AND SAFETY ALERT SYMBOL ON EACH LABEL. THE ANSI STANDARD REQUIRES A HEADING THAT IS AT LEAST 50% TALLER THAN THE BODY TEXT, IN ACCORDANCE WITH NEC 110.21(B). |
| 3 | A PERMANENT PLAQUE OR DIRECTORY SHALL BE INSTALLED PROVIDING THE LOCATION OF THE SERVICE DISCONNECTING MEANS AND THE PHOTOVOLTAIC SYSTEM DISCONNECTING MEANS IF NOT IN THE SAME LOCATION IN ACCORDANCE WITH NEC 690.56(B). |
| 4 | LABEL(S) WITH MARKING, "TURN RAPID SHUTDOWN SWITCH TO THE 'OFF' POSITION TO SHUT DOWN THE ENTIRE PV SYSTEM," SHALL BE LOCATED WITHIN 3 FT OF SERVICE DISCONNECTING MEANS THE TITLE SHALL UTILIZE CAPITALIZED LETTERS WITH A MINIMUM HEIGHT OF 3/8" IN BLACK ON A RED BACKGROUND, AND REMAINING TEXT SHALL BE CAPITALIZED WITH A MINIMUM HEIGHT OF 3/16" IN BLACK ON WHITE BACKGROUND |
| 5 | LABEL(S) WITH MARKING, "WARNING PHOTOVOLTAIC POWER SOURCE," SHALL BE LOCATED AT EVERY 10 FEET OF EACH DC RACEWAY AND WITHIN ONE FOOT OF EVERY TURN OR BEND AND WITHIN ONE FOOT ABOVE AND BELOW ALL PENETRATIONS OF ROOF/CEILING ASSEMBLIES, WALLS AND BARRIERS. THE LABEL SHALL HAVE 3/8" TALL LETTERS AND BE REFLECTIVE WITH WHITE TEXT ON A RED BACKGROUND |

| | | | | | | | | |
|--|--|--|--|--|--|------------------------|--|--|
|  <p>PosiGen Solar Energy and Energy Efficiency</p> <p>POSIGEN DEVELOPER, LLC 145 JAMES DR E, STE 300, ST ROSE, LA 70087 LA ELECTRICAL LICENSE :74446</p> | JOB NUMBER: P-050965 | | UTILITY: ENTERGY LOUISIANA | | DESCRIPTION: ALBERT CHAUVIN JR, RESIDENCE 8.20 kWDC ROOF SOLAR SYSTEM PRODUCTION: 10,340kWH  DESIGNED BY: ENERQUAL TECHNOLOGY PVT. LTD. | STAMP: REV: | PV-7 PAGE NAME: SAFETY LABELS | |
| | ACCOUNT NO. : 25729450 | | UTILITY CUSTOMER NAME: ALBERT L CHAUVIN | | | | SCALE: NTS | |
| | RACKING: K2 CROSSRAIL SYSTEM | | OWNER: ALBERT CHAUVIN JR, 929 8TH ST, GRETN, LA 70053 | | | | DATE: 3/26/2024 | |
| | MODULES: (20)M SOLAR TX10-410108BB | | | | | | | |
| | OPTIMIZERS: (20) SOLAREEDGE S440 OPTIMIZER | | | | | | | |
| | INVERTER: (1)SOLAREEDGE SE7600H-US (240V) | | | | | | | |

BILL OF MATERIALS

**ALBERT CHAUVIN JR
929 8TH ST, GRETNA, LA 70053**

| ELECTRICAL EQUIPMENT | | |
|----------------------|------------------------------|---|
| QTY | PART # | DESCRIPTION |
| 20 | M SOLAR TXI10-410108BB | M SOLAR TXI10-410108BB SOLAR MODULES |
| 1 | SOLAREEDGE SE7600H-US (240V) | SOLAREEDGE SE7600H-US (240V) INVERTER(S) |
| 20 | SOLAREEDGE S440 | SOLAREEDGE S440 OPTIMIZERS |
| 2 | JUNCTION BOX | JUNCTION BOX |
| 1 | 60A NON-FUSED AC DISCONNECT | EATON DG222URB AC DISCONNECT, 60A, 240VAC, 2-POLE |
| 1 | 125A/100A LOAD CENTER | 125A/100A LOAD CENTER NEMA-3R |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| BREAKERS AND FUSES | | |
| 1 | 40A 2-POLE BREAKER(S) | GENERAL 40A 2-POLE BREAKER(S) |
| 1 | 60A 2-POLE BREAKER(S) | GENERAL 60A 2-POLE BREAKER(S) |
| | | |
| | | |
| | | |
| | | |
| | | |
| RACKING | | |
| 17 | 4000019 (168" MILL) | CROSSRAIL 44-X (SHOWN) ALL CR PROFILES APPLICABLE |
| 08 | 4000051 (MILL) | CROSSRAIL 44-X RAIL CONNECTOR |
| 32 | 4000601-H (MILL) | CROSSRAIL MID CLAMP |
| 16 | 4000429 (MILL) | CROSSRAIL (STANDARD) END CLAMP |
| 4 | 4000006-H | EVEREST GROUND LUG |
| 64 | 4000162 (MILL) | K2 SPLICE FOOT XL SLOTTED SET |
| | | |
| | | |
| | | |



108BB 410W HC Series

mSolar 108BB Half-Cell Black Monocrystalline PERC PV Module



Excellent efficiency

10 busbar technology increases power by decreasing the distance between busbars and the finger grid line



Improved weak illumination response

More power output even in lower light conditions such as overcast days or off-peak sunlight hours



Anti PID

Panels rigorously tested to limit power degradation caused by stray currents



High wind and snow resistance

5,400 Pa Snow Load
2,400 Pa Wind Load



25-year warranty

M Solar modules are guaranteed to retain at least 84.3% of the initial power output



Appealing Aesthetics

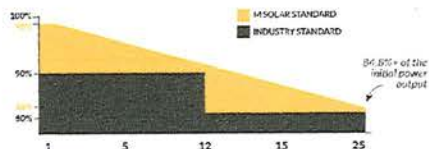
Fully black module creates a sleek, uniform array



25-year product warranty, 25-year output warranty



0.5% annual degradation over 25 years



CEC



UL 61730 | IEC 61215 | IEC 61730
ISO 9001, ISO 4001, ISO 45001

www.msolarenergy.us

108BB 410W HC Series

msolar 108BB Half-Cell, All-Black Monocrystalline PERC PV Module

Electrical Characteristics | STC*

| Module Type | TM10-400108BB | TM10-405108BB | TM10-410108BB |
|---------------------------------|---------------|---------------|---------------|
| Nominal Power Watt Pmax (W) | 400 | 405 | 410 |
| Power Output Tolerance Pmax (W) | 0~+5 | 0~+5 | 0~+5 |
| Maximum Power Voltage Vmp (V) | 31.01 | 31.22 | 31.45 |
| Maximum Power Current Imp (A) | 12.90 | 12.98 | 13.04 |
| Open Circuit Voltage (V) | 37.07 | 37.23 | 37.32 |
| Short Circuit Current Isc (A) | 13.97 | 14.07 | 14.15 |
| Module Efficiency (%) | 20.48 | 20.74 | 21.00 |

*STC Standard Test Condition: Irradiance 1000W/m², Module Temperature 25°C, AM 1.5, The incoming solar spectrum is

Electrical Characteristics | NMOT*

| Module Type | TM10-400108BB | TM10-405108BB | TM10-410108BB |
|-------------------------------|---------------|---------------|---------------|
| Maximum Power Watt Pmax (Wp) | 270 | 274 | 278 |
| Maximum Power Voltage Vmp (V) | 29.26 | 29.47 | 29.72 |
| Maximum Power Current Imp (A) | 10.32 | 10.33 | 10.43 |
| Open Circuit Voltage Voc (V) | 34.68 | 35.12 | 35.23 |
| Short Circuit Current Isc (A) | 11.03 | 11.10 | 11.16 |

*NMOT Normal module operating temperature: Irradiance 800W/m², Ambient Temperature 20°C, AM 1.5, Wind Speed 5m/s

Mechanical Data

| | |
|-------------------|--|
| Solar Cells | Mono PERC, 182mm half cells |
| Cells orientation | 102 (6x9+6x9) |
| Module dimension | 67.80x44.65x1.33 in. (1,722x1,134x35 mm) |
| Weight | 46.20 lb (21.00 kg) |
| Glass | 3.2mm, High Transmission, Low Iron & Semi-Tempered Glass |
| Junction Box | IP 68, 3 Diodes |
| Cables | 1,200mm |
| Connectors | MC4 EVO2 |

Temperature Ratings

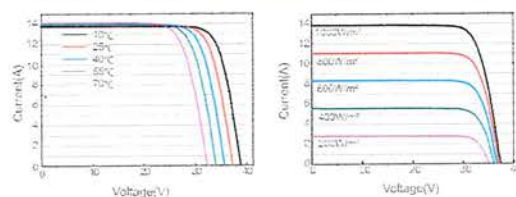
| | | | |
|---------------------------------|-------------|--------------------------|-------------------|
| NOCT | 42°C±2°C | Maximum System Voltage | 1100VDC |
| Temperature coefficient of Pmax | -0.350%/°C | Operating Temperature | -40°C ~ +85°C |
| Temperature coefficient of Voc | -0.2750%/°C | Maximum Series Fuse | 75A |
| Temperature coefficient of Isc | +0.045%/°C | Maximum Load (Snow/Wind) | 5,400Pa / 2,400Pa |

Fire Rating

UL Type 1*

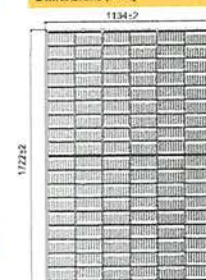
*Do not connect fire in Condition Box with fire or smoke alarm in installed connection. *Fire alarm device in this catalog does not refer to a single module and they are not part of the offer. They only serve for comparison among different module types. **Fluorescence (UV) Light Emission is designed for the full module PV system, which includes, but is not limited to, the module, the type of mounting, and the roof composition.

I-V Curves of PV Module (405W)

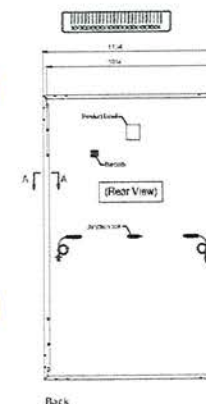


Please read safety and installation instructions before using this product. Subject to change without prior notice.

Dimensions (MM)



Front



Back

Side

Thickness: 3.2mm
Length: 182mm
Width: 12mm
Height: 1.33mm
Pitch: 1.33mm

Packaging Details

| | | |
|----------------------|---|---|
| 31 Panels per pallet | Pallet Stack Weight: 2,934 lbs. (1,342.98 kg) | Truck Weight: 38,461.2 lbs. (17,445.7 kg) |
| 26 Pallets per truck | | |



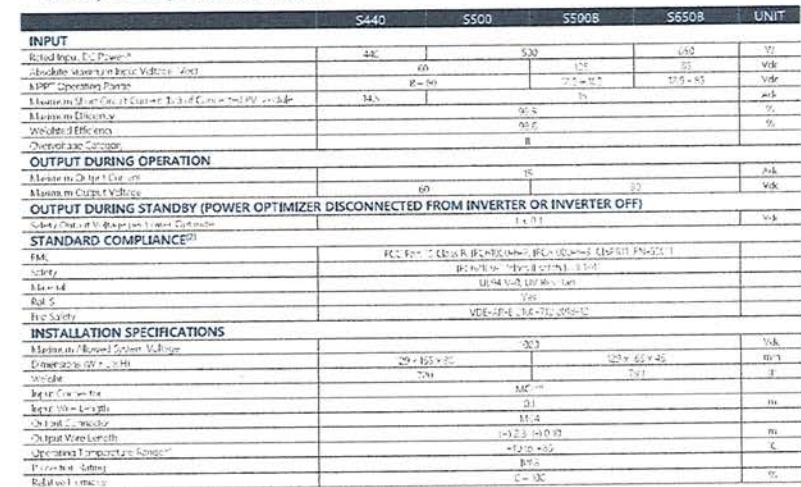
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S440 / S500 / S500B / S650B

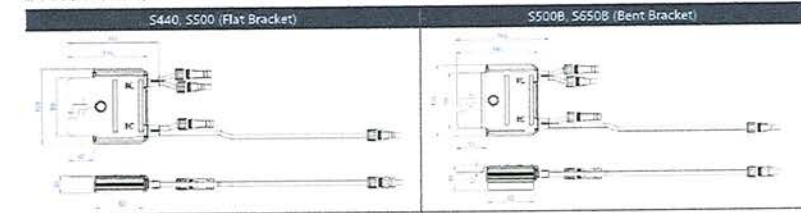


POWER OPTIMIZER

- Specifically designed to work with SolarEdge residential inverters
- Mitigates all types of module mismatch loss, from manufacturing tolerance to partial shading
- Detects abnormal PV connector behavior, preventing potential safety issues*
- Faster installations with simplified cable management and easy assembly using a single bolt
- Module-level voltage shutdown for installer and firefighter safety
- Flexible system design for maximum space utilization
- Superior efficiency (99.5%)
- Compatible with bifacial PV modules



| PV System Design Using a SolarEdge Inverter® | | SolarEdge Home Wave Inverter Single Phase | SolarEdge Home Short String Inverter Three Phase | Three Phase for 230/400V Grid | Three Phase for 277/480V Grid |
|---|----------------|---|--|-------------------------------|-------------------------------|
| Minimum String Length | 5420-16700 | 9 | 9 | 12 | 12 |
| Power Output (W) | 12,000-100,000 | 4 | 10 | 12 | 12 |
| Maximum String Length (meters) | 16700 | 2 | 20 | 25 | 25 |
| Maximum Current (Amps) | 16700 | 40 | 160 | 160 | 160 |
| Maximum Voltage (V) | 16700 | 600V | 600V | 600V | 600V |
| Maximum Number of Strings | 16700 | 16 | 16 | 16 | 16 |
| Maximum Number of Modules per String | 16700 | 16 | 16 | 16 | 16 |
| Maximum Number of Modules per String (if using string design, the maximum number of modules per string is limited by the local code, not by the inverter) | 16700 | 16 | 16 | 16 | 16 |
| Maximum Number of Modules per String (if using module design, the maximum number of modules per string is limited by the local code, not by the inverter) | 16700 | 16 | 16 | 16 | 16 |



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Power Optimizer

For North America

P370 / P400 / P401 / P485 / P505



POWER OPTIMIZER

PV power optimization at the module-level

- Specifically designed to work with SolarEdge inverters
- Up to 25% more energy
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch losses, from manufacturing tolerance to partial shading
- Flexible system design for maximum space utilization
- Fast installation with a single bolt
- Next generation maintenance with module-level monitoring
- Meets NEC requirements for arc fault protection (AFCI) and Photovoltaic Rapid Shutdown System (PVRSS)
- Module-level voltage shutdown for installer and firefighter safety

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Power Optimizer

For North America

P370 / P400 / P401 / P485 / P505

| Optimizer model (typical module compatibility) | P370 (for higher-power 60 and 72-cell modules) | P400 (for 72 & 96- cell modules) | P401 (for high power 60 and 72 cell modules) | P485 (for high-voltage modules) | P505 (for higher current modules) | |
|---|--|--|--|---------------------------------------|---|---------|
| INPUT | | | | | | |
| Rated Input DC Power ⁽¹⁾ | 370 | 400 | 400 | 485 | 505 | W |
| Absolute Maximum Input Voltage (Voc at lowest temperature) | 60 | 80 | 60 | 125 | 83 | Vdc |
| MPPT Operating Range | 8 - 60 | 8 - 80 | 8 - 60 | 12.5 - 105 | 12.5 - 83 | Vdc |
| Maximum Short Circuit Current (Isc) | 11 | 13.1 | 12.5 | 11 | 14 | Adc |
| Maximum DC Input Current | 18.75 | 12.5 | 14.65 | 12.5 | 17.5 | A |
| Maximum Efficiency | | | 99.5 | | | % |
| Weighted Efficiency | | | 98.8 | | | % |
| Overvoltage Category | | | II | | | |
| OUTPUT DURING OPERATION (POWER OPTIMIZER CONNECTED TO OPERATING SOLAREGE INVERTER) | | | | | | |
| Maximum Output Current | | | 15 | | | Adc |
| Maximum Output Voltage | | 60 | | 30 | | Vdc |
| OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM SOLAREGE INVERTER OR SOLAREGE INVERTER OFF) | | | | | | |
| Safety Output Voltage per Power Optimizer | | | 1 ± 0.1 | | | Vdc |
| STANDARD COMPLIANCE | | | | | | |
| EMC | | | FCC Part 15 Class B, IEC 61000-6-2, IEC 61000-6-3 | | | |
| Safety | | | IEC 61009-1 (Safety Switch), UL 1741, NEC PVRSS | | | |
| Material | | | UL94 V-0, UV Resistant | | | |
| RoHS | | | Yes | | | |
| INSTALLATION SPECIFICATIONS | | | | | | |
| Maximum Allowed System Voltage | | | 1000 | | | Vdc |
| Compatible Inverters | | | All SolarEdge Single Phase and Three Phase Inverters | | | |
| Dimensions (W x L x H) | 129 x 153 x 27.5 / 5.1 x 6.0 x 1.1 | 129 x 153 x 33.5 / 5.1 x 6.0 x 1.3 | 129 x 153 x 29.5 / 5.1 x 6.0 x 1.1 | 129 x 159 x 49.5 / 5.1 x 6.3 x 1.9 | 129 x 162 x 59 / 5.1 x 6.4 x 2.3 | mm / in |
| Weight (including cables) | 630 / 1.4 | 750 / 1.7 | 655 / 1.5 | 845 / 1.9 | 1054 / 2.3 | g / lb |
| Input Connector | | MC4 ⁽²⁾ | | MC4 ⁽²⁾ | MC4 ⁽²⁾ | |
| Input Wire Length | | | 0.36 / 0.5 | | | m / ft |
| Output Wire Type / Connector | | | Double Insulated / MC4 | | | |
| Output Wire Length | | | 1.2 / 3.9 | | | m / ft |
| Operating Temperature Range ⁽³⁾ | | | -40 to +85 / -40 to +185 | | | °C / °F |
| Protection Rating | | | IP68 / Type IIB | | | |
| Relative Humidity | | | 0 - 100 | | | % |

(1) Rated power of the module at STC will not exceed the optimizer "Rated Input DC Power". Modules with up to +5% power tolerance are allowed.

(2) IEC 60321 requires max input voltage to not more than 600V.

(3) For other connector types please contact SolarEdge.

(4) Longer cable lengths are available for use, but DC input wire length under P401 is 1.0m.

(5) For ambient temperature above +35°C / +95°F power derating is applied. Refer to Power Optimizers Temperature Derating Technical Note for more details: <http://www.solaredge.com/docs/060000/PowerOptimizers/TemperatureDeratingTechnicalNote.pdf>

| PV System Design Using a SolarEdge Inverter ⁽¹⁾ | Single Phase HD-Wave | Single phase | Three Phase for 208V grid | Three Phase for 277/480V grid | |
|--|--|---------------------|------------------------------|----------------------------------|---|
| Minimum String Length (Power Optimizers) | P370, P400, P401 P485, P505 | 8 | 10 | 16 | |
| Maximum String Length (Power Optimizers) | | 25 | 25 | 50 | |
| Maximum Power per String | 5700 ⁽²⁾ (6000 with SE7600-US - SE1400-US) | 3250 ⁽³⁾ | 6000 ⁽⁴⁾ | 12750 ⁽⁵⁾ | W |
| Parallel Strings of Different Lengths or Orientations | | | Yes | | |

(1) For detailed string design information refer to: <http://www.solaredge.com/docs/060000/PowerOptimizers/PowerOptimizers.pdf>

(2) It is not allowed to mix 5400W and 5700W optimizers in the same string.

(3) A string with more than 30 optimizers does not meet NEC rapid shutdown requirements, safety voltage will be above the VRR requirement.

(4) For 208V grid it is allowed to install up to 6,300W per string when the maximum power difference between strings is 1,000W.

(5) For 277/480V grid it is allowed to install up to 13,000W per string when the maximum power difference between strings is 2,000W.

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SolarEdge Home Wave Inverter For North America

SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US



12-25
YEAR
WARRANTY

INVERTERS

Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking 99% weighted efficiency
- Quick and easy inverter commissioning directly from a smartphone using SolarEdge SetApp
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014-2023 per articles 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Small, lightweight, and easy to install both outdoors or indoors
- Built-in module-level monitoring
- Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

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/ SolarEdge Home Wave Inverter

For North America

SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US

| Applicable to inverters with part number | SE3800H-US-SE11400H-US | | | | | | Units |
|--|---------------------------------|------------|--------------------------------|------------|-------------|----------------------------------|-------|
| | SE3800H-US | SE5000H-US | SE6000H-US | SE7600H-US | SE10000H-US | SE11400H-US | |
| OUTPUT | | | | | | | |
| Rated AC Power Output | 3800 W / 115V 1747 W / 208V | 5000 | 6000 W / 115V 5000 W / 208V | 7600 | 10000 | 11400 W / 115V 11400 W / 208V | VA |
| Maximum AC Power Output | 4000 W / 115V 1747 W / 208V | 5000 | 6000 W / 115V 5000 W / 208V | 7600 | 10000 | 11400 W / 115V 11400 W / 208V | VA |
| AC Output Voltage | Min: 110V-Max: 127V (115V ± 3%) | ✓ | ✓ | ✓ | ✓ | ✓ | VAC |
| AC Output Voltage | Min: 110V-Max: 127V (115V ± 3%) | ✓ | - | ✓ | - | ✓ | VAC |
| AC Frequency (Nominal) | 50 Hz / 60 Hz | | | | | | Hz |
| Maximum Continuous Output Current | 6 | 21 | 25 | 32 | 42 | 47.5 | A |
| Maximum Continuous Output Current | 6 | - | 24 | - | - | 46.5 | A |
| Power Factor | L.A. & I.B. = 0.95 to 1.0 | | | | | | - |
| Grid Tie (Grid) | Yes | | | | | | A |
| Grid Monitoring, Monitoring Protection, Country Configurable | Yes | | | | | | - |
| INPUT | | | | | | | |
| Maximum DC Power (120V) | 5700 | 7750 | 9200 | 11200 | 15500 | 17550 | W |
| Maximum DC Power (208V) | 5700 | - | 7750 | - | - | 7750 | W |
| Transistorless, Uninterrupted | Yes | | | | | | Yes |
| Maximum Input Voltage | 600 | | | | | | VDC |
| Maximum Input Current (120V) | 0.5 | 11.5 | 16.5 | 20 | 27 | 20.5 | ADC |
| Maximum Input Current (208V) | 0 | - | 11.5 | - | - | 27 | ADC |
| Max. Input Short-Circuit Current | 45 | | | | | | ADC |
| Reverse-Polarity Protection | Yes | | | | | | - |
| Ground-Fault Protection | Built-in | | | | | | - |
| Maximum Inverter Efficiency | 99.2 | | | | | | % |
| AC Appliance Efficiency | 99 | | | | | | % |
| Maximum Power Consumption | < 2.5 | | | | | | W |

See spec sheet for details. Please contact SolarEdge Support.
① All values are based on standard conditions unless otherwise specified.

SE3800H-US / SE5000H-US / SE6000H-US/
SE7600H-US / SE10000H-US / SE11400H-US

[illegible][illegible]

Diagram illustrating the connection of a SolarEdge Home Wave Inverter to a Service Panel and an AC Conduit. The inverter is connected to the Service Panel via a Shielded CAT5e cable. The Service Panel is connected to the AC Conduit via a CT L1 N L2 cable. The AC Conduit is connected to the inverter via a CT L1 N L2 cable.

By simply wiring current transformers through the inverter's existing AC conduits and connecting them to the service panel, homeowners will gain full insight into their household energy usage helping them to avoid high electricity bills.



FIGURE 1
IT



FIGURE 3
ITH



FIGURE 2
DUAL ENTRY



FIGURE 4
ITO

| PART # | FIG. # | WIRE RANGE | HEX SIZE | L | W | H |
|--------|--------|------------|----------|------|------|------|
| IT4 | 1 | 4 - 14 | SLOTTED | 1.12 | 1.18 | 1.38 |
| ITO4 | 4 | 4 - 14 | SLOTTED | 1.12 | 1.25 | 1.38 |
| IT1/0 | 1 | 1/0 - 14 | 3/16 | 1.62 | 1.62 | 1.75 |
| ITO1/0 | 4 | 1/0 - 14 | 3/16 | 1.62 | 1.75 | 1.75 |
| IT3/0 | 1 | 3/0 - 6 | 1/4 | 1.84 | 1.75 | 1.87 |
| ITO3/0 | 4 | 3/0 - 6 | 1/4 | 1.84 | 1.87 | 1.87 |
| IT250 | 2 | 250 - 6 | 5/16 | 2.12 | 2.25 | 2.25 |
| IT350 | 2 | 350 - 6 | 5/16 | 2.47 | 2.50 | 2.44 |
| IT500 | 2 | 500 - 4 | 5/16 | 2.81 | 2.87 | 2.94 |
| IT750* | 2 | 750 - 250 | 3/8 | 3.48 | 3.50 | 3.50 |
| IT600H | 2 | 600 - 6 | 5/16 | 2.34 | 2.94 | 3.05 |
| ITH750 | 3 | 750 - 250 | 5/16 | 3.48 | 4.50 | 3.50 |

†† 600 SERIES ARE AL7CU AND 75 °C

*NOT UL LISTED

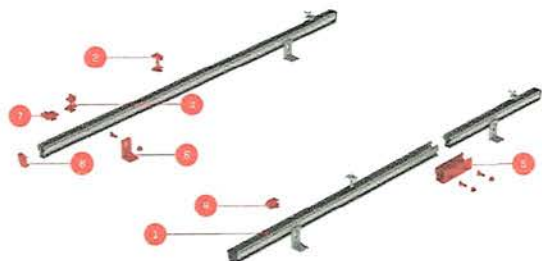
NOTES:

1. CONNECTOR MANUFACTURED FROM 6061-T6 ALUMINUM ALLOY.
2. UL LISTED PER UL486A/B SPECIFICATIONS FOR 600V.
3. DUAL RATED FOR 90 °C COPPER AND/OR ALUMINUM CONDUCTOR.
4. COLD TEMPERATURE RATED TO -45 °C.
5. HIGH DIELECTRIC STRENGTH INSULATION IS ABRASION, CHEMICAL AND UV RESISTANT.

CONTACT NSI FOR SALES @ 800.321.5847

| | | | |
|---|------------------|--|-----------------------|
| | | POLARIS SALES CO. INC. | |
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| DRAWN BY S. PARRY | NAME S. PARRY | DATE 8/13/2012 | DWG. NO. IT SERIES |
| MATERIAL: N/A | | NOT TO SCALE | |
| | | SHEET: 1 OF 1 | |

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CrossRail System

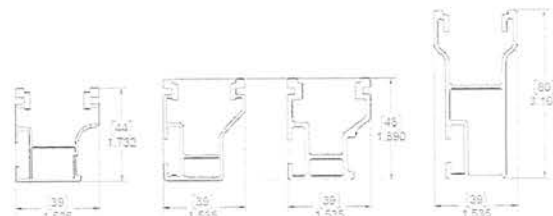
TECHNICAL SHEET

| Item Number | Description | Part Number |
|-------------|--|--|
| 1 | CrossRail 44-X (shown) all CR profiles applicable | 4000019 [166" mill], 4000020 [166" dark], 4000021 [166" mill], 4000022 [180" dark] |
| 2 | CrossRail Mid Clamp | 4000601-H (mill), 4000602-H (dark) |
| 3 | CrossRail (Standard) End Clamp | 4000429 (mill), 4000430 (dark) |
| 4 | Yeti Hidden End Clamp for CR | 4000050-H |
| 5 | CrossRail 44-X Rail Connector (shown) CR 4B-X, 4B-XL Rail Connector available | 4000051 (mill), 4000052 (dark) |
| 6 | L-Foot Slotted Set | 4000630 (mill), 4000631 (dark) |
| 7 | Everest Ground Lug | 4000006-H |
| 8 | CrossRail 44-X End Cap (shown) CrossRail 4B-X, 4B-XL and 80 available | 4000067 |

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Units: [mm] in



Technical Data

| | CrossRail System |
|---------------------|---|
| Roof Type | Composition uningle, tile, standing seam |
| Material | High corrosion resistance stainless steel and high grade aluminum |
| Flexibility | Modular construction, suitable for any system size, height adjustable |
| PV Modules | For all common module types |
| Module Orientation | Portrait and landscape |
| Roof Connection | Drill connection into rafter |
| Structural Validity | IBC compliant, stamped engineering letters available for all solar states |
| Warranty | 25 years |

We support PV systems
Formerly Everest Solar Systems



CROSSRAIL 44-X



Mechanical Properties

| | CrossRail 44-X |
|---------------------------|--------------------------|
| Material | 6000 Series Aluminum |
| Ultimate Tensile Strength | 37.7 ksi (260 MPa) |
| Yield Strength | 34.8 ksi (240 MPa) |
| Weight | 0.47 lbs/ft (0.699 kg/m) |
| Finish | Mill or Dark Anodized |

Sectional Properties

| | CrossRail 44-X |
|---------------|--|
| Sx | 0.1480 in ³ (0.3765 cm ³) |
| Sy | 0.1450 in ³ (0.3683 cm ³) |
| A [X-Section] | 0.4050 in ² (1.0287 cm ²) |

Units: [mm] in



Notes:

- Structural values and span charts determined in accordance with Aluminum Design Manual and ASCE 7-16
- UL2703 Listed System for Fire and Bending

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DATA SHEET



PRODUCT FEATURES

-  *I also want to add and collect more*
-  *I'd try new technology*
-  *I would like to add new data*
-  *I'd like to learn more about technology on tonight*
-  *I'm excited for criminal systems and components*
-  *I'd like to learn more*

TECHNICAL DATA



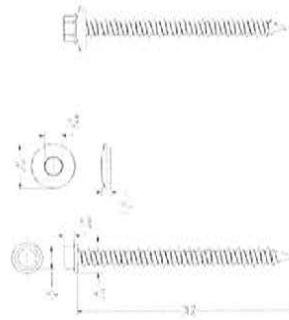
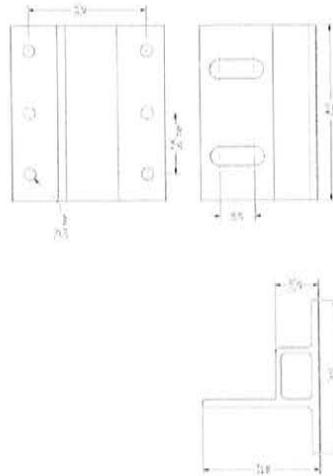
Splice Foot XL

| Item Number | Description | Part Number |
|-------------|-------------------------------------|---|
| 1 | Solar Fast AL | 400985 Solar Fast AL 2W 6V Blue 400986 Solar Fast AL 2W 12V MB |
| 2 | K2 Eye-Tool | |
| 3 | 77A x 51' x 1/2" HD Fiberglass Duct | |
| | *Add 10¢ shipping & handling fee | |

| GODWIN FOOTING | |
|------------------|--|
| Reel Type | Competition single, TSM, BT, Performance, Asphalt |
| Material | Aluminum with stainless steel hardware |
| Finish | MEZ |
| Reel Connection | 8114 x .506 x 1.5/16 in. Hex Head Screw |
| Cable Compliance | UL 2102 |
| Compliance | OSHA 1910.239, 1910.240, 1910.242, 1910.243, 1910.244, 1910.245, 1910.246, 1910.247, 1910.248, 1910.249, 1910.250, 1910.251, 1910.252, 1910.253, 1910.254, 1910.255, 1910.256, 1910.257, 1910.258, 1910.259, 1910.260, 1910.261, 1910.262, 1910.263, 1910.264, 1910.265, 1910.266, 1910.267, 1910.268, 1910.269, 1910.270, 1910.271, 1910.272, 1910.273, 1910.274, 1910.275, 1910.276, 1910.277, 1910.278, 1910.279, 1910.280, 1910.281, 1910.282, 1910.283, 1910.284, 1910.285, 1910.286, 1910.287, 1910.288, 1910.289, 1910.290, 1910.291, 1910.292, 1910.293, 1910.294, 1910.295, 1910.296, 1910.297, 1910.298, 1910.299, 1910.300, 1910.301, 1910.302, 1910.303, 1910.304, 1910.305, 1910.306, 1910.307, 1910.308, 1910.309, 1910.310, 1910.311, 1910.312, 1910.313, 1910.314, 1910.315, 1910.316, 1910.317, 1910.318, 1910.319, 1910.320, 1910.321, 1910.322, 1910.323, 1910.324, 1910.325, 1910.326, 1910.327, 1910.328, 1910.329, 1910.330, 1910.331, 1910.332, 1910.333, 1910.334, 1910.335, 1910.336, 1910.337, 1910.338, 1910.339, 1910.340, 1910.341, 1910.342, 1910.343, 1910.344, 1910.345, 1910.346, 1910.347, 1910.348, 1910.349, 1910.350, 1910.351, 1910.352, 1910.353, 1910.354, 1910.355, 1910.356, 1910.357, 1910.358, 1910.359, 1910.360, 1910.361, 1910.362, 1910.363, 1910.364, 1910.365, 1910.366, 1910.367, 1910.368, 1910.369, 1910.370, 1910.371, 1910.372, 1910.373, 1910.374, 1910.375, 1910.376, 1910.377, 1910.378, 1910.379, 1910.380, 1910.381, 1910.382, 1910.383, 1910.384, 1910.385, 1910.386, 1910.387, 1910.388, 1910.389, 1910.390, 1910.391, 1910.392, 1910.393, 1910.394, 1910.395, 1910.396, 1910.397, 1910.398, 1910.399, 1910.400, 1910.401, 1910.402, 1910.403, 1910.404, 1910.405, 1910.406, 1910.407, 1910.408, 1910.409, 1910.410, 1910.411, 1910.412, 1910.413, 1910.414, 1910.415, 1910.416, 1910.417, 1910.418, 1910.419, 1910.420, 1910.421, 1910.422, 1910.423, 1910.424, 1910.425, 1910.426, 1910.427, 1910.428, 1910.429, 1910.430, 1910.431, 1910.432, 1910.433, 1910.434, 1910.435, 1910.436, 1910.437, 1910.438, 1910.439, 1910.440, 1910.441, 1910.442, 1910.443, 1910.444, 1910.445, 1910.446, 1910.447, 1910.448, 1910.449, 1910.450, 1910.451, 1910.452, 1910.453, 1910.454, 1910.455, 1910.456, 1910.457, 1910.458, 1910.459, 1910.460, 1910.461, 1910.462, 1910.463, 1910.464, 1910.465, 1910.466, 1910.467, 1910.468, 1910.469, 1910.470, 1910.471, 1910.472, 1910.473, 1910.474, 1910.475, 1910.476, 1910.477, 1910.478, 1910.479, 1910.480, 1910.481, 1910.482, 1910.483, 1910.484, 1910.485, 1910.486, 1910.487, 1910.488, 1910.489, 1910.490, 1910.491, 1910.492, 1910.493, 1910.494, 1910.495, 1910.496, 1910.497, 1910.498, 1910.499, 1910.500, 1910.501, 1910.502, 1910.503, 1910.504, 1910.505, 1910.506, 1910.507, 1910.508, 1910.509, 1910.510, 1910.511, 1910.512, 1910.513, 1910.514, 1910.515, 1910.516, 1910.517, 1910.518, 1910.519, 1910.520, 1910.521, 1910.522, 1910.523, 1910.524, 1910.525, 1910.526, 1910.527, 1910.528, 1910.529, 1910.530, 1910.531, 1910.532, 1910.533, 1910.534, 1910.535, 1910.536, 1910.537, 1910.538, 1910.539, 1910.540, 1910.541, 1910.542, 1910.543, 1910.544, 1910.545, 1910.546, 1910.547, 1910.548, 1910.549, 1910.550, 1910.551, 1910.552, 1910.553, 1910.554, 1910.555, 1910.556, 1910.557, 1910.558, 1910.559, 1910.560, 1910.561, 1910.562, 1910.563, 1910.564, 1910.565, 1910.566, 1910.567, 1910.568, 1910.569, 1910.570, 1910.571, 1910.572, 1910.573, 1910.574, 1910.575, 1910.576, 1910.577, 1910.578, 1910.579, 1910.580, 1910.581, 1910.582, 1910.583, 1910.584, 1910.585, 1910.586, 1910.587, 1910.588, 1910.589, 1910.590, 1910.591, 1910.592, 1910.593, 1910.594, 1910.595, 1910.596, 1910.597, 1910.598, 1910.599, 1910.600, 1910.601, 1910.602, 1910.603, 1910.604, 1910.605, 1910.606, 1910.607, 1910.608, 1910.609, 1910.610, 1910.611, 1910.612, 1910.613, 1910.614, 1910.615, 1910.616, 1910.617, 1910.618, 1910.619, 1910.620, 1910.621, 1910.622, 1910.623, 1910.624, 1910.625, 1910.626, 1910.627, 1910.628, |

TECHNICAL DATA

Units: [in] mm



Certificate

Standard **ISO 9001:2015**

Certificate Registr. No. **01 100 101608**

Certificate Holder:



K2 Systems GmbH
Industriestr. 18
71272 Renningen
Germany

Scope:

Development, production and distribution of innovative and customer-specific mounting systems for solar technology, including customer-oriented design calculations and services

Proof has been furnished by means of an audit that the requirements of ISO 9001:2015 are met.

Validity:

The certificate is valid from 2020-03-09 until 2023-02-27.
First certification 2017
Date of recertification audit: 2020-02-28
Expiry date of last certification cycle: 2020-02-27

2020-03-09


TÜV Rheinland Cert GmbH
Am Grauen Stein • 51105 Köln

www.tuv.com



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CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

| | | | |
|------------------|---------------------|------------------|---------------------|
| PERMIT #: | 135201 | EXPIRATION DATE: | 4/30/2024 |
| JOB ADDRESS: | 929 8TH ST | LOT #: | |
| PARCEL ID: | | SQUARE #: | |
| SUBDIVISION: | | ZONING: | |
| OWNER: | JOSHUA THEARD | CONTRACTOR: | JOSHUA THEARD |
| ADDRESS: | 929 8TH ST | ADDRESS: | 929 8TH ST |
| CITY, STATE ZIP: | GRETN LA 70053-6111 | CITY, STATE ZIP: | GRETN LA 70053-6111 |
| PHONE: | | PHONE: | |
| PROP. USE: | | STORIES: | |
| VALUATION: | \$ 0.00 | UNITS: | |
| SQ FT: | 0.00 | FIRE SPRINKLERS: | |
| OCCP TYPE: | | OCCUPANT LOAD: | |
| CNST TYPE: | | FLOOD ZONE: | |

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS SCHEDULED FOR 04/29/2024 AT 4:00 P.M. IN COUNCIL CHAMBERS

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: March 29, 2024

701 Franklin Avenue

(District 1)

**For: Windows &
Tile Front Porch**

**Applicant:
Jimmy Cao**



Historic District Commission **Application for Certificate of Appropriateness** Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 701 Franklin St.

Renovation: 6/6 window kit
New Construction: _____
Demolition: _____

Age of Structure: 1970

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches tiles front & back

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: 6 over 6 grille kit vinyl

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Jimmy Cau Date: 04/18/2024
Applicant's Name: Jimmy Cau
Applicant's Address: 6 Lakewood Estates Dr. New Orleans LA 70131
Phone No: (504) 430-8662 Cell No: (504) 909-0554

For Office Use Only:

Application date: April 19, 2024
Substantive Change: Yes ☐ No ☐ Inventory Number: 26-01726
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☐
Historic District Commission meeting date: April 29, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Jimmy Cau the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on April 29 2024 @ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Jimmy Cau
Signature of Applicant

Jimmy Cau
NAME OF APPLICANT (PLEASE PRINT)

6 Lakewood Estates Dr. New Orleans LA 70131
Applicant's address

701 Franklin St. Gretna LA 70053
Actual address of the property for review

Date: 04/18/2024

Gretna, Louisiana

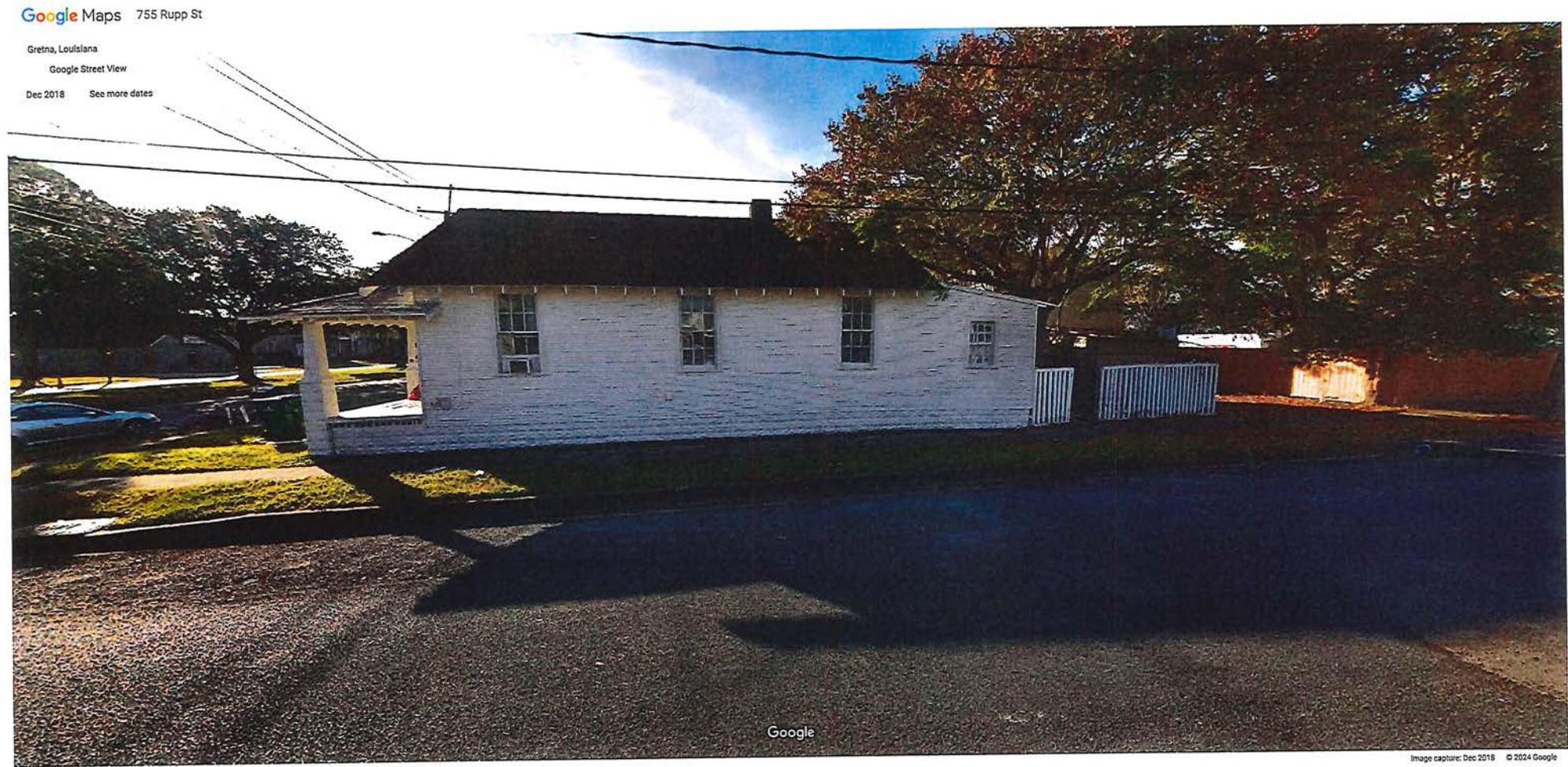
Google Street View

Mar 2023 See more dates



Image capture: Mar 2023 © 2024 Google





Google Maps 711 LA-428

Gretna, Louisiana

Google Street View

Mar 2023 See more dates

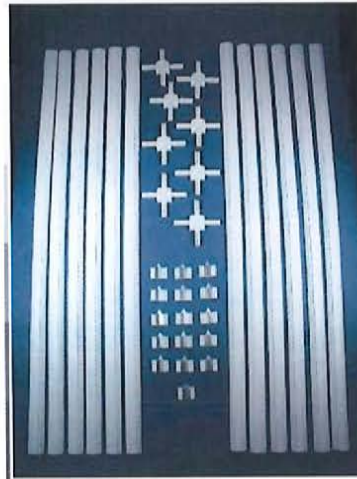
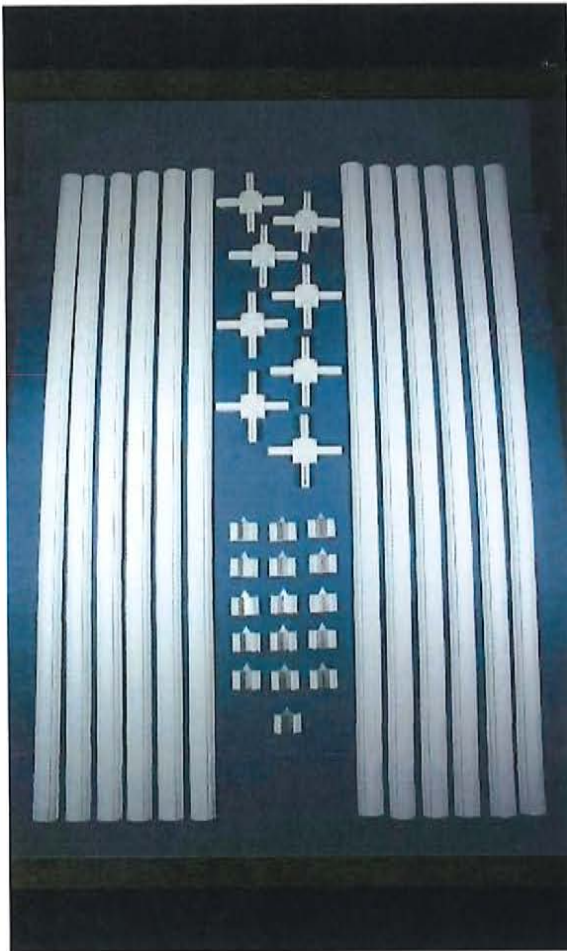


Image capture: Mar 2023 © 2024 Google





Universal Plastic Window Grille Kit



Your Cart

No products in the cart.



Description

- A complete white plastic kit to add Removable Grilles to your existing Windows and Doors
- Kit includes enough material for an average size double hung or casement window (12 pieces of 24" Profile, 8 '+' Connectors, and 16 Fasteners)
- The kit can be used on wood, vinyl or aluminum materials
- The kit **MUST** be used on the interior of the window only
- Not designed to work well on large patio doors or picture / bay windows
- Easy installation steps included for great looking results. [Click here to view the installation instructions.](#)



A MAINTENANCE SUPPLY COMPANY, INC.

Item # 90-516 Plastic Window Grille Kit Instructions

Helpful Hints For Even Easier Installation:

- Convert all fractions to decimals for calculations. We've included a conversion chart for your convenience.
- Use factory cut ends where profiles meet connectors whenever possible.
- A piece of sandpaper will clean burs from cut edges.

Decimal Equivalents Chart

| | |
|---------------|----------------|
| 1/16" = .0625 | 9/16" = .5625 |
| 1/8" = .1250 | 5/8" = .6250 |
| 3/16" = .1875 | 11/16" = .6875 |
| 1/4" = .2500 | 3/4" = .7500 |
| 5/16" = .3125 | 13/16" = .8125 |
| 3/8" = .3750 | 7/8" = .8750 |
| 7/16" = .4375 | 15/16" = .9375 |
| 1/2" = .5000 | 1" = 1.0000 |

It's easy to create your own window or door grille with The Olympic Grille Kit. Just follow the simple step-by-step instructions, and you'll be on your way to a more beautiful and interesting door or window.

This kit contains enough materials for a standard size window or door including: Este conjunto contiene suficiente material para una ventana estándar o para una puerta incluyendo:

- 12 pieces of 24" profile (piezas de 24" de silueta)
- 8 "X" connectors ("X" conectadores)
- 16 fasteners (fijadores)



You'll also need these tools: Calculator • Hack Saw • Tape Measure

También necesitará estas herramientas: Calculadora • Sierra de metal • Cinta de medida

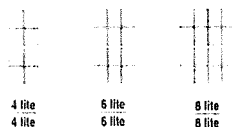
Step 1: Choose Your Grille Pattern Typical grille patterns are shown at right.

Once you decide, draw a sketch and count the number of lites wide and the number of lites high in your grille. Next count the number of "X" connectors you will need. Each time a horizontal bar crosses a vertical bar a "X" connector is needed.

Paso 1: Escoja el modelo de su reja. Los modelos típicos son demostrados a la derecha.

Una vez que decida, trace un esbozo y cuente los números de luces de ancho y los números de luces de alto en su reja. Después cuente el número de conectores "X" que necesitará. Cada vez que una barra horizontal se cruce con una barra vertical se necesitará un conector X.

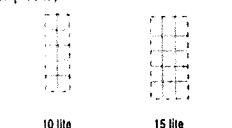
Double Hung (Doble Bisagra)



Casement (Cubierta)



Door (Puerta)



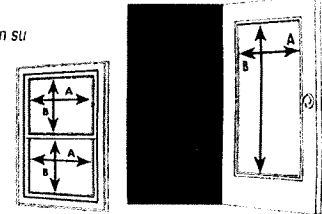
Step 2: Measure The Glass Area

Measure the visible glass area of your door or window. For double hung windows, measure each sash as a separate window.

Paso 2: Mida el área del cristal

Mida el área visible del cristal en su puerta o ventana. Para ventanas de doble bisagra, midala como si cada marco fuera una ventana separada.

A = Width/Ancho
B = Height/Alto



Step 3: Calculate The Profile Lengths

Here's where the calculator comes in handy. First, let's assign some abbreviations for the sake of simplicity.

Paso 3: Calcule las longitudes de la silueta

Aquí es donde el tener una calculadora resulta ventajoso. Primero, demosle unas abreviaciones a este texto con el propósito de simplificarlo.

- LW = Number of lites wide (Número de luces de ancho)
- LH = Number of lites high (Número de luces de alto)
- CW = Number of connectors wide (Número de conectores de ancho)
- CH = Number of connectors high (Número de conectores de alto)
- A = Daylight opening width (Ancho de la apertura de la luz del día)
- B = Daylight opening height (Alto de apertura de la luz del día)

So to determine the Profile Lengths Horizontally, you'll use this simple formula: Así que para determinar los largos de las piezas de siluetas horizontales debe de utilizarse esta simple fórmula:

$$\frac{A - (CW \times .875)}{LW}$$

For the Profile Lengths Vertically, you'll use a similar formula:

Para el largo de las piezas de las siluetas verticales, debe de utilizar una fórmula similar:

$$\frac{B - (CH \times .875)}{LH}$$

So for the pictured example, a double hung window with a 6-lite over 6-lite grille pattern the formula works like this:

Así que para el ejemplo dibujado, una ventana de doble bisagra con 6 luces sobre un diseño de rejas de 6 luces la fórmula trabaja como sigue:

$$\begin{array}{l} LW = 3 \\ LH = 2 \\ CW = 1 \\ A = 27 \frac{1}{2}" \text{ or } 27.5" \\ B = 23 \frac{1}{2}" \text{ or } 23.5" \end{array} \quad \begin{array}{l} \frac{27.5 - (2 \times .875)}{3} = 8.50" \\ \frac{23.5 - (1 \times .875)}{2} = 11.3125" \end{array}$$

the length of the horizontal profiles
el largo de las piezas de silueta horizontal

the length of the vertical profiles
el largo de las piezas de siluetas verticales

Step 4: Cut The Profiles

Cut the desired number of horizontal and vertical lengths with an ordinary hack saw.

Paso 4: Corte las piezas de las siluetas

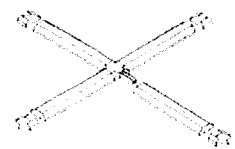
Corte el número de piezas deseadas a los largos horizontales y verticales con una sierra para cortar metal.

Step 5: Assemble The Profiles

Assemble the profiles using "X" connectors and slide fasteners on the ends. See the diagram to the right.

Paso 5: Monte las siluetas

Monte las siluetas utilizando los conectores "X" y deslice los fijadores en las puntas. Véa el diagrama a la derecha.



Step 6: Install The Grille

Install the grille in the window or door by positioning the grille against the glass and sliding fasteners against the sides of the sash. The points of the fasteners hold the grille in place.

Paso 6: Instale la reja

Instale las rejas en la ventana o en la puerta colocando las rejas contra el cristal y deslizando los fijadores contra los costados del marco. Las puntas de los fijadores sujetarán las rejas en su lugar.

Cart Contents (https://windowanddoorparts.us/shopping_cart.php?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a) Checkout (https://windowanddoorparts.us/checkout_shipping.php?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a) My Account (<https://windowanddoorparts.us/account.php?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>)**Window And Door Parts. us**a division of **DDS LLC**<https://windowanddoorparts.us/index.php?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a> (<https://windowanddoorparts.us>)/ Window Glazing & Weather-stripping (<https://windowanddoorparts.us/window-glazing-weather-stripping-c-293.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>)/ Muntin Bars (https://windowanddoorparts.us/muntin-bars-c-293_225.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a)/ Window Grille Kit 90-516 (<https://windowanddoorparts.us/window-grille-kit-516-p-6898.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>)**Categories**

Multipoint Swing

Door Hardware

<https://windowanddoorparts.us/window-grille-kit-90-516>

swing-door-

hardware-c-

291.html?

<https://windowanddoorparts.us/window-grille-kit-90-516>
The window grille kit is simple to install and easy to remove for cleaning at a fraction of the typical cost. The kit contains enough material for a standard size window or door

Window

Replacement

Hardware

<https://windowanddoorparts.us/window-replacement-hardware-c-40.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>

replacement-

hardware-c-

40.html?

<https://windowanddoorparts.us/window-replacement-hardware-c-40.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>

Window Balance

Replacements

<https://windowanddoorparts.us/window-balance-replacements-c-339.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>

balance-

replacements-c-

339.html?

<https://windowanddoorparts.us/window-balance-replacements-c-339.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>

Patio Door

Hardware

<https://windowanddoorparts.us/patio-door-hardware-c-1.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>

door-hardware-c-

1.html?

<https://windowanddoorparts.us/patio-door-hardware-c-1.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>**Window Glazing & Weather-stripping**<https://windowanddoorparts.us/window-glazing-weather-stripping-c-293.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>

glazing-weather-

stripping-c-

293.html?

<https://windowanddoorparts.us/window-glazing-weather-stripping-c-293.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>

Door Sweeps

https://windowanddoorparts.us/door-sweeps-c-293_491.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a

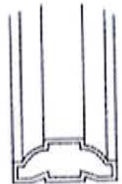
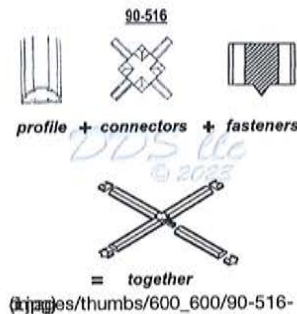
sweeps-c-

293_491.html?

https://windowanddoorparts.us/door-sweeps-c-293_491.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a

Foam Corner Seals

Model: 90-516

\$58.48**profile + 2**

1

Add To Cart

 Reviews (<https://windowanddoorparts.us/window-grille-kit-516-pr-6898.html?osCsid=1e70d87fe1c53a4bdf402cb0b303e40a>)**Customers who bought this product also purchased**





9:35



Photos

Street View

Map



AA

realtor.com





tile for front porch



Historic District Commission

Meeting: March 29, 2024

911 Amelia Street
(District 1)

For: Electronic Gate

Applicant: Nannette Saucier

Permit #
7648



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 911 Amelia St. Gretna, LA 70053

Renovation: _____

New Construction: Driveway Gate

Demolition: _____

Age of Structure: 1920's

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ✓

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other ARTS + CRAFTS

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Nanette R. Saucier Date: 4/19/2024

Applicant's Name: Nanette R. Saucier

Applicant's Address: 911 Amelia St. Gretna, LA 70053

Phone No: (504) 366-7603 Cell No: (504) 261-8962 (preferred)

For Office Use Only:

Application date: April 19, 2024

Substantive Change: Yes ☐ No ☒ Inventory Number: 730

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: April 29, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Rousselet

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, _____ the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on April 29 2024 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Nanette R. Saucier

Signature of Applicant

Nanette R. Saucier

NAME OF APPLICANT (PLEASE PRINT)

911 Amelia St., Gretna, LA 70053

Applicant's address

Same

Actual address of the property for review

Date: 4/19/2024

Gretna, Louisiana

Google Street View

Mar 2022 See more dates

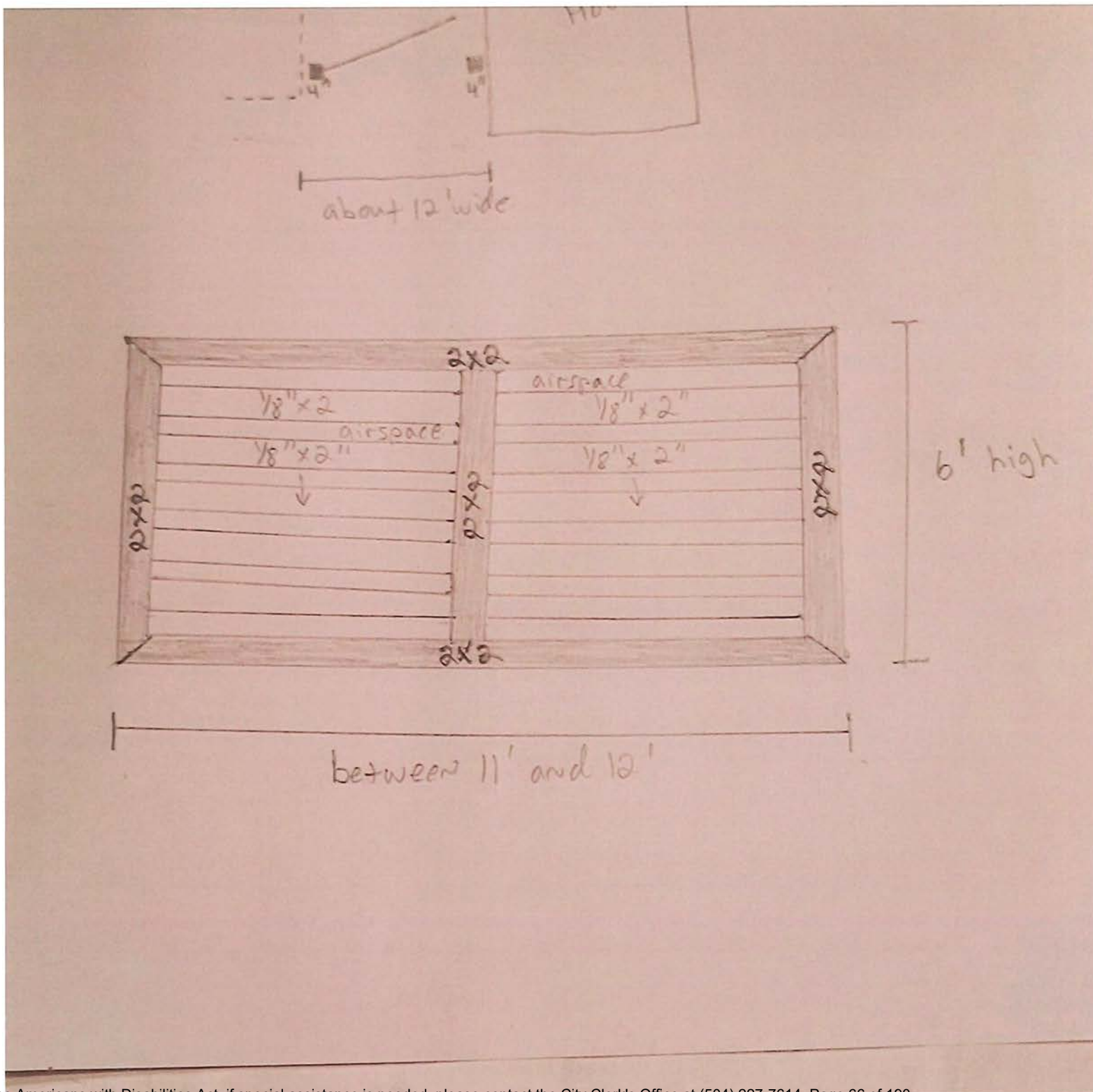


Image capture: Mar 2022 © 2024 Google





Saucier Residence
911 Amelia St
6' Foot High 12' Foot Wide
Driveway Gate



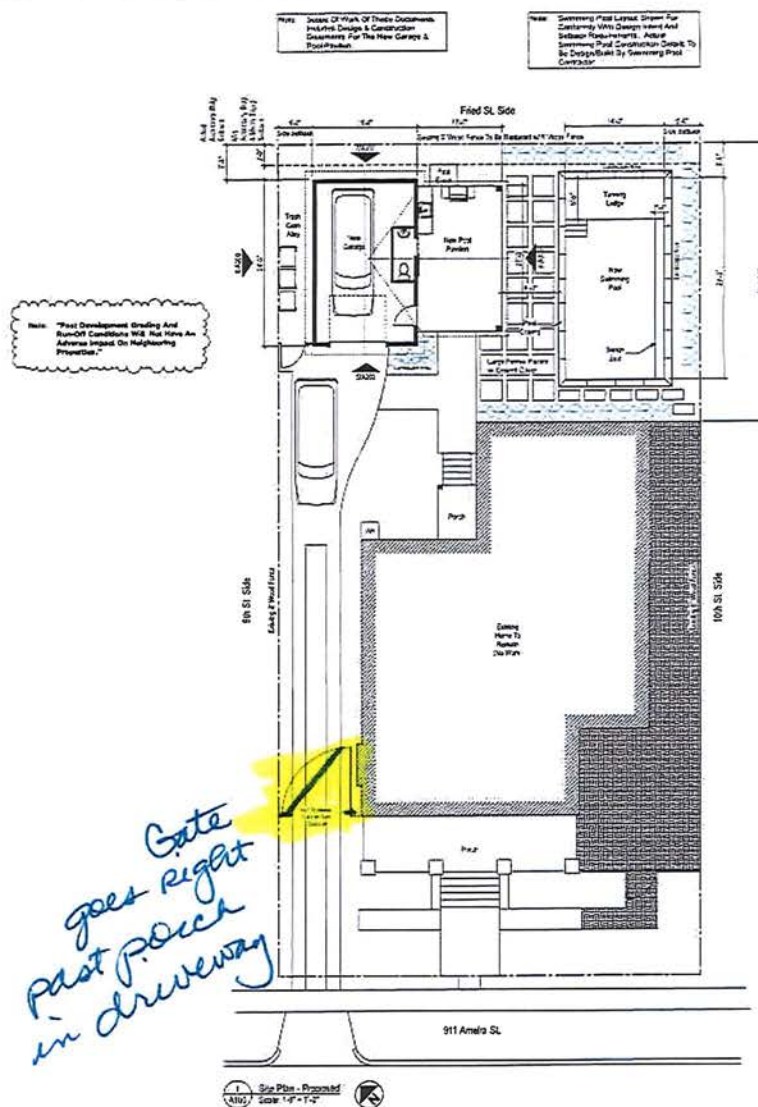
911 AMELIA STREET
LOT 3-A, SQUARE 18, NEW GRETNA
CITY OF GRETNA, JEFFERSON PARISH, LA

COUNCIL DISTRICT: 1
GRETN, LA 70053
ZONING DIST: R-1

| | |
|------------------------|----------|
| LOT AREA: | 7,700 SF |
| ENCLOSED GARAGE AREA: | 360 SF |
| COVERED PAVILION AREA: | 353 SF |
| TOTAL AREA UNDER BEAM: | 8413 SF |

[illegible]

| <u>Architectural</u> | |
|----------------------|---|
| A100: | Title Sheet & Site Plan |
| A200: | Floor Plan, Bldg. Sections & Elevations |
| S1.0A: | General Structural Notes |
| S1.0B: | General Structural Notes |
| S1.1: | Foundation Plan |
| S1.2: | Foundation Sections |
| S2.0: | Framing Plans |
| S2.1: | Framing Sections |
| S2.2: | Framing Details |

[illegible]

Gate goes right past porch in driveway



SCNZ
ARCHITECTS

New Garage & Pool Pavilion
JC & Nanette Saucier
911 Amelia St., Grctna, LA

[illegible]

| | |
|---------|---|
| Program | |
| Release | X |



Project No. 307G Drawn By 154

Title Sheet
& Site Plan

A100

Maria Caulking

From: Nanette Saucier <nrsaucier@gmail.com>
Sent: Monday, April 22, 2024 3:56 PM
To: Maria Caulking
Subject: [External Sender] Saucier Residence Gate placement
Attachments: AGS Drawing of Gate 911 Amelia.jpg; Saucier Gate Placement in Driveway on side of house.pdf

Hi Marie,

Please see the attached sketch from our gate contractor as well as the plans from our architect of where the gate will be placed. It will be installed at the beginning of our driveway where the existing fence between our yard and our neighbor's yard starts. If you look at the architect's drawings, he showed where it should be placed. The only difference is that we will have it swing inward towards the fence and not towards the house. This is because the side of the porch, the external chimney and our gas meter would cause the gate to not be able to open flush. The gate will sit back from the front of the house and will only block our driveway. We already have a secured gate and fence surrounding the other side of our house, as well as fencing all around the remainder of our yard to secure the pool from public access. Please let me know if you all need anything else from us.

Thank you so much,
Nanette Saucier



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #: **135199**

EXPIRATION DATE: **4/30/2024**

JOB ADDRESS: 911 AMELIA ST
PARCEL ID:
SUBDIVISION:

LOT #:
SQUARE #:
ZONING:

OWNER: NANETTE SAUCIER
ADDRESS: 911 AMELIA ST
CITY, STATE ZIP: GRETNA LA 70053-5527
PHONE:

CONTRACTOR: NANETTE SAUCIER
ADDRESS: 911 AMELIA ST
CITY, STATE ZIP: GRETNA LA 70053-5527
PHONE:

PROP. USE
VALUATION: \$ 0.00
SQ FT 0.00
OCCP TYPE:
CNST TYPE:

STORIES:
UNITS:
FIRE SPRINKLERS:
OCCUPANT LOAD:
FLOOD ZONE:

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS 04/29/2024 AT 4:00 P.M. IN COUNCIL CHAMBERS

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: March 29, 2024

433 Lavoisier Street
(District 2)

For: New Construction

Applicant:
Mary & Ben Tucker



Permit #
7650

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
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Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 433 Lavoisier St.

Renovation: _____
New Construction: ✓ Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____
Shotgun ✓ _____
Bungalow _____
Other _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

| | |
|-----------------------------------|------------------------------|
| Roof <u>Asphalt Shingles</u> | Soffit <u>Hardie</u> |
| Fascia <u>Hardie</u> | Siding <u>Hardie + Brick</u> |
| Masonry <u>Brick Front + Rear</u> | Porches <u>Brick</u> |
| Balconies <u>NA</u> | Handrails <u>NA</u> |

Type of exterior lighting fixtures: Natural Gas

Style of windows: _____

Type of exterior doors: Front - Wood + Glass Rear Porch Sliding

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Mary Tucker Date: 4-21-24

Applicant's
Name: Mary + Ben Tucker

Applicant's
Address: 515 Lavoisier St.

Cell
Phone No: (504) 858-6421-Mary Cell No: (504) 427-3541 - Ben Tucker

For Office Use Only:

Application date: April 22, 2024

Substantive Change: Yes ☐ No ☒ Inventory Number: 502

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: April 29, 2024 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorronzona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Mary + Ben Tucker the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on April 29 2024 @ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Mary Tucker
Signature of Applicant

Mary Tucker
NAME OF APPLICANT (PLEASE PRINT)

515 Lavoisier St. 70053
Applicant's address

433 Lavoisier St. 70053
Actual address of the property for review

Date: 4-21-24



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

| | | | |
|------------------|---------------------|------------------|---------------------|
| PERMIT #: | 135198 | EXPIRATION DATE: | 4/30/2024 |
| JOB ADDRESS: | 433 LAVOISIER ST | LOT #: | |
| PARCEL ID: | | SQUARE #: | |
| SUBDIVISION: | | ZONING: | |
| OWNER: | MARY TUCKER | CONTRACTOR: | MARY TUCKER |
| ADDRESS: | 433 LAVOISIER ST | ADDRESS: | 433 LAVOISIER ST |
| CITY, STATE ZIP: | GRETN LA 70053-5939 | CITY, STATE ZIP: | GRETN LA 70053-5939 |
| PHONE: | | PHONE: | |
| PROP. USE: | | STORIES: | |
| VALUATION: | \$ 0.00 | UNITS: | |
| SQ FT: | 0.00 | FIRE SPRINKLERS: | |
| OCCP TYPE: | | OCCUPANT LOAD: | |
| CNST TYPE: | | FLOOD ZONE: | |

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. HDC MEETING SCHEDULED APRIL 29, 2024

NOTICE

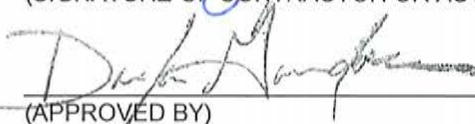
SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

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(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)


(APPROVED BY)


DATE


DATE



City of Gretna

P.O. Box 404
Gretna, LA
(504) 363-1563

Date: Monday, April 22, 2024

Mary Tucker
515 Lavoisier Street
Gretna, LA, 70053
Marytucker41@hotmail.com

PLANNING AND ZONING REVIEW

Permit Number: 2024-7650

Job Address: 433 Lavoisier Street, Gretna, LA 70053

Dear Mary Tucker,

The Planning and Zoning department has completed its review of plans for the New Single Family Residence (Res) that is to be located at 433 Lavoisier Street, Gretna, LA 70053. Comments from this review follow.

1. Site plan does not include hardscaping - walkway or driveway. Please revise and include that information.
2. Rear setback minimum is 15 feet - garage cannot be attached in current location (under one roof). Either needs to be repositioned or detached to remain.
3. New driveways on state routes require permit from DOTD. Will send application and information.
4. Driveway minimum width is 10 feet, maximum width is 20 feet - but DOTD may have additional requirements.
5. If adding any hardscaping in front yard, must provide calculations showing 50% or more is greenspace.
6. Front setback is showing as 13 feet - please provide statement on plans or in letter that this is the average setback of the homes on the blockface. Rule is 20 foot minimum OR equivalent to the blockface average
7. Site plan requires statement "Post development runoff will not adversely impact neighborhood properties or right of way"

Please revise the project application to address the comments noted above. Following revision, please upload any requested additional documents and if applicable, one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding these comments, please contact my office at (504) 363-1563 for Planning and Zoning assistance. I can be reached by e-mail at apellegrin@gretnala.com.

ADDITIONAL RESOURCES

You can also view the full zoning and development code here: www.gretnala.com/UDC

For additional general information on zoning districts, how to create a site plan and other development applications, please visit the Planning & City Development webpage on www.gretnala.com/planning-zoning/.

Thank you for your cooperation in the development review process.

Thank you,

Amelia Pellegrin, AICP
Director of Planning and City Development
CITY OF GRETNA, LOUISIANA
(504) 363-1568
apellegrin@gretnala.com

Tucker Residence

New Single Family
433 Lavoisier St.
Gretna, LA



Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

PROJECT NUMBER: F022058
DATE: 2.29.2024
DRAWN BY: RLD
CHECKED BY: JLF

Title Sheet

A-1

Pricing Documents

Sheet Index

- A-1 Title Sheet
- A-1.1 Roof Plan
- A-2 Floor Plans
- A-3 Reflected Ceiling Plan
- A-4 Elevations
- A-4.1 Elevations
- S-1 Foundation Plan
- S-2 Framing Plans
- S-3 Structural Details & Notes
- S-4 Structural Details & Notes

Square Footage

| | |
|---------------------|-----------|
| First Floor Living: | 2804 SQFT |
| Garages: | 533 SQFT |
| Front Porch: | 213 SQFT |
| Back Porch: | 271 SQFT |
| Total Living: | 2804 SQFT |
| Total: | 3821 SQFT |

Architectural Symbols

VIEW TITLE

DRAWING NUMBER

DRAWING TITLE

A-1 SCALE

SHEET DRAWN

SECTION REFERENCE

DIRECTION OF CUT

DRAWING NUMBER

SHEET DRAWN

CENTER LINE

1

DOOR TAG

1

ELEVATION REFERENCE

1

A101

DETAIL REFERENCE

DRAWING NUMBER

AREA TO BE ENLARGED

SHEET DRAWN

WINDOW TAG

A

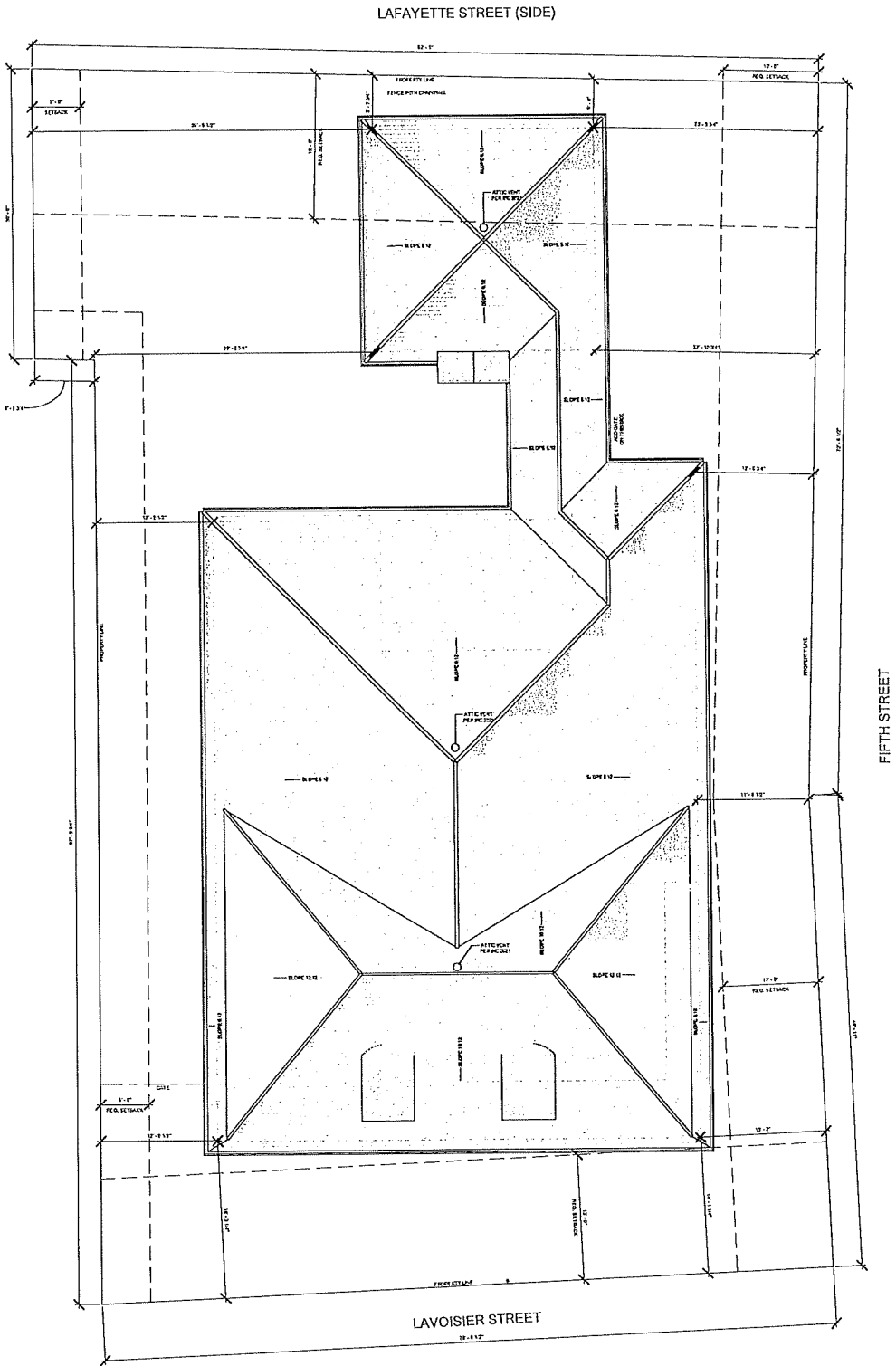
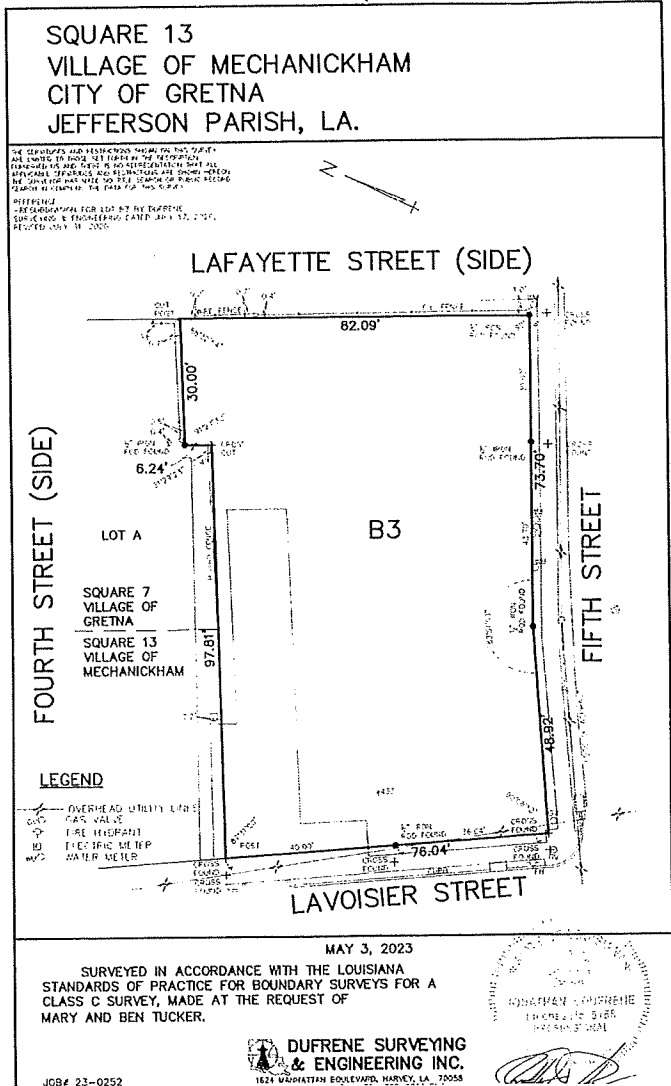
ROOM TAG

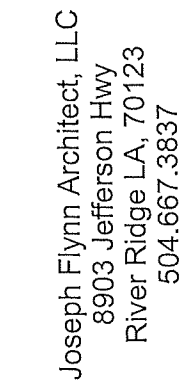
Room Name

101

0'-0"

- NOTE:
- ALL DESIGN TO MEET IRC 2021.
 - CONTRACTOR TO PROVIDE PRECUT BOARDS CUSTOM MADE TO FIT EACH WINDOW TO BE KEPT ON SITE AND ATTACHED DURING A WEATHER EVENT AS PER IRC 2021 SECTION R301.2.1.2.
 - ALL DESIGN TO MEET A PRESCRIPTIVE ENERGY COMPLIANCE PATH PER IRC 2021, N1101 - N1104
 - THESE DRAWINGS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF KNOWLEDGE AND BELIEF THESE DRAWINGS COMPLY WITH THIS CODE. I WILL NOT SUPERVISE NOR INSPECT THIS WORK.



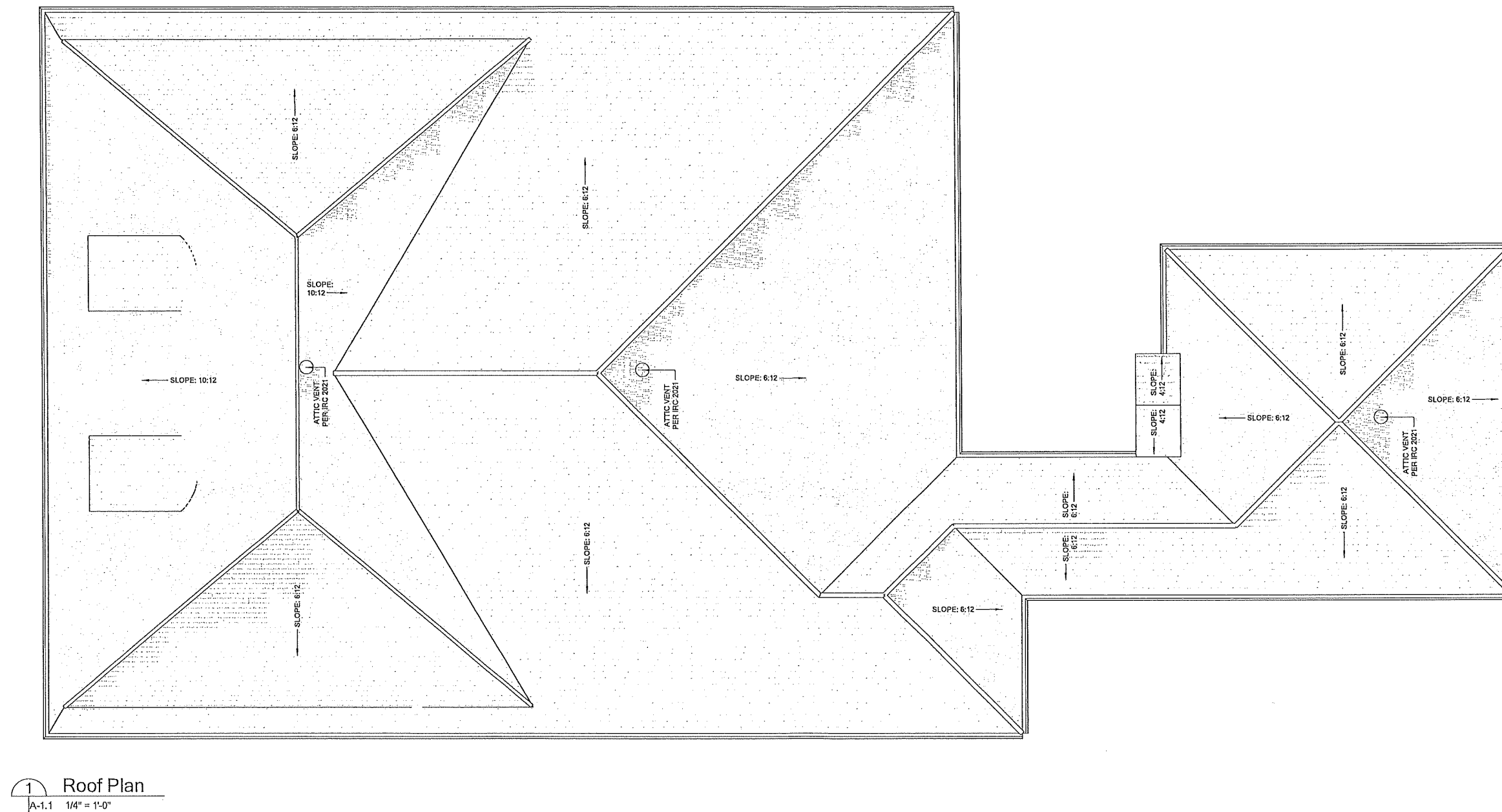


Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

Roof Plan

A-1.1

Pricing Documents



| Door Schedule | | | |
|---------------|--------|--------|--|
| Mark | Height | Width | Description |
| 1 | 8'-0" | 5'-0" | Exterior Double Doors w/ Transom (5'-0" X 1'-6"); O.S. |
| 2 | 8'-0" | 2'-8" | Interior Single Door; O.S. |
| 3 | 8'-0" | 3'-0" | Interior Double Doors; O.S. |
| 4 | 8'-0" | 4'-0" | Interior Double Doors; O.S. |
| 5 | 8'-0" | 2'-6" | Interior Single Door; O.S. |
| 6 | 8'-0" | 5'-0" | Interior Double Doors; O.S. |
| 7 | 8'-0" | 2'-6" | Shower Door; O.S. |
| 8 | 8'-0" | 3'-0" | Cased Opening; O.S. |
| 9 | 8'-0" | 2'-8" | Interior Single Pocket Door; O.S. |
| 10 | 8'-0" | 3'-0" | Exterior Single Door; O.S. |
| 11 | 8'-0" | 15'-0" | Exterior Sliding Door; O.S. |
| 12 | 8'-0" | 2'-0" | Interior Single Door; O.S. |
| 13 | 8'-0" | 2'-8" | Exterior Single Door; O.S. |
| 14 | 8'-0" | 18'-0" | Insulated Garage Door; O.S. |
| 15 | 8'-0" | 7'-0" | Insulated Garage Door; O.S. |
| 16 | 8'-0" | 2'-8" | Cased Opening; O.S. |

NOTE:

ALL DOOR SIZES ARE APPROXIMATE AND/ OR SELECTED BY OWNER.
VERIFY WITH DOOR MANUFACTURER FOR AVAILABLE SIZES AND
SELECTIONS.

| Window Schedule | | | | |
|-----------------|-------|--------|-------------|---|
| Mark | Width | Height | Head Height | Description |
| A | 3'-6" | 7'-0" | 9'-6" | 2/2 Single Hung w/ 2-Lite Transom (3'-6" X 1'-8"); O.S. |
| B | 3'-0" | 7'-6" | 9'-6" | 2/2 Single Hung w/ 2-Lite Transom (3'-0" X 1'-8"); O.S. |
| C | 3'-0" | 5'-0" | 8'-0" | 2/2 Single Hung; O.S. |
| E | 2'-6" | 4'-6" | 9'-6" | Single Hung w/ Transom (2'-6" X 1'-6"); O.S. |
| F | 3'-0" | 6'-0" | 9'-6" | Single Hung w/ Transom (3'-0" X 1'-6"); O.S. |
| G | 6'-0" | 2'-0" | 9'-0" | Transom; O.S. |
| H | 2'-0" | 4'-0" | 8'-0" | Single Hung; O.S. |
| I | 3'-0" | 4'-6" | 6'-6" | Eye Brow Arched; O.S. |

*PLEASE SEE SECOND FLOOR PLAN AND/ OR ELEVATIONS FOR DORMER
WINDOWS AND/ OR OTHER WINDOWS MARKED WITH (*).

NOTE:

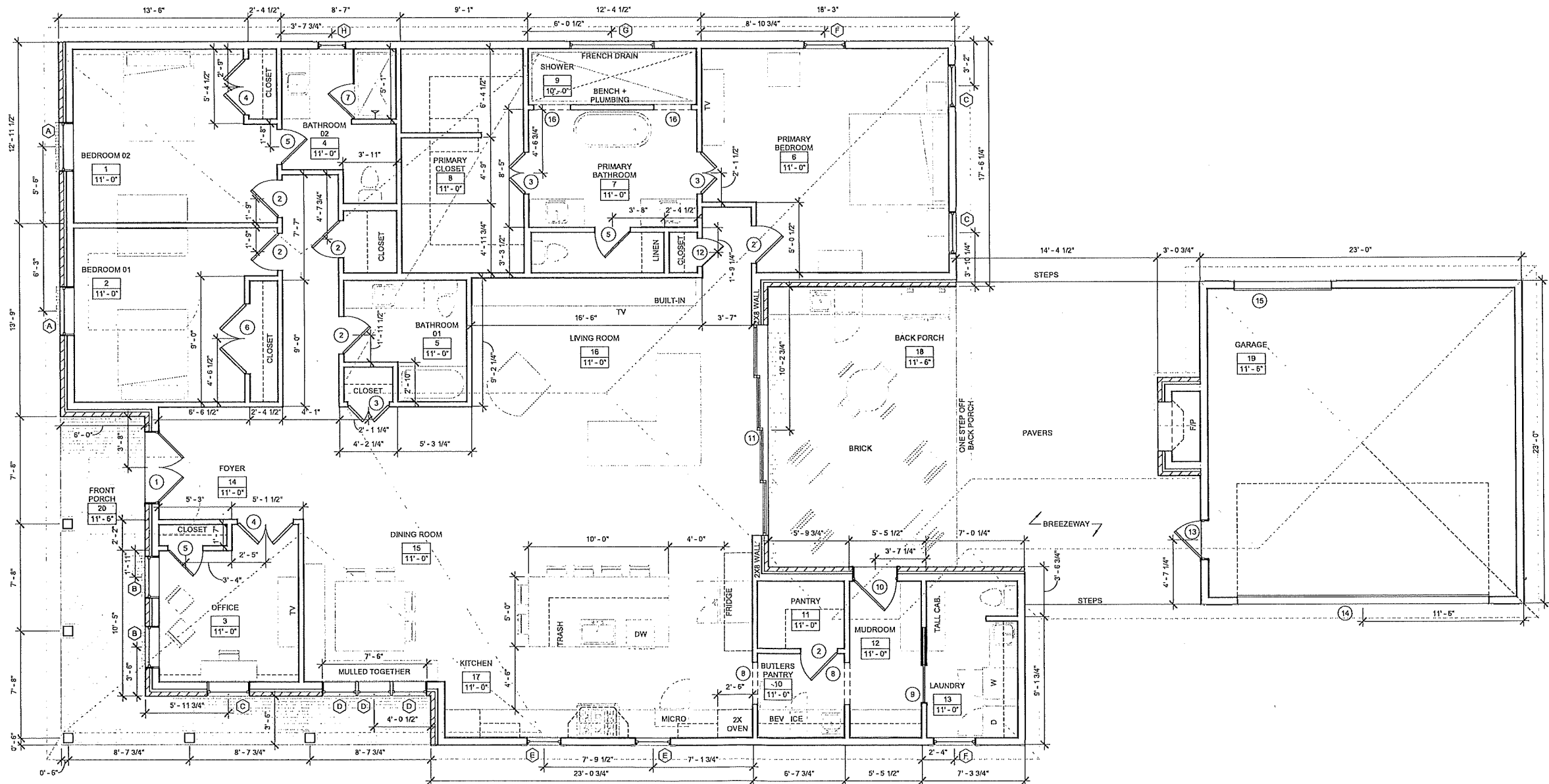
- ALL WINDOWS SIZES ARE APPROXIMATE AND/ OR SELECTED BY
OWNER. VERIFY WITH WINDOW MANUFACTURER FOR AVAILABLE
SELECTIONS AND SIZING.
- SAFETY GLAZING/ TEMPERED GLAZING SHALL BE PROVIDED IN 18".
REFER TO IRC 2021, SECTION 308.
- WINDOWS INSTALLED IN BATHROOM ENCLOSURES, LESS THAN 60"
FROM THE FLOOR, REQUIRE SAFETY GLAZING IN ACCORDANCE WITH
IRC 2021 R308.4.5.
- ALL WINDOWS MUST MEET THE FOLLOWING EGRESS REQUIREMENTS
PER THE IRC 2021:

1ST FLOOR:

CLEAR OPENING WIDTH >20"
CLEAR OPENING HEIGHT >24"
MINIMUM CLEAR OPENING SQFT = 5.0 SQFT
MAXIMUM SILL HEIGHT ABOVE FLOOR = 44"

2ND FLOOR:

CLEAR OPENING WIDTH >20"
CLEAR OPENING HEIGHT >24"
MINIMUM CLEAR OPENING SQFT = 5.7 SQFT
MAXIMUM SILL HEIGHT ABOVE FLOOR = 44"



1 First Floor
A-2 1/4" = 1'-0"



Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

PROJECT NUMBER: FDX2558
DATE: 2/29/2024
DRAWN BY: RLD
CHECKED BY: JEF
TITLE:

Floor Plans

SHEET:

A-2

Pricing Documents



Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

PROJECT NUMBER: F22558
DATE: 2/29/2024
DRAWN BY: RJD
CHECKED BY: JLF
TITLE:

Reflected Ceiling Plan

SHEET:

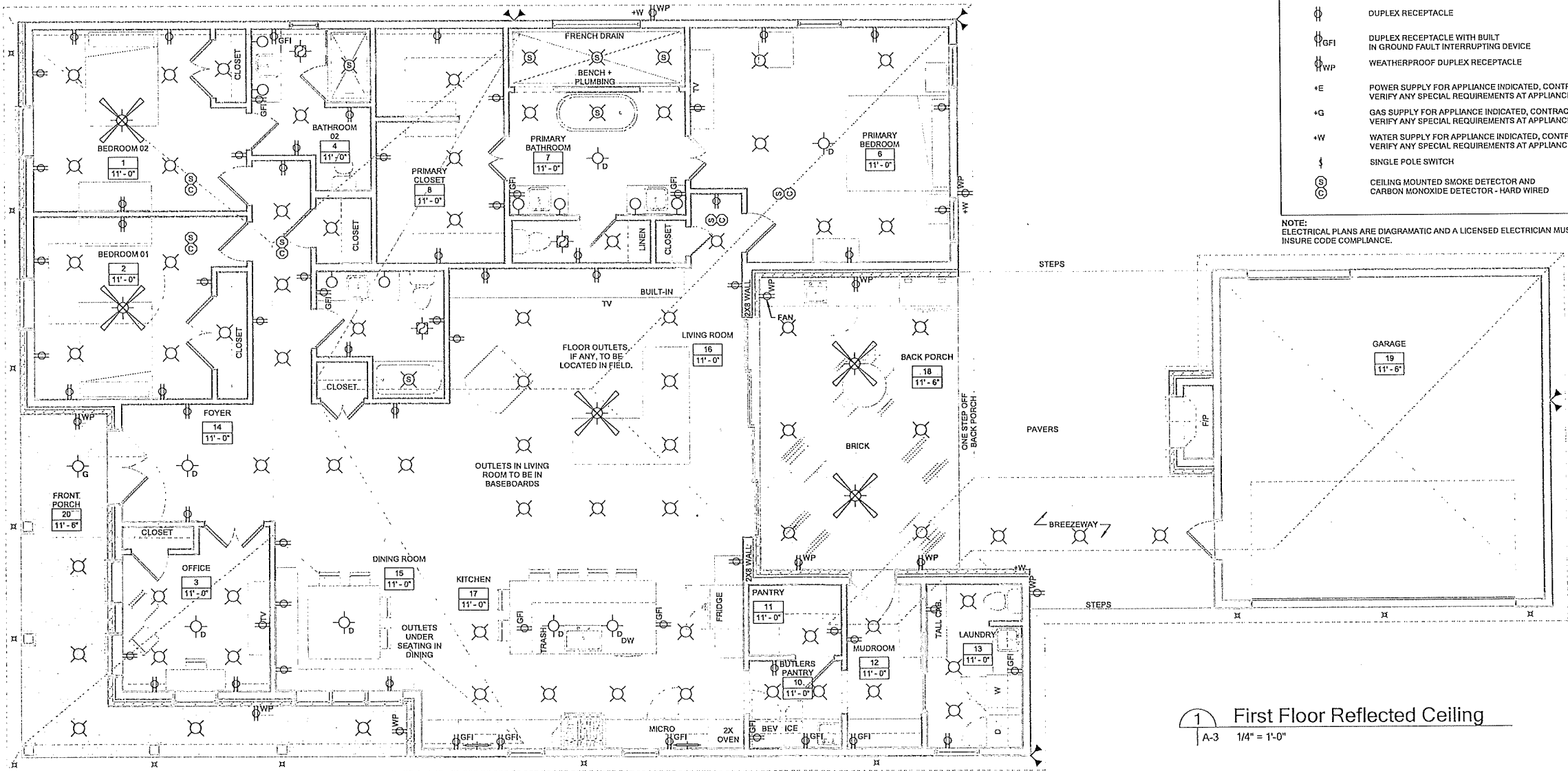
A-3

Pricing Documents

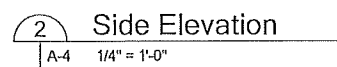
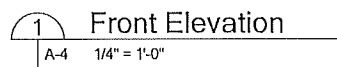
Electrical Legend

- RECESSED CEILING FIXTURE
- SURFACE MOUNTED CEILING FIXTURE
- SURFACE MOUNTED DECORATIVE CEILING FIXTURE TO BE SELECTED BY OWNER
- SURFACE MOUNTED DECORATIVE CEILING GAS FIXTURE TO BE SELECTED BY OWNER
- RECESSED SHOWER LIGHT FIXTURE
- WALL MOUNTED FIXTURE
- WALL MOUNTED GAS FIXTURE
- UNDER CABINET LIGHTING
- TOE HEATER
- CEILING MOUNTED FLUORESCENT FIXTURE (4 TUBE)
- CEILING MOUNTED FLUORESCENT FIXTURE (2 TUBE)
- WALL MOUNTED FLOOD LIGHT
- CEILING FAN WITH LIGHT KIT
- CEILING FAN WITHOUT LIGHT KIT
- CEILING MOUNTED HEAT VENT LIGHT
- CEILING MOUNTED VENT LIGHT
- RECESSED VENT AND LIGHT ELECTRICIAN TO INSTALL SEPARATE SWITCH FOR LIGHT AND VENT
- CEILING MOUNTED VENT
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE WITH BUILT IN GROUND FAULT INTERRUPTING DEVICE
- WEATHERPROOF DUPLEX RECEPTACLE
- +E POWER SUPPLY FOR APPLIANCE INDICATED. CONTRACTOR TO VERIFY ANY SPECIAL REQUIREMENTS AT APPLIANCES
- +G GAS SUPPLY FOR APPLIANCE INDICATED. CONTRACTOR TO VERIFY ANY SPECIAL REQUIREMENTS AT APPLIANCES
- +W WATER SUPPLY FOR APPLIANCE INDICATED. CONTRACTOR TO VERIFY ANY SPECIAL REQUIREMENTS AT APPLIANCES
- ⏻ SINGLE POLE SWITCH
- CEILING MOUNTED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR - HARD WIRED

NOTE:
ELECTRICAL PLANS ARE DIAGRAMATIC AND A LICENSED ELECTRICIAN MUST INSTALL AND INSURE CODE COMPLIANCE.



1 First Floor Reflected Ceiling
A-3 1/4" = 1'-0"



Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

PROJECT NUMBER: FD23058
DATE: 2.29.2021
DRAWN BY: RLD
CHECKED BY: JEF
TITLE:

Elevations

SHEET:

A-4

Pricing Documents

Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

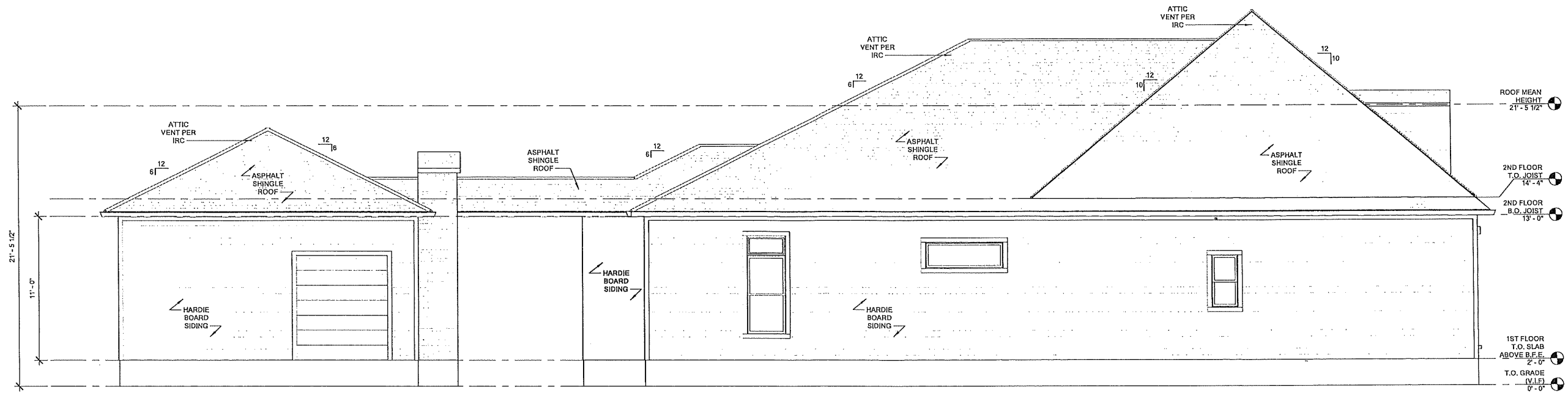
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DATE: 2.29.2024
DRAWN BY: RLO
CHECKED BY: JLF
TITLE:

Elevations

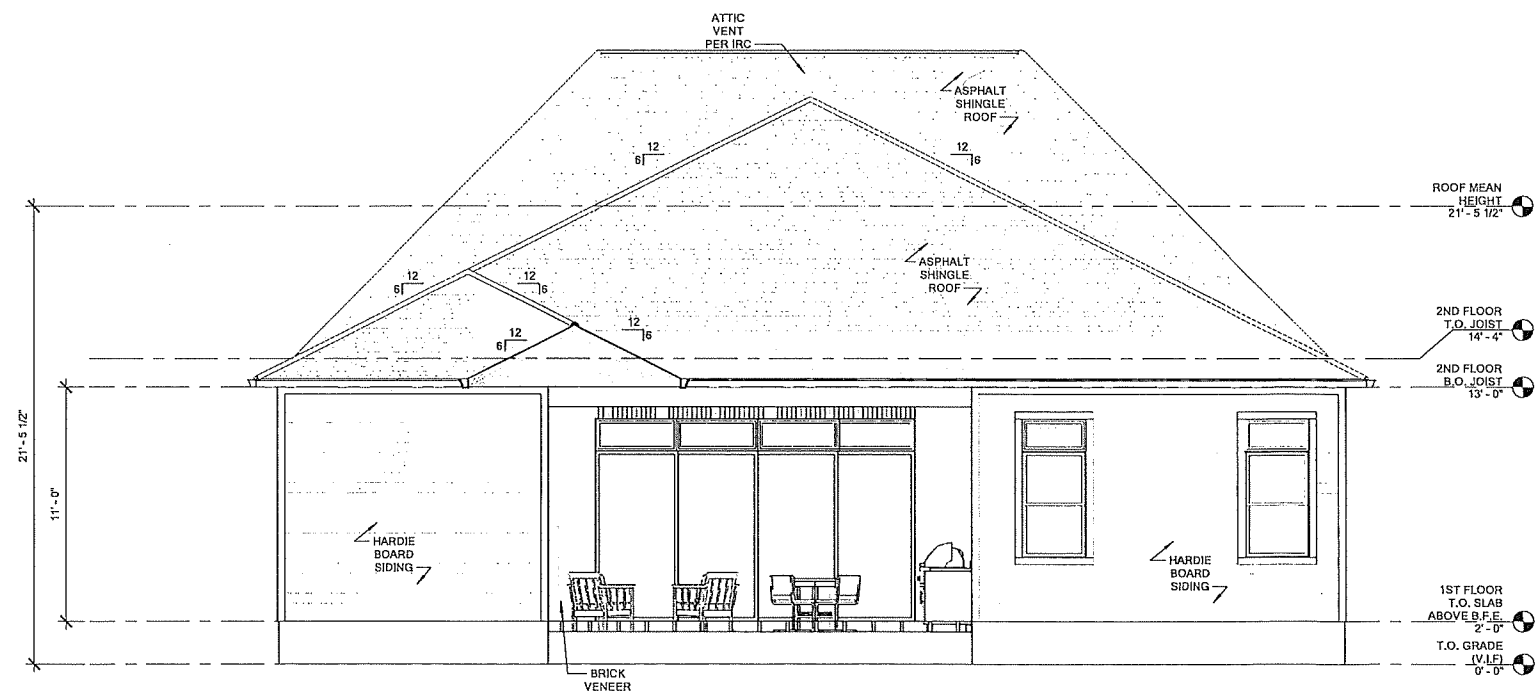
SHEET:

A-4.1

Pricing Documents



1 Side Elevation
A-4.1 1/4" = 1'-0"



2 Rear Elevation
A-4.1 1/4" = 1'-0"

LEGEND

Single End Stressing

Double End Stressing

Indicates slab level tendon

Indicates bottom beam level tendon

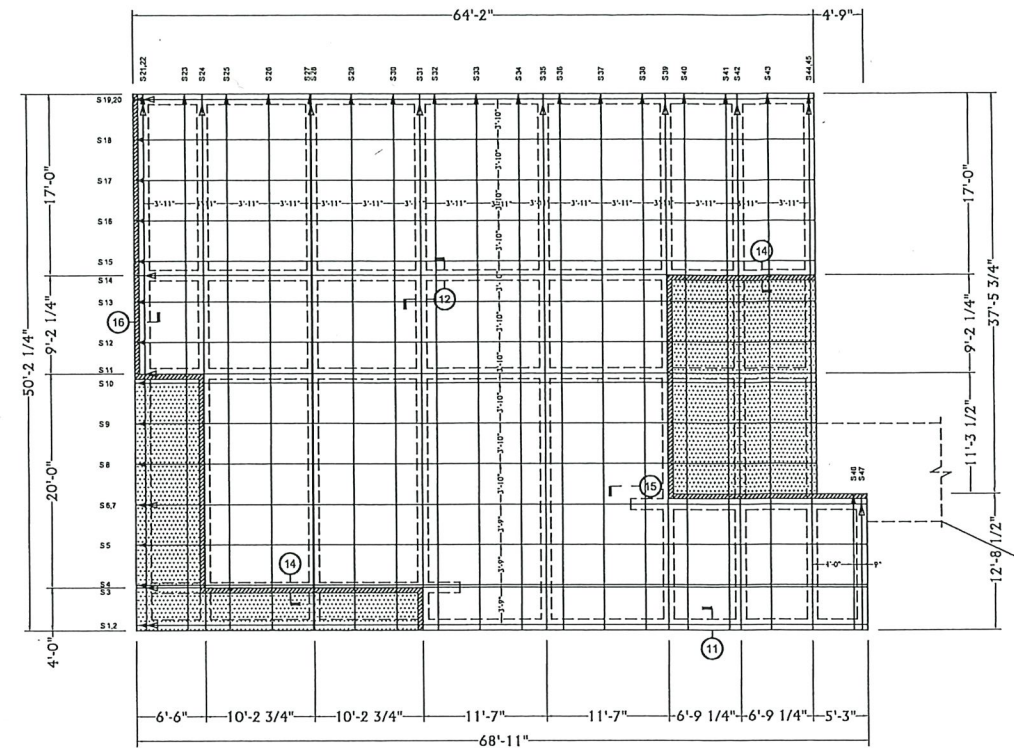
PILE: See plan

RECESSED: Highlighted area may be recessed (See Architectural)

BRICK LEDGE (See Architectural)

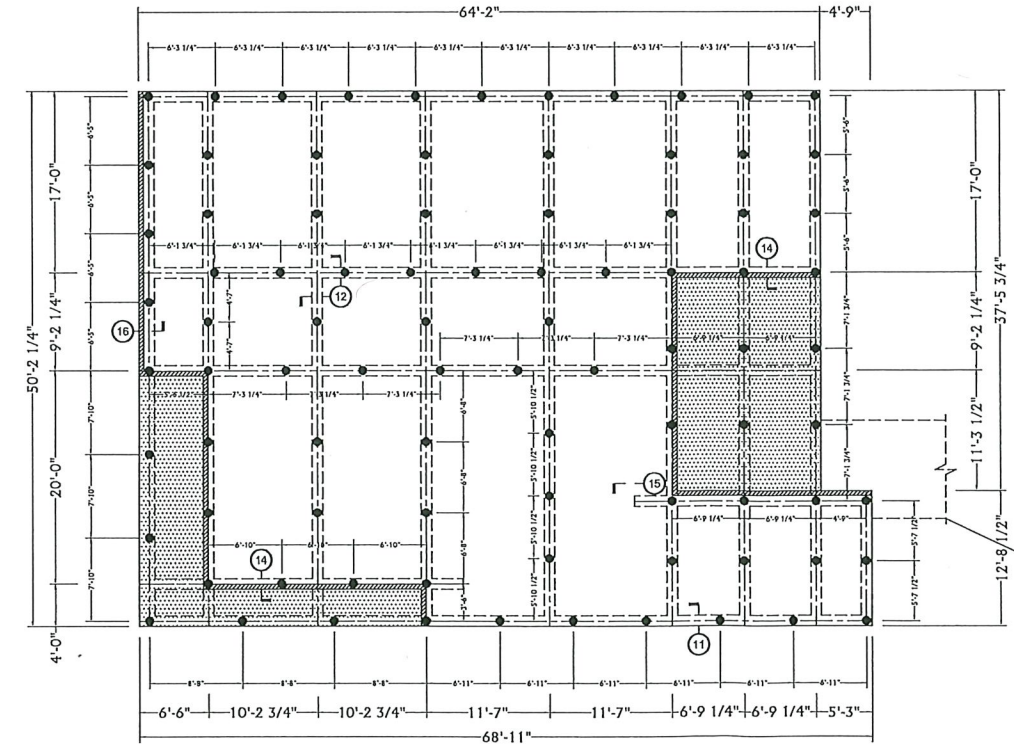
CONVENTIONAL REINFORCING REQUIRED (See Detail)

| Tendon Numbers | Quantity | Length | Calculated Elongation | Tolerance |
|------------------------------|----------|------------|-----------------------|---------------|
| S1 to S7 | 7 | 64' 11" | 5' 12" | ±10% 5" |
| S8 to S20 | 13 | 64' 2" | 5' 10" | 5 5/8" 4 5/8" |
| S21 to S48 | 28 | 65' 3" | 3' 7/8" | 4 1/4" 3 1/2" |
| S49 to S52 | 4 | 12' 0" | 7/8" | 1" 3/4" |
| S53 to S55 | 3 | 23' 0" | 1' 5/8" | 1 3/4" 1 1/2" |
| S56 to S67 | 12 | 23' 0" | 1' 5/8" | 1 3/4" 1 1/2" |
| Total Cable L.F. w/o Tails = | | 3047' - 7" | | |
| Total Number of Cuts = | | 67 | | |



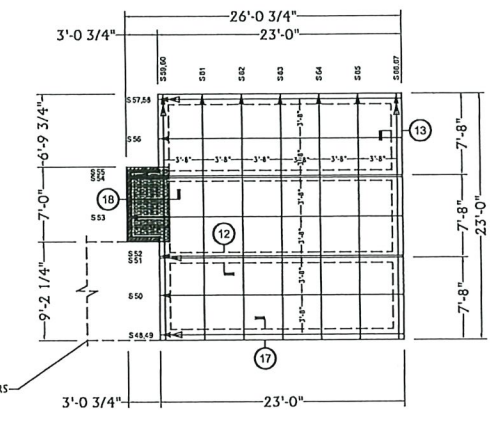
HOUSE FOUNDATION PLAN 1/8"=1'-0"

4" THICK CONCRETE SLAB
(CONCRETE: 3,000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS)
1 LAYER OF 6 MIL. VAPOR BARRIER
MAX. FILL HEIGHT ALLOWED = 24 INCHES
SLAB AREA - 3,281 S.F.



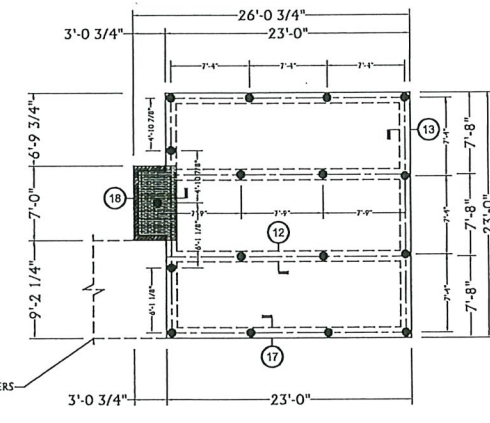
HOUSE PILE PLAN 1/8"=1'-0"

88 PILES REQUIRED
5 TON DESIGN LOAD
PILES SHALL BE CLASS 5 PILES
MINIMUM TIP EMBEDMENT INTO NATURAL SOIL = 30'



GARAGE FOUNDATION PLAN 1/8"=1'-0"

4" THICK CONCRETE SLAB
(CONCRETE: 3,000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS)
1 LAYER OF 6 MIL. VAPOR BARRIER
MAX. FILL HEIGHT ALLOWED = 24 INCHES
SLAB AREA - 551 S.F.



GARAGE PILE PLAN 1/8"=1'-0"

17 PILES REQUIRED
5 TON DESIGN LOAD
PILES SHALL BE CLASS 5 PILES
MINIMUM TIP EMBEDMENT INTO NATURAL SOIL = 30'

TOTAL SLAB AREA - 3,832 S.F.

DocuSigned by:

Jerome W. DeVille

50BF592A73555555

JEREMY W. DEVILLE

License No. 31317

PROFESSIONAL ENGINEER

CIVIL ENGINEERING

3/18/2024

DeVile Consulting Engineers

105 Riverwood Dr., Covington, LA 70433

985-773-3560 http://www.dengineersllc.com

| REV. | DESCRIPTION | DATE | BY |
|------|-------------|------|----|
| 1. | | | |
| 2. | | | |
| 3. | | | |
| 4. | | | |
| 5. | | | |

BAYOU POST TENSION
BEN TUCKER
LOT B3, BLK 13,
VILLAGE OF MECHANICKHAM S/D,
433 LAVOISIER STREET
GRETN, LOUISIANA

Job No. 24065
Date: 03/15/24
Drawn By: DJM

SHEET NO.
S1.0
SHEET 1 OF 2

DESIGN CODES
RE 2021
AQ 318

GENERAL NOTES

1. No field supervision provided under this seal. Contractor shall perform all work in accordance with all local/federal codes, regulations & requirements. It is recommended that this plan be kept on the site at all times during construction for coordinating with other trades and inspections if required by municipalities.
2. This plan is to be used for footing layout and tendon placement only. Contractor shall verify all dimensions of slab per architectural drawings prior to construction.
3. Beam dimensions shown are the minimum required and may not be reduced, or enlarged without approval by the engineer. Check over around anchor bolts to provide a minimum of 6 inches of concrete cover. Plumbing at ends shall not fall within slab section or beams shown on this day.
4. Polyethylene vapor barrier shall be placed under the entire slab area & should be draped into the grade beams as shown in the details.
5. Coordinate structural drawings with architectural & electrical/mechanical drawings for all openings, bays, and other related items.
6. The contractor shall verify all dimensions, drops, offsets, brick ledges and block-outs on architectural plans prior to construction.
7. Floor area utilizing decorative surface/finished concrete should be brought to design engineer's attention prior to concrete placement for additional reinforcement and jointing considerations.
8. Brick flashing areas must be extended completely to the edge of the concrete in all directions to prevent bonding to the foundation.
9. Tendon location may be field adjusted horizontally to avoid block-outs/obstructions per "Construction & Maintenance Procedures Manual for Post-Tension Slab-on-Ground Construction" section 5.0.
10. Lifting of the slab prior to tensioning shall not be done without the approval of the post-tension design engineer of record.
11. The foundation shown on this drawing has been designed in accordance with local/federal building code requirements including the PTI (Post-Tension Institute) guidelines for design and construction of post-tensioned slab-on-ground. The American Concrete Institute's guidelines for design of slab-on-ground (ACI-308) and good engineering standard practice.
12. Foundation shall be placed monolithically to avoid "cold joints." I.E., placement shall proceed from start to finish in a monolithic fashion. Where cold joints are unavoidable due to delays, contractor shall consolidate concrete by vibrating through cold joint boundary. If long delay is anticipated, contractor shall form bulkhead or otherwise create a vertical control surface for insertion of #4 deformed dowels at 18" O.C. in slab and (2) #5 deformed dowels top at bottom of beams. Dowels shall be 18" long.
13. Plumbing lines shall not be located inside beams, except at or near perpendicular configuration to beams.
14. Contractor shall use a bond breaker membrane between slab and brittle flooring materials (terrazzo, tile, etc.) due to possible failure of slab.
15. Contractor shall prepare floor areas for slab-on-ground prior to installation of brittle flooring materials. Flooring Contractor shall install cracks in concrete slab in accordance with day set mortar manufacturer's recommendations prior to installation of brittle flooring materials. Flooring contractor shall use an epoxy bond breaker between any concrete surface and brittle flooring material to prevent bonding of the brittle flooring materials to the foundation.

CONCRETE

1. All concrete in foundation beams and slabs shall have a minimum 28 day compressive strength as shown on plans and at least 2,000 p.s.i. at the time of casting. Concrete mix design and materials shall be in accordance with the ACI-308 requirements (latest edition, as approved).
2. Calcium chlorides shall NOT be allowed.
3. Contractor shall thoroughly consolidate concrete, especially at tendon anchorages.
4. The ratio of the amount of fly ash to the total amount of fly ash and cement shall not exceed 20 percent.
5. All concrete mix shall be designed by a qualified registered engineer and lab concrete mix design data sheets shall be submitted to structural engineer for review & approval.
6. Contractor shall cure concrete in accordance with ACI-308 (latest edition as approved) immediately after finishing to control shrinkage cracking.
7. Contractor shall verify any curing compound used is compatible with flooring materials.

DETACHED REINFORCEMENT (REBAR) & WELDED WIRE FABRIC (WVF)

1. Rebar shall conform to ASTM A615, WVF shall conform to ASTM A185 (flat sheets).

POST-TENSIONING TENDONS

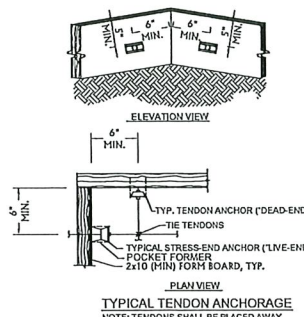
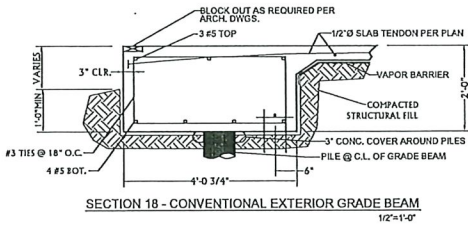
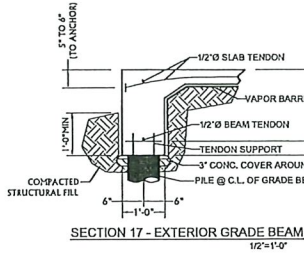
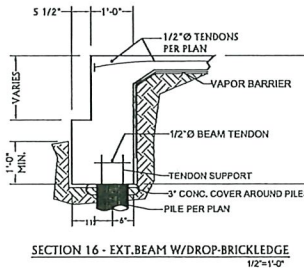
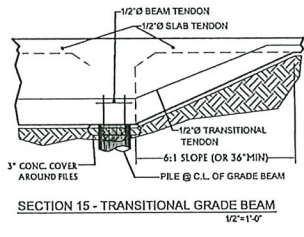
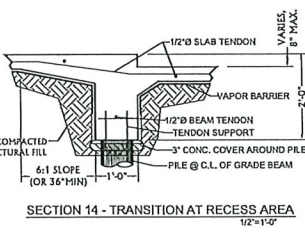
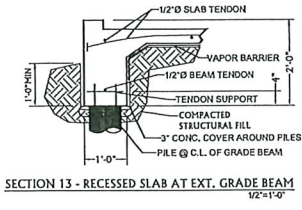
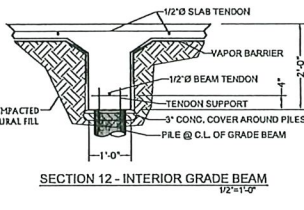
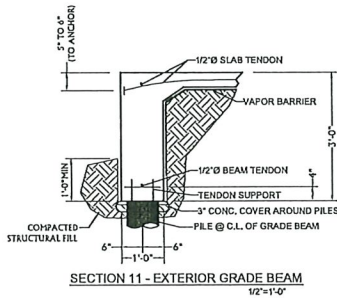
1. All post-tensioning work & materials shall be per project specification section 03500 "Unbonded Post-Tensioned Foundations Systems on Grade." Signed & sealed calculations shall be submitted with detailed shop drawings for approval.
2. All pre-stressed steel shall consist of seven wire stress relieved strand conforming to ASTM A-416 Low Relaxation Strand. Minimum ultimate tensile strength shall be 270,000 p.s.i. Strands shall be coated with a permanent rust preventative lubricant and a plastic sheath. All tendons shall be 1/2" Ø min. Each tendon shall be initially stressed to 33.0 kips and shall be anchored at 28.9 kips.
3. Post-tension system shall be furnished, placed, and stressed by a firm specializing in post-tension systems. Post-tension supplier shall be PTI certified. Post-tension contractor supervisor and 50% of the installation personnel must be certified as having completed the PTI Level 1 - Field Fundamentals Program. Also, all personnel involved in the stressing operation must be certified as having completed the PTI Level 1 - Field Fundamentals Program.
4. Tendons should be stressed no later than 10 days and no earlier than 3 days after placement of concrete unless concrete compressive strength can be verified sooner.
5. Tendons and bars shall be securely supported to prevent both vertical and horizontal movement during placement of concrete. Tendon supports shall be at 4'-0" max. Tendon supports shall not penetrate the vapor barrier.
6. The tendon location at the end of grade beam shall be 5" minimum to 6" maximum from the top of the slab to central gravity of tendons (see sections this drawing).
7. Exposed stressing recesses shall be filled with a non-shrink grout. This work shall be performed as soon as practical after stressing by the contractor, but no later than 7 days after stressing.
8. All tendons in excess of 110' in length are intended to be stressed to 33.0 kips from both sides.
9. Post-Tension tendons may be stressed in any sequence and the dead end free ends of the tendons may be reversed from that shown at the convenience of the post-tension contractor.
10. Installation sequence of conventional and post-tension reinforcing must be coordinated by general contractor at installer. When any conflict occurs between location of tendon and location of mild steel reinforcing, location of tendon shall take precedence.
11. Tendons shall not be placed within 6" of a slab penetration, opening, or exterior edge.
12. Contractor shall be responsible for location of all post-tensioning tendons when using expansion bolts, adhesive anchors, or powder actuated fasteners. The contractor shall locate tendons with specialized equipment such as bar meters and/or pushcutter for this purpose.
13. The stressing operation must be under the immediate control of a person experienced in this type of work. This person must maintain a close check and rigid control of all operations. If any problems occur during the stressing operation (i.e. broken wire, erratic elongations, etc.) discontinue the stressing operation and contact the engineer immediately.
14. The stressing must not commence until concrete test cylinders, cured under job site conditions, have been tested and indicate that the concrete has reached a minimum strength of 2200 psi.
15. The post-tensioning operation shall be controlled so that accurate elongation of the prestressing steel can be recorded and compared with the calculated elongations. Post-tension contractor shall develop tendon shop drawings with tendon numbers, lengths, and required tendon elongation. Records shall be kept of all jacking forces and elongations. Measured elongations not within 10% of the calculated elongation shall be rejected by the structural engineer with the assistance of manufacturer.
16. All bracing for carpentry work must be cast in place. If additional fasteners are required, power-driven fasteners will be permitted only where concrete spalling and tendon damage can be prohibited. Contractors must locate tendons at the surface on the slab before driving fasteners.

SOIL (GEO-TECHNICAL)

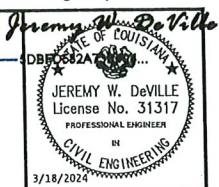
1. Fill shall be as best granular material compacted in 6" lifts to 95% standard proctor (or greater as required per governing building officials). The foundation design on this plan is for a maximum fill height as noted on the plan. Placement of fill in excess of this amount will void engineer's design and hold engineer harmless if differential settlement occurs.
2. Foundation is designed for minimum allowable bearing capacity of 1200 pcf (S.F. of 3) AND $P < 20$. Owner should obtain soil report to verify conditions prior to construction. Failure to properly test or compact soil will void engineer's design and hold engineer harmless if differential settlement occurs.
3. Contractor/Owner shall protect foundation from the effects of moisture evaporation due to loss of adjacent to the structure. Drilling replenishment of moisture to the soil results in a loss and consequent shrinkage of the soil mass. Such shrinkage promotes differential settlement and structure cracking.
4. The contractor/owner shall maintain positive drainage away from the foundation at all times. All runoff water shall be carried away from the slab to prevent saturation of the foundation sub-base fill at all times during construction and throughout the life of the structure. Installation of flowerbeds must not collect water at foundation edges. It is recommended the general contractor inform the owner of these requirements at the time the property title is transferred.

PILES

1. Pile size and tip embedment shall be as indicated on plan unless driven to refusal (refusal shall be as specified in geotechnical report/soil testing code), otherwise refusal shall occur at 12 blows per foot for two consecutive feet using a driving energy of 15,000 ft-lb. Pile size shall be verified. Thinner piles shall be per ASTM D305 and shall meet AWSA standards CS-92 for preservative retention. The owner/contractor shall verify the size of each pile used and keep a log of the driving record of each pile. Only license pile driving contractor shall be used for pile installation. Failure to adhere to any of these specifications void the engineer's design and hold engineer harmless if differential settlement occurs.



DocuSigned by:



Deville Consulting Engineers
105 Riverwood Dr., Covington, LA 70433
985-773-3560 | http://www.dceengineersllc.com

BAYOU POST-TENSION
BEN TUCKER
LOT B3, BLK 13,
VILLAGE OF MECHANICKHAM S/D,
433 LAVOISIER STREET
GRETN, LOUISIANA

Job No. 24065

Date: 03/15/24

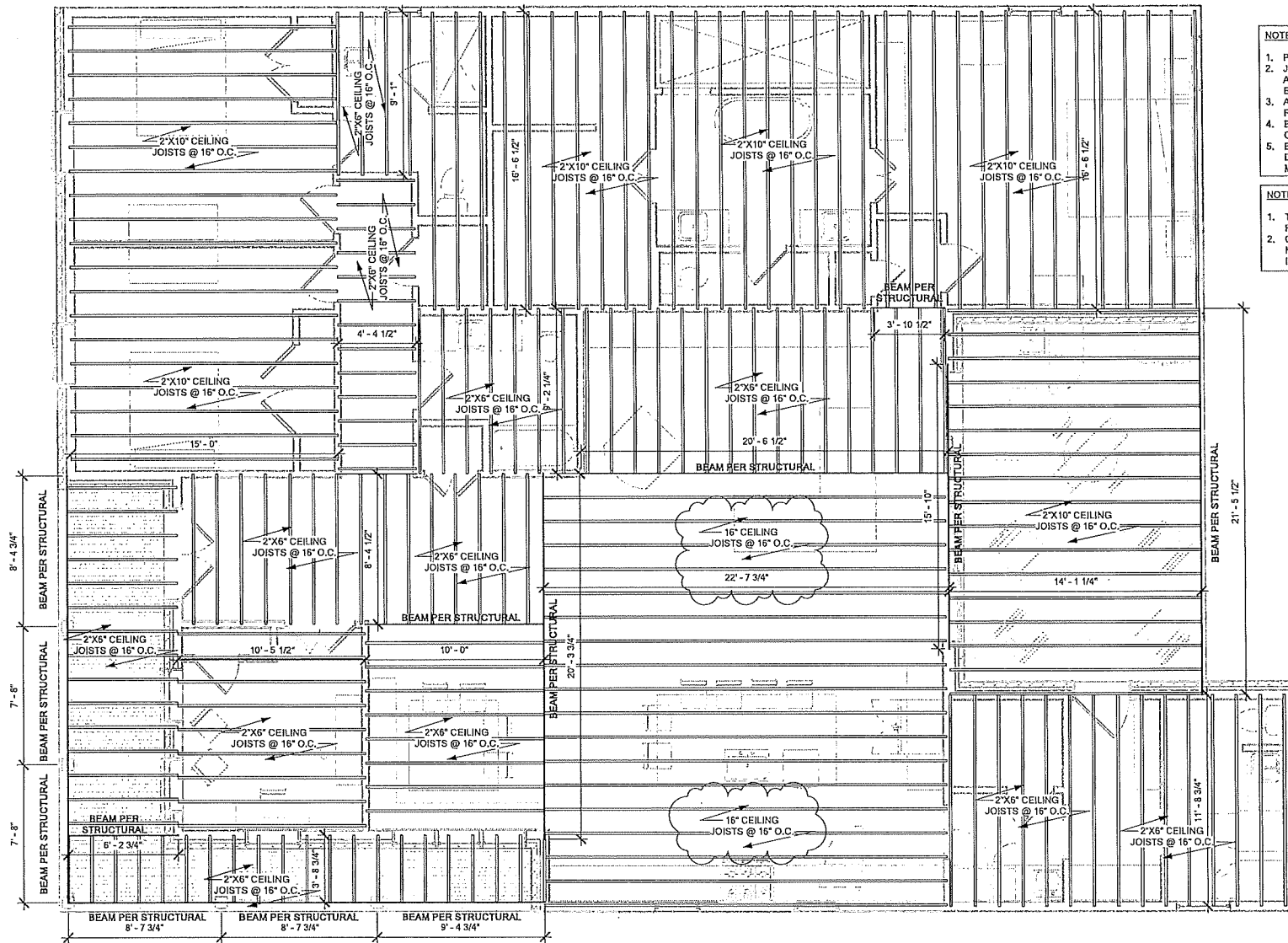
Drawn By: DJM

SHEET NO.

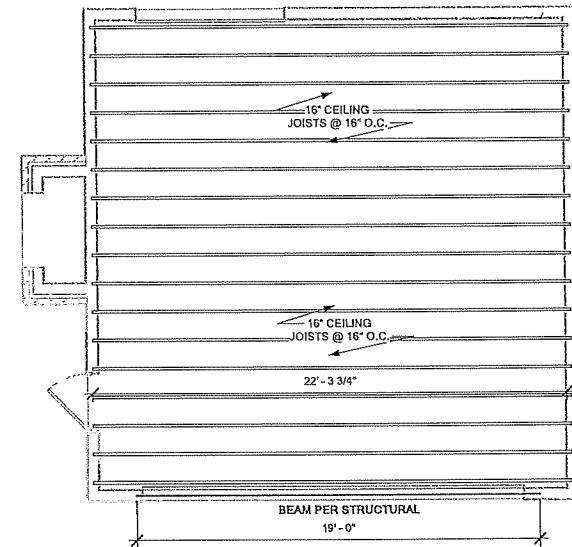
S1.1

SHEET 2 OF 2

Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
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- NOTES:**
1. PENDING FOUNDATION DESIGN.
 2. JOIST LAYOUT TO BE DONE BY OTHERS AND REVIEWED BY STRUCTURAL ENGINEER.
 3. ANYTHING UNDER THE SECOND FLOOR SHOULD BE 16\"/>
- NOTES:**
1. THE CANTILEVER AND FLOOR JOISTS ARE FOR COST ESTIMATE PURPOSES ONLY.
 2. CONTRACTOR TO COORDINATE WITH MANUFACTURER FINAL DESIGN AND INSTALLATION.



1 First Floor Framing
S-2 1/4\"/>

CAN THE BUBBLED JOISTS BE 2X12 INSTEAD?
NO SECOND FLOOR

Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

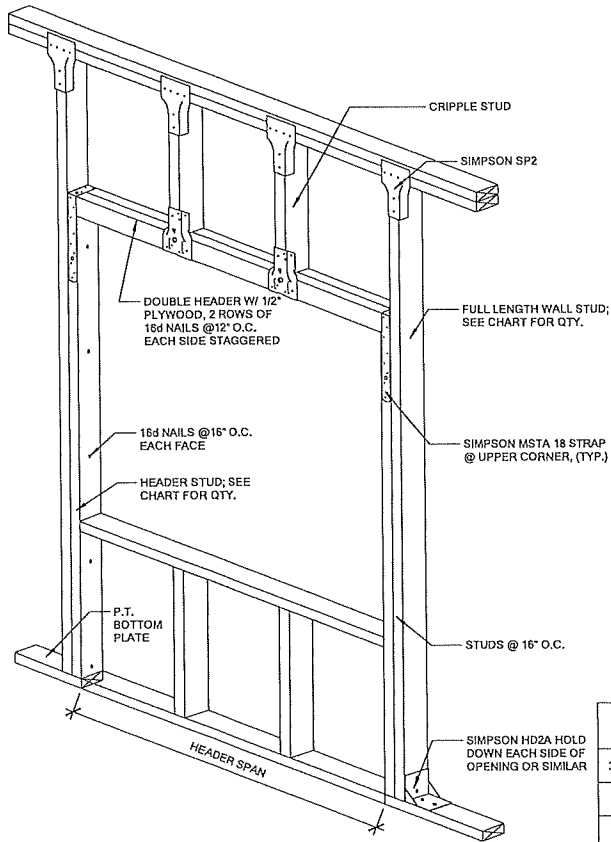
PROJECT NUMBER: F00209
DATE: 2.23.2014
DRAWN BY: RLD
CHECKED BY: JEF
TITLE: Framing Plans

SHEET:

S-2

Pricing Documents

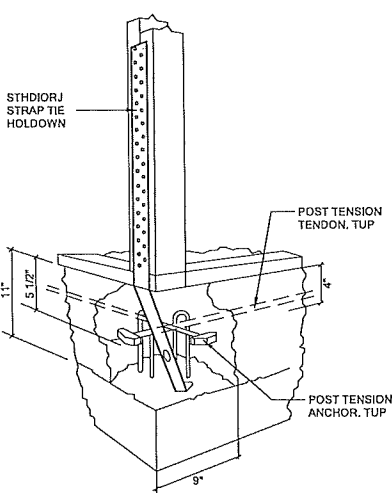
Typical Framing & Uplift Connections of Exterior Openings



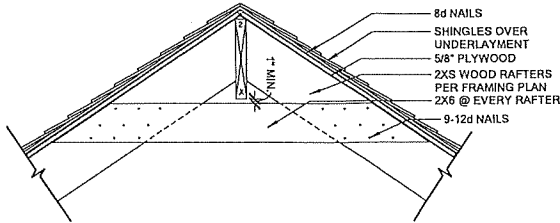
| UNSUPPORTED WALL WEIGHT | STUD SPACING | # OF FULL LENGTH STUDS @ EACH END OF HEADER | | | | | |
|----------------------------|--------------|---|---|---|---|---|---|
| | | 2 | 2 | 3 | 3 | 3 | 3 |
| <=10'-0" | 16" O.C. | 2 | 2 | 3 | 3 | 3 | 3 |
| >10'-0" | 16" O.C. | 2 | 2 | 3 | 3 | 4 | 4 |

NOTE: SEE HEADER SCHEDULE FOR SIZES.

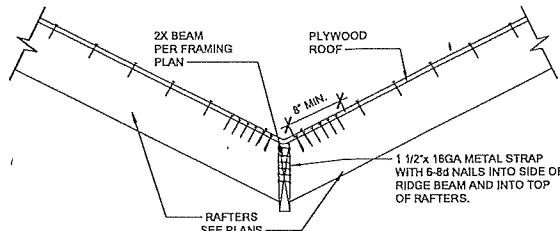
Corner Holdown Detail



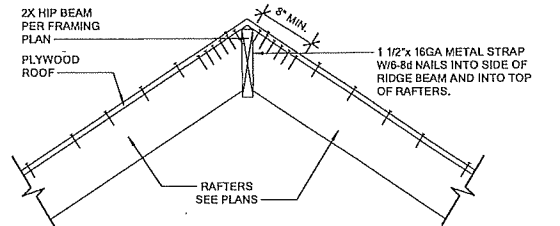
Ridge Detail



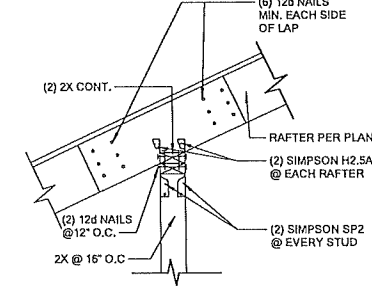
Valley Detail



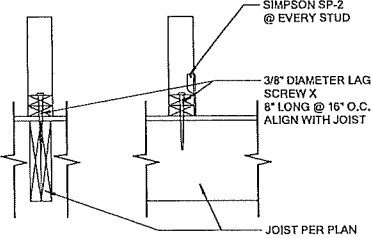
Hip Detail



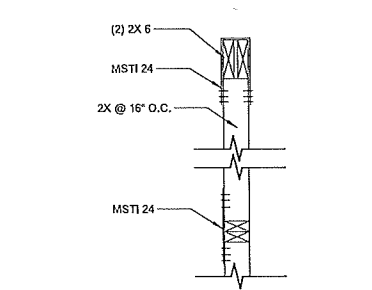
Typical Roof Interior Bearing Wall



Typical Bearing Wall Attachment to Floor Joist



Typical Beam Tie Down Detail



GENERAL NOTES:

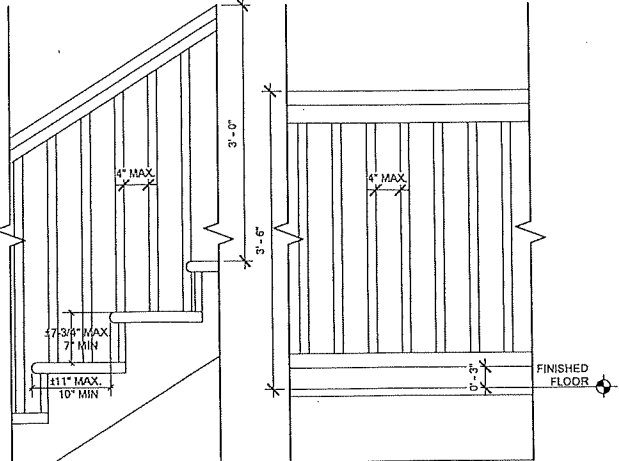
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL DIMENSIONS AND FIT-UP OF THE STRUCTURE, INCLUDING VERIFYING ALL EXISTING CONDITIONS BEFORE COMMENCING WORK.
- 2) THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, PLACEMENT, MAINTENANCE, ETC. OF ANY AND ALL SHORING, BRACING, TIE BACKS, ETC. NEEDED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY PERMANENT ELEMENTS ARE IN PLACE.
- 4) POST-TENSION FOUNDATION DESIGNED BY OTHERS.
- 5) ALL CONCRETE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318, LATEST EDITION AND SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- 6) ALL CONCRETE SHALL BE NORMAL WEIGHT (APPROXIMATELY 150 LBS. PER CUBIC FT.).
- 7) ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A-615 GRADE 60.
- 8) ALL REINFORCING SHALL BE SPLICED WITH CLASS "B" SPLICE IN ACCORDANCE WITH ACI 318-LATEST EDITION.
- 9) REINFORCING SHALL BE CHAIRED WITH 3000 PSI CONCRETE BRICKETTES SPACED TO ADEQUATELY SUPPORT THE REINFORCING, BUT NOT GREATER THAN 3'-0" O.C. EACH WAY.
- 10) INSTALL CORNER BARS IN THE OUTSIDE FACE OF EDGE BEAMS AT EVERY CORNER ONE TOP AND ONE BOTTOM. BAR SHALL BE THE SAME SIZE AS THE LARGEST BEAM BAR.
- 11) PROVIDE A 90 DEGREE HOOK ON ALL TOP REINFORCEMENT IN ALL BEAMS AT DISCONTINUOUS ENDS.
- 12) ALL WOOD FRAMING WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL RESIDENTIAL CODE.
- 13) FRAMING LUMBER SHALL BE SOUTHERN PINE MARKED AND KILN DRIED, NO. 2, ALL MEMBER PIECE ENDS, JOINTS, OR SPLICES SHALL BE OVER SUPPORTS UNLESS NOTED OTHERWISE.
- 14) UNLESS NOTED OTHERWISE MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH 4 ROWS OF 16d NAILS SPACED AT 16" FOR PIECES UP TO 12" DEEP, 5 ROWS OF 16d NAILS AT 16" FOR PIECES 14" AND 16" DEEP AND 6 ROWS OF 16d NAILS SPACED AT 16" FOR PIECES 18" DEEP.
- 15) ALL OPENINGS IN EXTERIOR WOOD-FRAMED WALLS SHALL HAVE THE FOLLOWING MINIMUM NUMBER OF STUDS AT EACH JAMB.

| | |
|-----------------------------|----------------------------------|
| OPENINGS LESS THAN 4'-0" | 2 STUDS |
| OPENINGS 4'-0" TO 6'-0" | 3 STUDS |
| OPENINGS 6'-0" TO 10'-0" | 4 STUDS |
| OPENINGS LARGER THAN 10'-0" | SEE PLAN OR CONSULT STRUCT. ENG. |
- 16) UNLESS SHOWN OTHERWISE ALL OPENINGS IN WALLS SHALL HAVE HEADERS CONSISTING OF A MINIMUM OF TWO 2X12s.
- 17) ALL LUMBER, PLYWOOD, PSL OR OTHER STRUCTURAL WOOD ELEMENTS IN CONTACT WITH MASONRY OR EXPOSED TO EARTH OR WATER SHALL BE PRESSURE TREATED WITH CCA OR MCQ TO A MINIMUM RETENTION OF 0.40 LBS/CU. FT. IN ACCORDANCE WITH ANPA. ACC TREATMENT IS NOT ALLOWED WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- 18) ALL TREATED WOOD MEMBERS SHALL BE CONNECTED OR FASTENED WITH GALVANIZED NAILS, SCREWS, OR BOLTS. THE COATING MUST BE HOT-DIPPED TO AN EQUIVALENT OF G-99 RATING OR GREATER.
- 19) JOIST AND BEAM HANGERS, HURRICANE CLIPS, AND OTHER TIES, ANCHORS, OR CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE CO., INC. AND SHALL BE ATTACHED WITH NAILS OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER. ROOFING NAILS MAY NOT BE USED. ALL HANGARS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. SHALL BE GALVANIZED OR STAINLESS STEEL. ALL SUCH UNITS THAT WILL BE EXPOSED TO WEATHER, IN CONTACT WITH EARTH OR WATER, OR BELOW THE FIRST FLOOR LEVEL SHALL BE STAINLESS OR MEET G-185 RATING.
- 20) UNLESS SHOWN OTHERWISE ALL PLYWOOD SHEATHING SHALL BE FASTENED WITH 8d RING SHANK NAILS, (131" MIN. DIAMETER) OR #10 SCREWS (18" NOMINAL DIAMETER) SPACED AT 6" O.C. MAXIMUM ALONG SUPPORTING MEMBERS ON THE INTERIOR OF EACH SHEET AND SPACED AT 4" O.C. MAXIMUM ALONG SUPPORTING MEMBERS AT THE EDGES OF EACH SHEET. THE USE OF STAPLES IS NOT ALLOWED.
- 21) ALL PLYWOOD WALL SHEATHING SHALL HAVE SOLID BLOCKING AT ALL HORIZONTAL JOINTS. VERTICAL JOINTS OF PLYWOOD ROOF SHEATHING SHALL BE STAGGERED EVERY FOUR FEET OR LESS.
- 22) DESIGN LIVE LOADS:

| | |
|-----------|--|
| 1st FLOOR | 40 psf |
| ROOF | 20 psf |
| WIND | ASCE 7, LATEST EDITION |
| | ANALYTICAL METHOD |
| | WIND SPEED 140 MPH |
| | EXPOSURE B |
| | IMPORTANCE FACTOR 1.0 |
| | ENCLOSED STRUCTURE |
| | INTERNAL PRESSURE COEFFICIENT = +/- 0.18 |

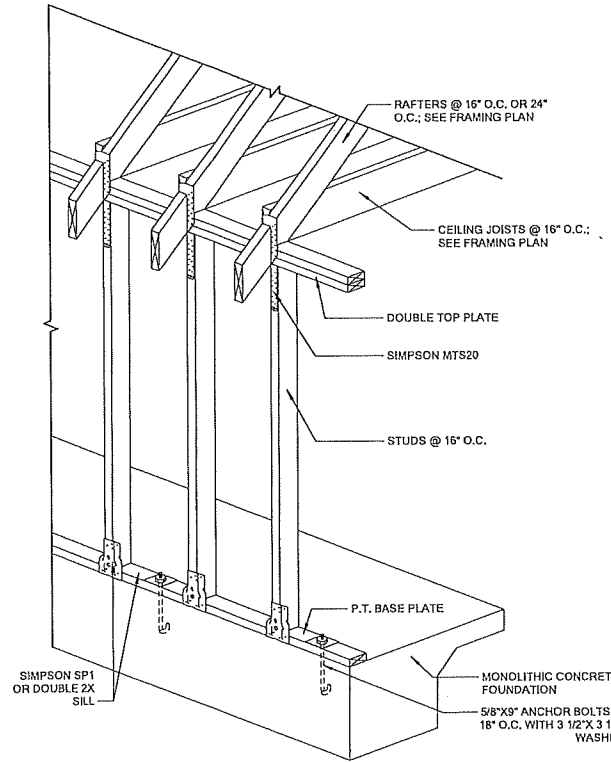
ADDITIONAL NOTE:
1) ALL TILE AND STONE WORK MUST MEET TCNA STANDARDS

Interior Stair Detail

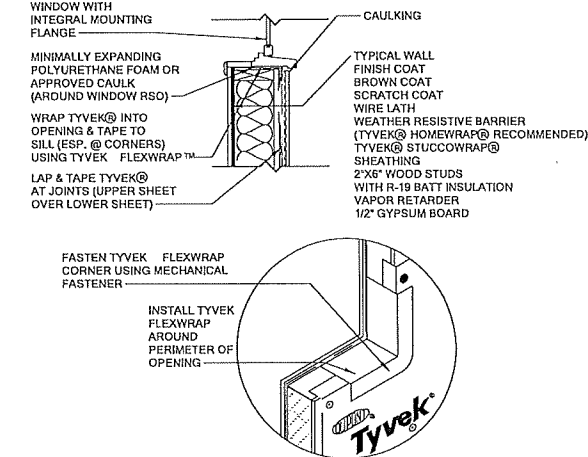


- STAIR NOTES**
1. CEILINGS OVER 12' TO REQUIRE LANDING
 2. R311.7.2 HEADROOM. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOISING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

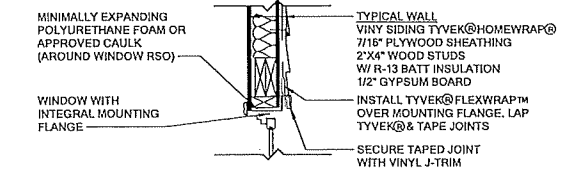
Typical Wall Connection Detail



Typical Window Sill Detail

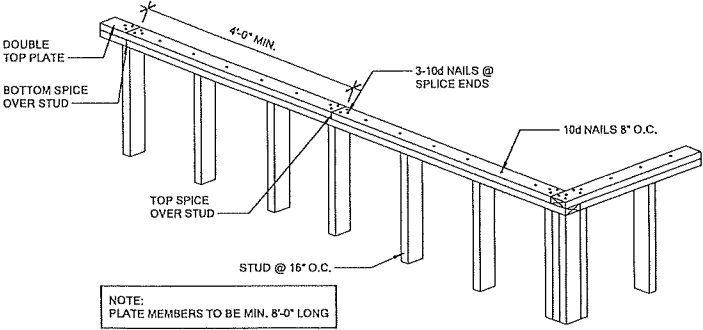


Typical Window Header

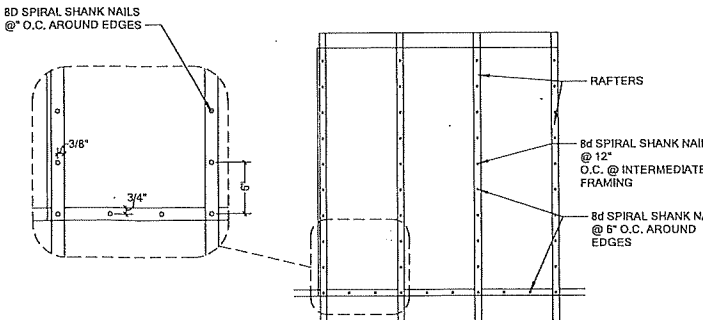


- GENERAL WINDOW NOTES**
1. SEAL ALL TYVEK R JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE)
 2. FASTEN TYVEK R TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS. (ex. DUPONT WRAPCAPS)
 3. LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.
 4. INSTALL STUCCO ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS

Top Splice Detail



Typical Roof Nailing Pattern



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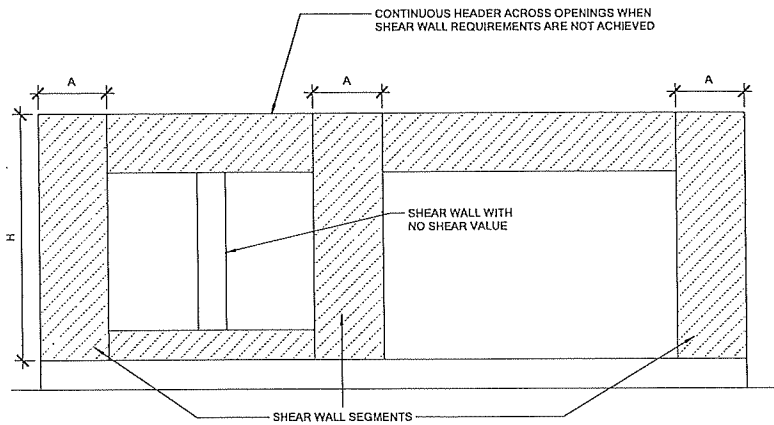
Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

PROJECT NUMBER: F202058
DATE: 2/29/2014
DRAWN BY: RLD
CHECKED BY: JEF
TITLE: Structural Details & Notes
SHEET:

S-3

Pricing Documents

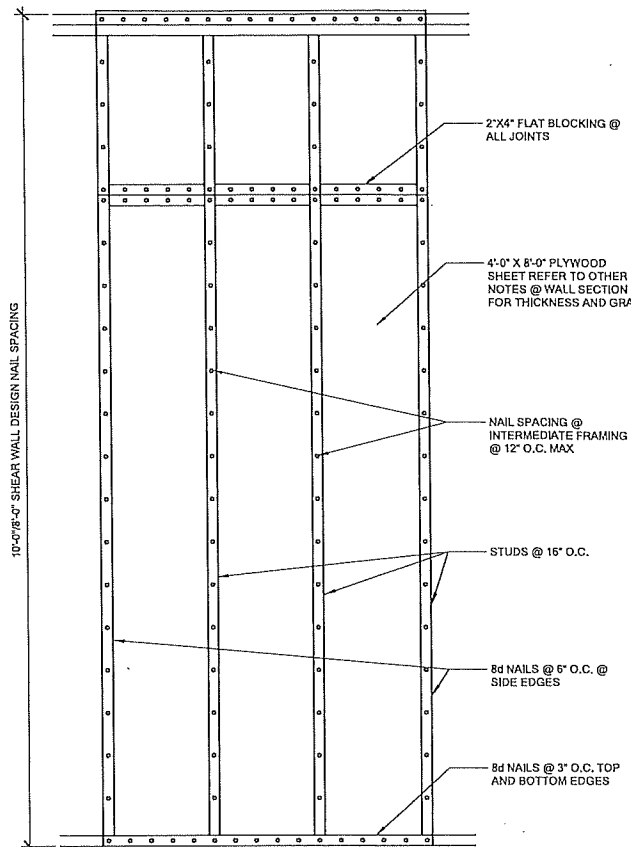
Minimum Shear Wall Requirements



| PRE-FAB SHEAR WALLS BY SIMPSON MAY BE USED WHEN (A) IS THAN MIN. (2) | | | | | |
|--|--------------------------------|---------|---------|----------|----------|
| WALL HEIGHT (H) | MIN. SHEAR WALL LENGTH (A) (1) | A ≥ 24" | A ≥ 18" | A ≥ 15" | A ≥ 12" |
| 8 FEET | 27 INCHES | SW24X8 | SW18X8 | SSW15X8 | SSW12X8 |
| 9 FEET | 32 INCHES | SW24X9 | SW18X9 | SSW15X9 | SSW12X9 |
| 10 FEET | 34 INCHES | SW24X10 | SW18X10 | SSW15X10 | SSW12X10 |
| 11 FEET | 34 INCHES | SW24X10 | SW18X11 | SSW15X11 | N/A |
| 12 FEET | 39 INCHES | SW24X12 | SW18X12 | SSW15X12 | N/A |

NOTE:
1. REFER TO DETAIL 2, SHEETS S-4 FOR STRUCTURAL INSTALLATION.
2. REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS.

Wall Sheathing Attachment



PLYWOOD SHEATHING PANELS SHALL OVERLAP THE TOP AND BOTTOM PLATE BY 1/2" AND A SINGLE ROW OF FASTENERS SHALL BE PLACED 3/4" FROM THE PANEL EDGE.

STRUCTURAL NOTES

CARPENTRY

FOLLOW ALL REQUIREMENTS OF THE 2021 INTERNATIONAL BUILDING CODE FOR ALL WOOD FRAMING INCLUDING BUT NOT LIMITED TO CONNECTIONS, BRACING, AND NAILING. ALSO FOLLOW THE GUIDELINES CONTAINED IN THE SOUTHERN PINE JOIST AND RAFTERS CONSTRUCTION GUIDE.

STUDS SHALL BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS. STUDS SHALL BE TRIPLED AT ALL CORNERS.

WOOD LINTELS OVER OPENINGS SHALL BE DOUBLE 2x6 HEADERS U.N.O. FOR SPANS UP TO 4'-0" AND DOUBLE 2x8 HEADERS FROM 4'-0" TO 6'-0". SEE PLANS FOR SPANS GREATER THAN 6'-0". SEE PLANS FOR SPANS GREATER THAN 6'-0" DOUBLE AND TRIPLE 2x HEADERS TO HAVE CONTINUOUS 1/2" PLYWOOD FILLER CUT TO FULL DEPTH OF HEADER BETWEEN 2x MEMBERS NAIL ASSEMBLY WITH 16d NAILS AT 12" O.C. TOP AND BOTTOM.

FRAMING LUMBER

ALL FRAMING LUMBER SHALL BE GRADE STAMPED SOUTHERN PINE NO. 2 KILN DRIED OR BETTER WITH 19% MAXIMUM MOISTURE CONTENT, U.N.O. ON THE PLANS.

MINIMUM ALLOWABLE STRESSES:
Fb = 1250 PSI
Fv = 105 PSI
ME = 1,600,000 PSI

ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP. SIZES INDICATED ARE NOMINAL MILL SIZES UNLESS OTHERWISE NOTED. PRE-DRILL FOR BOLTS, LAG SCREWS, OR NAILS AS REQUIRED TO AVOID SPLITTING.

ALL WOOD IN CONTACT WITH DISSIMILAR MATERIALS SUCH AS MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AND STAMPED ACCORDINGLY. ALL PERSONS SHALL EXERCISE CAUTION WHEN HANDLING OR CUTTING TREATED WOOD AND FOLLOW TREATMENT APPLICATOR'S PRINTED ON INSTRUCTIONS.

SHEATHING

ALL PLYWOOD SHALL BE APA-RATED SHEATHING FOR THE PARTICULAR APPLICATION (BUT IN NO CASE LESS THAN FOUR-PLY) OF SIZES AND GRADE VENEER TYPE INDICATED ON DRAWINGS ALL PLYWOOD SHALL BEAR THE AMERICAN PLYWOOD ASSOCIATION TRADEMARK AND GRADING STAMP, AND SHALL BE INSTALLED ACCORDING TO APPLICATION APA STANDARDS, INCLUDING NAILING SCHEDULES.

PLYWOOD FLOOR SHEATHING SHALL BE APA-RATED SHEATHING, EXPOSURE 1 DURABILITY CLASSIFICATION.

PLYWOOD FLOOR SHEATHING SHALL BE APA-RATED STURD-I-FLOOR, EXPOSURE 1 DURABILITY CLASSIFICATION, WITH TONGUE AND GROOVE EDGES.

ROOF SHEATHING TO BE INSTALLED WITH ONE PLYWOOD CLIP PER SPAN BETWEEN PANEL EDGES. INSTALL SOLID 2x BLOCKING BETWEEN SUPPORTS AT ALL HIP, RIDGES, VALLEYS, AND CHANGES IN ROOF SLOPE.

INSTALL BRIDGING IN ALL FLOOR OR ROOF JOIST AT 8'-0" O.C. MAXIMUM. INSTALL BLOCKING IN ALL WALL STUDS @ 4'-0" O.C. MAX., LOCATED AT SHEATHING PANEL EDGES.

HARDWARE

CONNECTORS, FASTENER, ANCHORS, HANGERS, ETC.) WHETHER OR NOT SHOWN ON DRAWINGS SHALL BE BY SIMPSON STRONG-TIE COMPANY, INC. OR HUGHES MANUFACTURING, INC. OF RESPECTIVE MODELS NUMBERS AS NOTED ON DRAWINGS. ANY SUBSTITUTE MANUFACTURER'S PRODUCTS SHALL BE REVIEWED BY THE ENGINEER. INSTALL PER MANUFACTURER'S INSTRUCTIONS AND FILL ALL NAIL AND BOLT HOLE WITH SPECIFIED FASTENERS.

ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.

ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG-TIE COMPANY OR EQUIVALENT.

ALL CONNECTION HARDWARE IS TO BE FULLY FASTENED PER MANUFACTURER'S REQUIREMENTS UNLESS NOTED OTHERWISE.

ENGINEERED LUMBER

LAMINATED VENEER LUMBER SHALL BE MICRO-LAM OF SIZES NOTED ON DRAWINGS AS MANUFACTURED BY TRUS-JOIST CORPORATION INSTALL PER MANUFACTURER'S PRINTED INSTRUCTIONS, INCLUDING NAILING NOTES.

MATERIAL, MANUFACTURE AND QUALITY CONTROL SHALL BE IN CONFORMANCE WITH THE NES REPORT NO. NER-481.

VENEERS SHALL BE DOUGLAS FIR OR SOUTHERN PIN OF THICKNESSES APPROVED BY THE BUILDING CODE, THEY SHALL BE ULTRASONICALLY GRADED OR GRADED BY OTHER ADVANCED GRADING SYSTEMS APPROVED BY THE CODE.

ADHESIVES SHALL BE OF THE WATERPROOF TYPE CONFORMING TO THE REQUIREMENTS OF ASTM D-2559.

MINIMUM ALLOWABLE STRESSES

(MICROLAM)
Fb = 2925 PSI
Fv = 285 PSI
Fc = -
ME = 2,000,000 PSI

MINIMUM ALLOWABLE STRESSES

(PARALAM)
Fb = 2900 PSI
Fv = 290 PSI
Fc = -
ME = 2,000,000 PSI

IF REQUIRED, PROVIDE WRITTEN CERTIFICATION THAT MICROLAM MEMBERS CONFORM TO THE REQUIRED SPECIFICATIONS.

STRUCTURAL LAMINATED BEAMS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICATION BUILDING CODES.

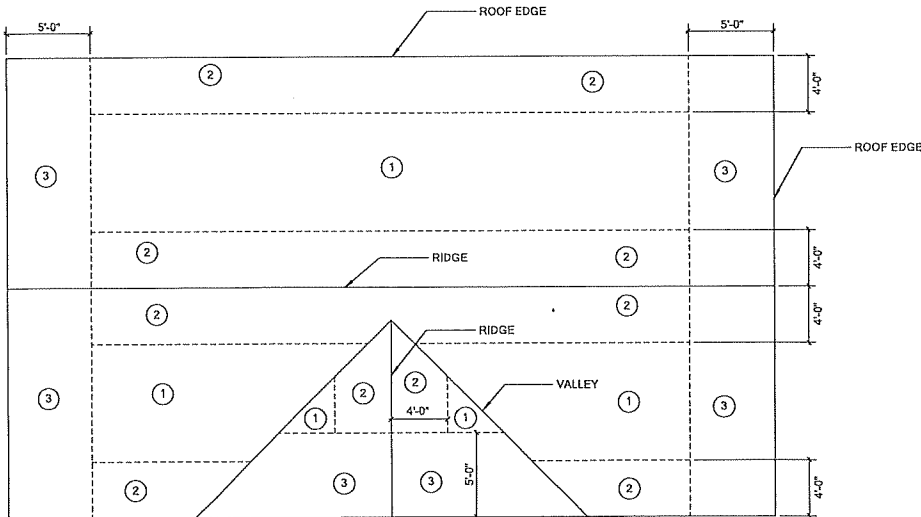
FASTENING SCHEDULE

| CONNECTION | FASTENER | NUMBER OF SPACING |
|---|--|---|
| BAND JOIST TO SILL OR TOP PLATE, TOE NAIL | 8d | 6" O.C. |
| JOIST TO BAND JOIST, FACE NAIL | 16d COMMON | 3 |
| JOIST TO SILL OR GIRDER, TOE NAIL | 8d COMMON | 3 |
| BRIDGING TO JOIST, TOE NAIL EACH END | 8d COMMON | 3 |
| LEDGER STRIP | 16d COMMON | 3 @ EACH JOIST |
| 1X6 OR LESS SUB-FLOOR TO EACH JOIST, FACE NAIL | 8d | 2 |
| OVER 1X6 SUB-FLOOR TO EACH JOIST, FACE NAIL | 8d | 3 |
| 2" SUB-FLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL | 16d COMMON | 2 |
| SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL | 16d COMMON | 16" O.C. |
| TOP OR SOLE PLATE TO STUD, END NAIL | 16d COMMON | 2 |
| STUD TO SOLE PLATE, TOE NAIL | 8d COMMON OR 16d COMMON | 3 - 8d OR 2 - 16d COMMON |
| DOUBLE STUDS, FACE NAIL | 10d COMMON | 24" O.C. |
| DOUBLE TOP PLATES, FACE NAIL | 10d COMMON | 16" O.C. |
| TOP PLATES, LAP AND INTERSECTIONS FACE NAIL | - | 2 - 16d OR 4 - 16d COMMON |
| CONTINUOUS HEADER, TWO PIECES | 16d COMMON | 16" O.C. ALONG EACH SIDE |
| CEILING JOIST TO PLATE, TOE NAIL | 8d COMMON | 3 |
| CONTINUOUS HEADER TO STUD, TOE NAIL | 8d COMMON | 4 |
| CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL | - | 3 - 16d OR 4 - 16d COMMON |
| CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL | - | 3 - 16d OR 4 - 16d COMMON |
| RAFTERS TO PLATE, TOE NAIL | 8d COMMON | 3 |
| 1" BRACE TO EACH STUD AND PLATE, FACE NAIL | 8d COMMON OR 1 3/4" STAPLES | 2 |
| 1X8 OR LESS SHEATHING TO EACH BEARING, FACE NAIL | 8d COMMON OR 1 3/4" STAPLES | 2 - 8d OR 3 - 1 3/4" STAPLES |
| OVER 1X8 SHEATHING TO EACH BEARING, FACE NAIL | 8d COMMON OR 1 3/4" STAPLES | 3 - 8d OR 4 - 1 3/4" STAPLES |
| BUILT-UP CORNER STUDS | 16d COMMON | 24" O.C. |
| BUILT-UP GIRDERS AND BEAMS, OF THREE MEMBERS | 20d COMMON | 32" O.C. AT TOP, BOTTOM & STAGGERED 2 ENDS AND AT EACH SPLICE |
| 2" PLANKS | 16d COMMON | 2 EACH BEARING |
| STUDS TO SOLE PLATE, END NAIL | 16d COMMON | 2 EACH END |
| WOOD STRUCTURAL PANEL SUB-FLOORING (7) | - | - |
| 15/32", 1/2", 7/16" | 6d COMMON, ANNULAR OR SPIRAL THREAD | 6" O.C. EDGES, 12" O.C. FIELD |
| 19/32", 3/4" | 8d COMMON OR 6d ANNULAR OR SPIRAL THREAD | 6" O.C. EDGES, 12" O.C. FIELD |
| 1", 1-1/8" | 10d COMMON OR 8d ANNULAR OR SPIRAL THREAD | 6" O.C. EDGES, 12" O.C. FIELD (8) |
| 15/32", 1/2", 7/16" | 16ga GALVANIZED WIRE STAPLES, 3/8" AND MINIMUM CROWN 1-5/8" LENGTH | 4" O.C. EDGES, 7" O.C. FIELD |
| 19/32", 5/8" | 16ga GALVANIZED WIRE STAPLES, 3/8" AND MINIMUM CROWN 1-5/8" LENGTH | 2-1/2" O.C. EDGES, 4" O.C. FIELD |
| WOOD STRUCTURE PANEL ROOF AND WALL SHEATHING AND PARTICLE BOARD WALL SHEATHING 1/2" OR LESS | 8d COMMON (WALL) 8d COMMON (ROOF) | - |
| 19/32", OR GREATER | 8d COMMON | 6" O.C. EDGES, 12" O.C. FIELD |
| 5/16" - 1/2" | 16ga GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN LENGTH OF 1" PLUS WOOD STRUCTURAL PANEL OR PARTICLE BOARD THICKNESS | 4" O.C. EDGES, 8" O.C. FIELD |
| 19/32" - 3/4" | 16ga GALVANIZED WIRE STAPLES, 3/8" MINIMUM CROWN LENGTH OF 1" PLUS WOOD STRUCTURAL PANEL OR PARTICLE BOARD THICKNESS | 2" O.C. EDGES AND 5" O.C. INTERMEDIATE |
| FIBER BOARD SHEATHING (1) 1/2" REGULAR | 6d COMMON NAIL OR 11 ga GALVANIZED, ROOFING NAIL 1-1/2" LONG WITH 7/16" HEAD | 2" O.C. EDGES AND 5" O.C. INTERMEDIATE AT OTHER BEARING AREAS |
| 1/2" STRUCTURAL | 8d COMMON NAIL OR 11 ga GALVANIZED, ROOFING NAIL 1-1/2" LONG WITH 7/16" HEAD | 6" O.C. EDGES AND 12" O.C. INTERMEDIATE AT OTHER BEARING AREAS |
| 25/32" STRUCTURAL | 8d COMMON NAIL OR 11 ga GALVANIZED, ROOFING NAIL 1-1/2" LONG WITH 7/16" HEAD | 3" O.C. EDGES AND 5" O.C. INTERMEDIATE AT OTHER BEARING AREAS |
| GYPSPUM SHEATHING 1/2" 5/8" | 11ga 1-1/2" GAL WITH 7/16" HEAD 11ga 1-1/2" GAL WITH 7/16" HEAD | 4" O.C. EDGES, 8" AT OTHER BEARING 4" O.C. EDGES, 8" AT OTHER BEARING |
| GYPSPUM WALLBOARD 1/2" 5/8" | 1-3/8" DRYWALL NAIL (2) 1-1/2" DRYWALL NAIL (1) | 7" O.C. EDGES, 8" AT OTHER BEARING 7" O.C. EDGES, 8" AT OTHER BEARING |
| PARTICLE BOARD SIDING 5/16" - 1/2" (3) 5/16" (5) 3/4" (6) | 6d (4) 8d (4) 8d (4) | - |
| HARD BOARD LAP SIDING DIRECT TO STUDS (5) | 8d (8) COMMON - RESTRAIN WITH MINIMUM SHANK DIAMETER OF 0.099" AND MINIMUM HEAD DIAMETER 0.240" | 16" O.C. AT TOP AND BOTTOM EDGES |
| HARD BOARD LAP SIDING OVER SHEATHING | 10d (8) COMMON - RESTRAIN WITH MINIMUM SHANK DIAMETER OF 0.099" AND MINIMUM HEAD DIAMETER 0.240" | 16" O.C. AT TOP AND BOTTOM EDGES |
| HARD BOARD LAP SIDING DIRECT TO STUDS | 6d (8) COMMON - RESTRAIN WITH MINIMUM SHANK DIAMETER OF 0.092" AND MINIMUM HEAD DIAMETER 0.2225" | 8" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS |
| HARD BOARD LAP SIDING OVER SHEATHING | 8d (8) COMMON - RESTRAIN WITH MINIMUM SHANK DIAMETER OF 0.092" AND MINIMUM HEAD DIAMETER 0.2225" | 8" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS |

FASTENING SCHEDULE NOTES:

- FIBERBOARD SHEATHING MAY BE STAPLED USING 16 GA. GALVANIZED STAPLES 1-1/8" LONG FOR 1/2" SHEATHING AND 1-1/2" LONG FOR 25/32" SHEATHING. STAPLES ARE TO HAVE MINIMUM CROWN OF 7/16" AND SPACED 3" O.C. AT EDGES AND 6" O.C. AT OTHER BEARINGS.
- DRYWALL NAILS SHALL CONFORM TO ASTM C 514.
- SIDING APPLIED TO 5/8" NET WOOD SHEATHING, 15/32" WOOD STRUCTURAL PANEL OR 1/2" PARTICLE BOARD SHEATHING.
- CORROSION-RESISTANT NAILS SPACED 6" O.C. AT EDGE AND 8" O.C. AT INTERMEDIATE SUPPORTS. NAILS SHALL HAVE A MINIMUM EDGE DISTANCE OF 3/8".
- SIDING APPLIED TO STUDS SPACED 16" O.C. MAXIMUM.
- SIDING APPLIED DIRECTLY TO STUDS SPACED 24" O.C. MAXIMUM.
- ANNULAR OR SPIRAL THREAD NAILS FOR COMBINATION SUBFLOOR/UNDERLAYMENT (SINGLE FLOOR).
- NAIL MUST BE OF SUFFICIENT LENGTH TO ACCOMMODATE THICKNESS OF SIDING AND SHEATHING, IF USED, AND ALLOW MINIMUM STUD PENETRATION OF 1-1/2".
- FOR 1" WOOD STRUCTURAL PANELS, 12" O.C. INTERMEDIATE NAILING SHALL BE PERMITTED.

Roof Diaphragm



| ROOF NAILING SCHEDULE | | |
|-----------------------|----------------|------------------------|
| ZONE (SEE DIAPHRAM) | SPACING @ EDGE | SPACING @ INTERMEDIATE |
| 1 | 6" O.C. | 12" O.C. |
| 2 | 5" O.C. | 6" O.C. |
| 3 | 4" O.C. | 4" O.C. |

8d RING SHANK NAILS FOR ALL ZONES



Joseph Flynn Architect, LLC
8903 Jefferson Hwy
River Ridge LA, 70123
504.667.3837

Tucker Residence
New Single Family
433 Lavoisier St.
Gretna, LA

PROJECT NUMBER: F02058
DATE: 2.29.2024
DRAWN BY: RLD
CHECKED BY: JEF

TITLE:
Structural Details & Notes

SHEET:

S-4

Pricing Documents



Historic District Commission

Meeting: March 29, 2024

349 Hamilton Street

(District 2)

**For: Windows, Doors,
Shutters, Gutters, &
Remove Vinyl Siding &
Replace with Hardy Board**

**Applicant:
Joe Broussard**



permit
7654

Historic District Commission

Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 349 Hamilton Street, Gretna, Louisiana 70053

Renovation: Siding, soffit, fascia, windows, shutters, gutters, doors

New Construction: _____
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ☒

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other ☒

Exterior materials proposed:

Roof _____ Soffit Hardie

Fascia Hardie Siding Hardie panels

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: (Weathergard II vinyl) Option 1: 1 over 1 / Option 2: 2 over 2 (If option 1 is not approved)

Type of exterior doors: Front and back door on house in smooth finish Thermatru

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 04/22/2024

Applicant's Name: Joe Broussard

Applicant's Address: 1339 Avenue A, Marrero, La, 70072

Phone No: (504) 236-0066 Cell No: ()

For Office Use Only:

Application date: 4-22-24

Substantive Change: Yes ☐ No ☒ Inventory Number: 26-01795

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: 04/29/24

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

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Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Joe Broussard the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on _____ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.


Signature of Applicant

Joe Broussard

NAME OF APPLICANT (PLEASE PRINT)

1339 Avenue A, Marrero, La, 70072

Applicant's address

349 Hamilton Street, Gretna, Louisiana 70053

Actual address of the property for review

Date: 04/22/2024

349 Hamilton Street, Gretna, Louisiana 70053



Front

- Replace 4 - windows
- Replace siding , soffit and fascia with Hardie
- Replace gutters and downspouts
- Replace shutters



Left Side

- Replace 1 - window
- Replace 1 - door
- Replace 2 - columns
- Replace siding , soffit and fascia with Hardie
- Replace gutters and downspouts
- Replace light with gas lantern



Rear

- Replace 2 - window
- Replace 1 - door
- Replace siding , soffit and fascia with Hardie
- Replace gutters and downspouts

349 Hamilton Street, Gretna, Louisiana 70053



Right Side

- Replace 5 - windows
- Replace siding , soffit and fascia with Hardie
- Replace gutters and downspouts
- Replace shutters

Detached Garage



Front / Right Side

- Replace 1 - window
- Replace siding , soffit and fascia with Hardie
- Replace gutters and downspouts



Rear

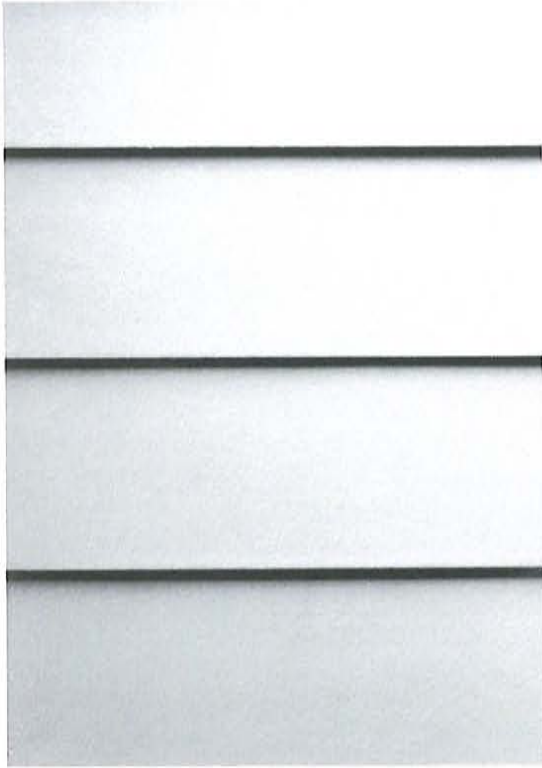
- Replace 2 - window
- Replace siding , soffit and fascia with Hardie
- Replace gutters and downspouts



Left Side

- Replace 5 - window
- Replace siding , soffit and fascia with Hardie
- Replace gutters and downspouts

Siding, Soffit, and Fascia



- Remove all vinyl siding soffit and fascia around entire home and detached garage.
- Install Hardie board siding, soffit, and fascia around the entire home and detached garage.
- Dimensions: 0.312" thick x 144" long
- Plank Widths: 9.25" (8" exposure)

Shutters



- Install new shutters on the front windows.
- Shutter style: Colonial shutters

Windows



- Remove existing windows on home and detached garage.
- Install (21) Weathergard II vinyl windows.
- First option: 1 over 1



- Second option: 2 over 2
(Backup option if first option not approved)

Install New Gutters



- Install new 6" seamless K-style aluminum gutters to the entire home and detached garage with custom hand-mitered corners and reinforced hidden hangers. Install 9- 3" x 4" downspouts.

Doors



- Front door on house in smooth finish Thermatru.



- Back door on house in smooth finish ThermaTru.

Columns



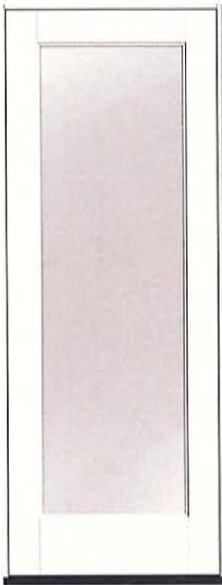
- Remove existing columns
- Install 4x4 pressure treated support columns.
- Install Perma wrap 6"x6"x8' square PVC column.

Door Options

Smooth-Star®

Style No. S82389 | 8' Full Lite Flush | Glass Name:
Calix

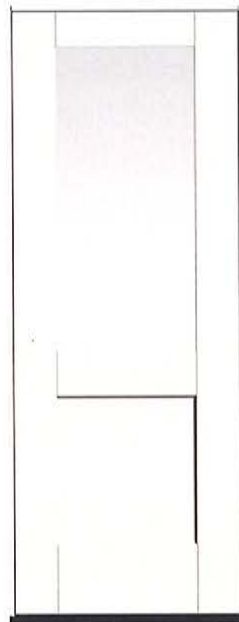
(0) [Write a review](#)



Smooth-Star®

Style No. S83200 | 8' Half Lite 1 Panel Shaker - FG |
Glass Name: Clear 1 Lite No Grid

(0) [Write a review](#)





CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

| | | | |
|------------------|---------------------|------------------|---------------------|
| PERMIT #: | 135204 | EXPIRATION DATE: | 4/30/2024 |
| JOB ADDRESS: | 349 HAMILTON ST | LOT #: | PART OF LOT B |
| PARCEL ID: | 0100005184 | SQUARE #: | |
| SUBDIVISION: | MCDONOGHVILLE | ZONING: | R-1 |
| OWNER: | JOE BROUSSARD | CONTRACTOR: | JOE BROUSSARD |
| ADDRESS: | 349 HAMILTON ST | ADDRESS: | 349 HAMILTON ST |
| CITY, STATE ZIP: | GRETN LA 70053-4740 | CITY, STATE ZIP: | GRETN LA 70053-4740 |
| PHONE: | | PHONE: | |
| PROP. USE | | STORIES: | |
| VALUATION: | \$ 0.00 | UNITS: | |
| SQ FT | 0.00 | FIRE SPRINKLERS: | |
| OCCP TYPE: | | OCCUPANT LOAD: | |
| CNST TYPE: | | FLOOD ZONE: | AE |

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS 04/29/2024 AT 4:00P.M. IN COUNCIL CHAMBERS

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.
THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: March 29, 2024

836 Huey P Long Avenue
(District 2)

**For: Garage Doors &
Windows**

Applicant: Robert Wolfe



Permit
7578

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 836 Huey P Long

Renovation: ✓

New Construction: _____

Demolition: _____

Age of Structure: 1920's

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow RAISED

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Raise Bungalow

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: Garage Door & Windows in place of doors

Style of windows: Match Existing windows on house

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: 30' ft. Side Space: 21'3" ft.

Rear Space: 30' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: _____

Date: _____

Applicant's
Name: _____

Applicant's
Address: _____

Phone No: _____

Cell No: _____

For Office Use Only:

Application date: _____

Substantive Change: Yes ☐

No ☒

Inventory Number: _____

Contributing Element to Gretna National Register Historic District: Yes ☐

No ☒

Historic District Commission meeting date: _____

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



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740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

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District One
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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Robert Wolfe the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 4-29-24 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Robert Wolfe

NAME OF APPLICANT (PLEASE PRINT)

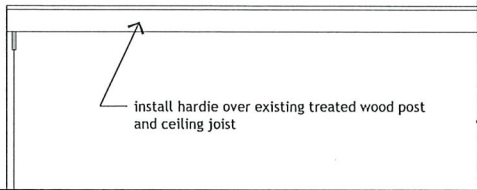
143 Luptaco Blvd Gretna

Applicant's address

836 Huey Phong

Actual address of the property for review

Date: 4/22/24

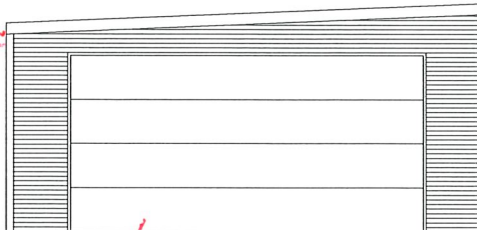


- install hardie over existing treated wood post and ceiling joist

close in with siding

note: replace any broken glass with clear glass to match existing

M EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



demo and
build new
carport
with street
side closed
in

Adding carriage style garage door

close in access panel

- new aluminum clad window

new matching window

new matching window

- repair roof and roof deck at existing damage

— scrape and repaint existing fascia

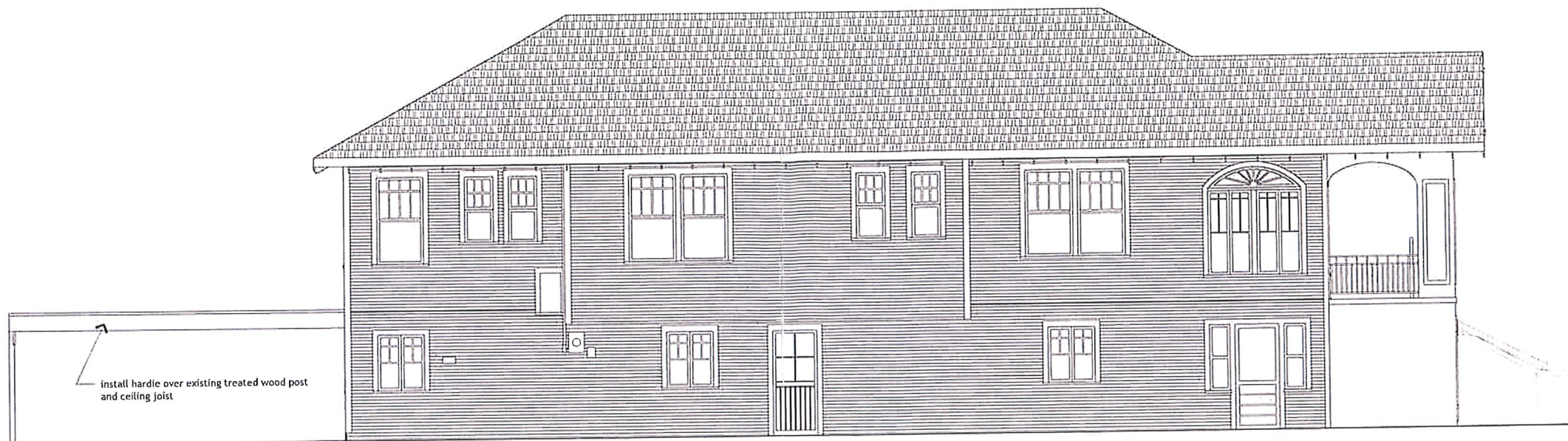
- scrape and repaint existing windows

— prep and repaint existing door

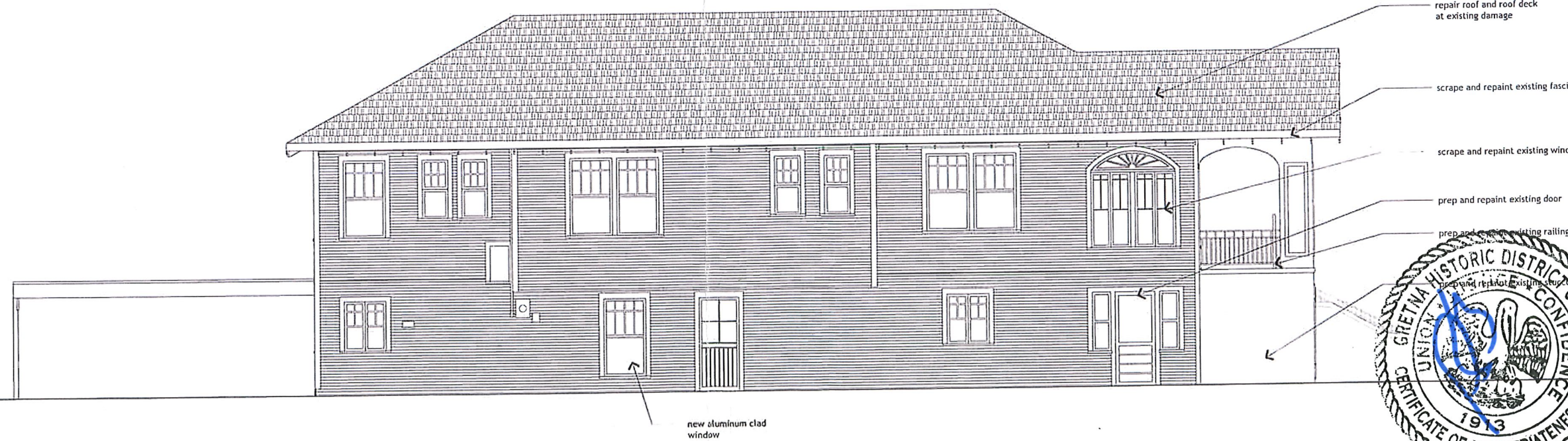
— prep and repaint existing railings

— prep and repaint existing stucco

M RENOVATED FRONT ELEVATION
SCALE: 1/4"=1'-0"



M EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



M RENOVATED FRONT ELEVATION
SCALE: 1/4"=1'-0"



MICHAEL TABB
RESIDENTIAL DESIGN AND DRAFTING



836 Huey P Long Ave.
Gretna, LA 70053



DATE: 03/22/2014
DRAWN BY: [illegible]
CHECKED BY: [illegible]

A-4



Historic District Commission

Meeting: March 29, 2024

300 Lafayette Street
(District 2)

**For: Windows, Doors &
Shutters**

Applicant: Robert Wolfe



Permit # 7657

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 300 Lafayette St

Renovation: X

New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other Townhouse

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Creole w/ Service Wing

Exterior materials proposed:

Roof Asphalt Shingle Soffit Wood

Fascia Wood Siding Weatherboard

Masonry N/A Porches Concrete Stoop

Balconies N/A Handrails N/A

Type of exterior lighting fixtures: Gas Lamp-style wall sconces

Style of windows: 6 over 6 Double hung @ sides, same with transom @ front

Type of exterior doors: Single Panel French doors w/ board&batten shutters

Describe any ornamental woodwork: Minimal flat wood trim - no ornamental

Elevations:

Front Space: 30.5 ft. Side Space: 83.5 ft.

Rear Space: 15.5 ft.

*Revised
plan
keeping
Garage Bldg*

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 4/22/24

Applicant's Name: Robert Wolfe

Applicant's Address: 143 Lupulco Blvd Gretna, LA 70052

Phone No: 504 343-2445 Cell No: (504) 343-3276

For Office Use Only:

Application date: 4-22-24

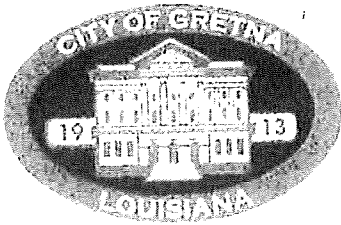
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: 04/29/24

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Robert Wolf the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 4/29/24 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

[Signature]
Signature of Applicant

Robert Wolf

NAME OF APPLICANT (PLEASE PRINT)

143 Laplace Blvd. Gretna, LA 70053
Applicant's address

300 Lafitte

Actual address of the property for review

Date: 4/22/24



Image capture: Mar 2022 © 2024 Google





Image capture: Mar 2022 © 2024 Google



Image capture: Mar 2022 © 2024 Google





CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #: **135207**

EXPIRATION DATE: **4/30/2024**

JOB ADDRESS: 300 LAFAYETTE ST
PARCEL ID:
SUBDIVISION:

LOT #:
SQUARE #:
ZONING:

OWNER: ROBERT WOLFE
ADDRESS: 300 LAFAYETTE ST
CITY, STATE ZIP: GRETNA LA 70053
PHONE:

CONTRACTOR: ROBERT WOLFE
ADDRESS: 300 LAFAYETTE ST
CITY, STATE ZIP: GRETNA LA 70053
PHONE:

PROP. USE
VALUATION: \$ 0.00
SQ FT 0.00
OCCP TYPE:
CNST TYPE:

STORIES:
UNITS:
FIRE SPRINKLERS:
OCCUPANT LOAD:
FLOOD ZONE:

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS 04/29/2024 AT 4:00 P.M. IN COUNCIL CHAMBERS

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

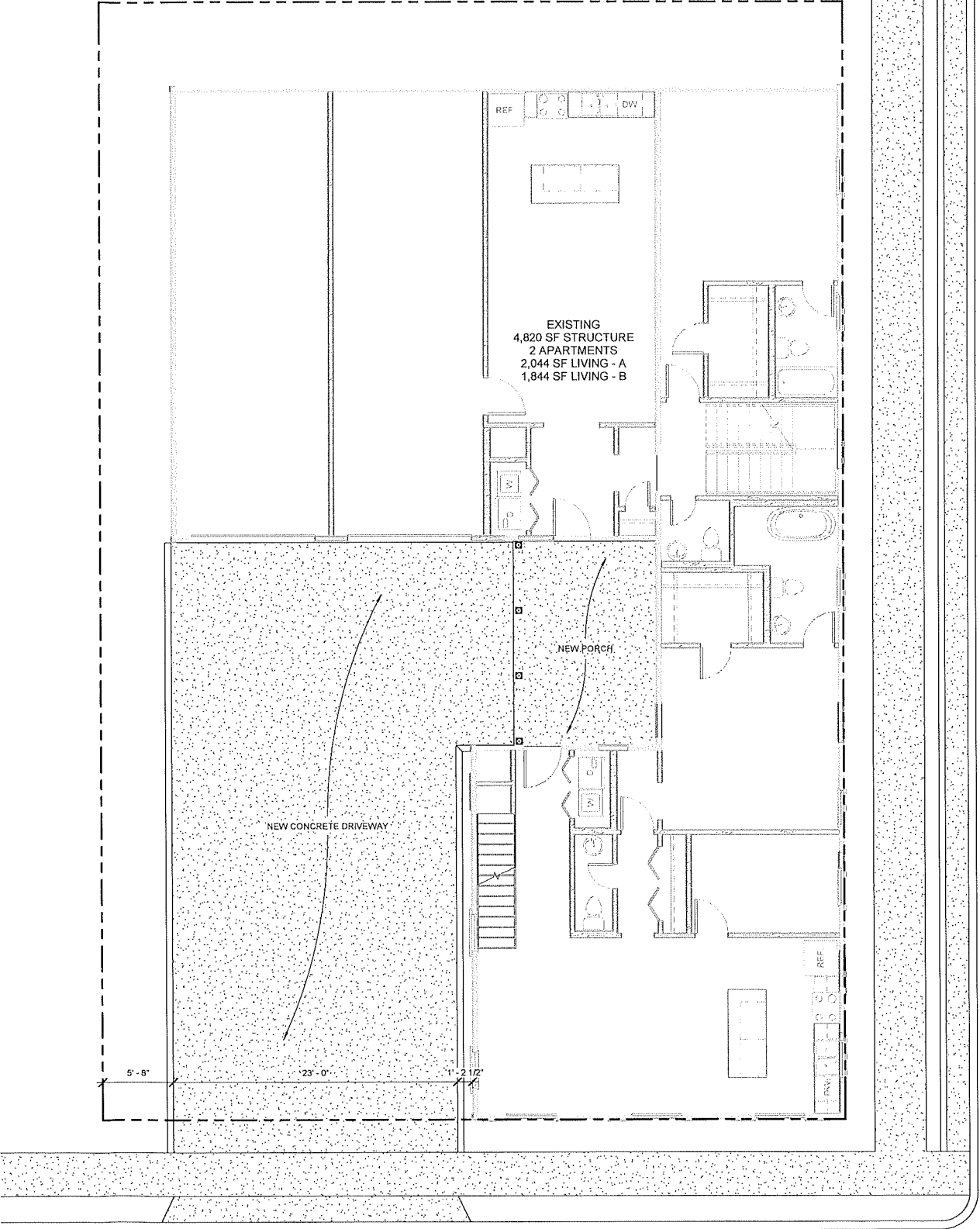
(APPROVED BY)

DATE

4/22/2024 2:27:05 PM

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1 PROPOSED SITE PLAN
3/16" = 1'-0"

PRELIMINARY DRAWING SET - NOT FOR CONSTRUCTION



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architects

A PROFESSIONAL CORPORATION

2401 Whitney Avenue
Greenville, SC 29615
Phone: 504-398-4475
www.garrityaccardo.com

BRADY P. GARRITY, P.A.
DONNA M. ACCARDO, P.A.

PRELIMINARY
DRAWING SET -
NOT FOR
CONSTRUCTION

PROJECT
300 LAFAYETTE ST.

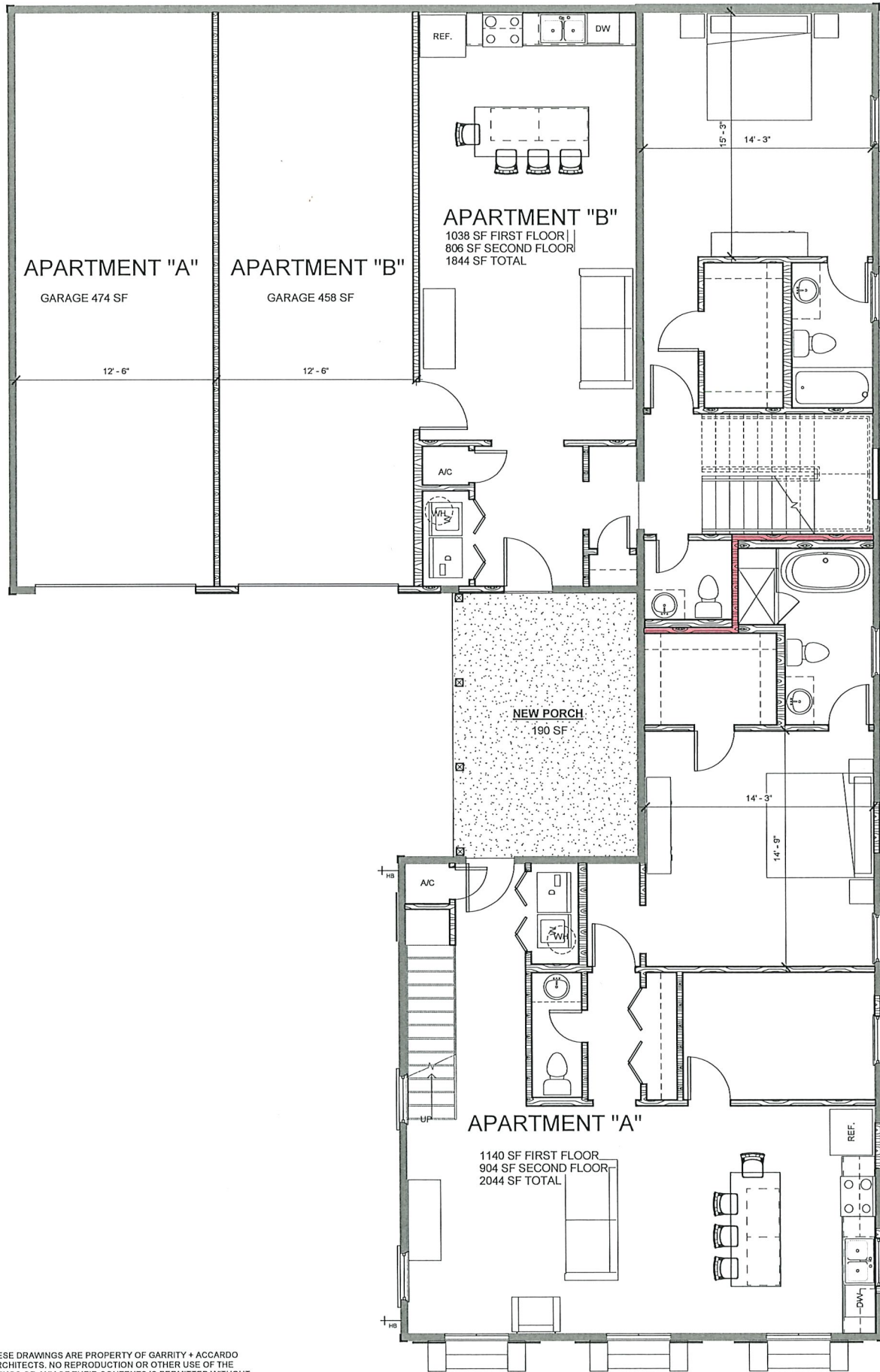
SHEET TITLE
PROPOSED SITE
PLAN

| REVISIONS |
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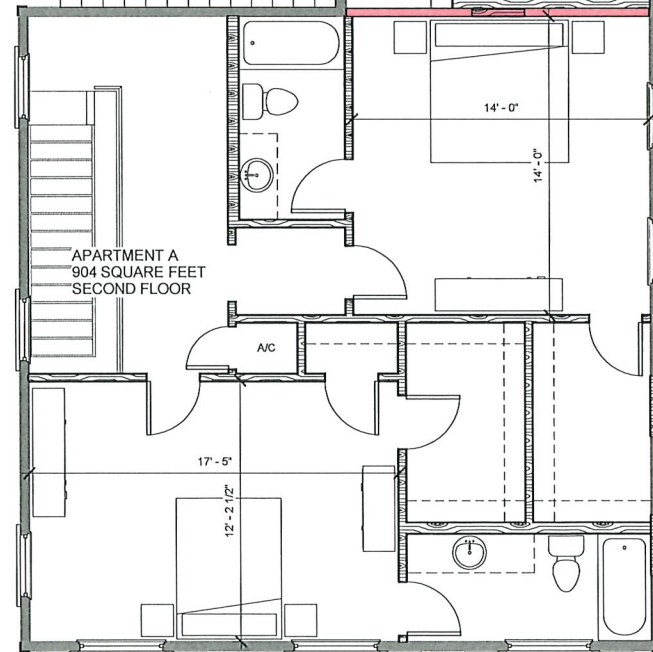
DATE
04.22.2024

PROJECT NUMBER
21120

SHEET NUMBER
C-000



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

PRELIMINARY DRAWING SET - NOT FOR CONSTRUCTION

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Garden City, NY 11530
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PRELIMINARY
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PROJECT
300 LAFAYETTE ST.

SHEET TITLE
PROPOSED FLOOR
PLANS

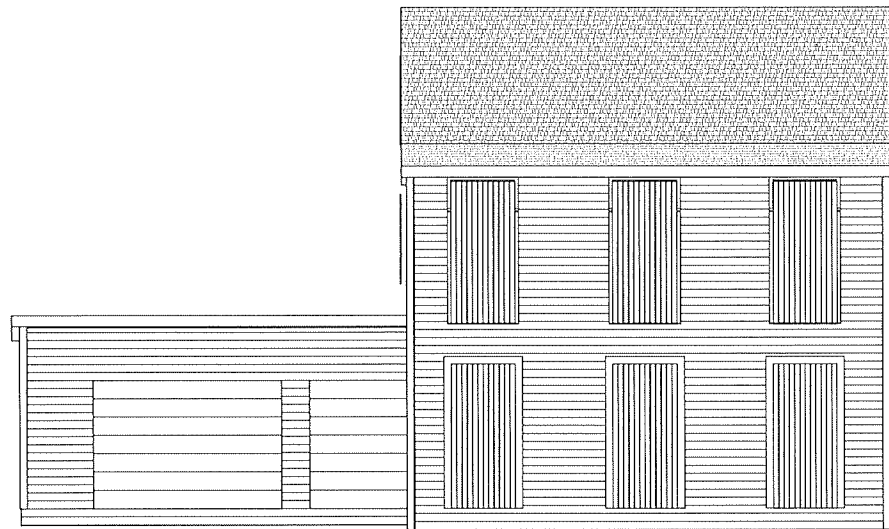
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DATE 04.22.2024

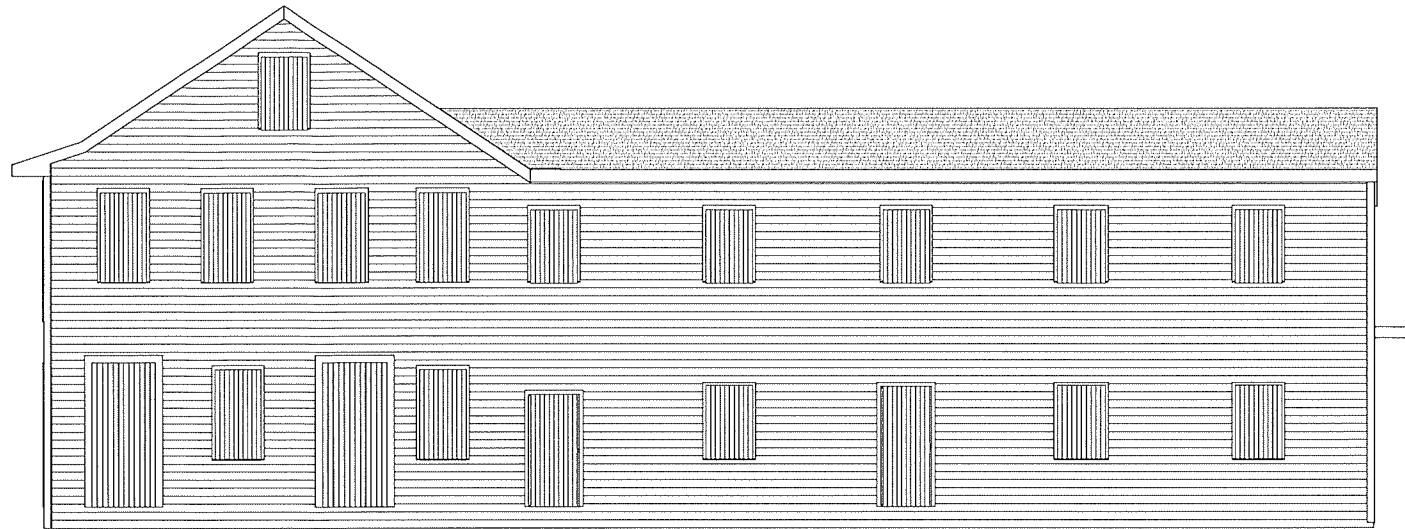
PROJECT NUMBER 21120

SHEET NUMBER
A-100

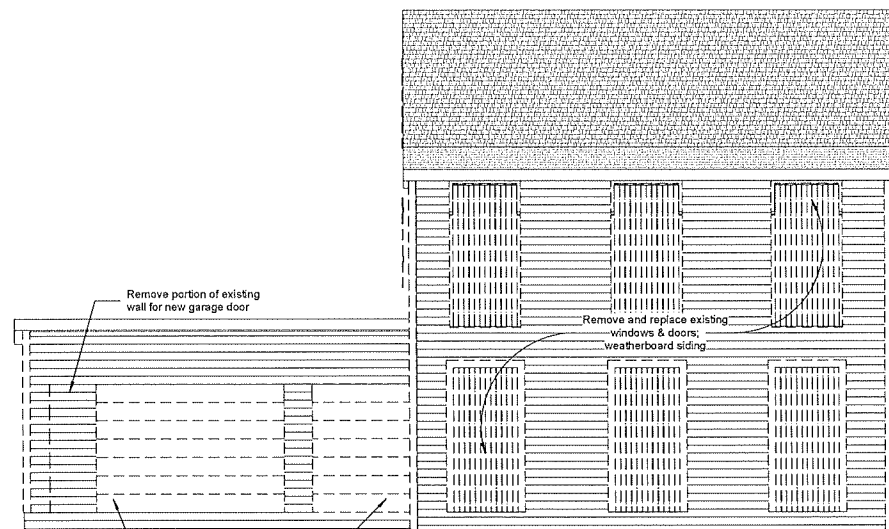
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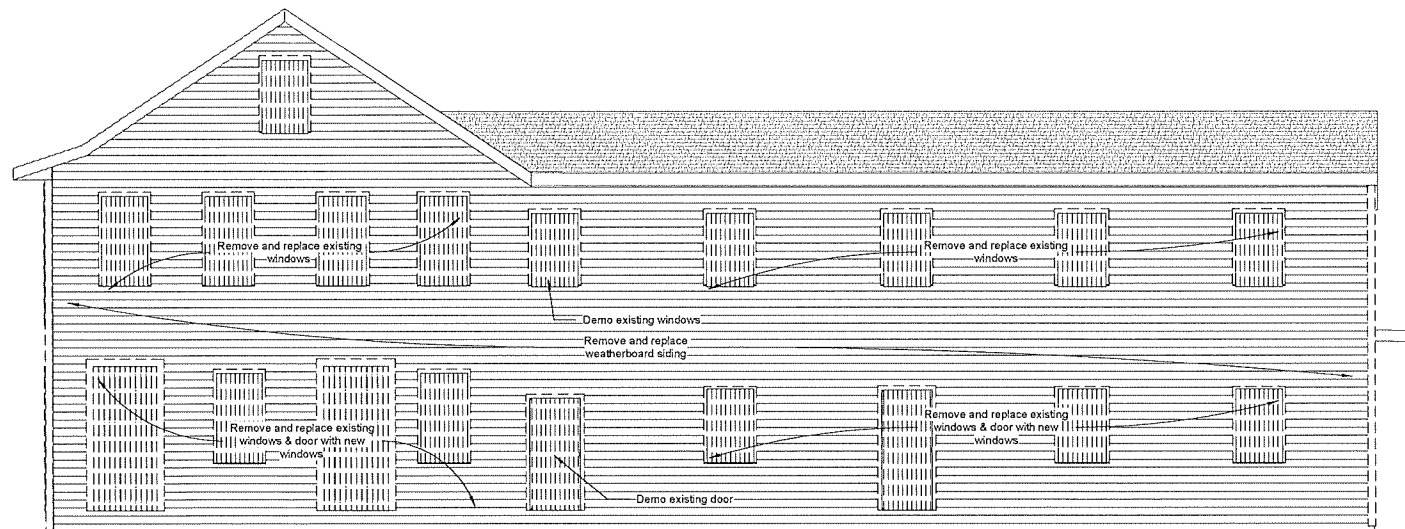
① Lafayette St Elevation - Existing
3/16" = 1'-0"



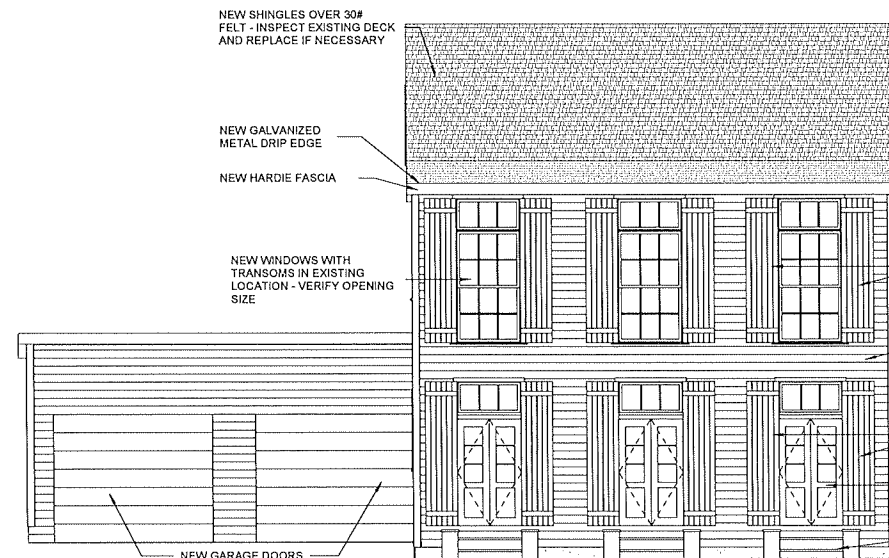
② Third St Elevation - Existing
3/16" = 1'-0"



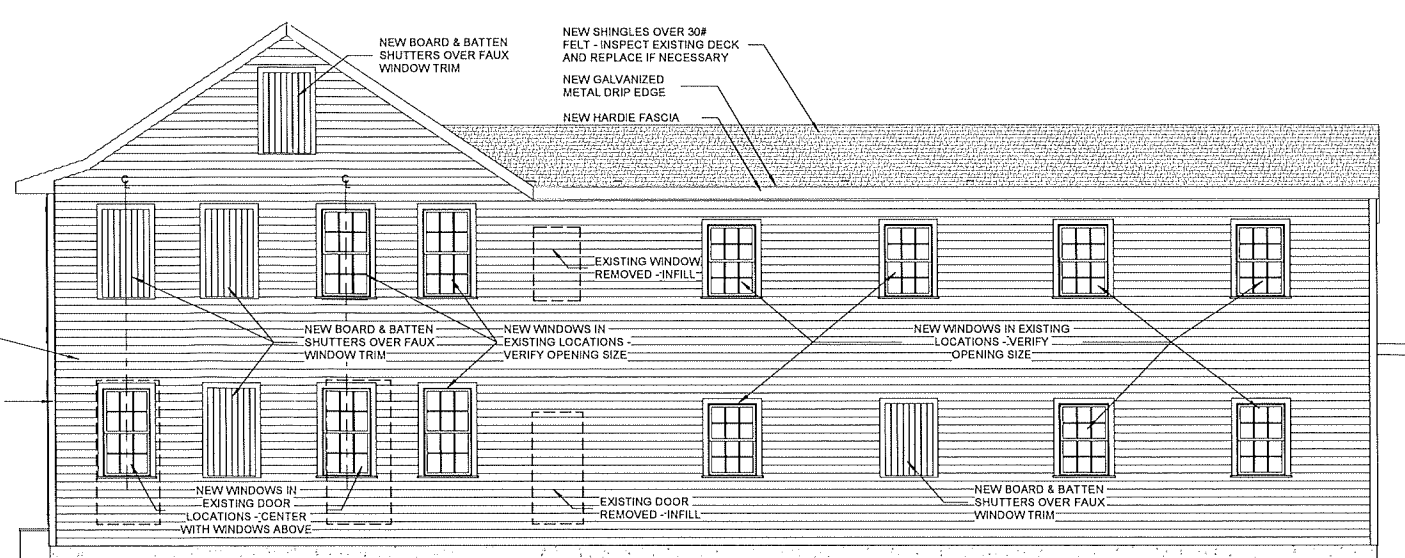
③ Lafayette St Elevation - Demo
3/16" = 1'-0"



④ Third St Elevation - Demo
3/16" = 1'-0"



⑤ Proposed Lafayette St Elevation
3/16" = 1'-0"



⑥ Proposed Third St Elevation
3/16" = 1'-0"

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PRELIMINARY
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PROJECT
300 LAFAYETTE ST.

SHEET TITLE
EXTERIOR
ELEVATIONS

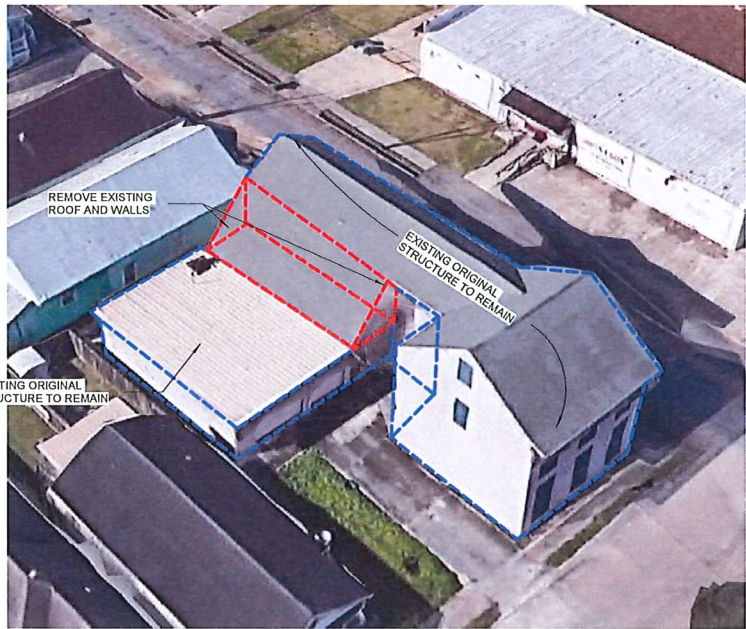
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DATE 04.22.2024

PROJECT NUMBER 21120

SHEET NUMBER
A-200

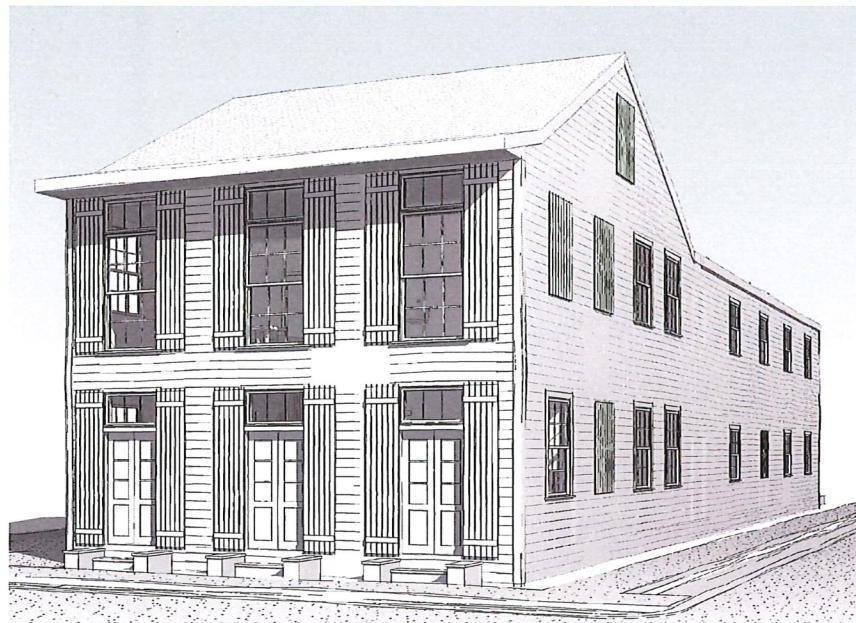
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1 Demo Diagram



2 Existing Corner View



3 Proposed Corner View



4 Existing 3D View



5 Proposed 3D View



6 Existing 3D View
12" = 1'-0"



7 Proposed 3D View

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PRELIMINARY
DRAWING SET -
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CONSTRUCTION

PROJECT

300 LAFAYETTE ST.

SHEET TITLE

3D Views

REVISIONS

DATE 04.22.2024

PROJECT NUMBER 21120

SHEET NUMBER
A-300

PRELIMINARY DRAWING SET - NOT FOR CONSTRUCTION



Historic District Commission

Meeting: March 29, 2024

230 Lafayette Street
(District 2)

For: Renovations

Applicant:
Bert Turner



Permit
7653

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 230 LAFAYETTE ST.

Renovation: _____

New Construction: _____

Demolition: _____

Age of Structure: 1981

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other MIXED STYLES CURRENTLY
SHOTGUN CONNECTED TO
A NON-ASSUMING CMU BLOCK
BLDG.

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof LOW SLOPING ROOF MEMBRANE Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails METAL

Type of exterior lighting fixtures: CYLINDER SCONCES

Style of windows: GLASS BLOCK PROPOSED

Type of exterior doors: PAINTED METAL

Describe any ornamental woodwork: _____

Elevations: (3RD ST.) Exs. : 9' - 4" (LAFAYETTE ST.)
Front Space: NEW : 21 ft. Side Space: 65' - 10" ft.
Rear Space: 70' - 3 1/2" ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Bert J Turner Date: 4.22.24

Applicant's Name: BERT J TURNER

Applicant's Address: 601 PAPWORTH AVE. STE. 200 METAIRIE, LA 70005

Phone No: (504) 838-8091 Cell No: ()

For Office Use Only:

Application date: 4-22-24

Substantive Change: Yes ☐ No ☒ Inventory Number: 458

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: April 29, 2024

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
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City Clerk

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Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Bryan Bordelon the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on _____ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Bryan Bordelon
Signature of Applicant

Bryan Bordelon
NAME OF APPLICANT (PLEASE PRINT)

230 Lafayette St
Applicant's address

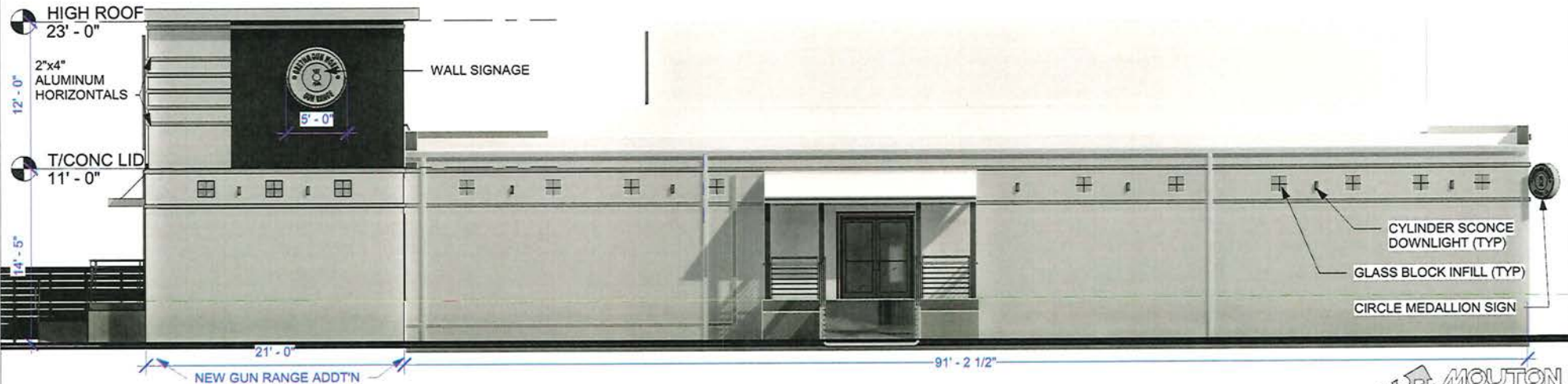
230 Lafayette St
Actual address of the property for review

Date: 4-19-24



① Lafayette Street Elevation-NEW
1/8" = 1'-0"

65' - 10 1/2"



② 3rd Street Elevation - NEW
1/8" = 1'-0"

NEW GUN RANGE ADDT'N

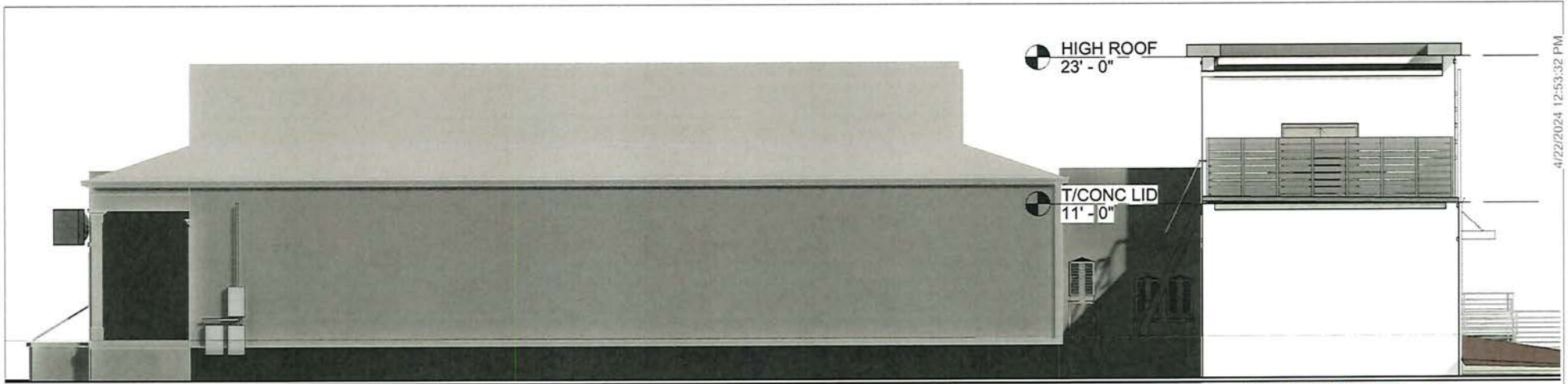
91' - 2 1/2"

CYLINDER SCONCE
DOWNLIGHT (TYP)
GLASS BLOCK INFILL (TYP)
CIRCLE MEDALLION SIGN

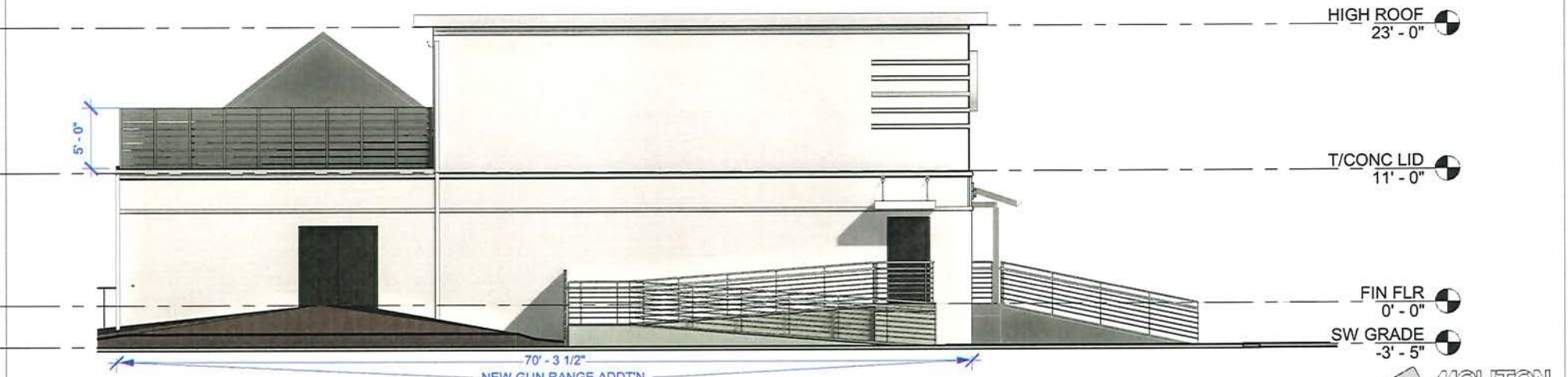
SHEET NO.
SD-2



SITE ADDRESS: 230 LAFAYETTE ST. GRETN, LA.



① North Elevation - NEW
1/8" = 1'-0"

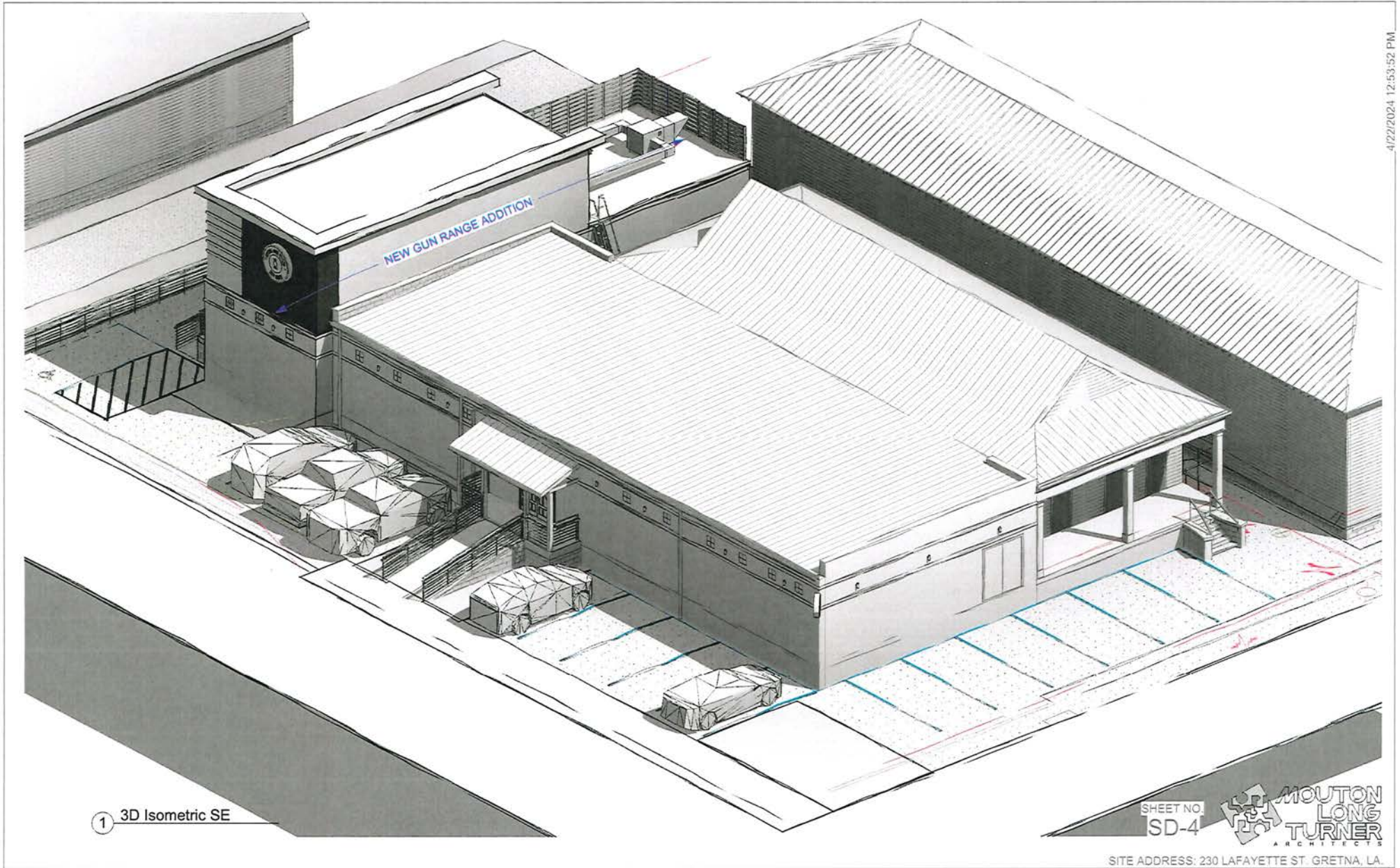


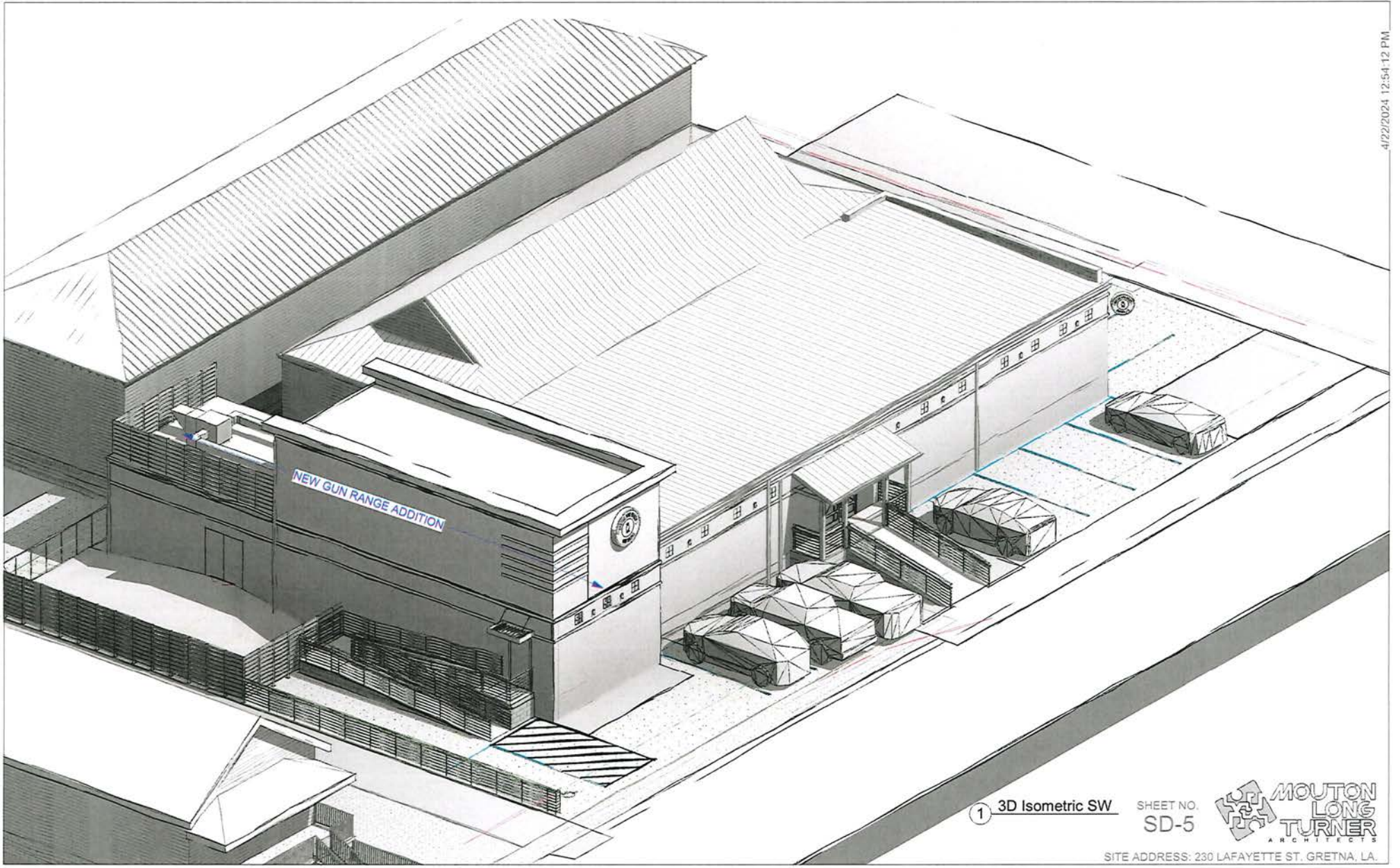
② Rear Elevation - NEW
1/8" = 1'-0"

SHEET NO.
SD-3

**MOUTON
LONG
TURNER**
ARCHITECTS

SITE ADDRESS: 230 LAFAYETTE ST. GRETNA, LA.





① 3D Isometric SW

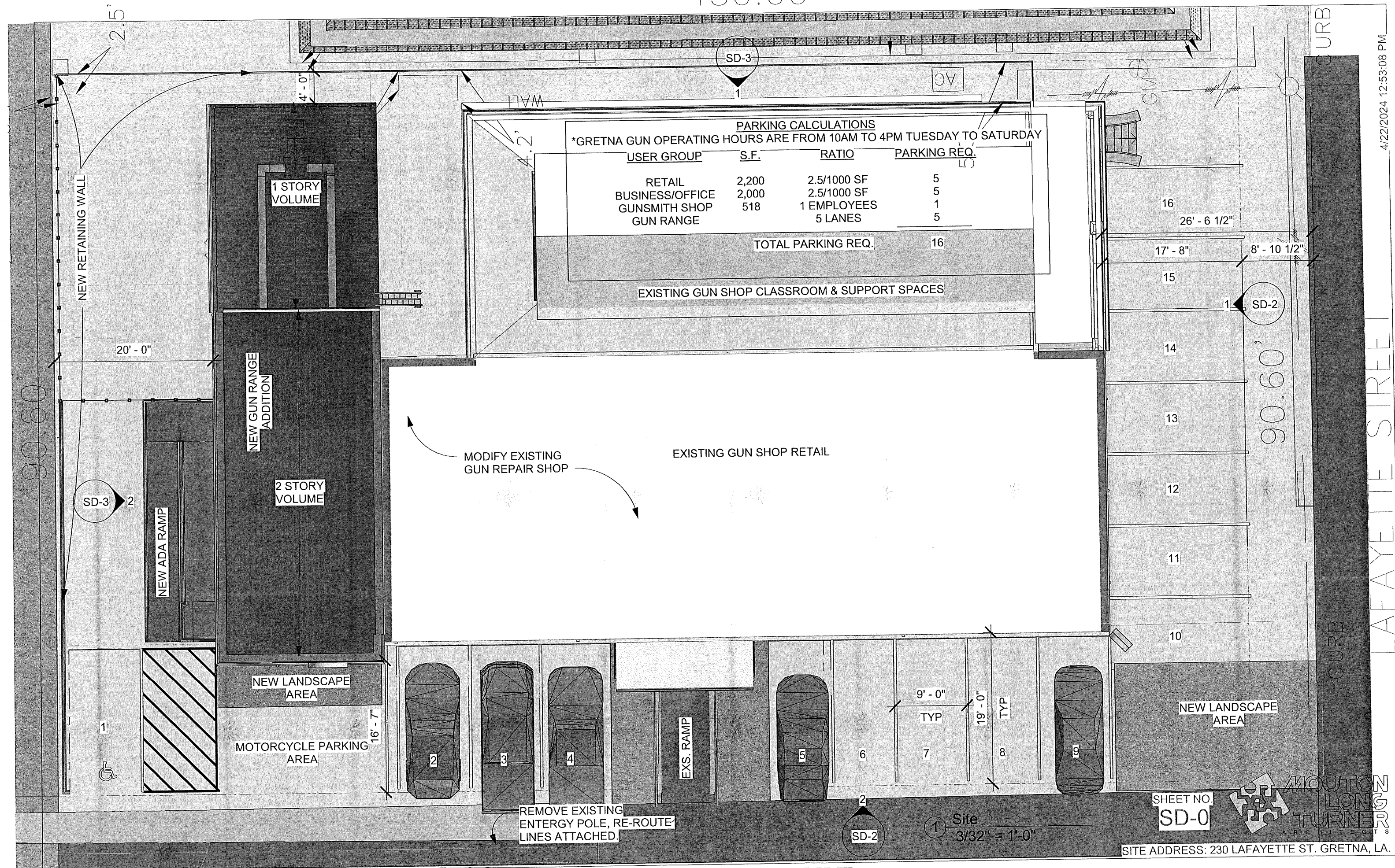
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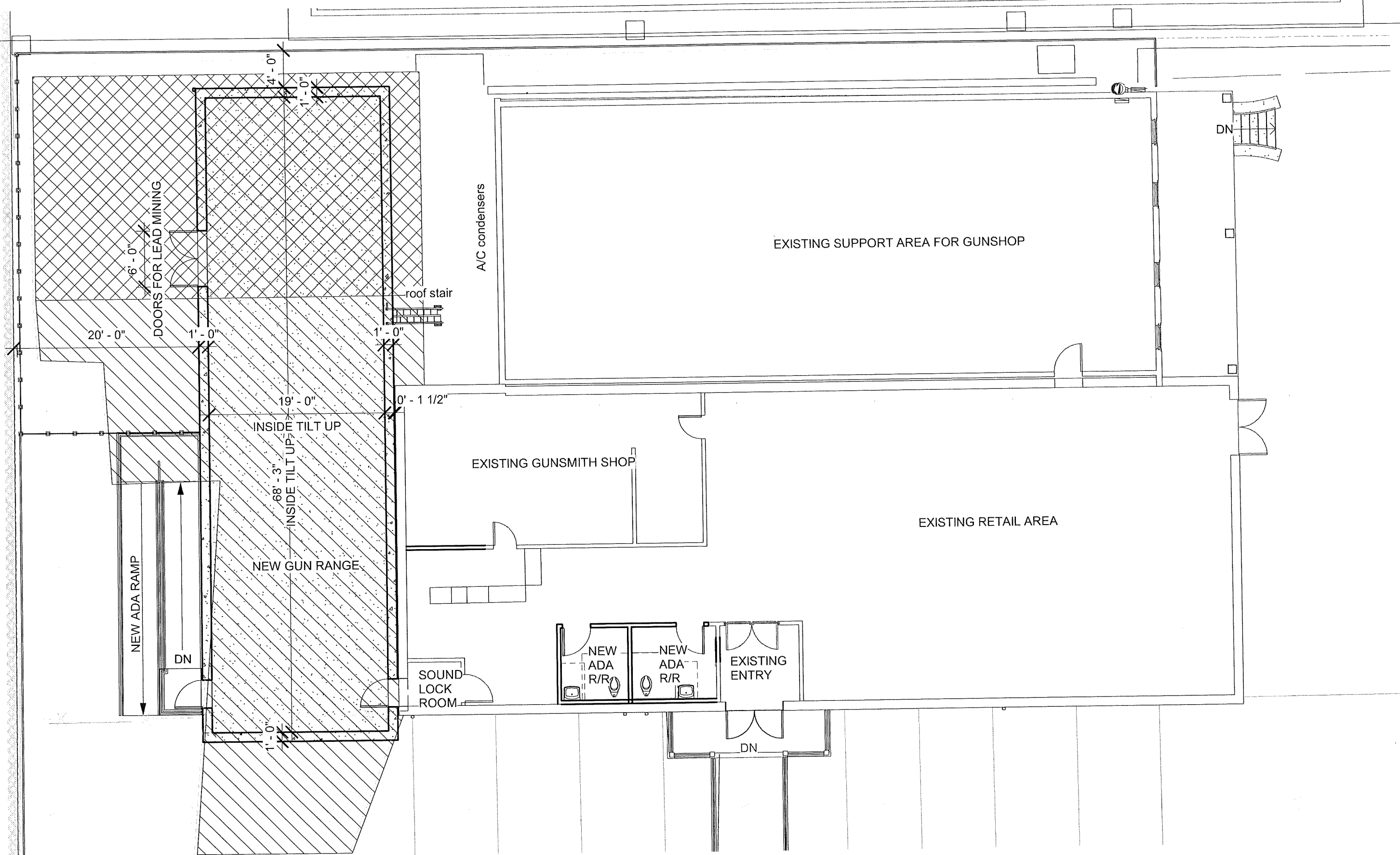


SITE ADDRESS: 230 LAFAYETTE ST. GRETN, LA.

150.00


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1

FIN FLR
1" = 10'-0"

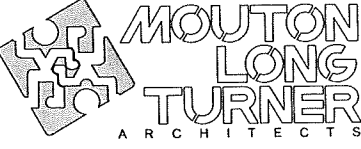


DENOTES AREA OF SHED TO BE REMOVED



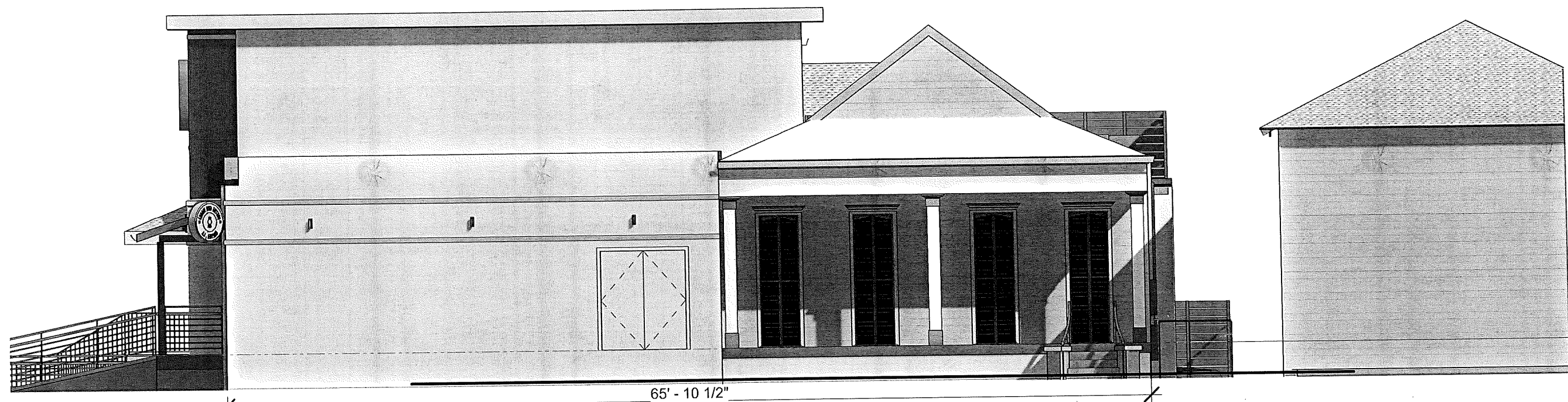
DENOTES AREA OF PAVED SURFACES

SHEET NO.
SD-1

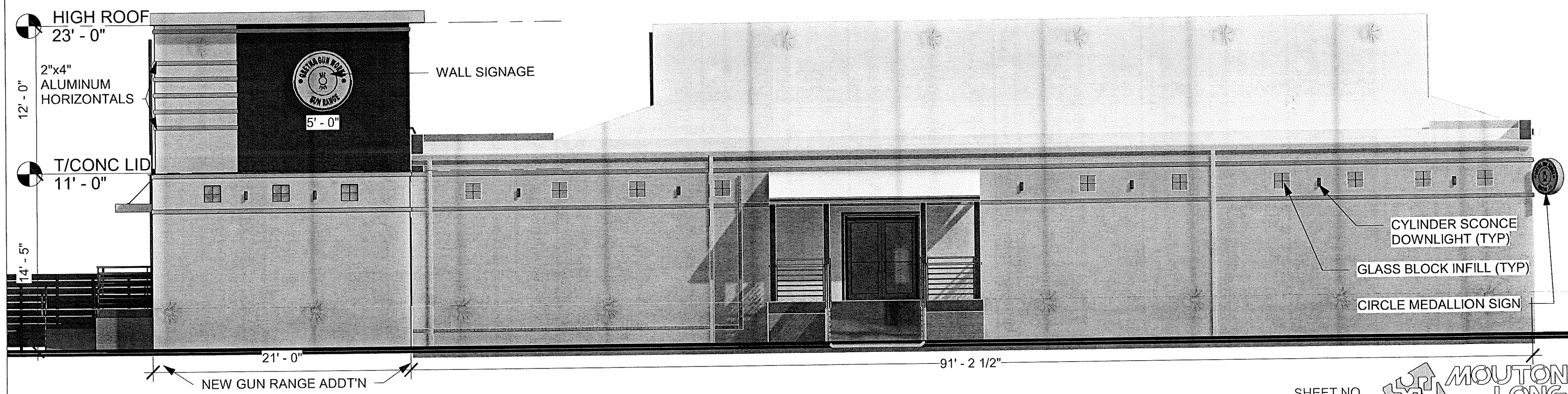


MOUTON
LONG
TURNER
ARCHITECTS

SITE ADDRESS: 230 LAFAYETTE ST. GRETN, LA.

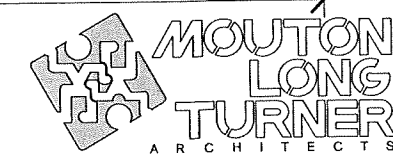


① Lafayette Street Elevation-NEW
1/8" = 1'-0"



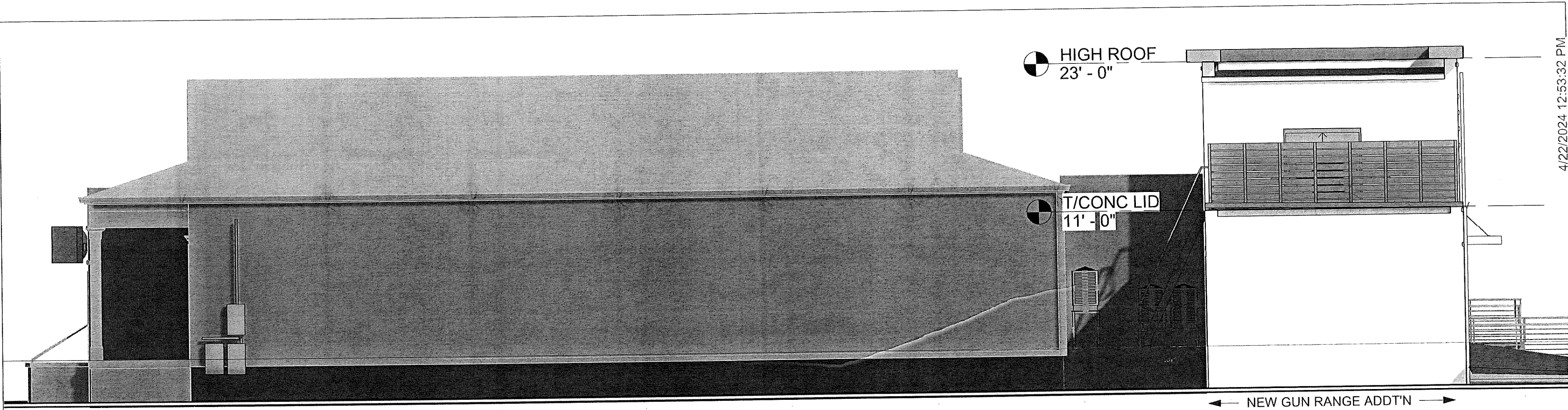
② 3rd Street Elevation - NEW
1/8" = 1'-0"

SHEET NO.
SD-2

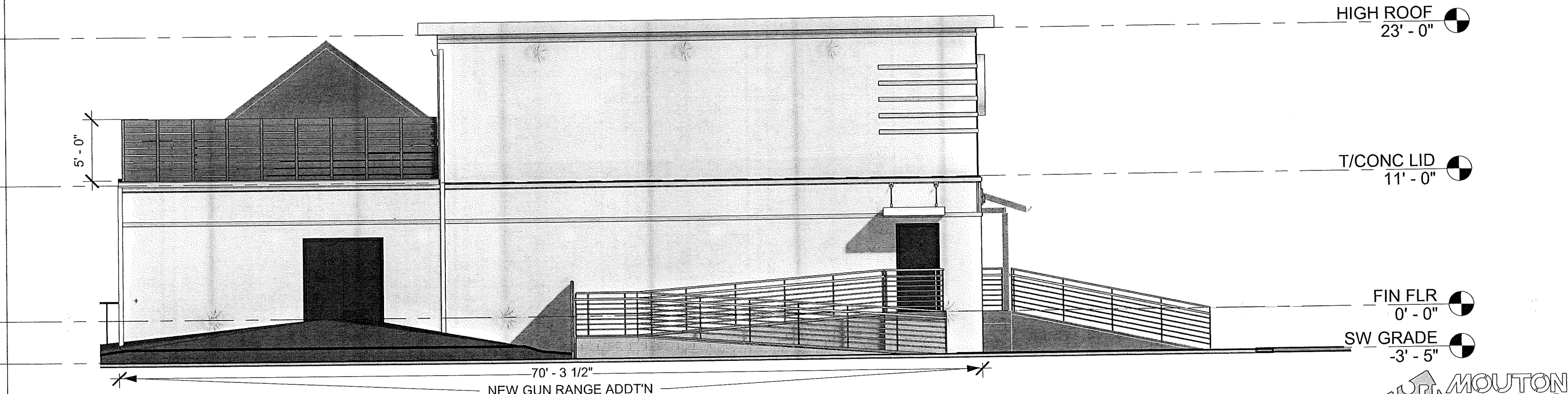


SITE ADDRESS: 230 LAFAYETTE ST. GRETN, LA.

4/22/2024 12:53:32 PM



① North Elevation - NEW
1/8" = 1'-0"

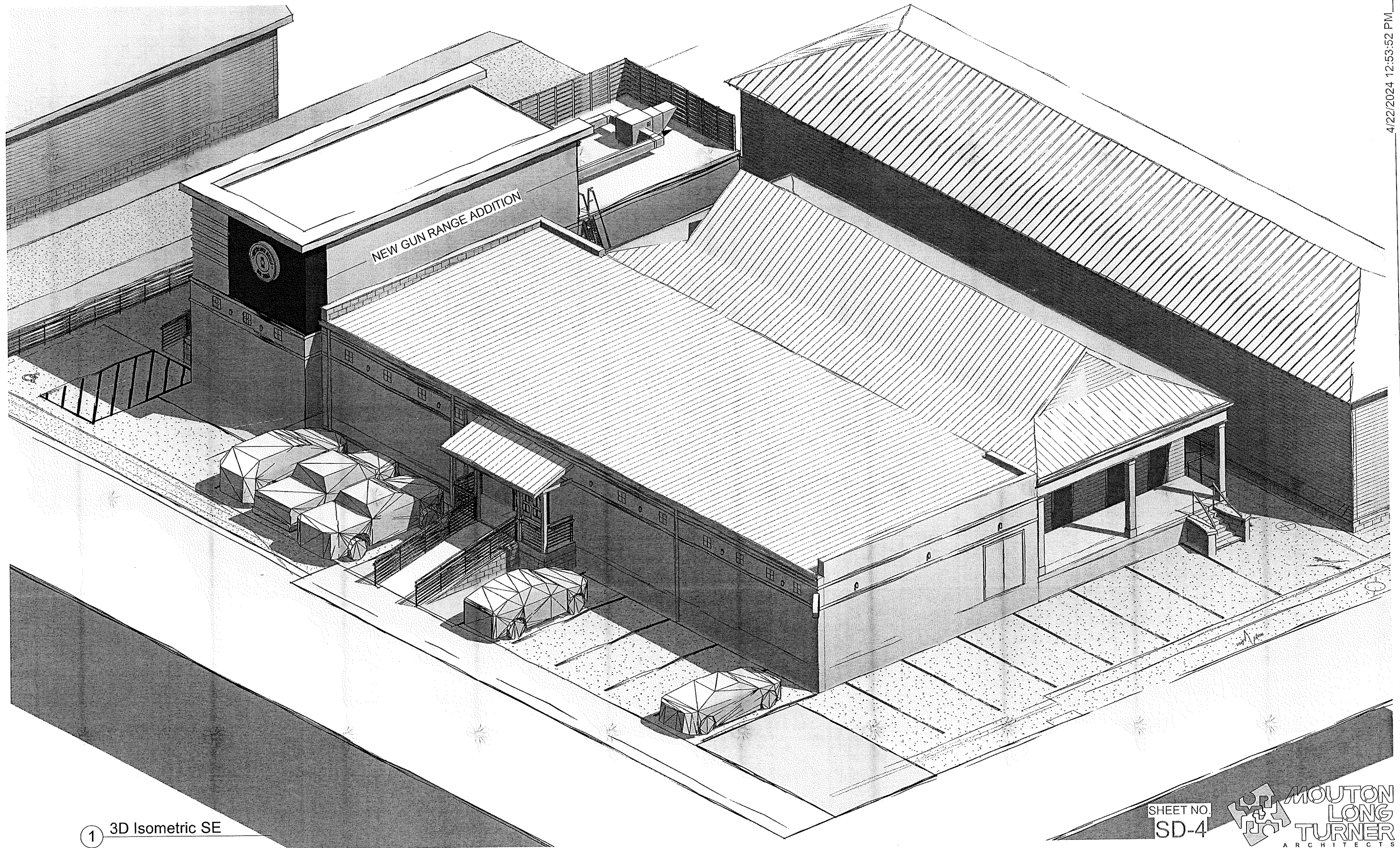


② Rear Elevation - NEW
1/8" = 1'-0"

SHEET NO.
SD-3

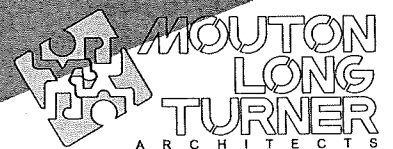


SITE ADDRESS: 230 LAFAYETTE ST. GRETN, LA.



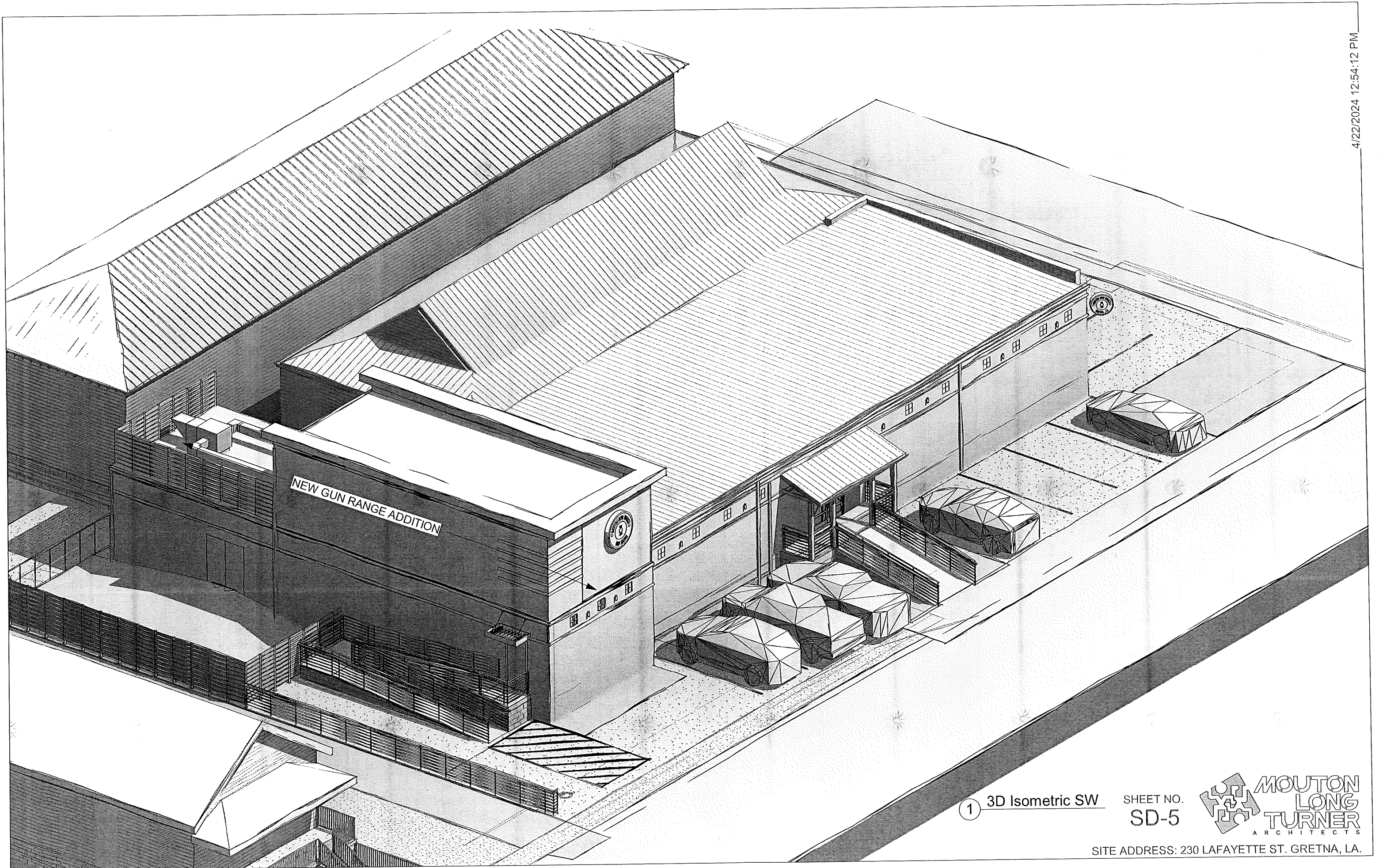
① 3D Isometric SE

SHEET NO.
SD-4



SITE ADDRESS: 230 LAFAYETTE ST. GRETN, LA.

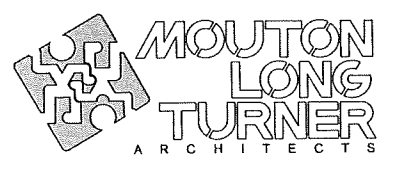
4/22/2024 12:53:52 PM



4/22/2024 12:54:12 PM

① 3D Isometric SW

SHEET NO.
SD-5



SITE ADDRESS: 230 LAFAYETTE ST. GRETN, LA.



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

| | | | |
|------------------|---------------------|------------------|---------------------|
| PERMIT #: | 135205 | EXPIRATION DATE: | 4/30/2024 |
| JOB ADDRESS: | 230 LAFAYETTE ST | LOT #: | |
| PARCEL ID: | | SQUARE #: | |
| SUBDIVISION: | | ZONING: | |
| OWNER: | BERT TURNER | CONTRACTOR: | BERT TURNER |
| ADDRESS: | 230 LAFAYETTE ST | ADDRESS: | 230 LAFAYETTE ST |
| CITY, STATE ZIP: | GRETN LA 70053-5838 | CITY, STATE ZIP: | GRETN LA 70053-5838 |
| PHONE: | | PHONE: | |
| PROP. USE: | | STORIES: | |
| VALUATION: | \$ 0.00 | UNITS: | |
| SQ FT: | 0.00 | FIRE SPRINKLERS: | |
| OCCP TYPE: | | OCCUPANT LOAD: | |
| CNST TYPE: | | FLOOD ZONE: | |

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS 04/29/2024 AT 4:00P.M. IN COUNCIL CHAMBERS

NOTICE

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING, AIR CONDITIONING, SIGNS OR FENCES. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 10 DAYS. THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE. THIS PERMIT MUST BE RENEWED IF WORK IS NOT COMPLETED WITHIN 6 MONTHS.

THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

(APPROVED BY)

DATE



Historic District Commission

Meeting: March 29, 2024

1001 Washington Street
(District 2)

For: New Construction

Applicant:
Edwin Nelson Clayton II



Permit
7587

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
 - Moving of a historic building
 - Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
 - New construction of a building or accessory building or structure, if subject to view from a public street
 - Change in existing walls and fences or construction of new walls and fences if along a public street
 - Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.
- OV
JR

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1001 Washington St., Gretna, LA 70053

Renovation: _____

New Construction: X

Demolition: _____

Age of Structure: 1930

Building Type:

Creole Cottage ✓

Shotgun _____

Bungalow _____

Other X

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other X

Exterior materials proposed:

Roof Metal roof Standing Seam Soffit Hardi

Fascia Hardi Siding Hardi

Masonry Block Porches Stucco

Balconies Tile with waterproofing Handrails Wrought Iron

Type of exterior lighting fixtures: 1 - gas light at front door, electrical flood lights

Style of windows: Marvin Windows: Showcase: Impact: Vinyl: Black/White

Type of exterior doors: 1 - front door: Metal; 1 - garage door: fiberglass; 2 - balcony doors: Multi-slide glass aluminum door stack

Describe any ornamental woodwork: N/A

Elevations:

Front Space: 5'0" ft. Side Space: 3' left side; 10' right
16.05' to toe ft.
Rear Space: of levee ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Edwin Nelson Clayton II Date: 03/25/24

Applicant's Name: Edwin Nelson Clayton II for Nelson Clayton Homes, LLC

Applicant's Address: 30 Coquille Rd., Belle Chasse, LA 70037

Phone No: (504) 433-5659 Cell No: (504) 606-4177

For Office Use Only:

Application date: 3-25-24

Substantive Change: Yes ☐ No ☒

Inventory Number: 26-02289

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: April 29, 2024

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, E. Nelson Clayton, II the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 4/29/24 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

E. Nelson Clayton II
Signature of Applicant

E. Nelson Clayton II
NAME OF APPLICANT (PLEASE PRINT)

30 Coquille Rd., BelleChasse, LA 70037
Applicant's address

1001 Washington St.
Actual address of the property for review

Date: 3/25/24

HORATIO L. GILBERT
1898-1961

ERROL E. KELLY
1898-1985

GILBERT, KELLY & COUTURIÉ, INC.

PROFESSIONAL LAND SURVEYING

2121 N. CAUSEWAY BLVD, SUITE 121
METAIRIE, LA 70001
TELEPHONE (504) 836-2121
FAX NO. (504) 832-1158

JAMES H. COUTURIÉ, C.E.

EVERETT V. TREIGLE JR., P.L.S.

DATE: 10/9/2023

RE: CONSTRUCTION BENCHMARK

Location: 1001 WASHINGTON STREET
GRETNA, LA

Lot: A1

Square: 23

Subdivision: MCDONOGHVILLE

Parish: JEFFERSON

District: JEFFERSON

Owner:

COMMUNITY PANEL NO: 225198 22051C0220 F

MAP DATE: 2/2/2018

FIA ZONE DESIGNATION: X

BASE FLOOD ELEVATION: NONE

EXISTING CENTER LINE OF STREET: 27.33 CD 6.90 NAVD

EXISTING GROUND ELEVATION: 28.53 CD 8.10 NAVD

DESCRIPTION OF CONSTRUCTION BENCHMARK

NAIL SET IN POWER POLE FRONT OF LOT

ELEVATION OF CONSTRUCTION BENCHMARK: 30.43 CD 10.00 NAVD

REFERENCE BENCHMARK: V-375

ELEVATION OF REFERENCE BENCHMARK: 22.63 CD 2.20 NAVD

DATE OF FIELD WORK: 10/9/2023

THE UNDERSIGNED IS NOT RESPONSIBLE FOR THE TRANSFER OF GRADE ELEVATIONS FROM ESTABLISHED CONSTRUCTION BENCHMARK BY THE CONTRACTORS OR OTHERS.



CERTIFIED BY:

A handwritten signature in blue ink, appearing to read "Louis C. Hartmann", written over a horizontal line.

NAVD = North American Vertical Datum (1988)
20.43' CD = 0.00' NAVD
W.O.: 172330

Louis C. Hartmann
Professional Land Surveyor
2121 N. CAUSEWAY BLVD., SUITE 121
METAIRIE, LA 70001
LA LIC. #4995

SQ. NO. 23, MC DONOGHVILLE
JEFFERSON PARISH, LA
 (Lot A1)

BURMASTER ST.

LEVEE R/W
NOT SHOWN

WASHINGTON ST.

ANSON ST.

- Legend:
- I.R.S. 1/4" Iron Rod Set
 - I.R.F. 1/4" Iron Rod Found
 - I.P.F. 1/4" Iron Pipe Found
 - Fence

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

Note:
Improvements may not be to scale for clarity.
The dimensions shown prevail over scale.

All lot bearings as per plan of sub.

Date: October 9, 2023

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LXI, Chapter 29 for a Class "C" survey.
 Made at the request of Nelson Clayton Homes, LLC.

Gilbert, Kelly & Couturie, Inc., Professional Land Surveying
 2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

Scale: 1" = 20'



CITY OF GRETNA

Second Street and Huey P. Long Avenue
P.O. Box 404
Gretna, LA 70054-0404
Call 363-1563 8:00 a.m. to 4:00 p.m.

HISTORIC DISTRICT PERMIT

PERMIT #: **135200**

EXPIRATION DATE: **4/30/2024**

JOB ADDRESS: 1001 WASHINGTON ST
PARCEL ID:
SUBDIVISION:

LOT #:
SQUARE #:
ZONING:

OWNER: EDWIN N CLAYTON II
ADDRESS 1001 WASHINGTON ST
CITY, STATE ZIP: GRETN LA 70053-3139
PHONE:

CONTRACTOR: EDWIN N CLAYTON II
ADDRESS: 1001 WASHINGTON ST
CITY, STATE ZIP: GRETN LA 70053-3139
PHONE:

PROP. USE
VALUATION: \$ 0.00
SQ FT 0.00
OCCP TYPE:
CNST TYPE:

STORIES:
UNITS:
FIRE SPRINKLERS:
OCCUPANT LOAD:
FLOOD ZONE:

| FEE CODE | DESCRIPTION | QTY | AMOUNT |
|----------|----------------------------------|-----|----------|
| HDAC | HISTORIC DISTRICT ADVISORY BOARD | 0 | \$ 50.00 |
| TOTAL | | | \$ 50.00 |

NOTES: Conditions: THIS IS NOT A PERMIT. THE HDC MEETING IS SCHEDULED FOR 04/29/2024 AT 4:00P.M. IN COUNCIL CHAMBERS

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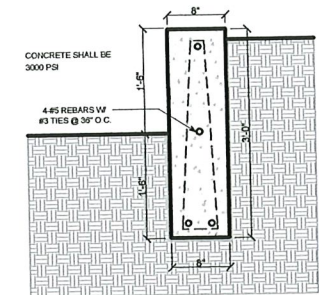
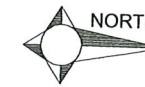
(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

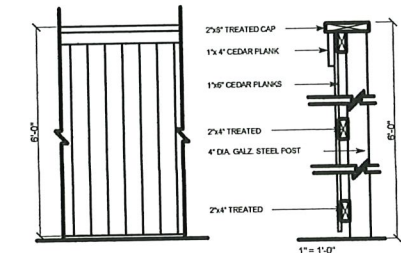
(APPROVED BY)

DATE

LOT A1, SQ. NO. 23, MCDONOGHVILLE,
JEFFERSON PARISH, GRETN, LA



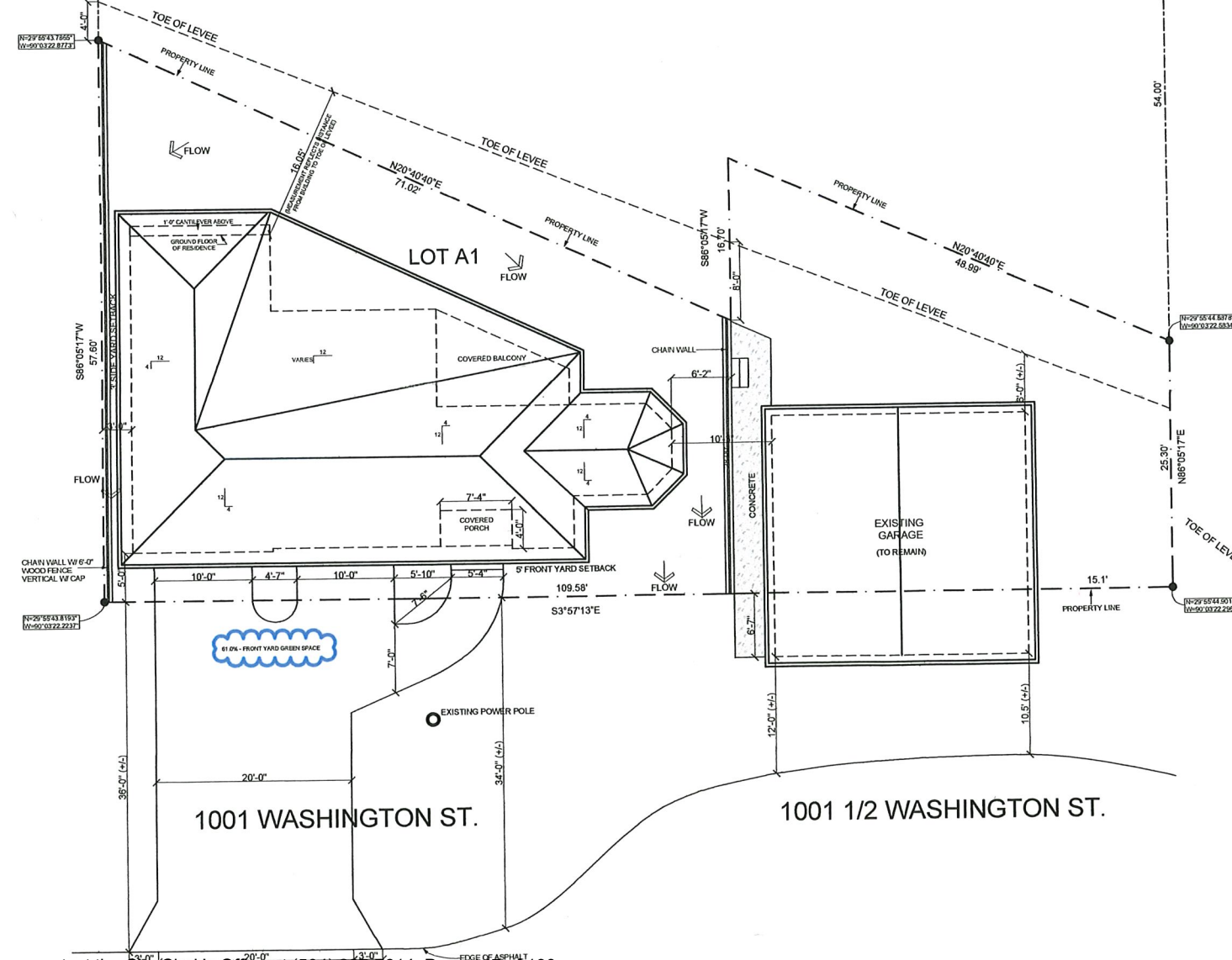
RETAINING WALL DETAIL



FENCE DETAIL
1/2\"/>

NOTES:
POST DEVELOPMENT GRADING AND RUN-OFF
CONDITIONS WILL NOT HAVE AN ADVERSE IMPACT
ON NEIGHBORING PROPERTIES
PLEASE REFERENCE SURVEY FOR DETAILED
CROSS SECTION INFORMATION & PROJECTED ARMY
CORPS OF ENGINEERS BASELINE

ANSON ST.



BURMASTER ST.

1001 WASHINGTON ST.

1001 1/2 WASHINGTON ST.

GENERAL NOTES:

-ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, AND ANY OTHER STATE AND LOCAL REQUIREMENTS.
-GENERAL CONTRACTOR SHALL COORDINATE, APPLY AND PAY FOR ALL PERMITS, INSPECTIONS AND/OR CERTIFICATIONS FROM THE APPROPRIATE AGENCIES.
-GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND REQUIRED SAFETY PRECAUTIONS TO ACCOMPLISH THE WORK.
-GENERAL CONTRACTOR SHALL PROCURE ALL DOCUMENTATIONS (DRAWINGS, ETC.) FOR POST TENSION CONCRETE FOUNDATION AND PREMANUFACTURED ROOF TRUSSES.
-GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY COORDINATION AND CONNECTION FEES.
-ALL ROOF AND EXTERIOR WALL PENETRATIONS SHALL BE FLASHED AND WATERPROOFED AS PER BUILDING STANDARDS.
-GENERAL CONTRACTOR SHALL COORDINATE ALL WORK AMONG DIFFERENT TRADES.
-GYP. BOARD ON INTERIOR WOOD STUD WALLS AND ON CEILING TO BE 1/2" THICK.
-ALL FINISHES AND COLORS TO BE SELECTED BY OWNER.
-SEE FOUNDATION NOTES FOR SUBTERRANEAN TERMITE CONTROL SPECIFICATIONS.
-ALL STRUCTURAL WOOD SHALL BE NO. 2 SYP. OR BETTER, ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE TREATED.
-ALL PREMANUFACTURED WOOD TRUSSES SHALL BE DESIGNED BASED ON 10 PSF DEAD LOAD AND 20 PSF LIVE LOAD.
-EQUIVALENT PRODUCTS FOR "MICRO-LAM" BEAMS & PLYWOOD WEB JOISTS, BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED TECHNICAL DATA IS SUBMITTED SUBSTANTIATING EQUAL STRENGTH TO MEMBERS SPECIFIED, AND COMPLY WITH THE CRITERIA NOTED ON THESE DRAWINGS.
-ALL FLASHING/RAILING TO FOLLOW FLASHING SCHEDULE 11705 STANDARD BLDG CODE, AND/OR METAL CONNECTORS INDICATED ARE MANUFACTURED BY SIMPSON "STRONG TIE", SIM/EQUAL CONNECTORS MAY BE USED, PROVIDED EQUAL STRENGTH VALUES ARE PROVIDED.
-EXTERIOR WALL SHEATHING TO BE 1/2" THICK APA STRUCTURAL I RATED, CONTINUOUS FROM SECOND FLOOR TOP PLATE TO FIRST FLOOR BOTTOM PLATE. BLOCK ALL EDGES. PROVIDE 1/8" SEPERATION BETWEEN PANELS. NAIL ALL EDGES AT 3" O.C. WITH 6d COMMON NAILS, INTERMEDIATE NAILING AT 12" O.C.

WINDOW SCHEDULE

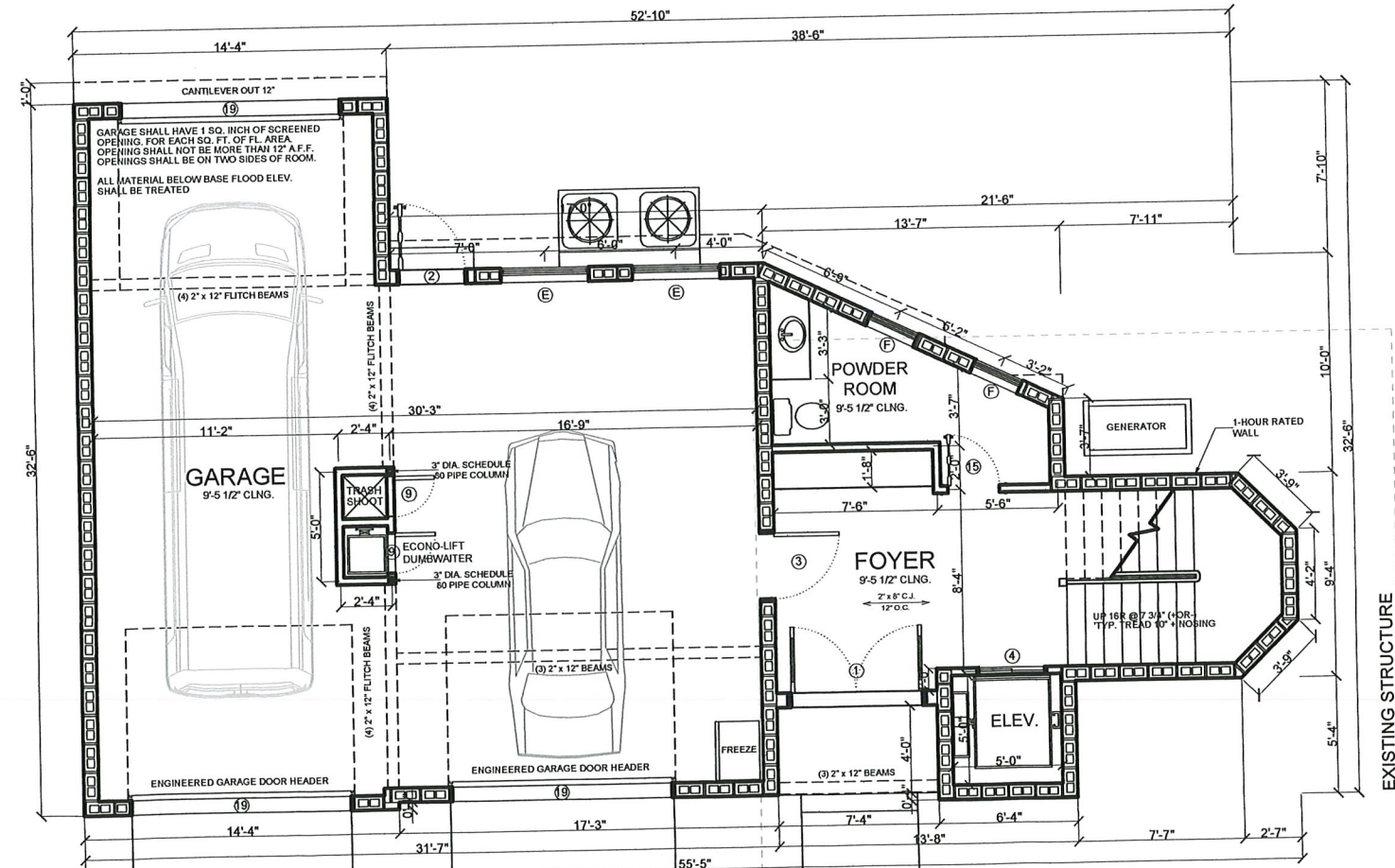
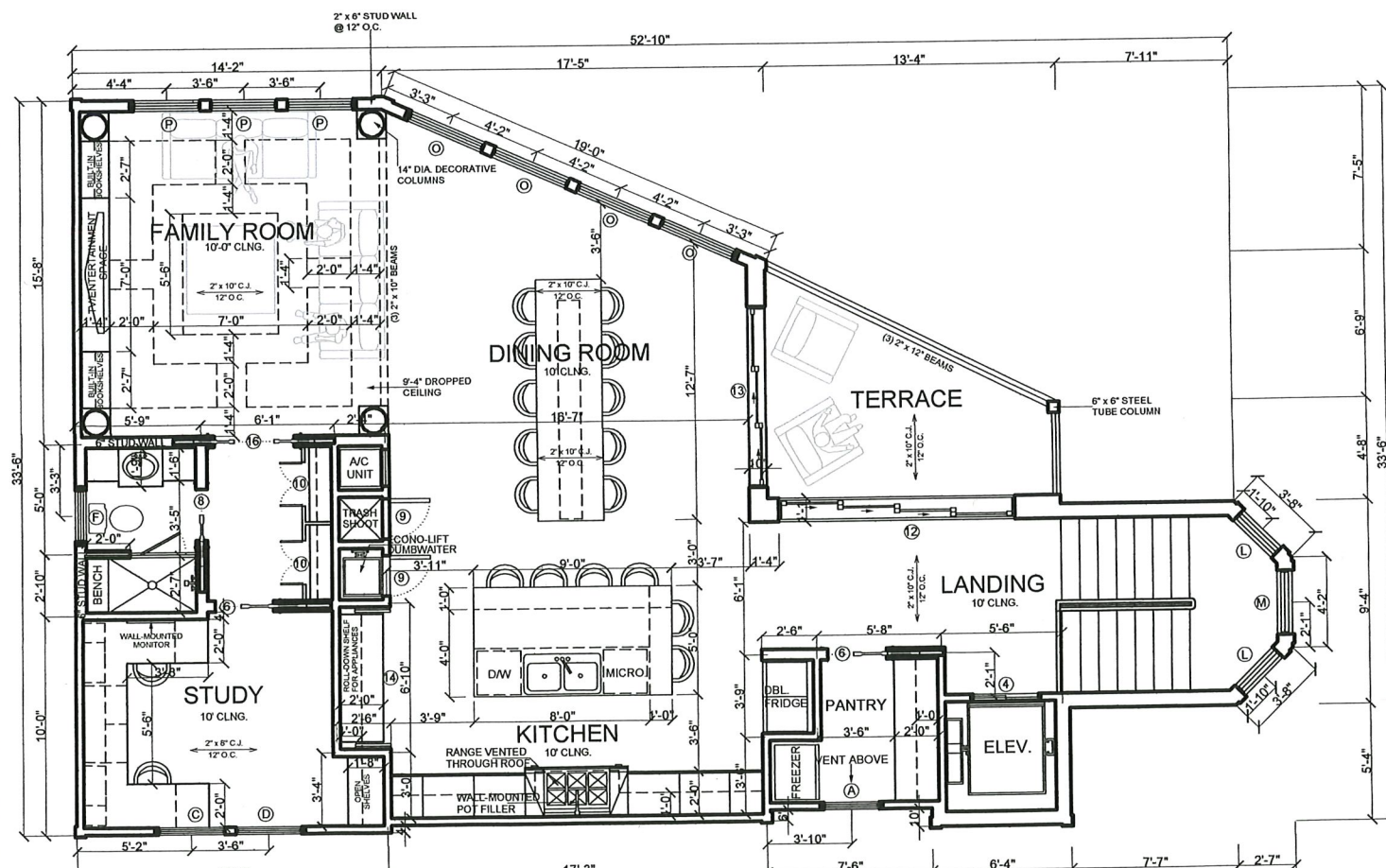
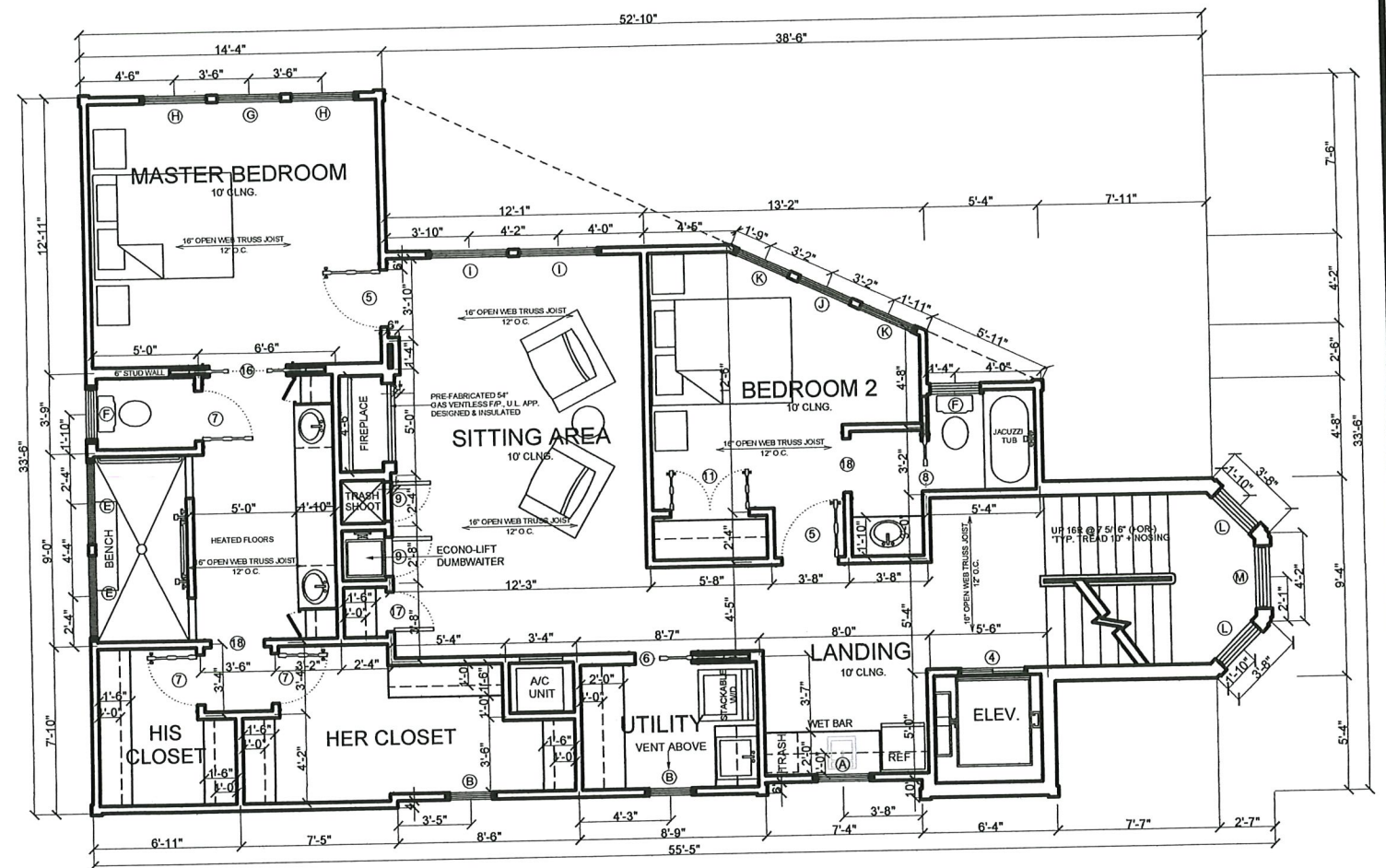
| WIDTH | HEIGHT | |
|-------------------|--|--|
| (A) 2'-6" x 4'-0" | DBL., GLAZED, VINYL P.W. | |
| (B) 2'-0" x 4'-0" | OPERABLE CASEMENT, DBL., GLAZED, VINYL WNDW. | |
| (C) 3'-0" x 5'-0" | OPERABLE CASEMENT, DBL., GLAZED, VINYL WNDW., L-SWING | |
| (D) 3'-0" x 5'-0" | FIXED CASEMENT, DBL., GLAZED, VINYL WNDW. | |
| (E) 4'-0" x 2'-0" | TRANSOM, P.W. | |
| (F) 2'-4" x 2'-0" | TRANSOM, P.W. | |
| (G) 3'-0" x 6'-0" | FIXED CASEMENT, DBL., GLAZED, VINYL WNDW. W/ 2'-0" TRANSOM ABOVE | |
| (H) 3'-0" x 6'-0" | OPERABLE CASEMENT, DBL., GLAZED, VINYL WNDW., (ONE L-SWING/ONE RT-SWING), W/ 2'-0" TRANSOM ABOVE | |
| (I) 3'-8" x 6'-0" | FIXED CASEMENT, DBL., GLAZED, VINYL WNDW. W/ 2'-0" TRANSOM ABOVE | |
| (J) 2'-8" x 6'-0" | FIXED CASEMENT, DBL., GLAZED, VINYL WNDW. W/ 2'-0" TRANSOM ABOVE | |
| (K) 2'-8" x 6'-0" | OPERABLE CASEMENT, DBL., GLAZED, VINYL WNDW., (ONE L-SWING/ONE RT-SWING), W/ 2'-0" TRANSOM ABOVE | |
| (L) 2'-6" x 6'-0" | DBL., GLAZED, VINYL P.W. | |
| (M) 3'-0" x 6'-0" | DBL., GLAZED, VINYL P.W. | |
| (N) 3'-0" x 3'-0" | DBL., GLAZED, VINYL P.W. | |
| (O) 2'-6" x 3'-0" | DBL., GLAZED, VINYL P.W. | |
| (P) 3'-0" x 7'-0" | DBL., GLAZED, VINYL P.W. | |
| (Q) 3'-0" x 5'-6" | DBL., GLAZED, VINYL P.W. | |

NOTE: ALL WINDOWS SHALL BE TRUE DIVIDED LIGHT W/ LOW-E GLASS

NOTE: ALL WINDOWS SHALL HAVE HURRICANE GRADE IMPACT RESISTANT SAFETY GLASS

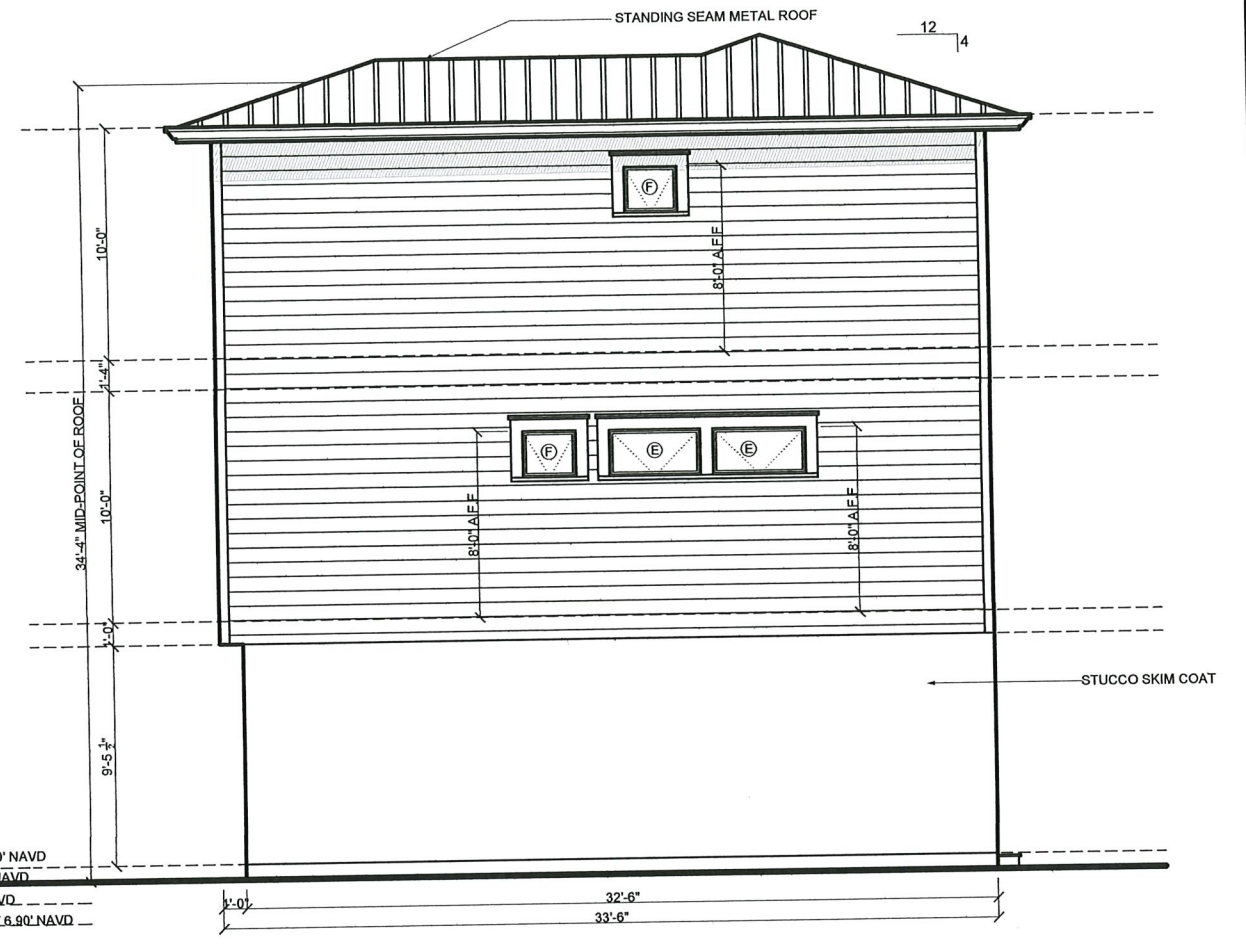
DOOR SCHEDULE

| WIDTH | HEIGHT | THICKNESS | |
|-------------------------|----------|--|--|
| (1) 6'-0" x 8'-0" | x 1 3/4" | DBL., STEEL DOORS | |
| (2) 3'-0" x 8'-0" | x 1 3/4" | PANELED WOOD DOOR | |
| (3) 3'-0" x 8'-0" | x 1 3/8" | PANELED WOOD DOOR | |
| (4) 3'-0" x 8'-0" | x 1 3/8" | SLIDING ELEVATOR DOOR | |
| (5) 2'-8" x 8'-0" | x 1 3/8" | PANELED WOOD DOOR | |
| (6) 2'-8" x 8'-0" | x 1 3/8" | POCKET, PANELED WOOD DOOR | |
| (7) 2'-4" x 8'-0" | x 1 3/8" | PANELED WOOD DOOR | |
| (8) 2'-4" x 8'-0" | x 1 3/8" | POCKET, PANELED WOOD DOOR | |
| (9) 2'-0" x 4'-0" | x 1 3/8" | ACCESS PANEL | |
| (10) 2'-0" x 8'-0" | x 1 3/8" | DBL., PANELED WOOD DOORS | |
| (11) 4'-0" x 8'-0" | x 1 3/8" | DBL., PANELED WOOD DOORS | |
| (12) 10'-8 3/8" x 8'-0" | x 1 3/4" | MARVIN 4-PANEL, GLASS SLIDING DOORS | |
| (13) 8'-2 3/8" x 8'-0" | x 1 3/4" | MARVIN 3-PANEL, GLASS SLIDING DOORS | |
| (14) 6'-6" x 8'-0" | x 1 3/8" | DBL. BI-FOLD, PANELED WOOD DOORS | |
| (15) 2'-4" x 6'-8" | x 1 3/8" | PANELED WOOD DOOR | |
| (16) 3'-8" x 8'-0" | x 1 3/8" | DBL., POCKET, PANELED WOOD DOORS | |
| (17) 2'-0" x 8'-0" | x 1 3/8" | PANELED WOOD DOOR | |
| (18) 2'-6" x 8'-0" | | CASEMENT OPENING | |
| (19) 10'-0" x 9'-0" | | RAISED PANELED GARAGE DOOR W/ TRANSOMS | |

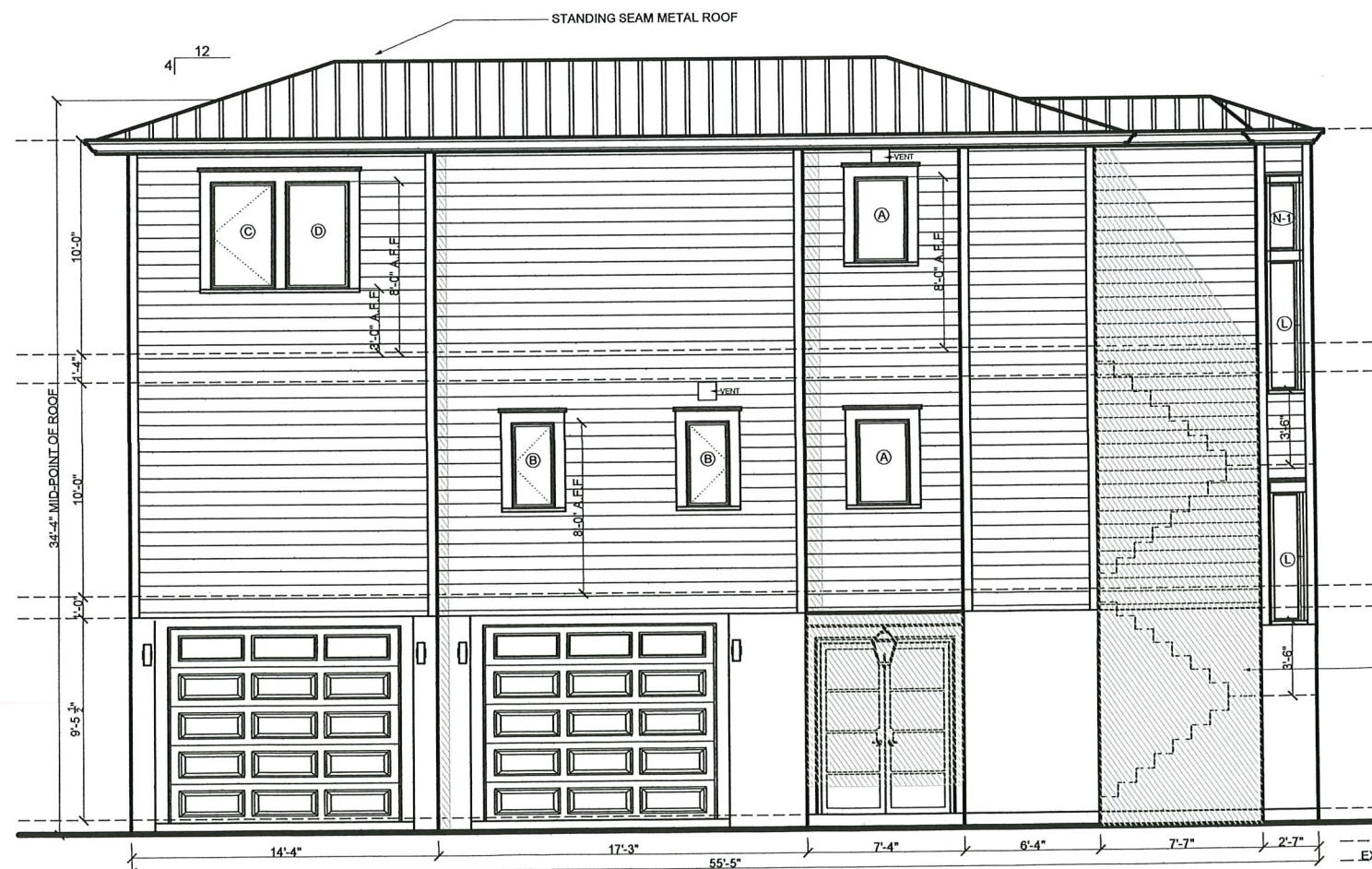




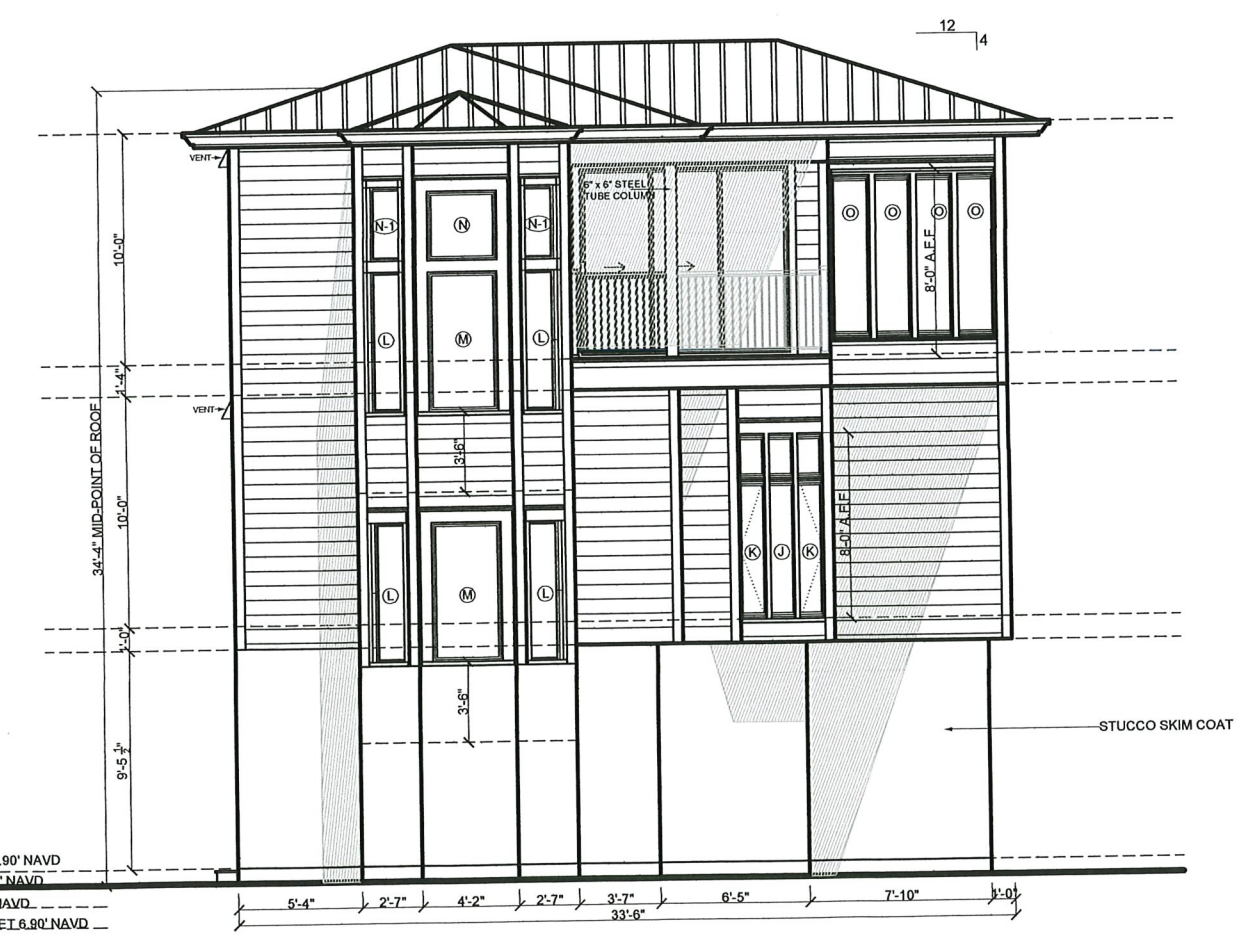
REAR ELEVATION
1/4"=1'-0"



LEFT ELEVATION
1/4"=1'-0"



FRONT ELEVATION



RIGHT ELEVATION

HURRICANE COMPLIANCE

-RESIDENCE IS DESIGNED TO WITHSTAND 130 M.P.H. WINDS IN ACCORDANCE WITH THE MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES. (ASCE-7). AS PER SECTION R301.2.1.4, IRC 2021 ed.

-IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2021 1609.1.3 BUILDING SHALL BE ANCHORED AGAINST OVERTURNING, UPLIFT & SLIDING. STRUCTURAL MEMBERS & SYSTEMS & COMPONENTS & CLADDING IN BUILDING SHALL BE ANCHORED TO RESIST WIND-INDUCED OVERTURNING, UPLIFTING & SLIDING AND TO PROVIDE A CONTINUOUS LOAD PATHS FOR THESE FORCES TO THE FOUNDATION.

-WINDOWS SHALL COMPLY WITH 2021 INTERNATIONAL BUILDING CODE 1609.1.4 WINDOWS SHALL BE TESTED FOR 130 MPH WIND SPEED OR WINDOWS SHALL HAVE GLAZED OPENING PROTECTED FROM WINDBORNE DEBRIS. EXCEPTION-1/2" PLYWOOD PANELS SHALL BE PROVIDED FOR ALL WNDW OPENINGS W/ ATTACHMENT HARDWARE.

SIMPSON HURRICANE STRAPPING MODEL "LSTA18" OR COMPARABLE LOCATED EVERY RAFTER.

ALL ROOF SHEATHING SHALL BE 1/2" O.S.B. ANCHORED WITH 8 PENNY COMMON NAILS @ 6" O.C. SPACING. ROOF SHEATHING SHALL SECONDARY WATER RESISTANCE. ROOF PANEL JOINTS SHALL BE COVERED W/ ADHESIVE POLYMER MODIFIED BITUMEN TAPE.

USE 6 NAILS PER ROOF SHINGLE

SIMPSON HURRICANE STRAPPING MODEL "MTS30" OR EQUAL @ EVERY RAFTER

SIMPSON HURRICANE STRAPPING AS REQUIRED @ EVERY OTHER STUD. MODEL "CS18" OR EQUAL.

PROVIDE 1/2" O.S.B. SHEATHING ON ENTIRE HOUSE FRAMING FOR CONT. LOAD PATH CONNECTIONS AS PER SSTO 10-99

SIMPSON HURRICANE STRAPPING AS REQUIRED @ EVERY OTHER STUD. MODEL "MSTAM30" OR EQUAL.

5/8" ANCHOR BOLT, 7" CONC EMBEDMENT @ 30" O.C. W/ 3" DIA. x 1/8" WASHERS

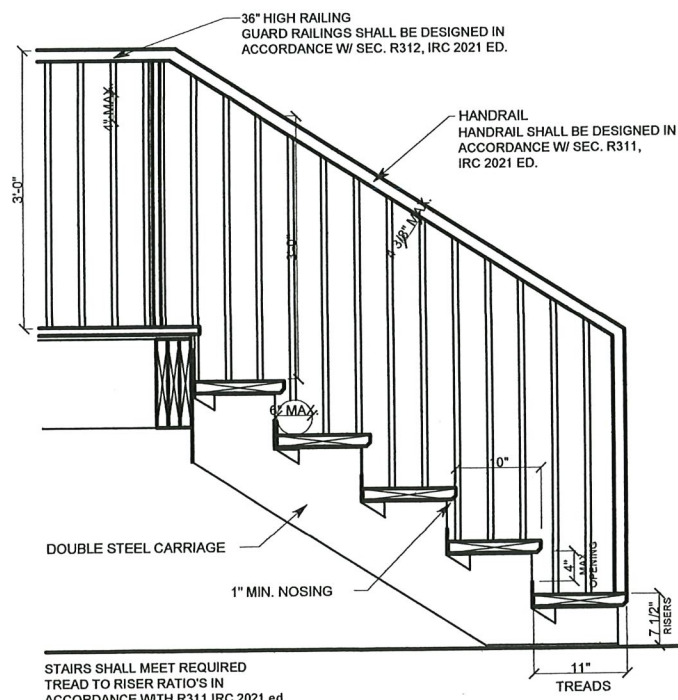
#5 WALL REINF. @ 6'-0" O.C. IN GROUTED CELLS

8" CONC. BLOCK

#5 FOOTING DOWEL W/ 25" MIN. LAPPING W/ WALL REINFORCEMENT

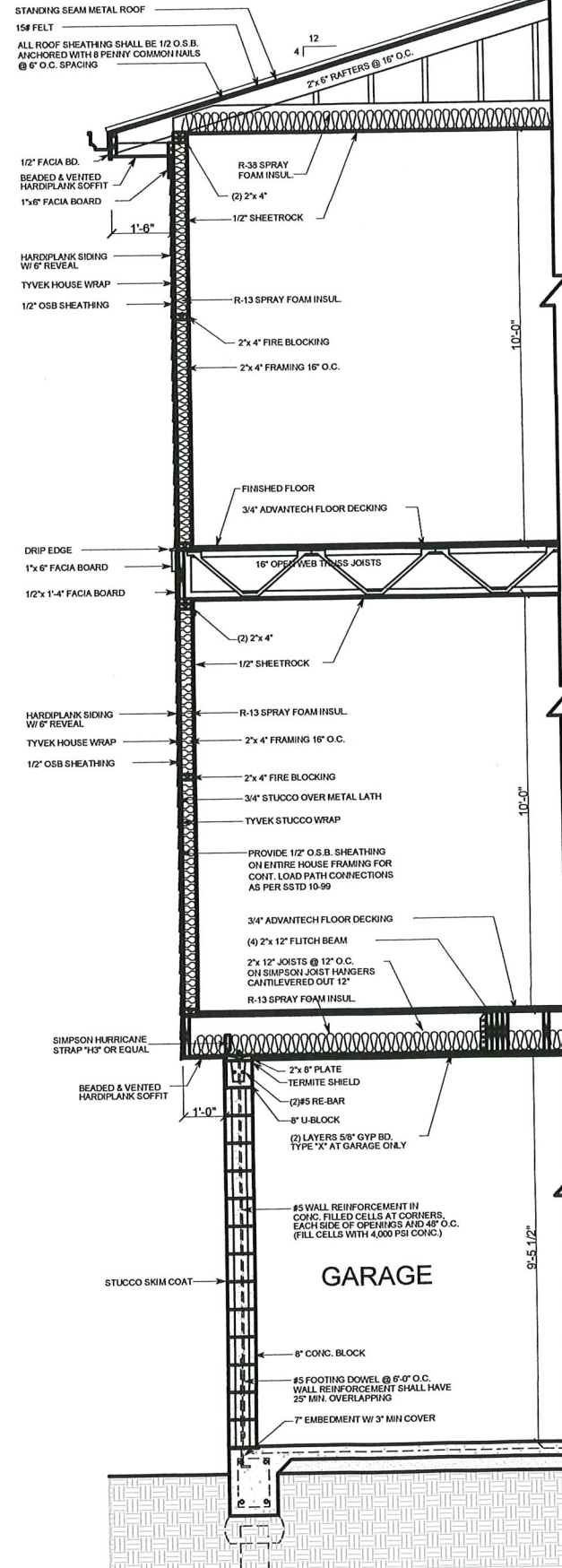
GARAGE SHALL HAVE 1 SQ. INCH OF SCREENED OPENING FOR EACH SQ. FT. OF FL AREA. OPENING SHALL NOT BE MORE THAN 12" A.F.F. OPENINGS SHALL BE ON TWO SIDES OF ROOM.

HURRICANE STRAPPING SCHEDULE DIAGRAM

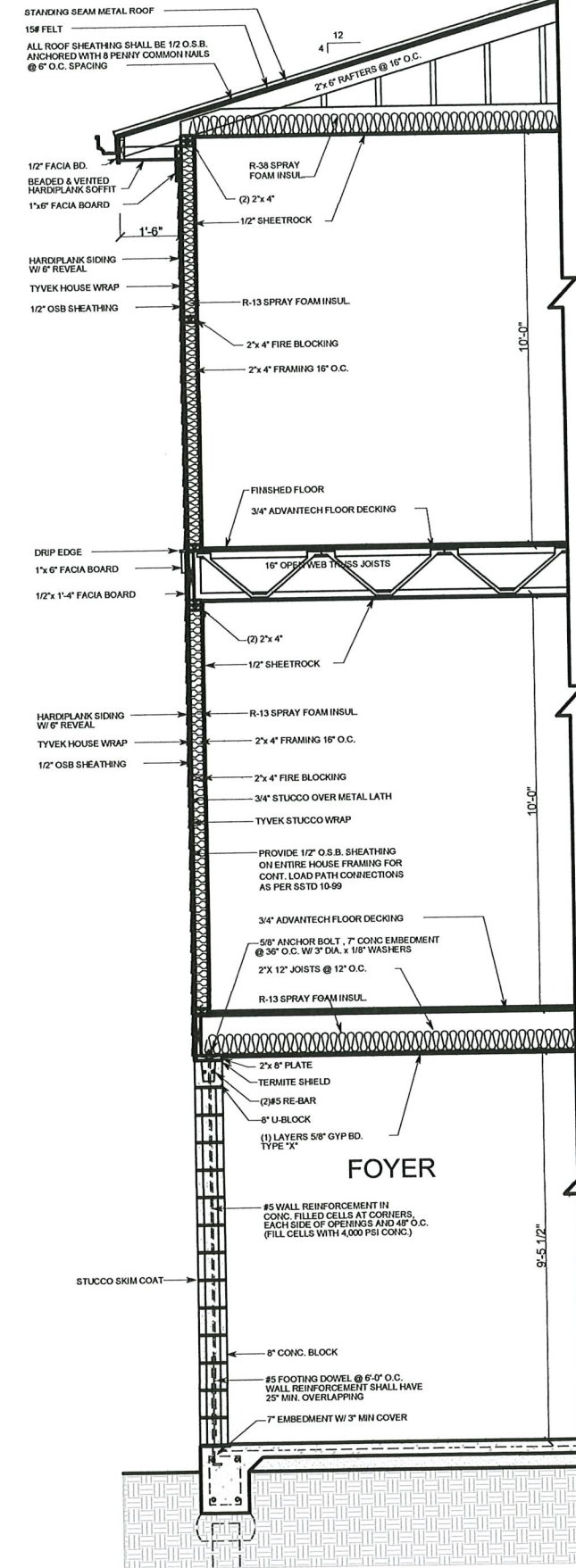


DOUBLE STRINGER STEEL FLOATING STAIR & HANDRAIL DETAIL

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WALL SECTION "B"



WALL SECTION "A"

THESE PLANS PREPARED BY SUPERVISOR MY KNOWLEDGE IBC 2021 BUILDING SUPERVISOR

WADI SCIBOLD ARCHITECT

100

SEC

Scale 1/4\"/>

Drawings 100

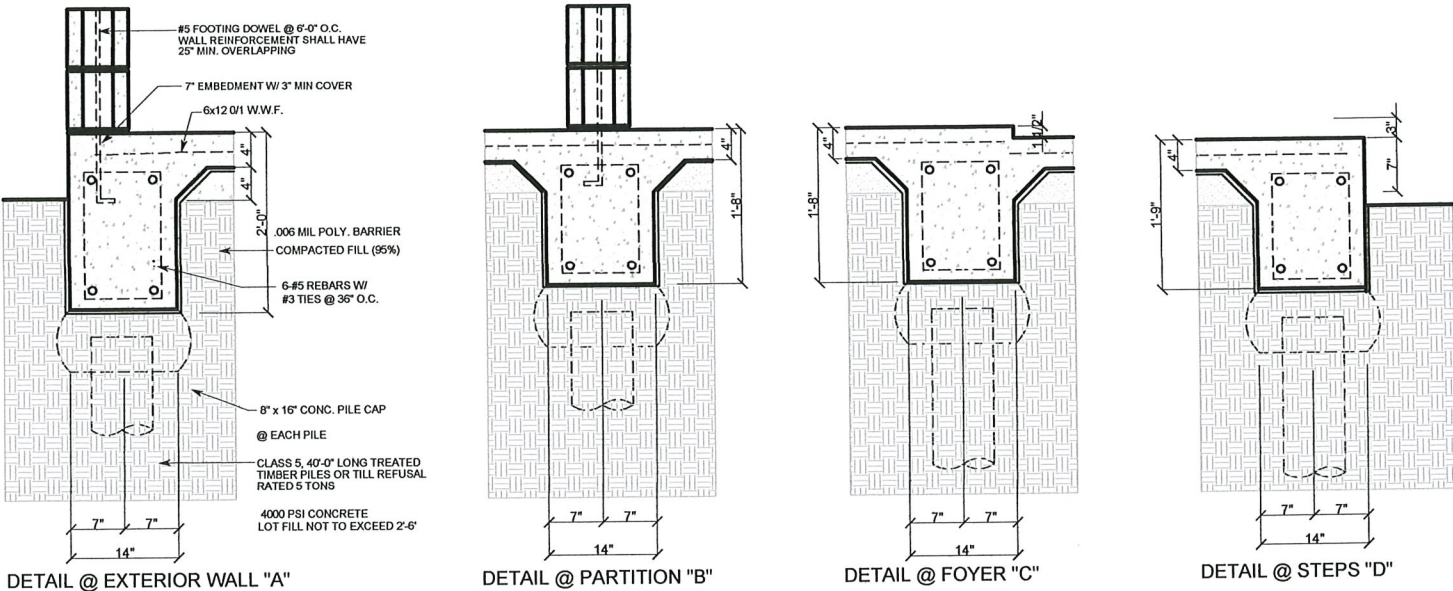
Date

FOUNDATIONS:

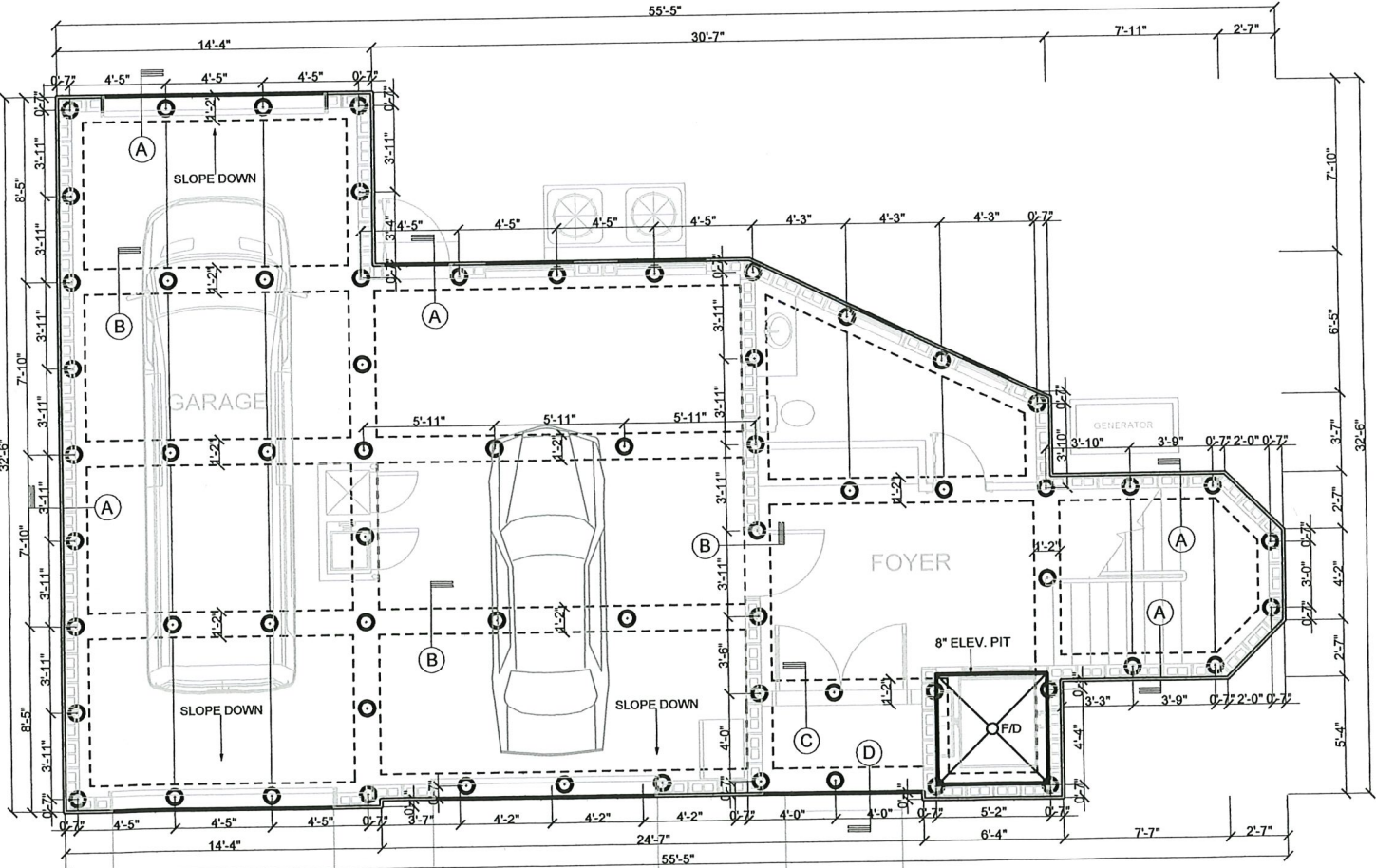
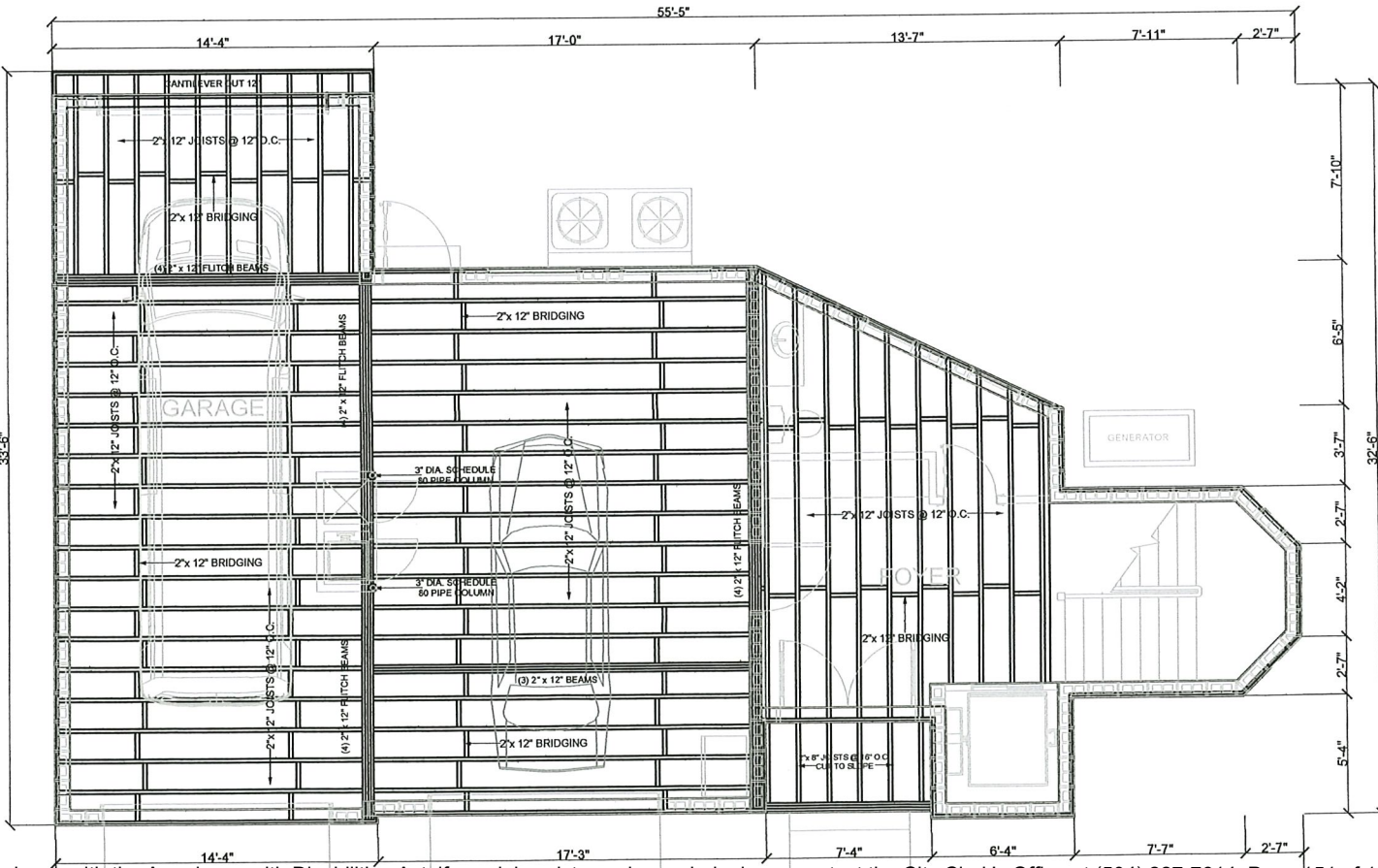
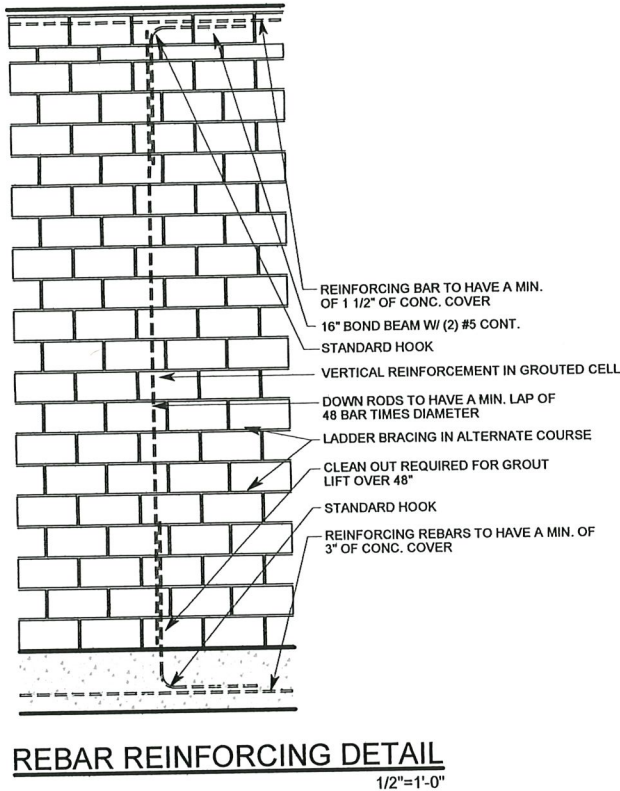
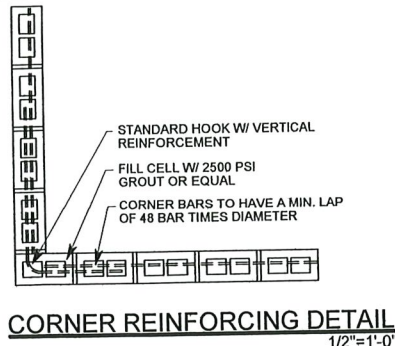
FOOTINGS SHALL BE 4000# MIX
REINFORCING SHALL BE 4-5/8" STEEL RODS 6x12 0/1 WWF
WATERPROOFING SHALL BE .006 VISQUEEN
TERMITE PROTECTION SHALL BE BY BONDED CONTRACT
PILES SHALL BE 40 FT. CLASS 5 PILES IF APPLICABLE

FOUNDATION NOTES:

-NO DATA CONCERNING SOIL CONDITIONS AND BEARING CAPACITY
WAS FURNISHED TO THE ARCHITECT, THUS ARCHITECT BEARS NO
RESPONSIBILITY FOR FOUNDATION DESIGN.
-COORDINATE FOUNDATION DRAWINGS WITH ARCHITECT, MECHANICAL,
AND ABOVE SLAB STRUCTURAL DRAWINGS FOR ALL SPECIAL
OPENINGS, DISTRIBUTION OF LOADS, COLUMNS, INSERTS AND ANY
OTHER RELATED ITEMS.
-GENERAL CONTRACTOR SHALL COORDINATE WITH PLUMBING LAYOUT
AS REQUIRED.
-PROVIDE SOIL TREATMENT UNDER FOUNDATION AND SLAB SYSTEM,
AND OUT UP TO 5'-0" FOR SUBTERRANEAN TERMITES CONTROL.
APPLY ANY AND ALL PRODUCTS WHICH ARE WATER DILUTABLE
(FUEL OIL NOT PERMITTED AS DILUENT) AND WHICH APPEAR ON
THE LOUISIANA PEST COMMISSION LIST OF APPROVED TERMITICIDES.



TYPICAL FOUNDATION DETAILS
1/2"=1'-0"



ELECTRICAL NOTES:

-ALL WORK AND MATERIALS SHALL CONFORM TO LATEST ADOPTED NATIONAL ELECTRICAL CODE/NFPA 70, AND ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS REQUIREMENTS.
-ELECTRICAL CONTRACTOR SHALL VERIFY CONDITIONS ON JOB SITE. COORDINATE WITH ARCHITECT FOR VARIATIONS PRIOR TO ANY WORK.
-COORDINATE ALL WORK, PERMITS, CONNECTIONS, INSPECTIONS, ETC., WITH APPROPRIATE AUTHORITIES.
-COORDINATE WITH UTILITY COMPANY AS REQUIRED. COORDINATE SERVICE ENTRANCE WITH SAME.
-ELECTRICAL CONTRACTOR SHALL SIZE CIRCUITS, PANELS, ETC., AND PROVIDE ALL ACCESSORIES NECESSARY FOR A COMPLETE AND SAFE OPERATING SYSTEM.
-ALL MATERIALS TO BE NEW AND U.L. APPROVED, WHERE REQUIRED. BRANCH CIRCUIT WIRING SHALL BE MIN. #12 AWG. WITH FULL GROUND TYPE NM COPPER.
-COORDINATE WITH OTHER TRADES AS REQUIRED.
-COORDINATE WITH TELEPHONE COMPANY, PREWIRE TELEPHONE OUTLETS.
-COORDINATE WITH OWNER FOR TYPE OF CABLE TV, CTV OUTLET LOCATIONS, AND LOCATIONS OF CONNECTOR W/ FUTURE SATELLITE DISH ANTENNA, IF SO DESIRED (UNDERGROUND).
-PROVIDE ELECTRICAL SERVICE TO PHOTO CELL CONTROL FOR EXTERIOR LIGHTING. SELECT BEST LOCATION ON BUILDING.
-PROVIDE 110V SMOKE DETECTORS, W/ BATTERY BACK-UP, AS NOTED ON PLAN.
-COORDINATE WITH OWNER FOR SELECTION OF LIGHT FIXTURES & APPLIANCES. VERIFY LOADS ON APPLIANCES PRIOR TO ROUGH-IN.
-PROVIDE A COMPUTER DEDICATED CIRCUIT, COORDINATE EXACT LOCATION OF OUTLET W/ OWNER.
-PROVIDE EMERGENCY PANEL, MANUAL TRANSFER SWITCH AND GENERATOR PLUG.
-PROVIDE A MIN. OF 2-3/4" DIA., 10'-0" LONG GROUND BARS.
-PROVIDE TYPEWRITTEN DIRECTORY INSIDE PANEL DOOR, STATE ROOM NAME, CIRCUIT AND SPLINCES/FIXTURES SERVICED.
-COORDINATE WITH OWNER FOR POSSIBLE INTERCOM SYSTEM, IF SO PROVIDE POWER TO MASTER CONTROL INTERCOM.
-COORDINATE W/ OWNER FOR POWER REQUIREMENTS AT A.V. ROOM, ON SECOND FLOOR IF APPLICABLE.
-ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AMP AND 20 AMP OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT AS PER NEC-2008 ARTICLE 210.12 (B)

VENTILATION NOTES:

-BATHROOM VENTILATORS SHALL WORK AT A RATE OF NOT LESS THAN 50 CFM FOR AN INTERMITTENT VENTILATOR OR 20 CFM FOR A CONTINUOUS VENTILATOR IN ACCORDANCE WITH R303.3 IRC 2015 ED.
-ATTIC SHALL BE PROPERLY VENTILATED IN ACCORDANCE WITH SEC. R806 IRC 2015 ED.

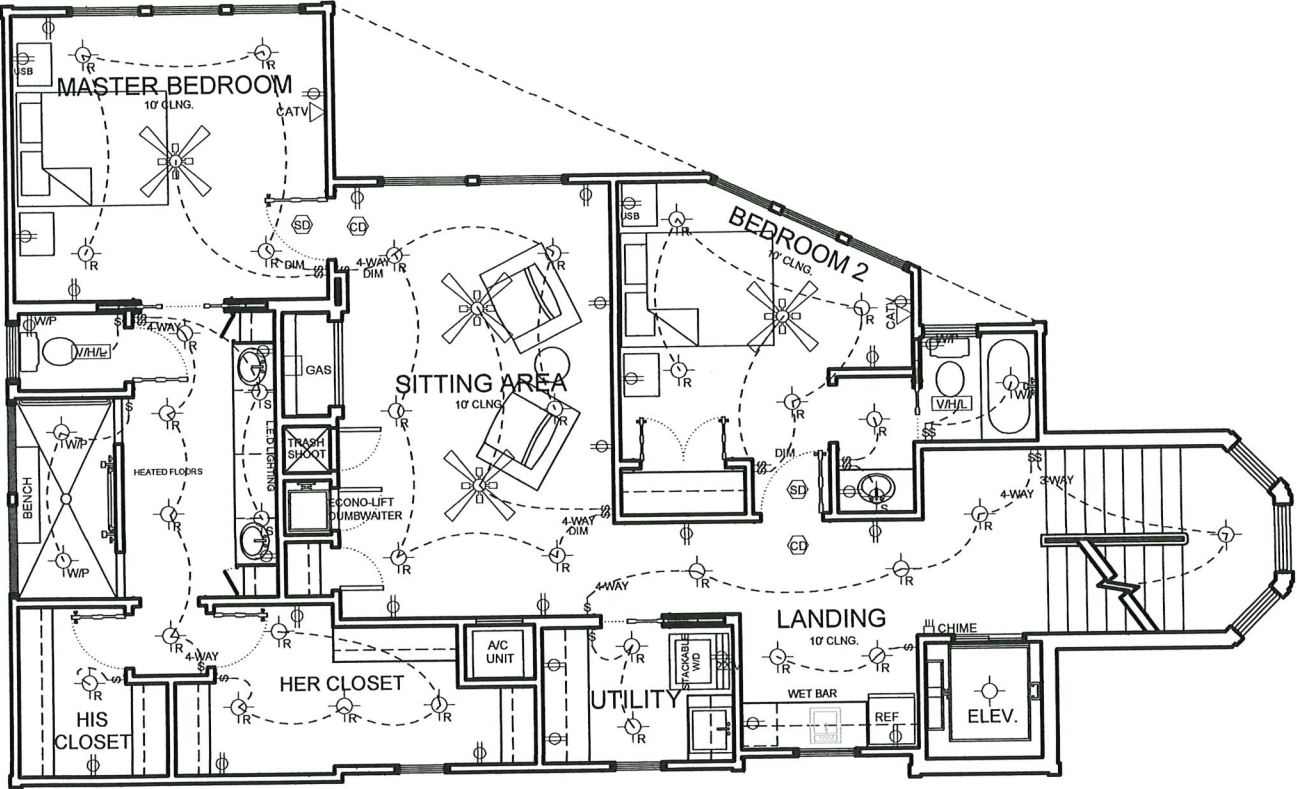
PLUMBING NOTES:

-ALL WORK AND MATERIALS SHALL CONFORM TO LATEST EDITION OF NATIONAL PLUMBING CODE AND ALL OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS REQUIREMENTS.
-COORDINATE WITH ALL TRADES AS REQUIRED, SPECIALLY WITH FOUNDATION SUBCONTRACTORS.
-PLUMBING CONTRACTOR SHALL VERIFY CONDITIONS AT JOBSITE. COORDINATE ALL WORK, PERMITS, CONNECTIONS, INSPECTIONS, ETC. WITH REQUIRED AUTHORITIES AND/OR UTILITY COMPANIES.
-PLUMBING CONTRACTOR SHALL SIZE LINES, VENTS, ETC., AS NEEDED FOR A COMPLETE OPERABLE SYSTEM.
-ALL WASTE PLUMBING TO BE NO-HUB CAST IRON, VENT LINES TO BE PVC.
-ALL WATER HEATERS PROVIDE A PVC OR 20 GA. GALVANIZED SHEET MTL. PAN W/ 1" DIA. OVERFLOW DRAIN AS REQUIRED.
-ALL FIXTURES AND FITTINGS TO BE SELECTED BY OWNER, COORD. WITH OWNER PRIOR TO ROUGH-IN.

ELECTRICAL SYMBOLS

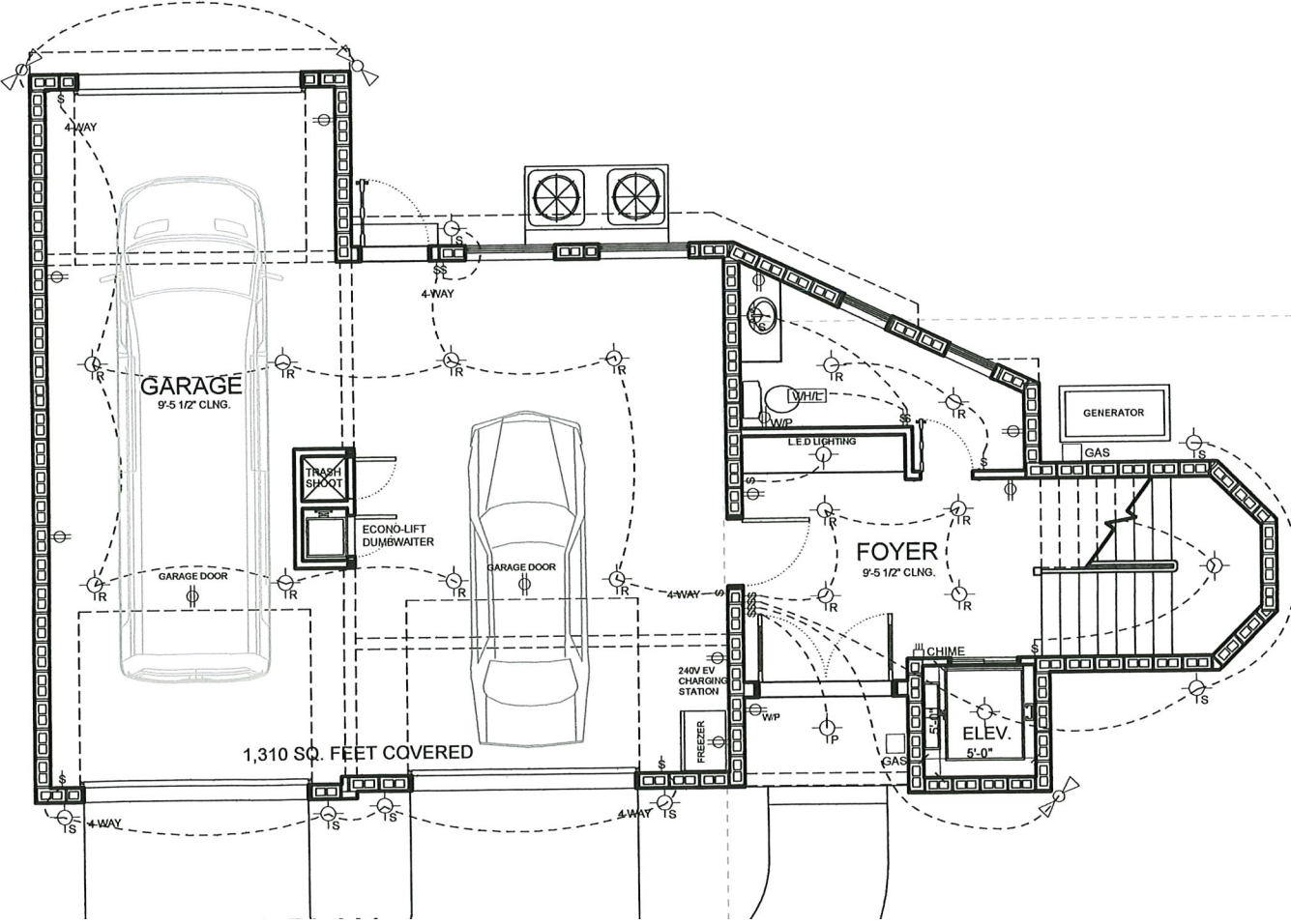
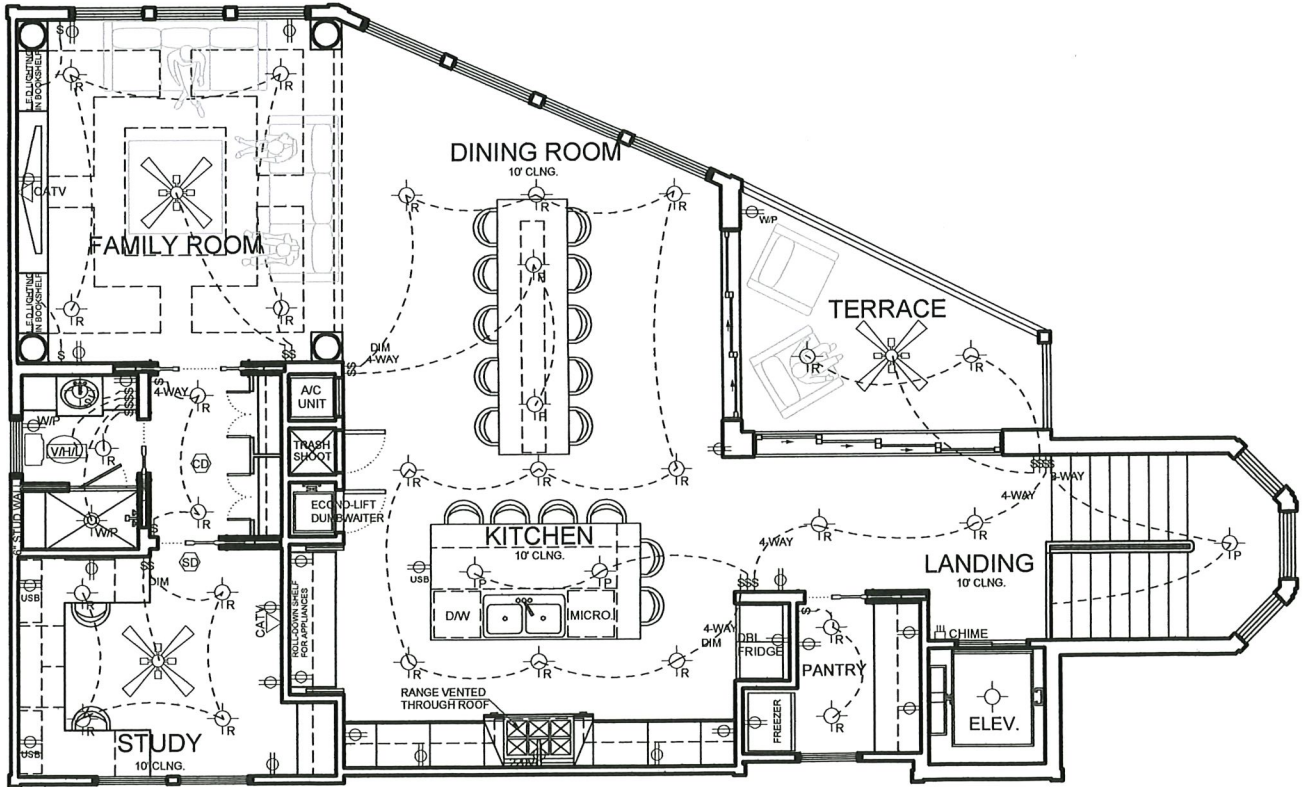
- GAS
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- OUTLET
- FLOOR OUTLET
- CATV CABLE TV
- LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- CLNG. FAN W/ LIGHT FIXTURE
- HOSE BID
- FLOOD LIGHT

NOTE: L.E.D LIGHTING TO BE USED



SECOND FLOOR PLAN

1/4"=1'-0"



PILE NOTES:

PILES ARE CLASS #5 WITH A MINIMUM 30.0" TIP EMBEDMENT INTO NATURAL SOIL.

DESIGN LOAD = 5.0 TONS/PILE

NO FIELD SUPERVISION OR INSPECTION RELATED TO PILE DRIVING PROCEDURES UNDER THIS PLAN UNLESS NOTED OTHERWISE.

PILE LAYOUT MAY BE MODIFIED DUE TO ACTUAL DRIVING OR FIELD CONDITIONS.

TREATED PILES MUST MEET AWWA STANDARDS C3-92 FOR PRESERVATIVE RETENTION.

PILES TO BE DRIVEN WITH DROP HAMMER. DO NOT VIBRATE PILES UNLESS APPROVED BY ENGINEER OF RECORD.

ALL PILE LOCATIONS SHALL BE STAKED PRIOR TO DRIVING.

61 TOTAL PILES REQUIRED.

FOUNDATION NOTES:

SLAB A: 4" THICK POST-TENSIONED SLAB OVER A LOW PLASTICITY COMPACTED CLAY FILL (PI BETWEEN 15-25) WITH TENDON REINFORCEMENT IN ACCORDANCE WITH THE PLAN, UNLESS NOTED OTHERWISE. PROVIDE 10 MIL VAPOR BARRIER TAPED AND SEALED UNDER ALL SLAB CONCRETE.

IN ALL AREAS OF EXPOSED CONCRETE, PLACE 6#x10'10" WWF ON TOP OF AND TIE SECURELY TO ALL P.T. TENDONS.

REFER TO ARCHITECTURAL PLANS FOR ALL FORM SETTING DIMENSIONS.

VERIFY ALL DROPS, OFFSETS, AND LEDGES WITH THE ARCHITECTURAL PLANS.

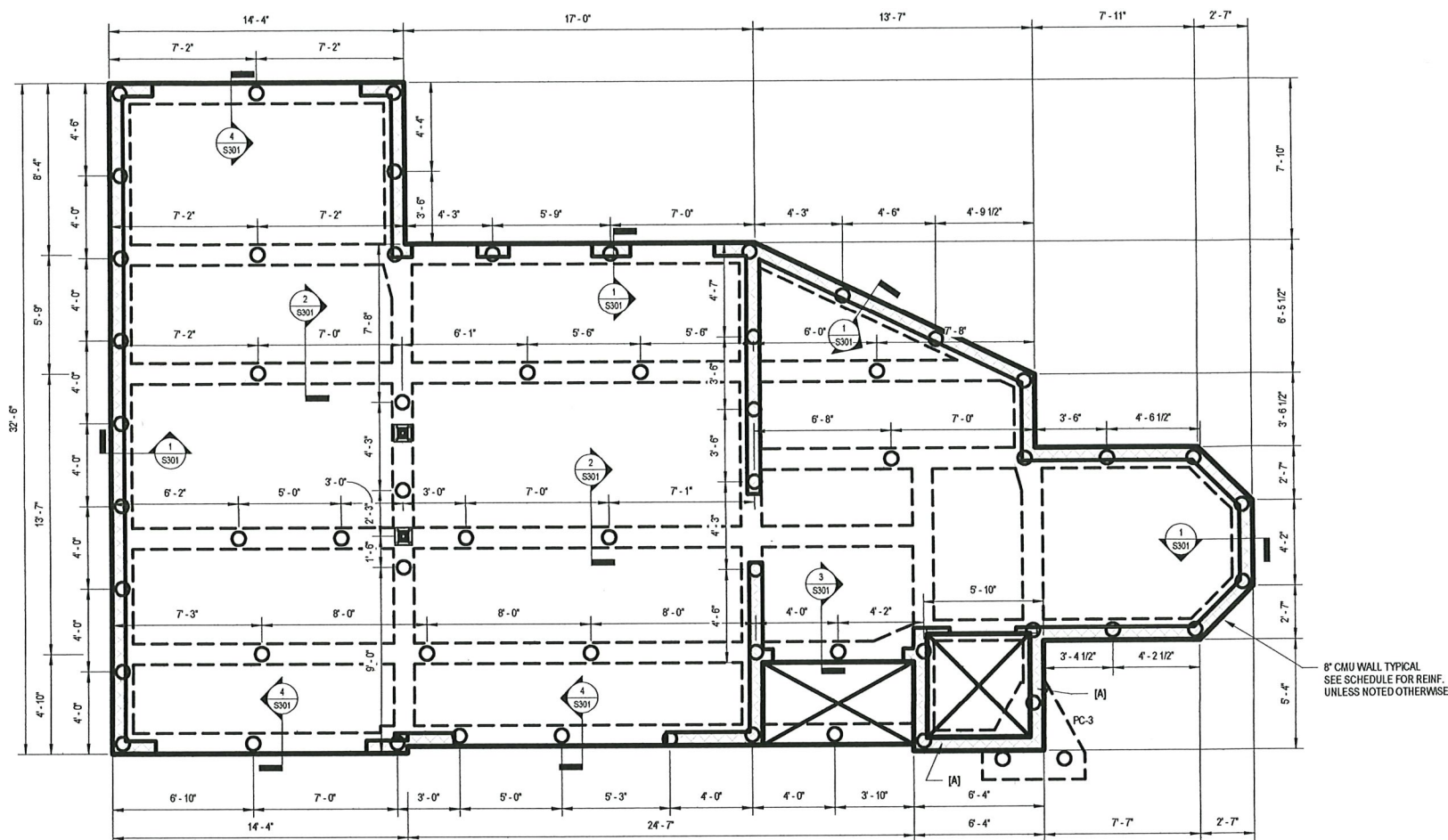
ALL STRUCTURAL FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN A MAXIMUM OF 8" LIFTS.

DIMENSIONS ARE TAKEN FROM EDGE OF SLAB AND CENTER OF GRADE BEAM - REFER TO ARCHITECTURAL FOR FORM SETTING DIMENSIONS.

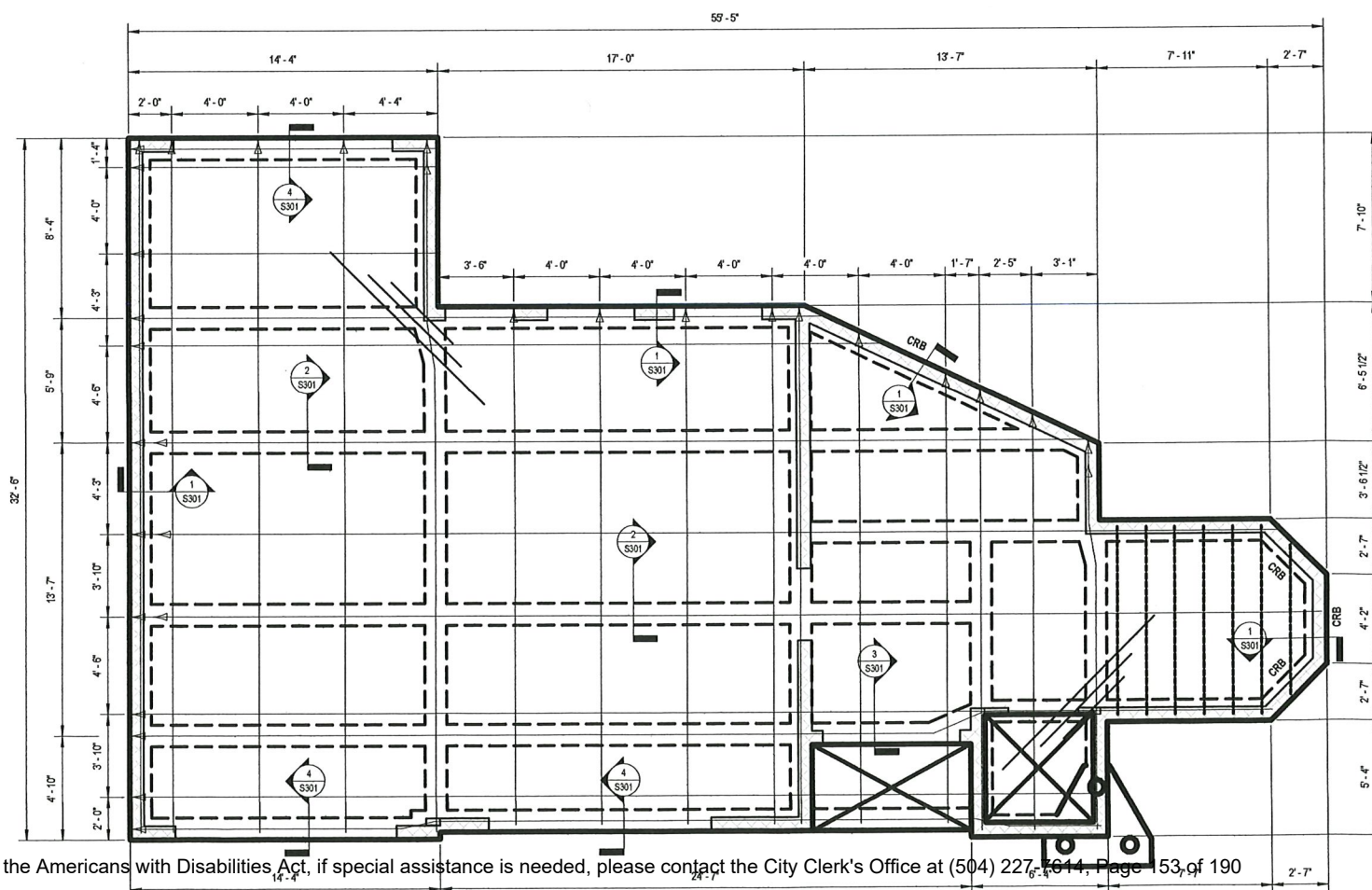
REFER TO S301 FOR FOUNDATION DETAILS AND SCHEDULES.

TOTAL P.T. SLAB AREA = 1,261.4SF

NOTE [A]:
FULLY GROUT AND REINFORCE ALL CELLS, THIS WALL AS INDICATED.



1 PILE PLAN
1/4" = 1'-0"



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Project number

Date _____

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Checked by _____

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ALL FLOOR TRUSSES SHALL BE FT-1 DESIGNED IN ACCORDANCE WITH THE TRUSS LOADING SCHEDULE.

NOTE (B):
FULLY GROUT AND REINFORCE ALL
CELLS. THIS WALL.

8" CMU WALL
COLUMN ANCHORS
#5 HAIRPIN 1' BELOW TOP OF WALL IN DIRECT CONTACT W/ ANCHORS
6'

PROVIDE (5) SIMPSON A35 CLIPS ALONG LENGTH OF LVL BEAM TO TOP PLATE OF MASONRY WALL.

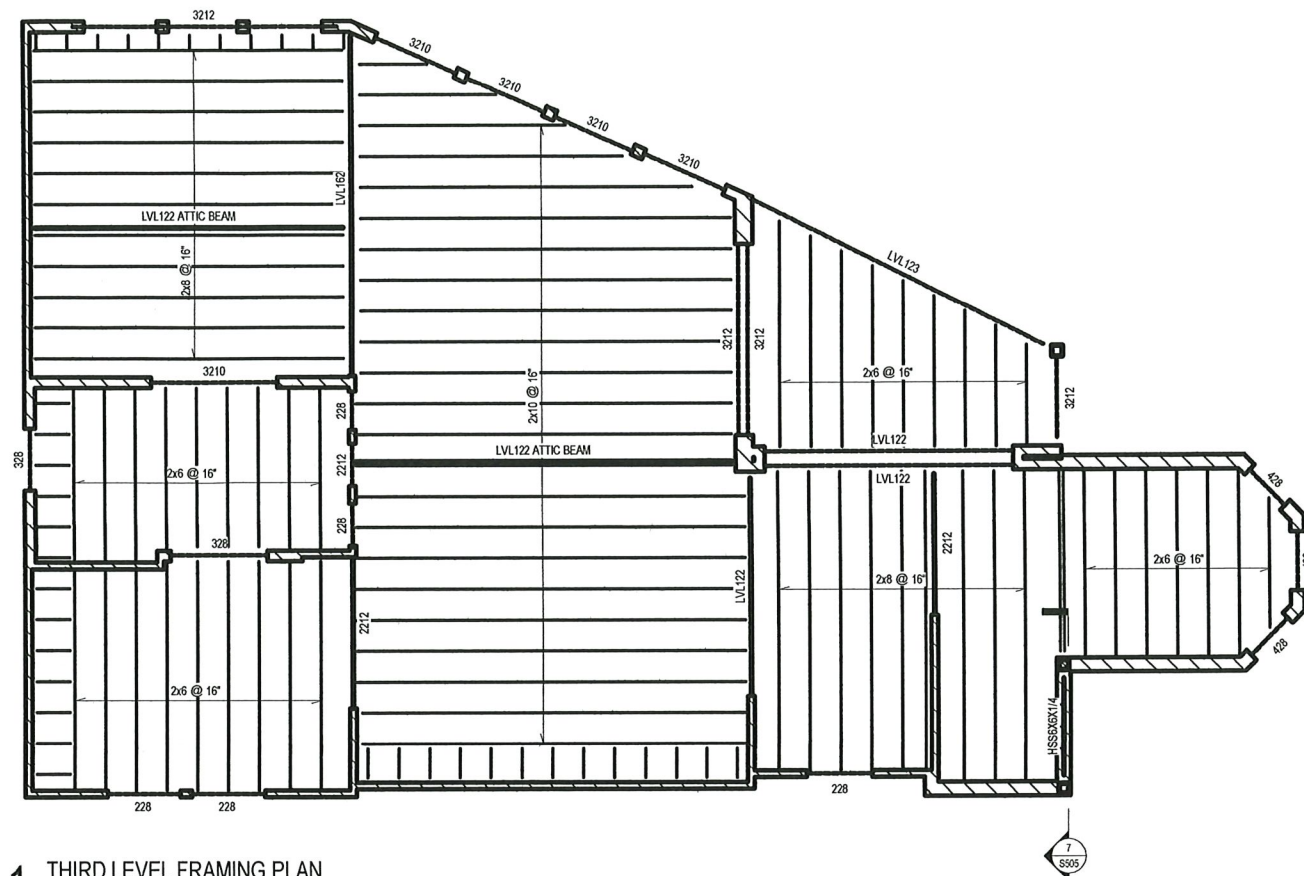


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FRAMIN

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1 THIRD LEVEL FRAMING PLAN
1/4" = 1'-0"

FRAMING NOTES:

REFER TO ARCHITECTURAL PLANS FOR BEARING ELEVATIONS, PITCHES, AND DIMENSIONS.

COORDINATE THE LOCATIONS OF PLUMBING SLEEVES, ROOF DRAINS, PENETRATIONS, AND GUTTERS WITH THE ARCHITECTURAL PLANS.

ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.

REFER TO S401 FOR ALL FRAMING LEGENDS, NOTES, AND SCHEDULES.

ALL FLOOR TRUSSES SHALL BE FT-1 DESIGNED IN ACCORDANCE WITH THE TRUSS LOADING SCHEDULE.

ROOF FRAMING NOTES:

ALL RAFTERS SHALL BE 2x6 SOUTHERN YELLOW PINE #2 OR EQUAL (UNLESS OTHERWISE NOTED ON PLAN), SPACED AT 16" O.C. PROVIDE INTERMEDIATE BRACING FOR RAFTERS AS GIVEN BELOW.

2x6 -13'-5" MAX

RIDGE, HIP, AND VALLEY RAFTERS SHALL BE OF ADEQUATE DEPTH FOR FULL BEARING OF OPPOSING RAFTERS. USE 1.75" LVL MEMBERS FOR DEPTH GREATER THAN 11.25'

VALLEY RAFTERS SHALL BE VERTICALLY SUPPORTED EVERY 4'-0" O.C.

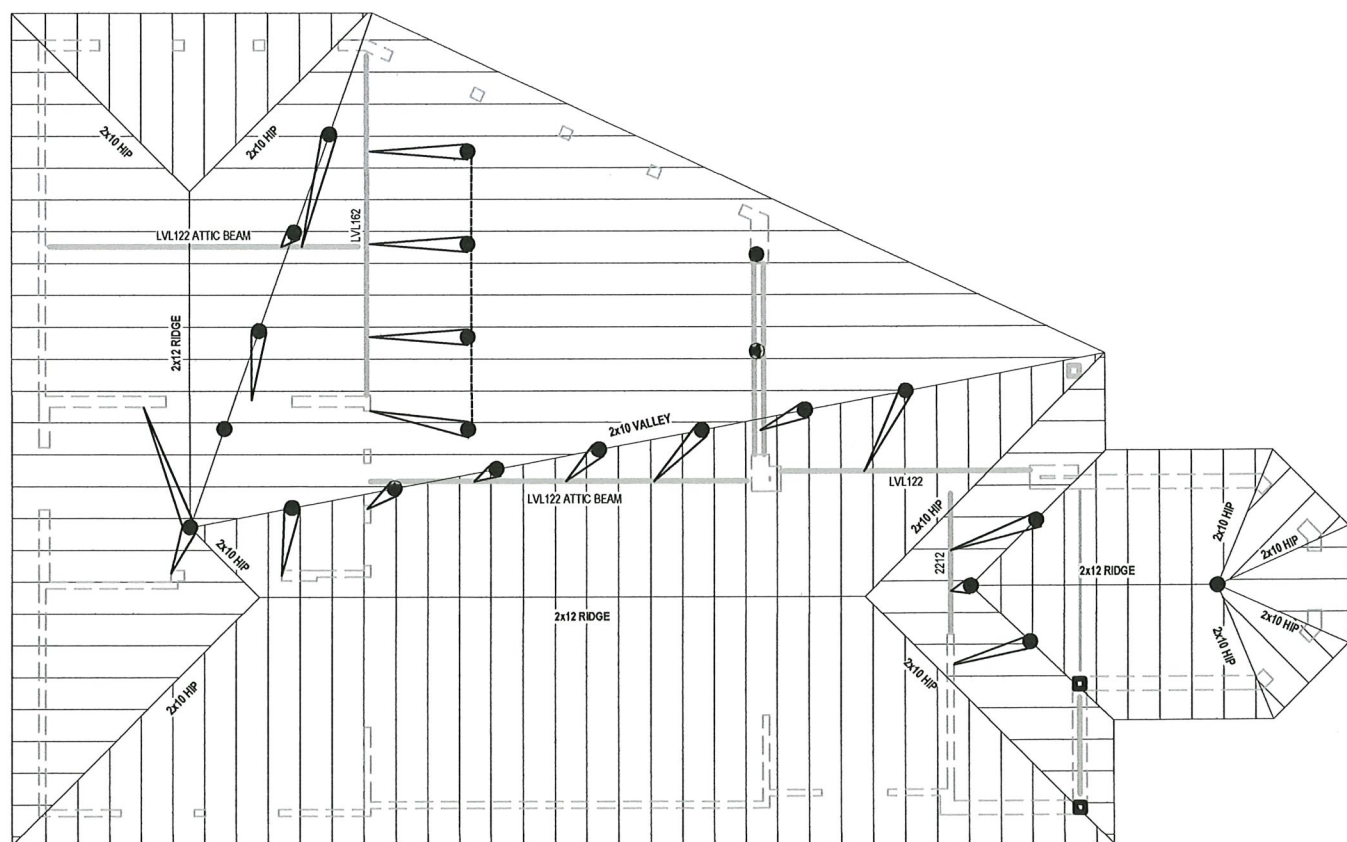
RIDGE BEAMS SHALL BE BRACED AT EACH END.

REFER TO TYPICAL ROOF BEARING UPLIFT CONNECTION DETAILS FOR STRAPPING REQUIREMENTS.

COORDINATE LOCATIONS OF CHIMNEY, PLUMBING SLEEVES, ROOF DRAINS, PENETRATIONS AND GUTTERS WITH ARCHITECTURAL PLANS.

REFER TO ARCHITECTURAL PLANS FOR BEARING ELEVATIONS, PITCHES, AND DIMENSIONS.

REFER TO S401 FOR ALL FRAMING LEGENDS, NOTES, AND SCHEDULES.



2 ROOF FRAMING PLAN

| No. | Description |
|-----|-------------|
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FRAMING

Project number

Date

Drawn by

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NOTE:
ALL GRADE BEAMS TO BE PT-1 UNLESS NOTED OTHERWISE.

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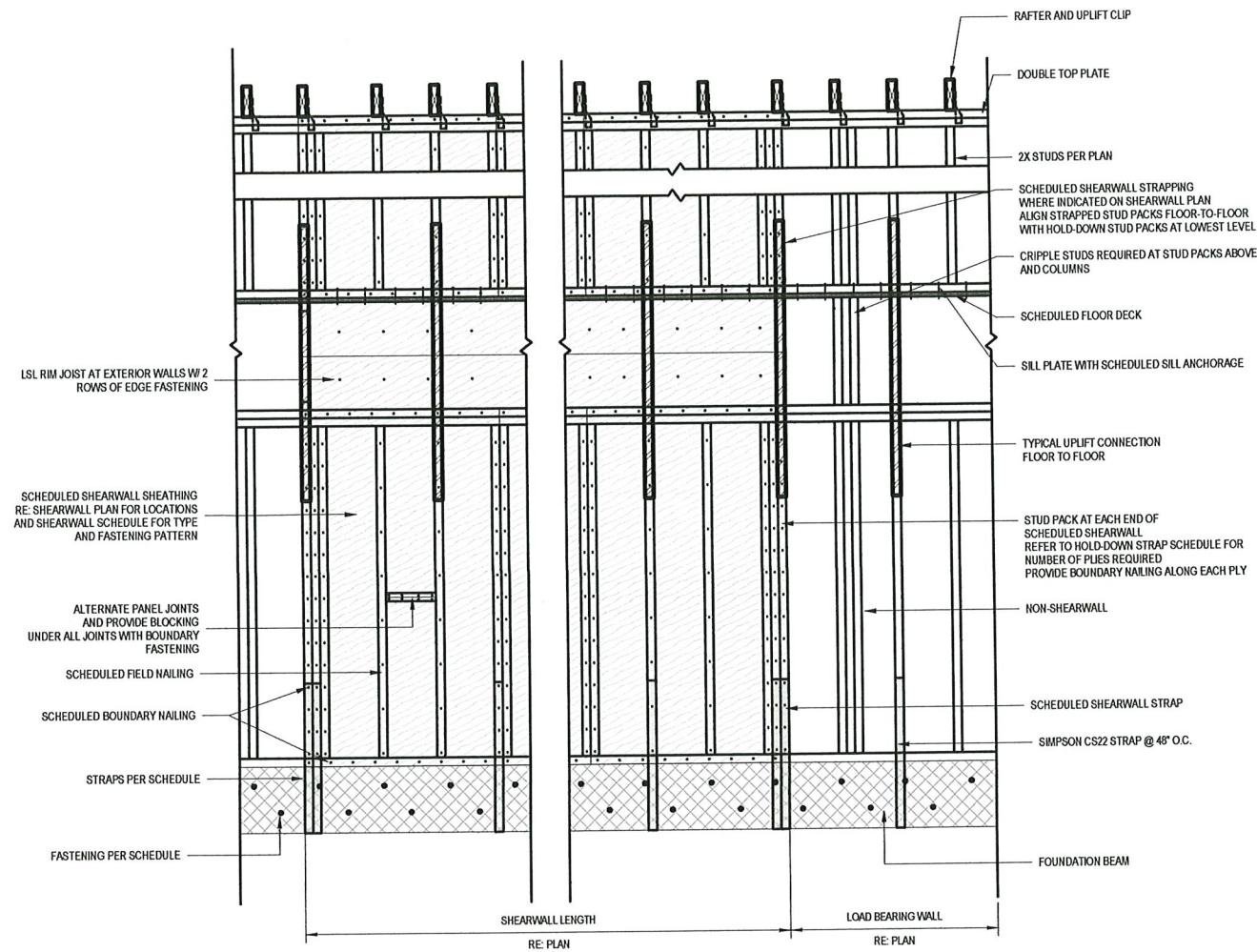
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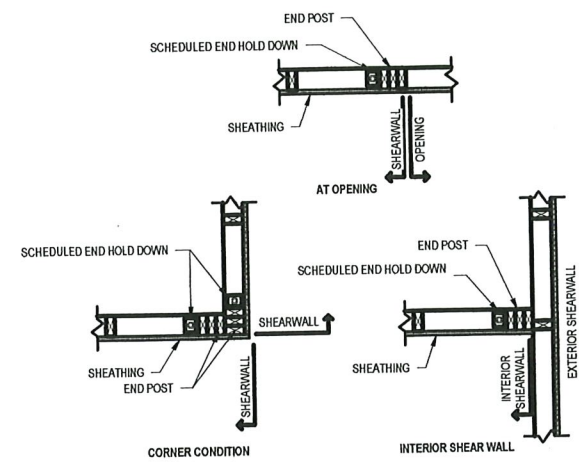
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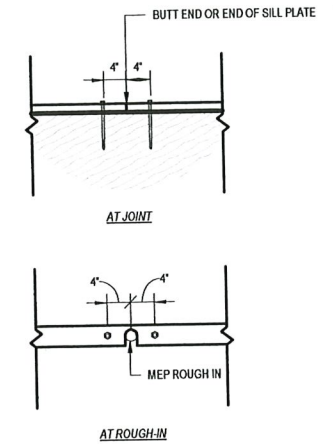
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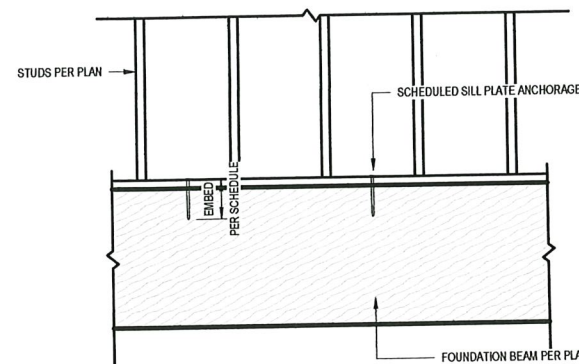
1 TYPICAL MULTI-STORY SHEARWALL
3/4" = 1'-0"



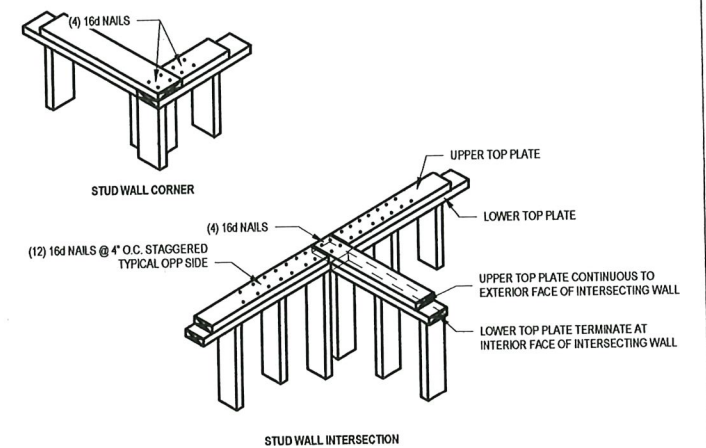
2 TYPICAL SHEARWALL CONDITIONS
3/4" = 1'-0"



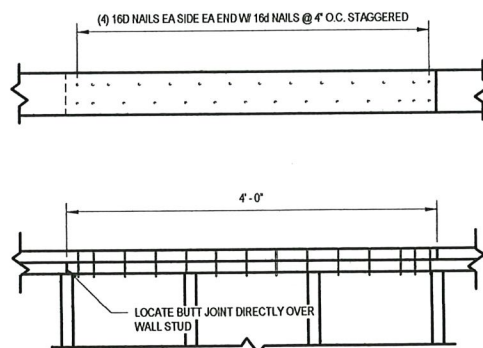
3 TYPICAL SILL ANCHORAGE AT JOINT
3/4" = 1'-0"



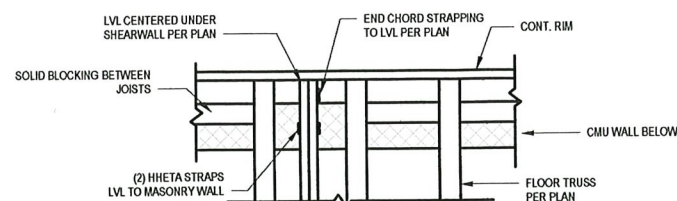
4 TYPICAL SILL ANCHORAGE DETAIL
3/4" = 1'-0"



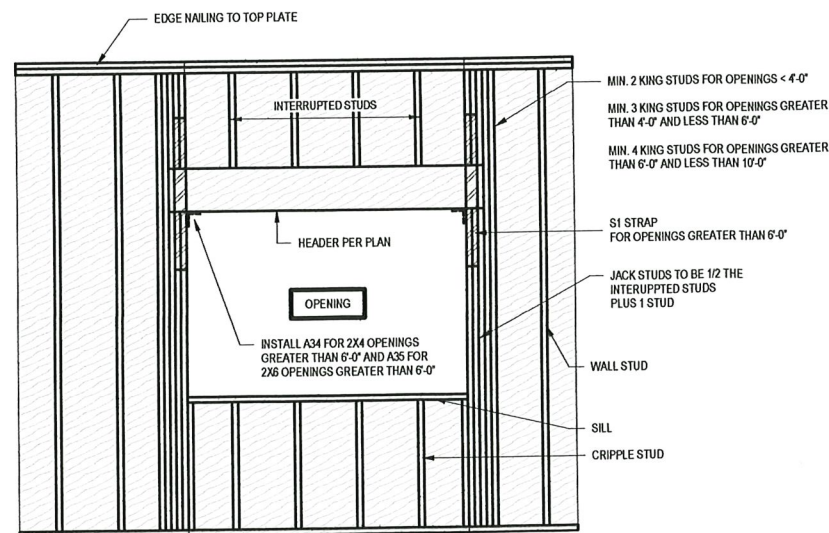
5 TYPICAL TOP PLATE CONDITIONS
1/2" = 1'-0"



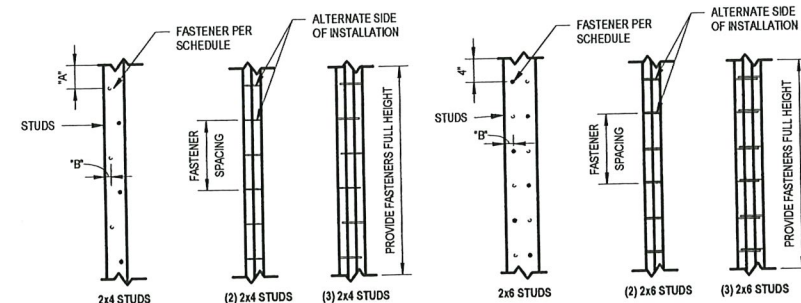
6 TYPICAL TOP PLATE SPLICE
1" = 1'-0"



7 UPPER LEVEL HOLD DOWN DETAIL AT CANTILEVERED JOISTS



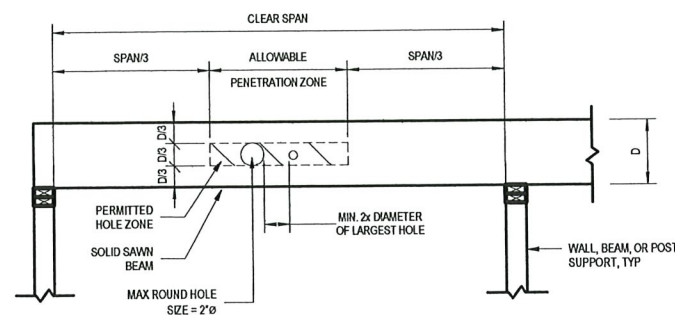
8 TYPICAL JACK AND KING STUD DETAIL
1/2" = 1'-0"



| QUANTITY OF STUDS | FASTENERS | SPACING | 2x4 BUILT UP COLUMN | |
|-------------------|-------------------|------------------------|---------------------|-------------------|
| | | | "A" END DISTANCE | "B" EDGE DISTANCE |
| (2) 2x | 10d COMMON NAILS | (1) ROW @ 8" STAGGERED | 2 1/2" | 1" |
| (3) 2x | 20d COMMON NAILS | (1) ROW @ 8" STAGGERED | 3 1/2" | 1 1/2" |
| (4) 2x | SIMPSON SDW22600 | (1) ROW @ 8" STAGGERED | 4" | 1 1/2" |
| (5) 2x | 1/2" Ø THRU BOLTS | (1) ROW @ 9" STAGGERED | 3 1/2" | 1 1/2" |

| QUANTITY OF STUDS | FASTENERS | SPACING | 2x6 BUILT UP COLUMN | |
|-------------------|-------------------|--------------|---------------------|-------------------|
| | | | "A" END DISTANCE | "B" EDGE DISTANCE |
| (2) 2x | 10d COMMON NAILS | (2) ROW @ 6" | 2 1/2" | 1" |
| (3) 2x | 20d COMMON NAILS | (2) ROW @ 6" | 3 1/2" | 1 1/2" |
| (4) 2x | SIMPSON SDW22600 | (2) ROW @ 6" | 4" | 1 1/2" |
| (5) 2x | 1/2" Ø THRU BOLTS | (2) ROW @ 9" | 3 1/2" | 1 1/2" |

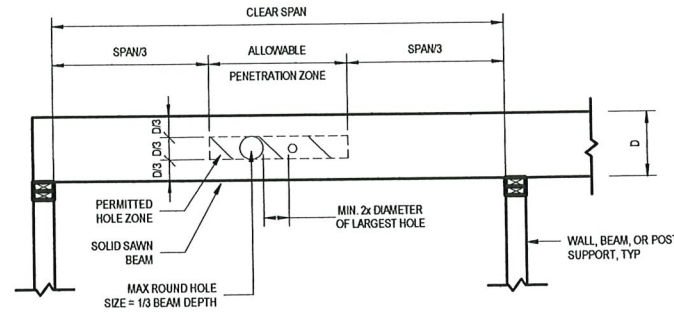
9 BUILT UP COLUMN DETAIL/SCHEDULE
3/4" = 1'-0"



- NOTES:**
1. DETAIL APPLIES TO LVL AND PSL HEADERS OR BEAMS WITH DEPTHS GREATER THAN 7 1/4\"
 2. ALLOWABLE HOLES INDICATED ARE SUITABLE FOR HEADERS AND BEAMS WITH UNIFORM LOADING ONLY.
 3. HOLES MUST BE ROUND. SQUARE HOLES NOT PERMITTED.
 4. HOLES ARE PERMITTED TO BE PLACED IN THE MIDDLE 1/3 OF THE SPAN IN THE MIDDLE 1/3 OF THE BEAM ONLY.
 5. DETAIL APPLIES TO BOTH SIMPLE AND CONTINUOUS SPANS.
 6. HOLES ARE NOT PERMITTED TO BE PLACED IN CANTILEVERS.
 7. ANY CONDITION NOT COVERED BY THIS DETAIL SHALL BE SUBMITTED TO THE SEOR FOR REVIEW AND APPROVAL PRIOR TO FIELD CUTTING HOLES.

1 ALLOWABLE HOLES IN ENGINEERED BEAMS AND HEADERS

3/4\" = 1'-0\"



- NOTES:**
1. DETAIL APPLIES TO SOLID SAWN HEADERS OR BEAMS WITH DEPTHS GREATER THAN 7 1/4\"
 2. ALLOWABLE HOLES INDICATED ARE SUITABLE FOR HEADERS AND BEAMS WITH UNIFORM LOADING ONLY.
 3. HOLES MUST BE ROUND. SQUARE HOLES NOT PERMITTED.
 4. HOLES ARE PERMITTED TO BE PLACED IN THE MIDDLE 1/3 OF THE SPAN IN THE MIDDLE 1/3 OF THE BEAM ONLY.
 5. DETAIL APPLIES TO BOTH SIMPLE AND CONTINUOUS SPANS.
 6. HOLES ARE NOT PERMITTED TO BE PLACED IN CANTILEVERS.
 7. ANY CONDITION NOT COVERED BY THIS DETAIL SHALL BE SUBMITTED TO THE SEOR FOR REVIEW AND APPROVAL PRIOR TO FIELD CUTTING HOLES.

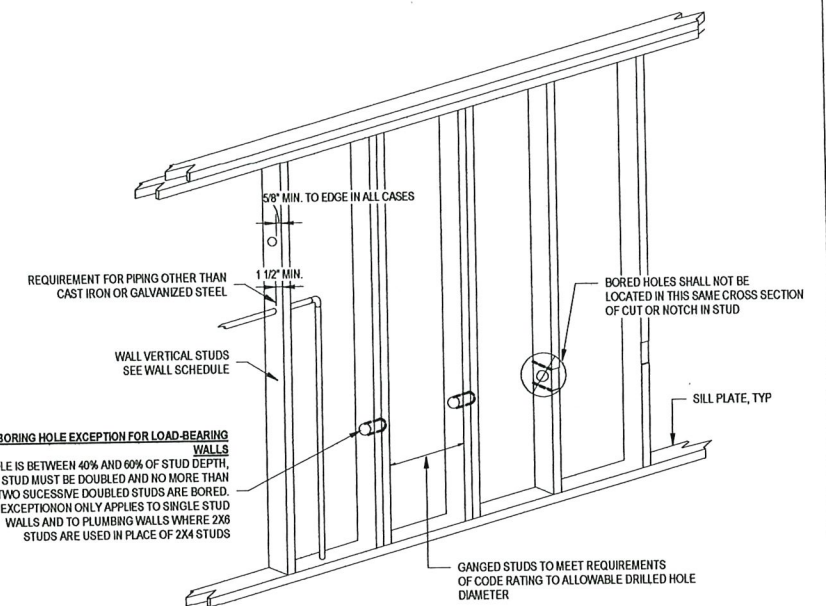
2 ALLOWABLE HOLES IN SOLID SAWN BEAMS AND HEADERS

3/4\" = 1'-0\"

| MAXIMUM BORED HOLE DIAMETER/NOTCH DEPTH WITH NO REQUIRED REPAIR OR REINFORCEMENT | | | |
|--|---|----------------------------|--------------------------|
| STUD SIZE (IN) | APPLICATION | MAXIMUM HOLE DIAMETER (IN) | MAXIMUM NOTCH DEPTH (IN) |
| 2x4 | NON LOAD-BEARING STUDS (INTERIOR ONLY) | 2 | 1 3/8 |
| | ALL EXTERIOR STUDS & LOAD BEARING STUDS | 1 3/8 | 7/8 |
| 2x6 | NON LOAD-BEARING STUDS (INTERIOR ONLY) | 3 1/4 | 2 3/16 |
| | ALL EXTERIOR STUDS & LOAD BEARING STUDS | 2 3/16 | 1 3/8 |

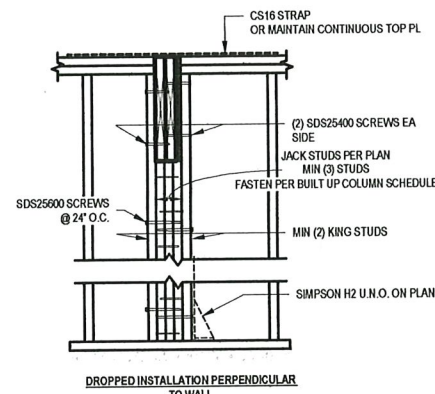
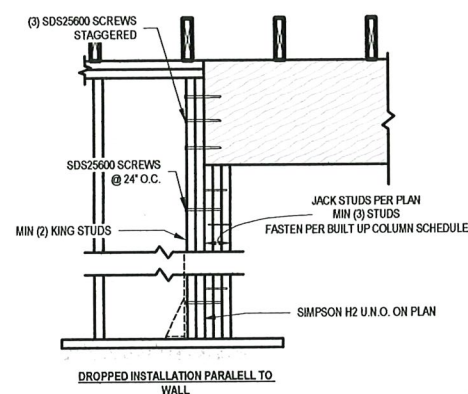
*INDICATES BORED HOLE DIAMETER FOR INTERIOR LOAD-BEARING STUDS ONLY.

- GENERAL NOTES:**
1. EXCEPTION FOR HOLE BORING IN INTERIOR LOAD-BEARING STUDS: IF REQUIRED BORED HOLE DIAMETER EXCEEDS VALUE GIVEN ABOVE, BUT IS LESS THAN 60% OF THE STUD WIDTH, THEN BORED STUDS SHALL BE DOUBLED, PROVIDED NO MORE THAN TWO SUCCESSIVE DOUBLED STUD GROUPS ARE BORED.
 - a. WHERE MULTIPLE STUDS ARE SPECIFIED IN STUD WALL LEGEND, DOUBLED STUD GROUPS SHALL BE EQUAL TO TWICE THE SPECIFIED STUDS.
 2. WHERE NOTCHES AND/OR BORED HOLES DO NOT COMPLY WITH THIS DETAIL, THE CONTRACTOR SHALL REPORT THE CONDITIONS TO THE SEOR. CONTRACTOR SHALL NOT CONTINUE BORING OR NOTCHING UNTIL ALTERNATIVE SOLUTION IS PROVIDED BY SEOR.



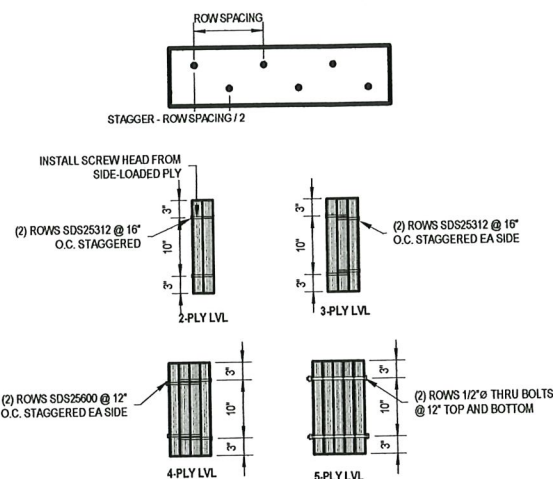
3 ALLOWABLE STUD WALL PENETRATION SCHEDULE

3/4\" = 1'-0\"



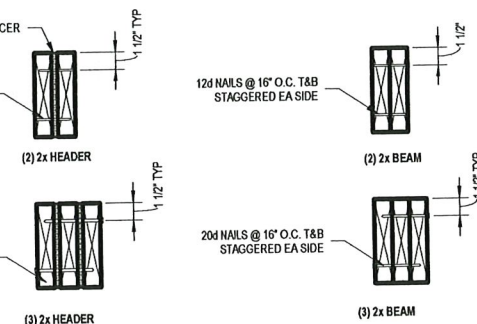
5 MULTI-PLY LVL FASTENING

3/4\" = 1'-0\"



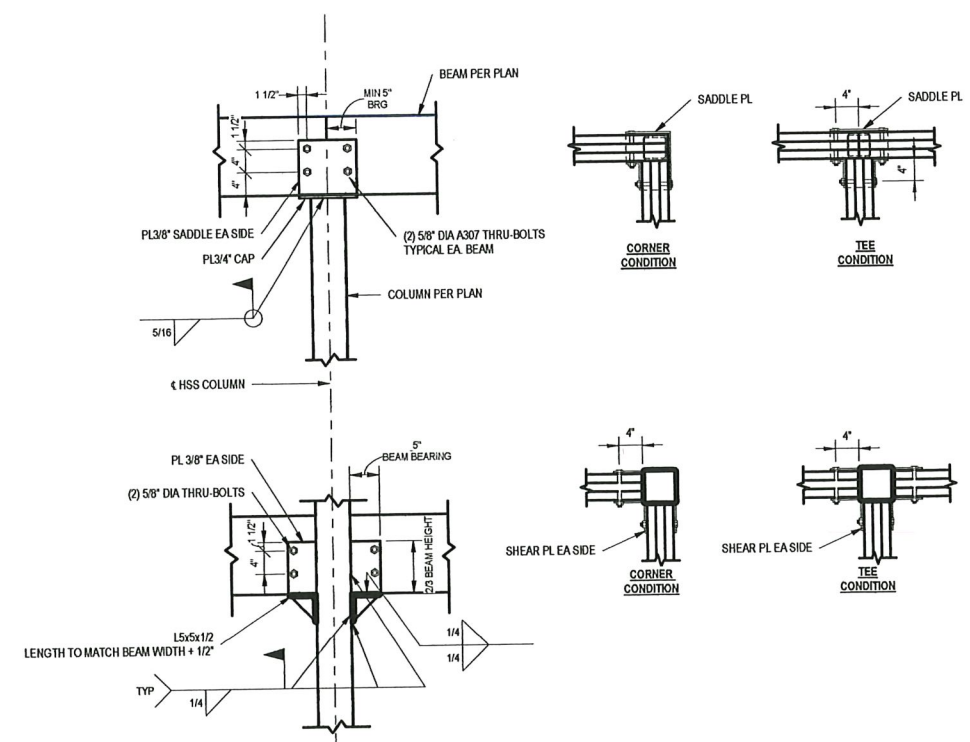
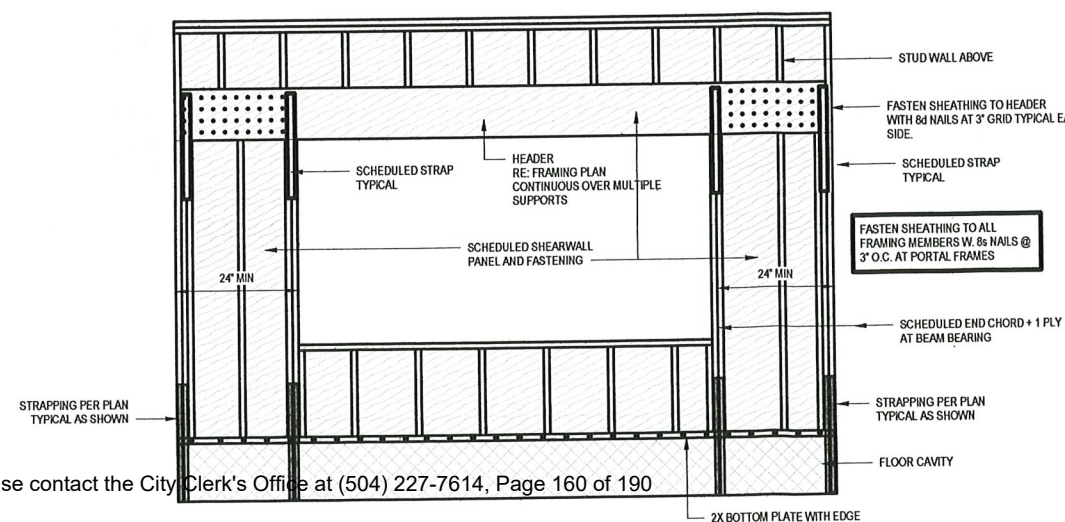
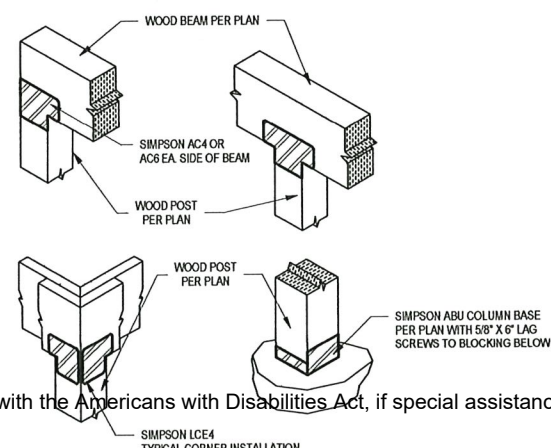
6 BUILT UP HEADER / BEAM DETAIL

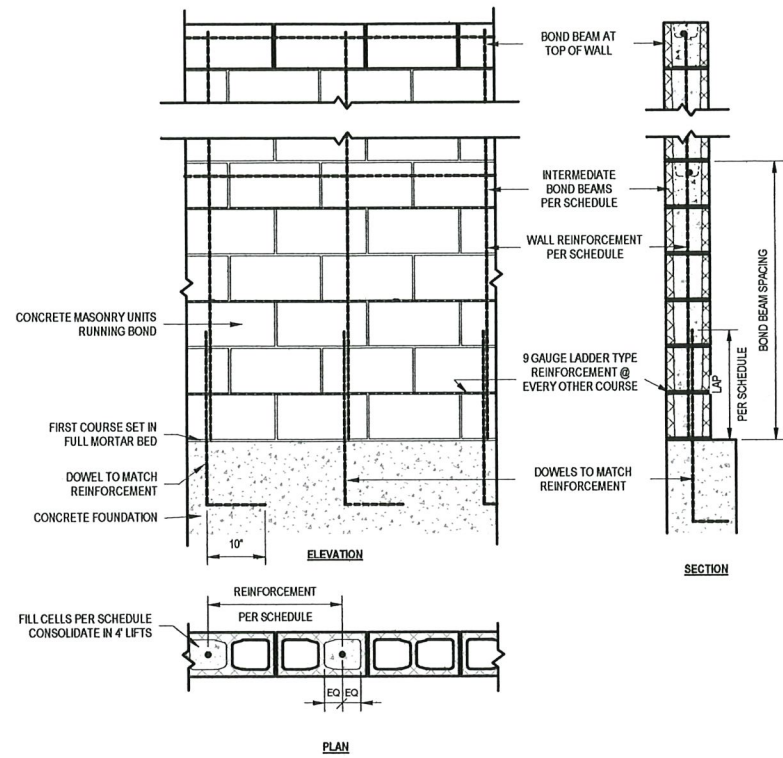
1 1/2\" = 1'-0\"



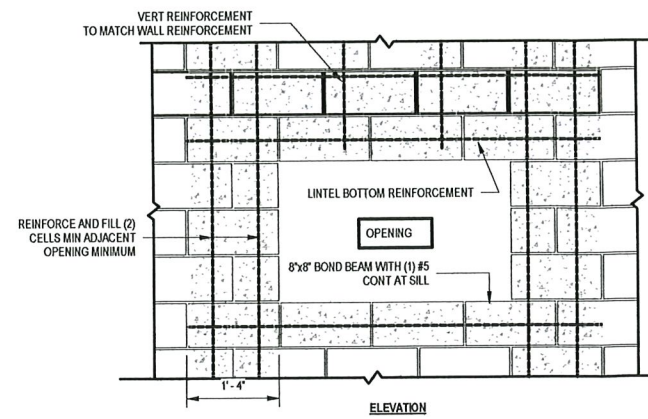
4 TYPICAL ENGINEERED BEAM BEARING

3/4\" = 1'-0\"

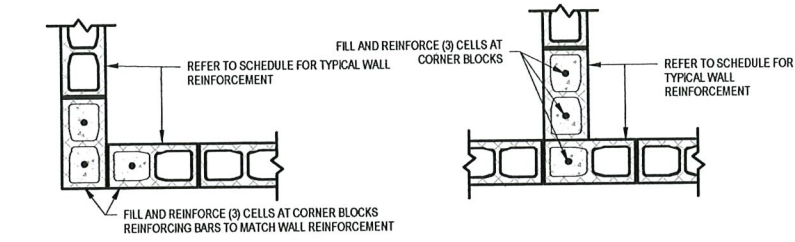




1 TYPICAL CMU WALL CONSTRUCTION
3/4" = 1'-0"



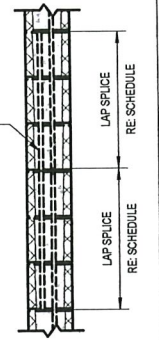
2 TYPICAL CMU OPENING CONSTRUCTION
3/4" = 1'-0"



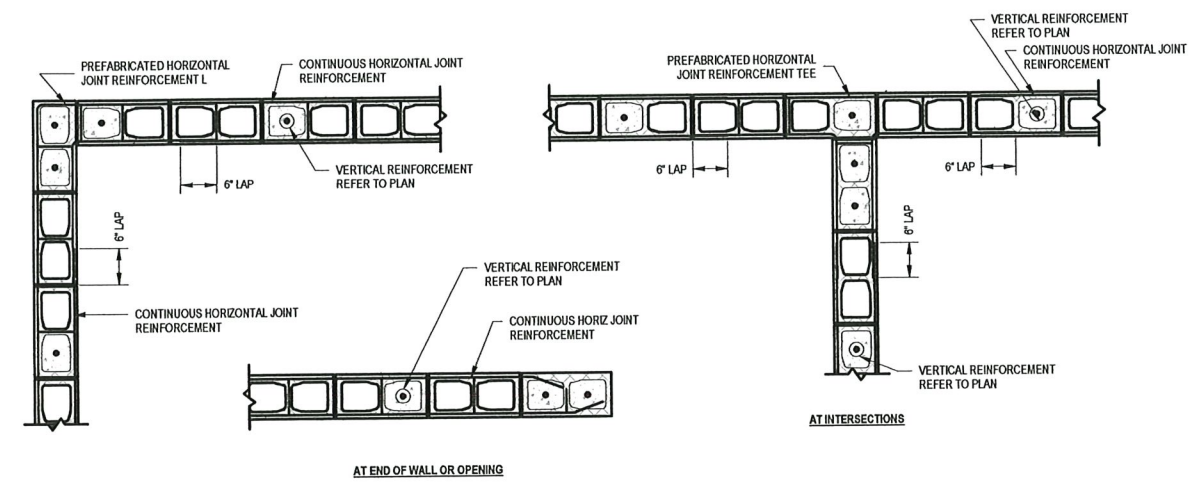
3 TYPICAL CMU WALL INTERSECTION
3/4" = 1'-0"

| LAP SPLICE SCHEDULE | |
|---------------------|------------------|
| #6 BAR OR LESS | 44 BAR DIAMETERS |
| #7 BARS OR GREATER | 55 BAR DIAMETERS |

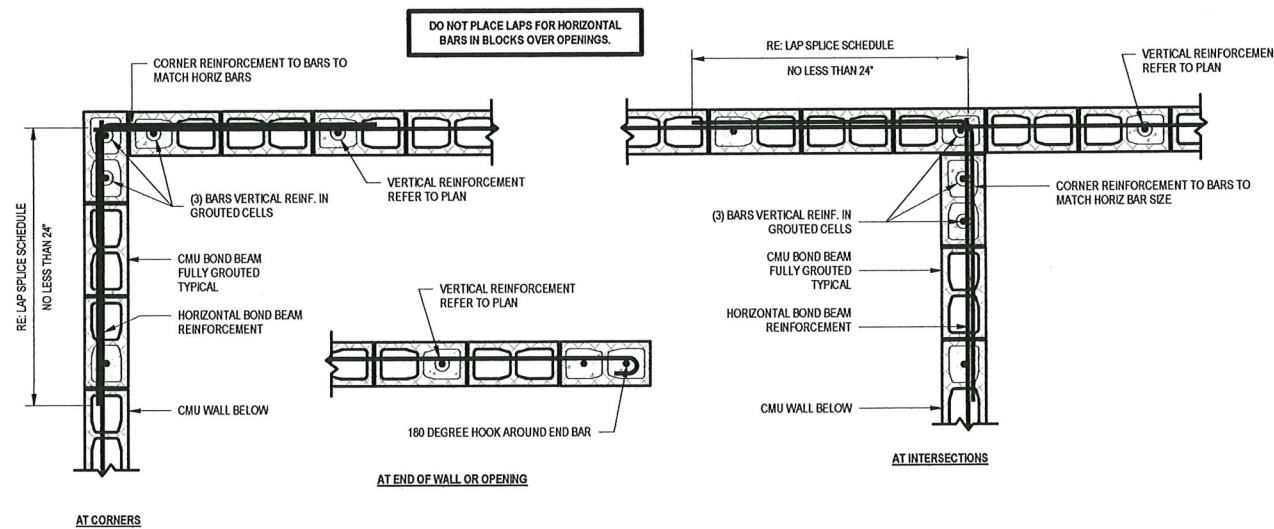
WHERE VERTICAL BAR HITS BEARING PLATE, OR OTHER OBSTRUCTION, PROVIDE DOWEL TO MATCH VERTICAL REINF. W/ 8" MAX OFFSET IN GROUTED CELL OR WELDED TO PLATE



4 NON-CONTACT LAP SPLICE DETAIL
3/4" = 1'-0"



6 CMU HORIZONTAL JOINT REINFORCEMENT DETAIL
3/4" = 1'-0"



5 CMU BOND BEAM DETAILS
3/4" = 1'-0"

| CMU WALL SCHEDULE | | | | | |
|-----------------------------|----------------|----------------|------------------------|-------------------------|-------------------|
| MAX UNSUPPORTED WALL HEIGHT | PARAPET HEIGHT | WALL THICKNESS | VERTICAL REINFORCEMENT | BOND BEAM REINFORCEMENT | BOND BEAM SPACING |
| 10'-0" | 0'-0" | 8" | #5'S @ 24" O.C. | (1) #5 CONT. | [A] |

NOTES:

[A] PROVIDE BOND BEAMS AT ALL BEARING ELEVATIONS, SPANDREL ELEVATIONS AND AT THE TOP OF ALL CMU WALLS. CONT. 16" BOND BEAM AT T.O. WALL ATTACHMENT TO SPANDREL.

FULLY GROUT AND REINFORCE ALL CELLS RECEIVING ANCHORS.

LAP SPLICE REQUIREMENTS:

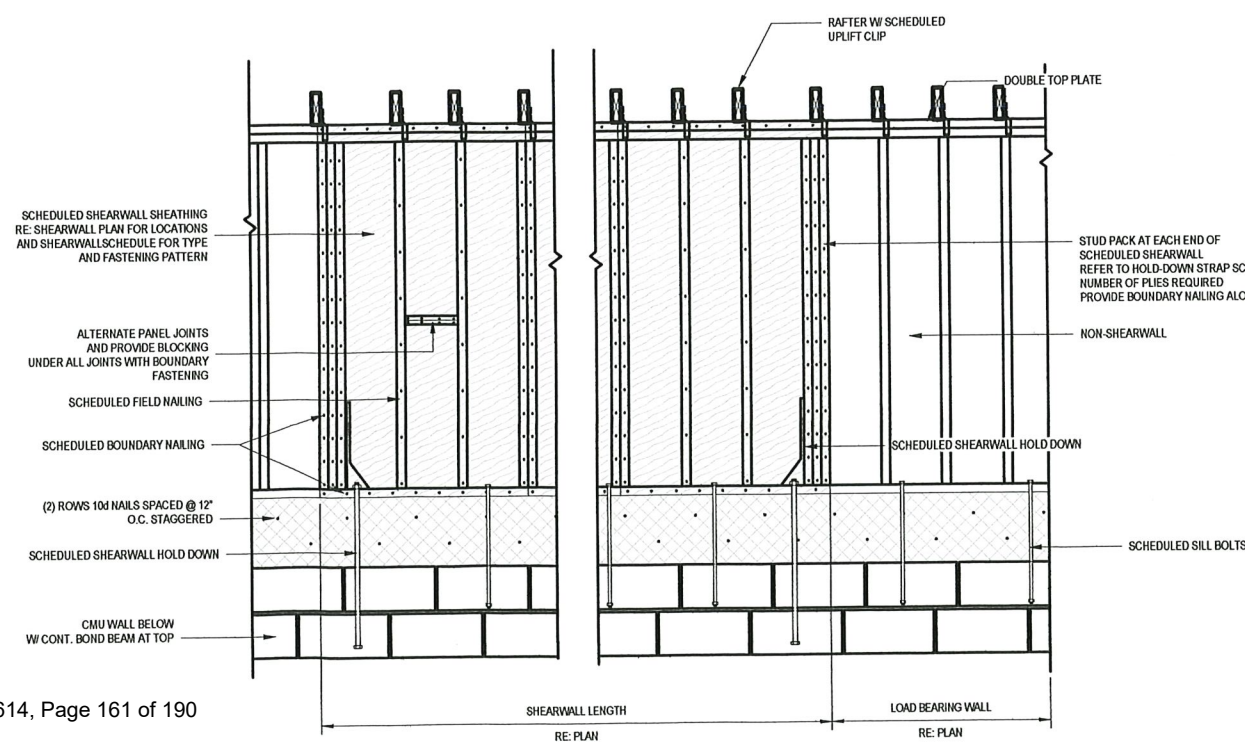
#6 BARS OR LESS - 44 BAR DIAMETERS

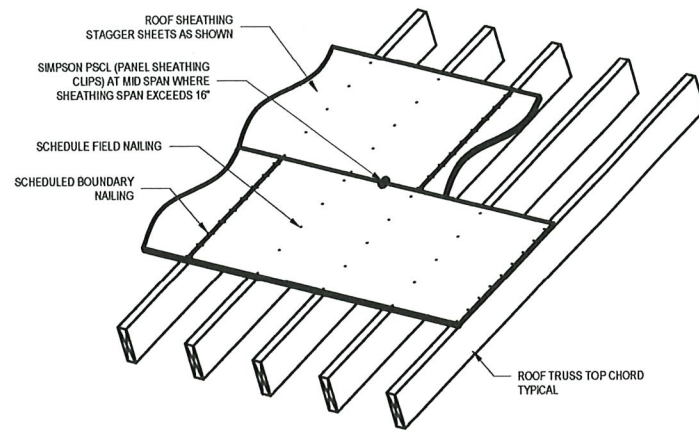
#7 BAR OR GREATER - 55 BAR DIAMETERS

CMU BEARING WALLS ARE INDICATED ON THE PLANS AS SUCH.

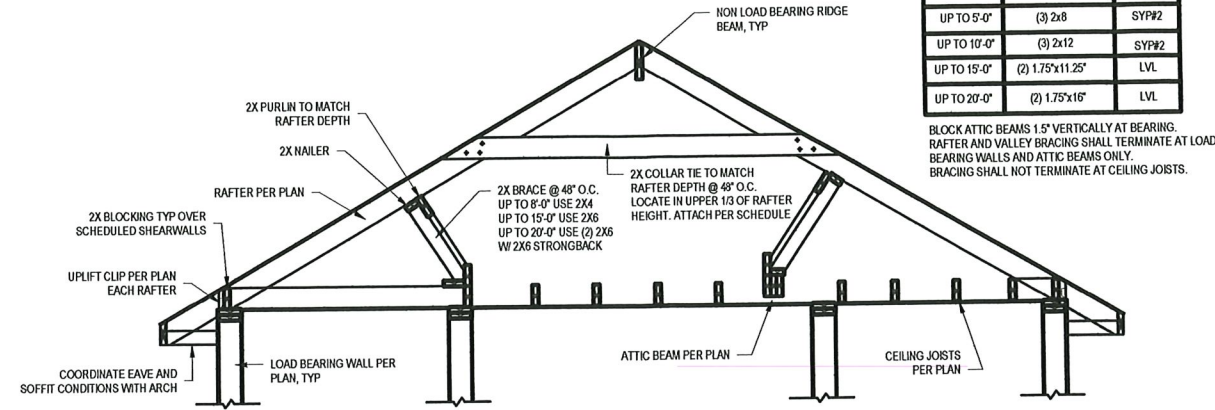
REFER TO PLANS FOR ADDITIONAL WALL NOTES

| CMU LINTEL SCHEDULE | | | |
|---------------------|-------------|--------------|-----------------|
| MARK | MAX SPAN | LINTEL DEPTH | REINFORCEMENT |
| ML1 | UP TO 6'-0" | 16" | 2-#5 TOP & BOT. |





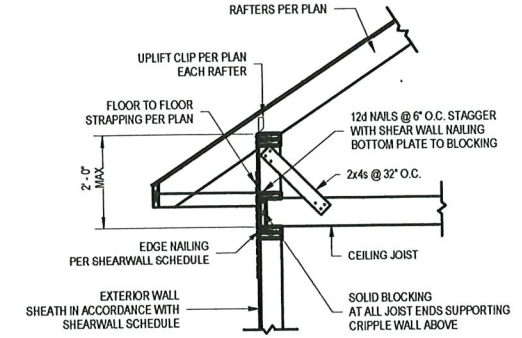
1 TYPICAL ROOF SHEATHING DETAIL
3/4" = 1'-0"



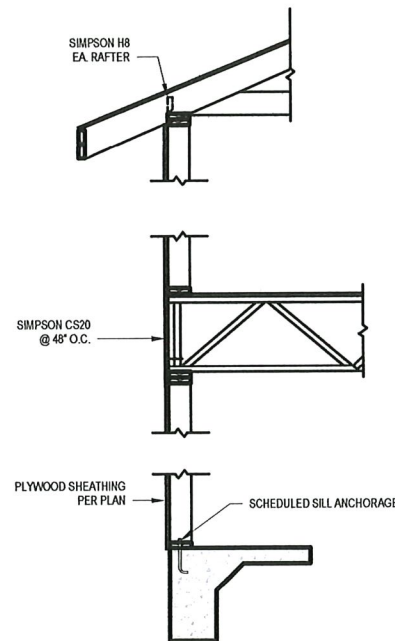
2 TYPICAL ROOF FRAMING
1/2" = 1'-0"

| FLOATING ATTIC BEAM SCHEDULE | | |
|------------------------------|-------------------|-------|
| SPAN | MEMBER QTY & SIZE | GRADE |
| UP TO 5'-0" | (3) 2x8 | SYP#2 |
| UP TO 10'-0" | (3) 2x12 | SYP#2 |
| UP TO 15'-0" | (2) 1.75"x11.25" | LVL |
| UP TO 20'-0" | (2) 1.75"x16" | LVL |

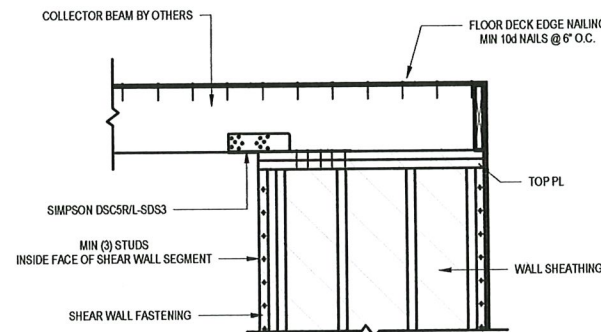
BLOCK ATTIC BEAMS 1" VERTICALLY AT BEARING. RAFTER AND VALLEY BRACING SHALL TERMINATE AT LOAD BEARING WALLS AND ATTIC BEAMS ONLY. BRACING SHALL NOT TERMINATE AT CEILING JOISTS.



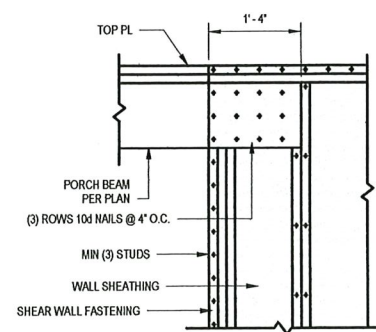
3 TYPICAL CRIPPLE WALL RAFTER BEARING
1/2" = 1'-0"



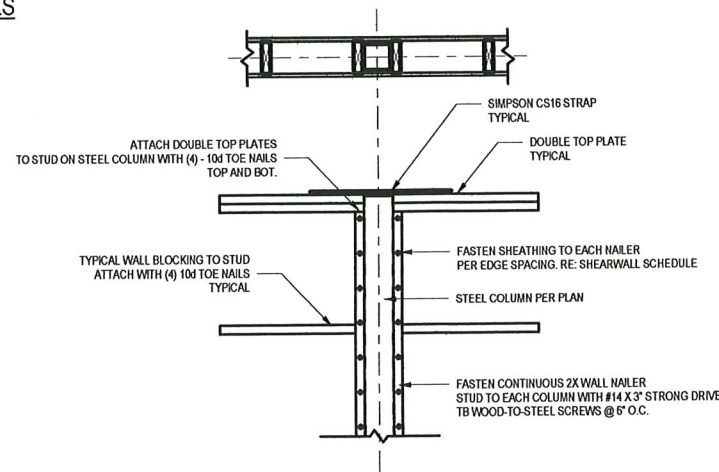
4 UPLIFT STRAP CONNECTIONS AT ROOF BEARING WALLS (MULTI-STORY)
1/2" = 1'-0"



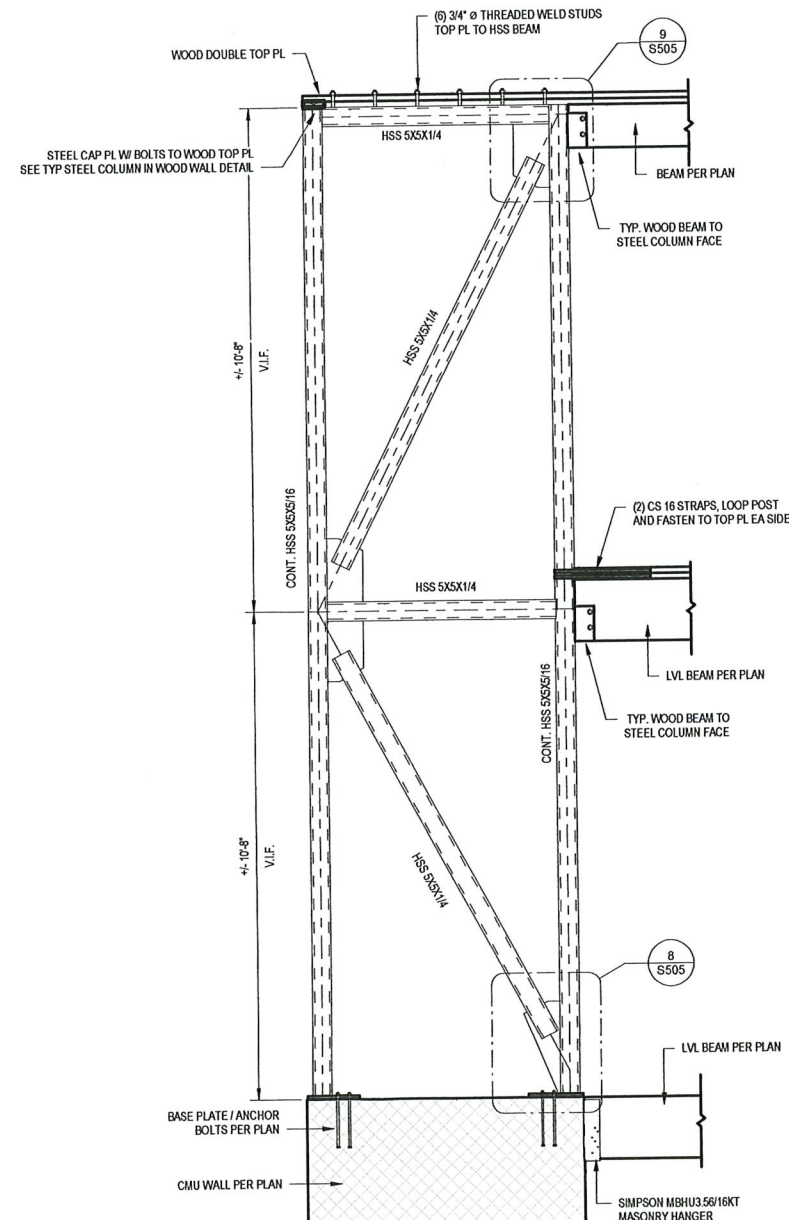
6 SHEARWALL COLLECTOR TO WALL DETAIL
3/4" = 1'-0"



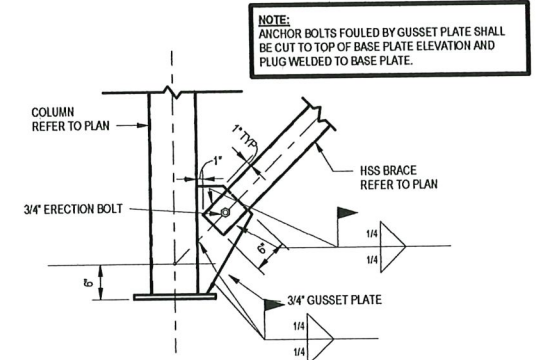
5 PORCH BEAM AT EXTERIOR WALL DETAIL
3/4" = 1'-0"



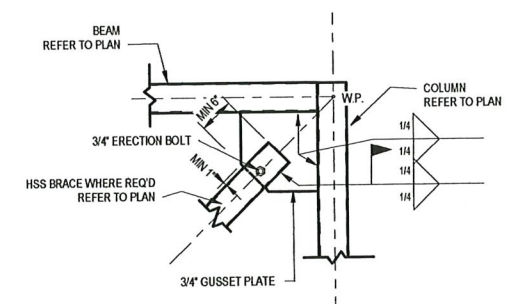
10 TYPICAL STEEL COLUMN IN WOOD WALL
3/4" = 1'-0"



7 ELEVATION AT FRAME
1/2" = 1'-0"

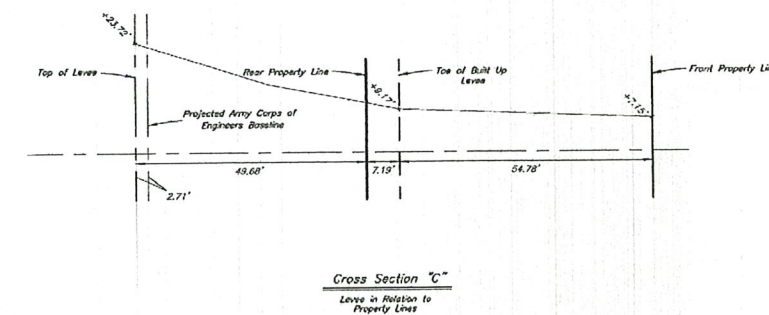
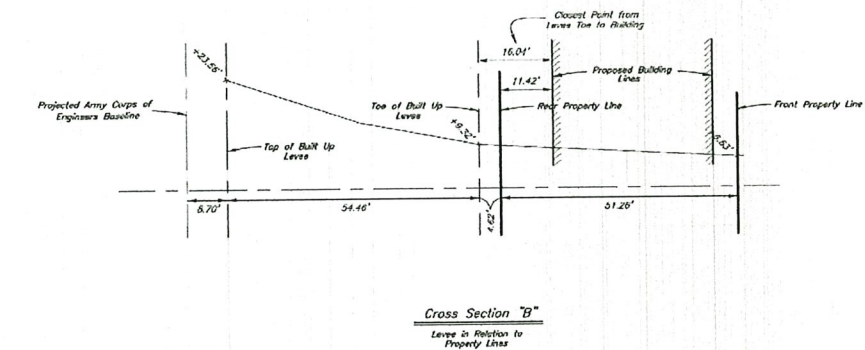
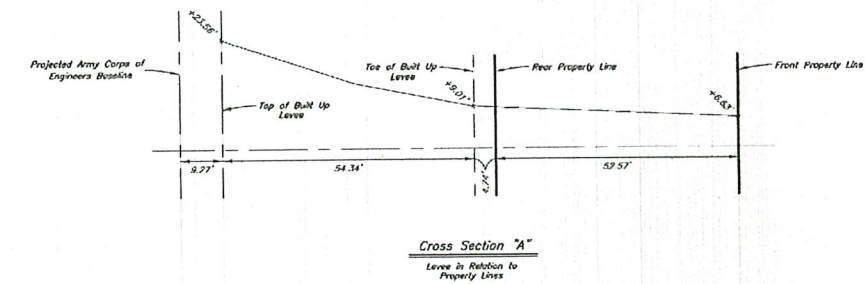
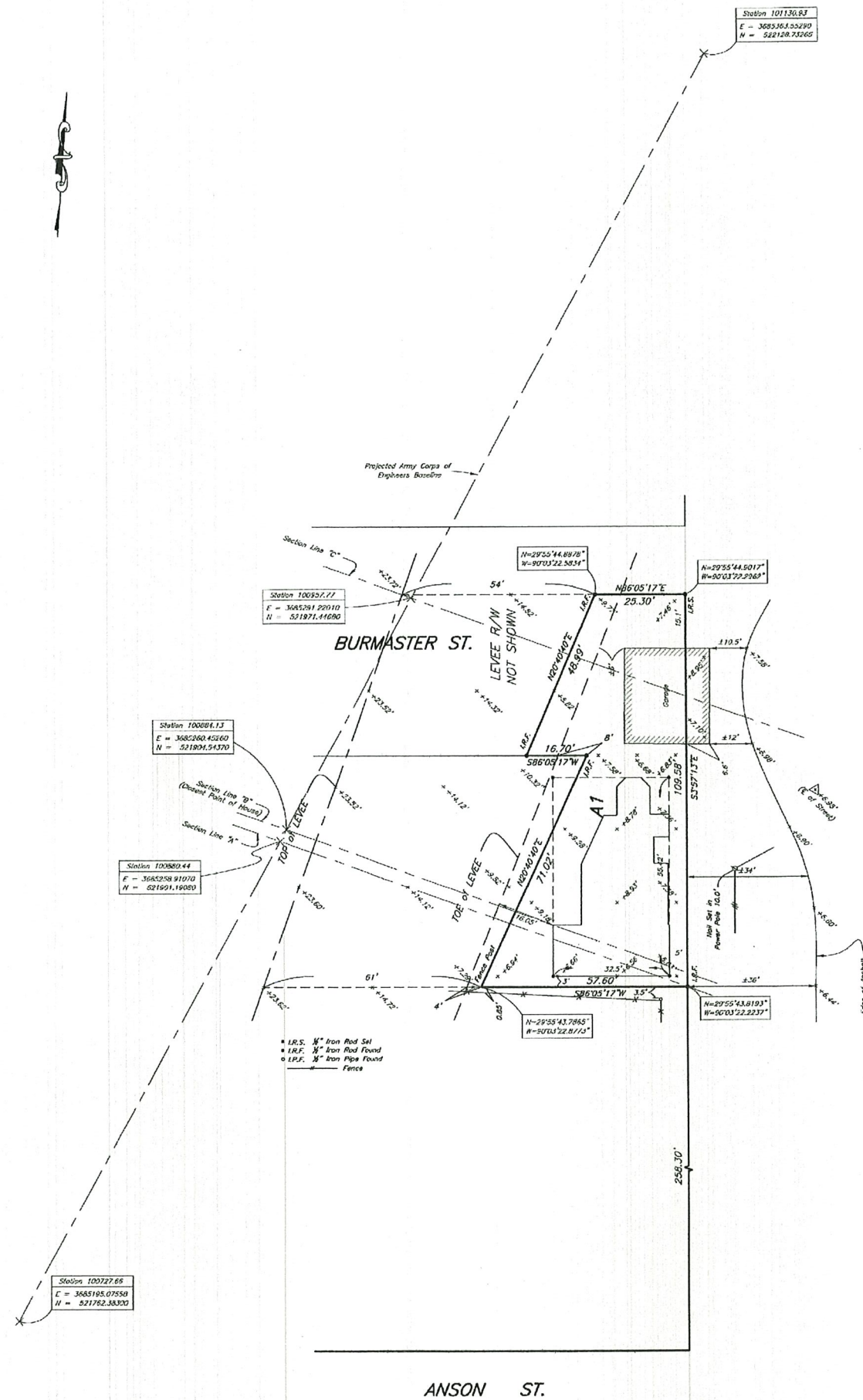


8 TYPICAL BRACE TO COLUMN BASE
3/4" = 1'-0"



9 TYPICAL BRACE TO BEAM / COLUMN
3/4" = 1'-0"

SQ. NO. 23, MC DONOUGHVILLE
JEFFERSON PARISH, LA
 A Boundary Survey of Lot A1.



THE SURVEY AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN DESCRIPTION FURNISHED TO US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SURVEYS AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

Note:
 Improvements may not be to scale for clarity.
 The dimensions shown prevail over scale.
 All lot bearings as per plan of sub.

January 12, 2024 Cross Sections. *Clint Shumway*
 December 23, 2023 Found as shown.
 December 21, 2023 Found as shown.

Date: October 9, 2023 Scale: 1" = 40'
 This plat represents an actual ground survey made by me or under my supervision and control and meets the requirements for the Standards of for Boundary Surveys as found in Louisiana Administrative Code TITLE 46: Chapter 29 for a Class "C" survey.
 Made at the request of Nelson Clayton Homes, LLC.
 Gilbert, Kelly & Couturie, Inc., Professional Land Surveying
 2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121 *Clint Shumway*





Historic District Commission

Meeting: March 29, 2024

1114 Washington
(District 2)

**For: Revisions to Originally
Approved COA -24-032**

Applicant:
Edwin Nelson Clayton II

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

1114 Washington Street

PROPERTY ADDRESS

Edwin Nelson Clayton II

NAME OF APPLICANT

Work Approved: Renovations & addition to

existing single family residence.

Siding to be smooth hardi - existing historic structure & left "L" rebuild to be 3" or 3.5" reveal to match existing ~~rebuild~~ reveal.

Reveal of new two story portion to be up to 5.5".

Signature of MDC Chairperson

Signature of Applicant

4/1/2024

Date

4/11/2024

Date

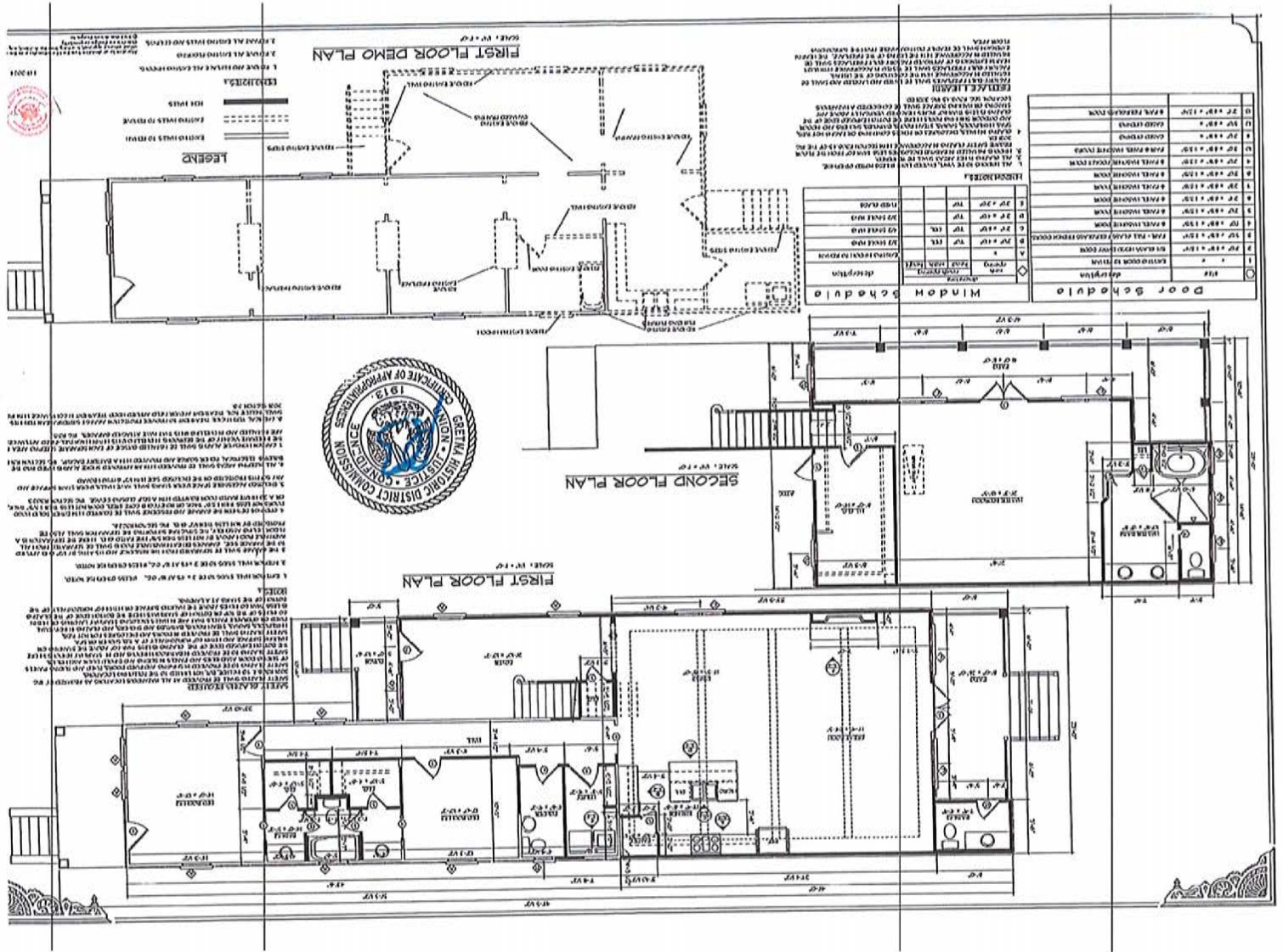
By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

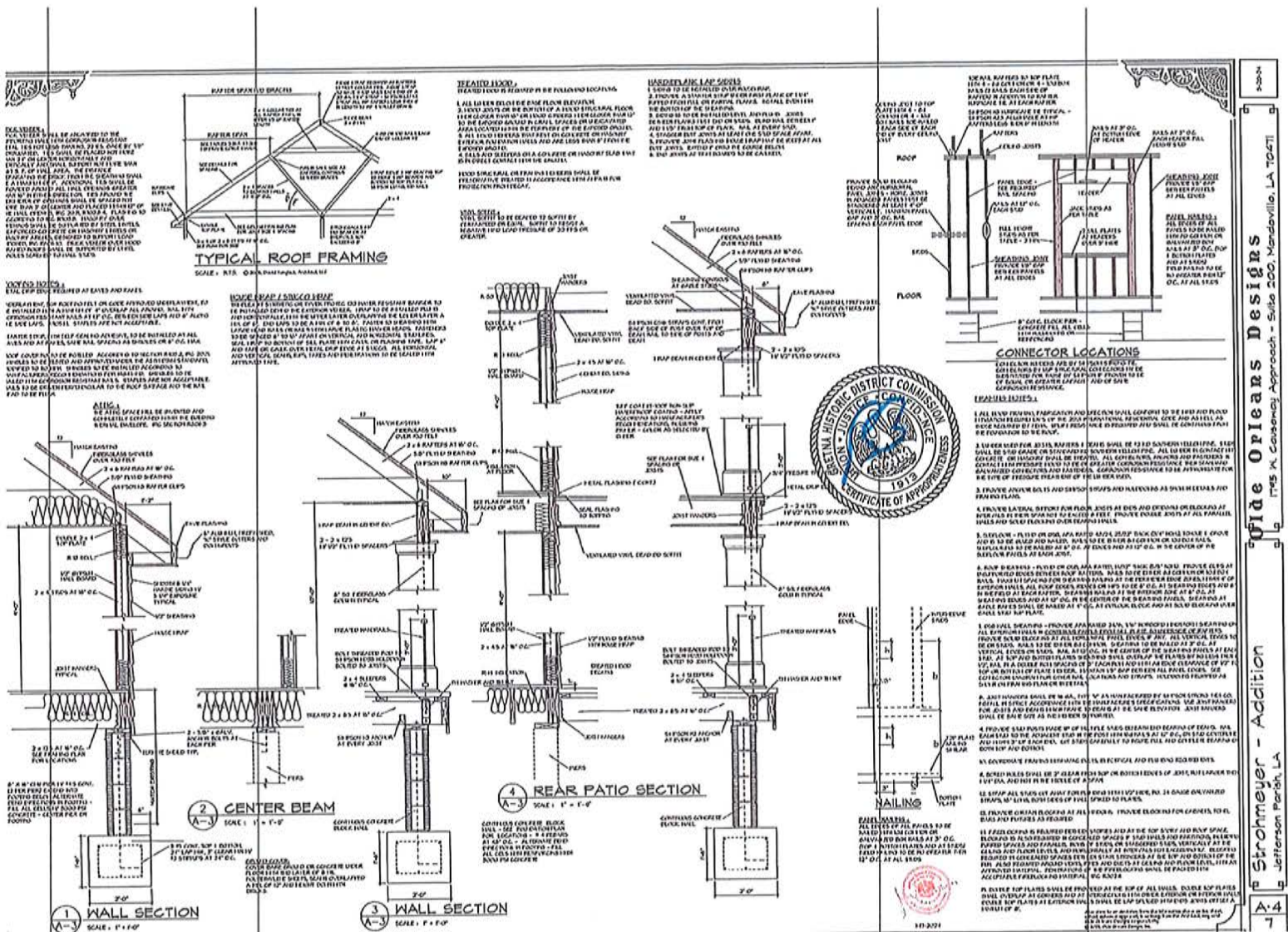
Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

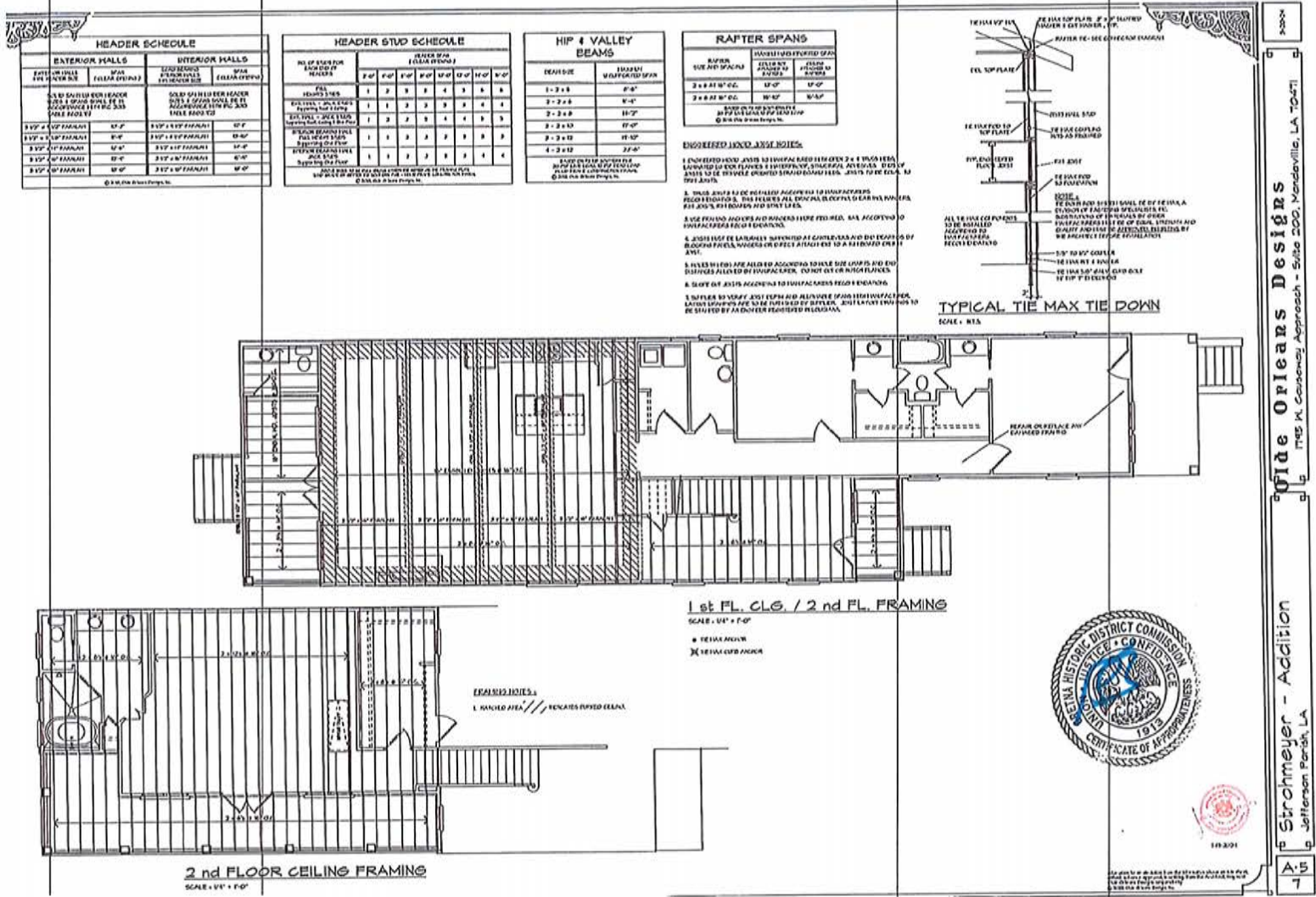
NOT VALID UNLESS POSTED ON SITE

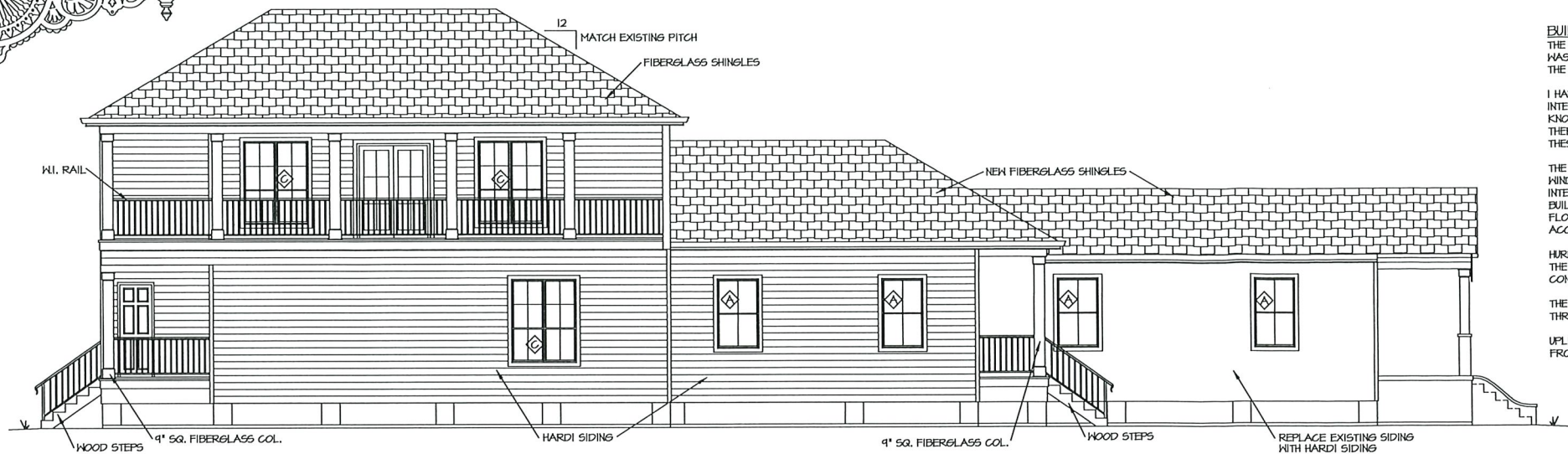
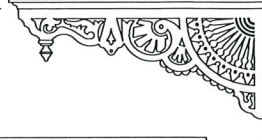
Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 ~ www.gretnala.com

COA-24-032



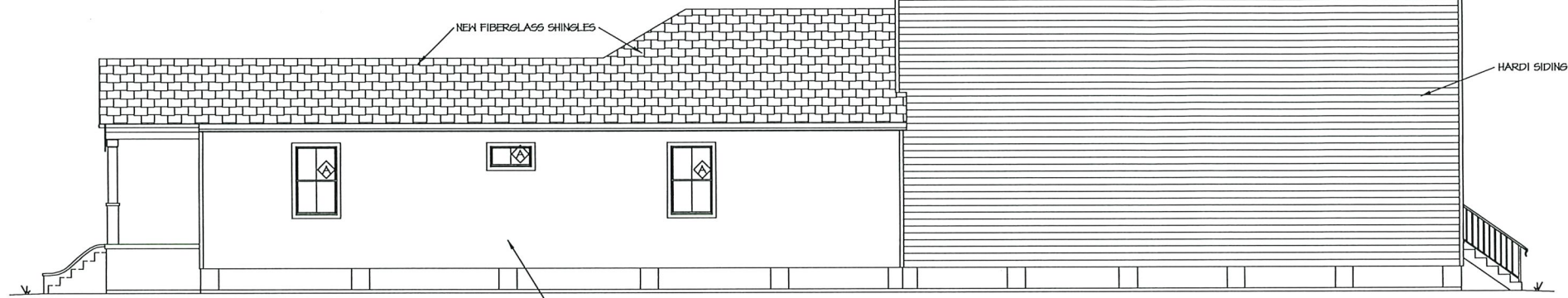






SIDE ELEVATION

SCALE : 3/16" = 1'-0"



SIDE ELEVATION

SCALE : 3/16" = 1'-0"



REAR ELEVATION

SCALE : 1/4" = 1'-0"

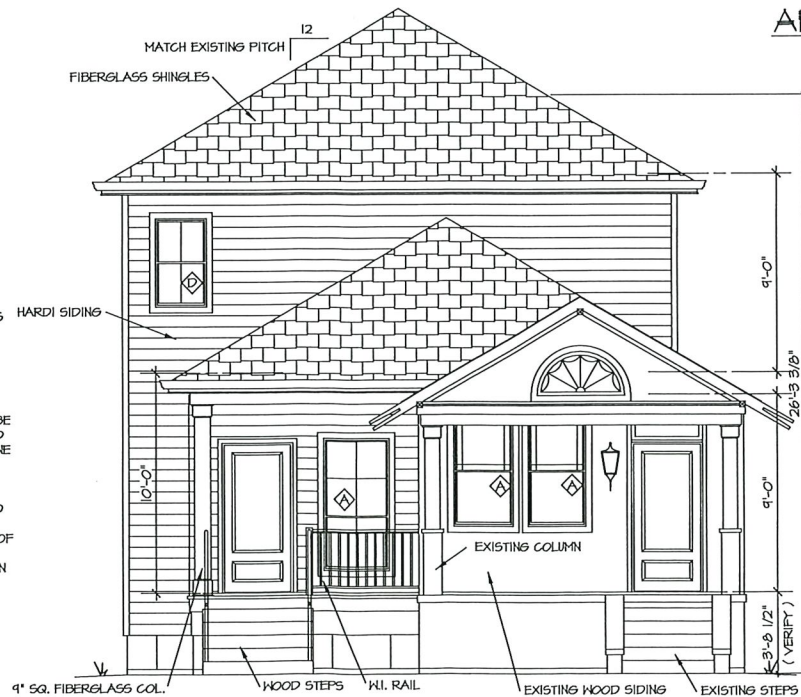
FLASHING NOTES:

1. SHEET METAL : ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT, NOT LIMITED TO GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL COPINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.

2. FLASHING : APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. FLASHING AND WEAPHOLES AT BRICK SHALL COMPLY WITH SECTIONS R103.B.5 AND R103.B.6. WALL FLASHINGS SHALL COMPLY WITH SECTIONS R103.B. WALL FLASHINGS SHALL COMPLY WITH SECTION R103.B. ROOF FLASHING SHALL COMPLY WITH SECTION R103.2.B. IRC 2021.

GLAZED OPENING PROTECTION

ALL WINDOWS WITHOUT OPERABLE SHUTTERS SHALL BE PROVIDED WITH A MINIMUM THICKNESS OF 7/16" WOOD STRUCTURAL PANELS FOR PROTECTION OF WINDBORNE DEBRIS, AS PER SECTION 301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. THE PANELS ARE TO BE PRECUT TO COVER THE GLAZED OPENINGS, WITH A MAXIMUM SPAN OF 8' AND PROVIDED WITH ATTACHMENT HARDWARE. ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

BUILDING CONSTRUCTION

THE HURRICANE RESISTANCE CONSTRUCTION FOR THIS RESIDENCE WAS DESIGNED TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, SECTION R301.2.1.

I HAVE RESEARCHED THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE DRAWINGS.

THE CONSTRUCTION OF THIS STRUCTURE IS TO CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, ASCE 7 WIND LOADS. BUILDINGS LOCATED IN WHOLE OR IN PART IN IDENTIFIED FLOODWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ASCE 24-14 AND FEMA REQUIREMENTS.

HURRICANE RESISTANCE CONSTRUCTION HAS BEEN DESIGNED USING THE PRESCRIPTIVE REQUIREMENTS OF THE WOOD FRAME CONSTRUCTION MANUAL, LATEST EDITION.

THE STRUCTURE HAS BEEN DESIGNED FOR : THREE SECOND WIND GUST OF 140 MPH - BASED ON EXPOSURE B.

UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION.

APPROXIMATE SQ. FT.

LIVING AREA

| | |
|--------------|-----------|
| FIRST FLOOR | 1871 S.F. |
| SECOND FLOOR | 742 S.F. |
| SUBTOTAL | 2613 S.F. |
| PORCH | 99 S.F. |
| SIDE PORCH | 106 S.F. |
| PATIO | 348 S.F. |
| BALCONY | 321 S.F. |
| GROSS: | 3543 S.F. |

FRONT YARD AREA

| | |
|-------------------------|----------|
| GREENSCAPE AREA (50.1%) | 471 S.F. |
| PORCH AREA | 62 S.F. |
| CONC. FLAT WORK AREA | 407 S.F. |
| TOTAL AREA: | 940 S.F. |



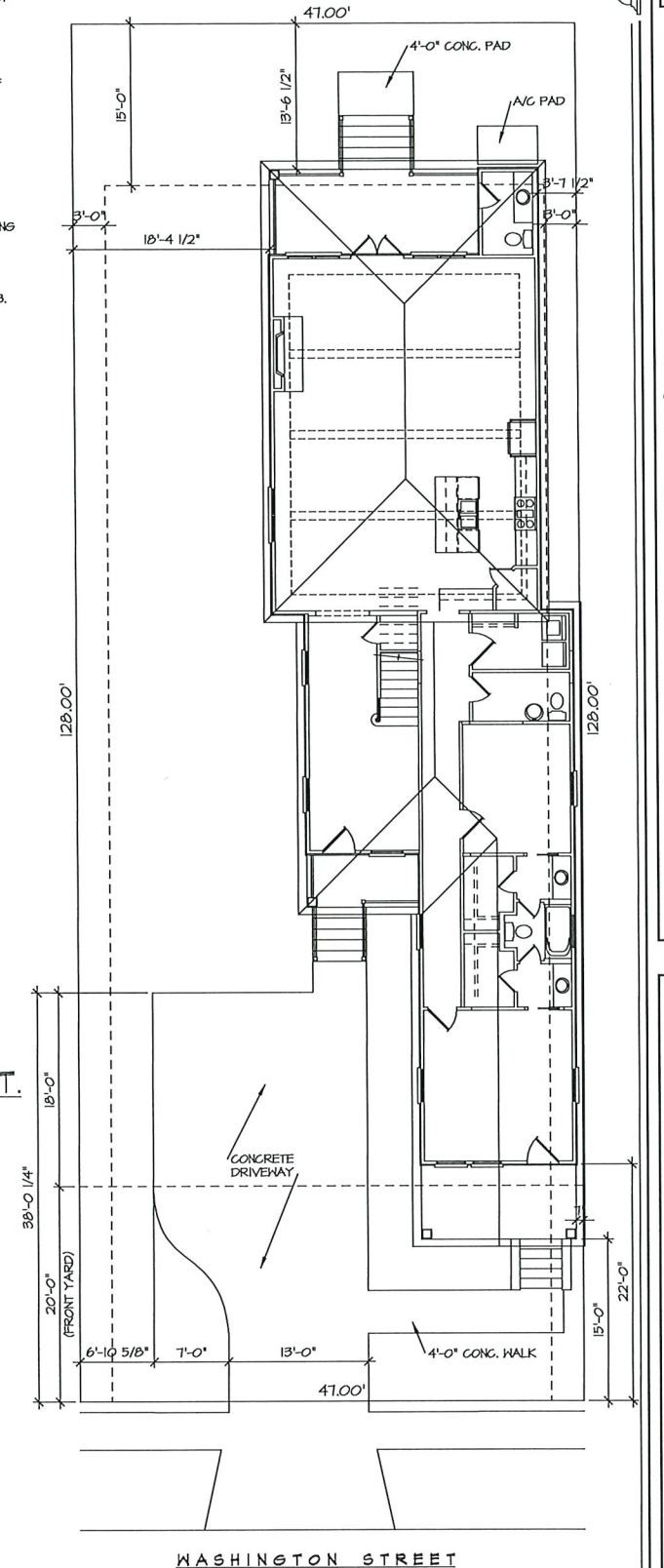
SITE PLAN

SCALE : 1/8" = 1'-0"

LOT #1 & 2
SQUARE #19
MCDONOUGHVILLE SUBDIVISION
JEFFERSON PARISH, LA

THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK. REG. NO. 4352

Alteration to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Olds Orleans Designs responsibility.
© 2022, Olds Orleans Designs, Inc.



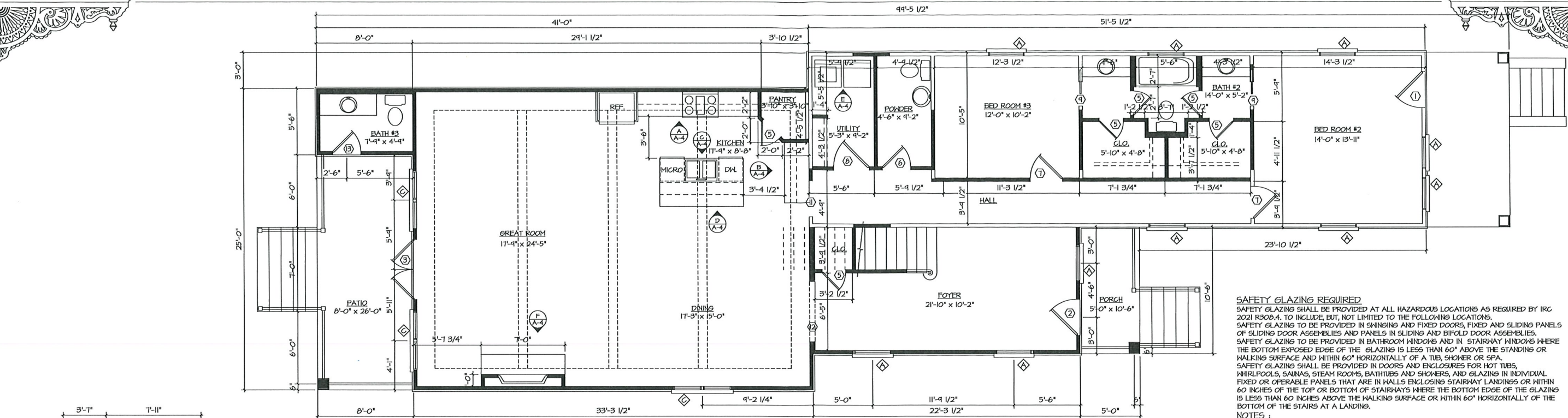
Olds Orleans Designs

1745 W. Causeway Approach - Suite 200, Mandeville, LA 70471

Strohmeier - Addition

Jefferson Parish, LA

A.1
7



FIRST FLOOR PLAN

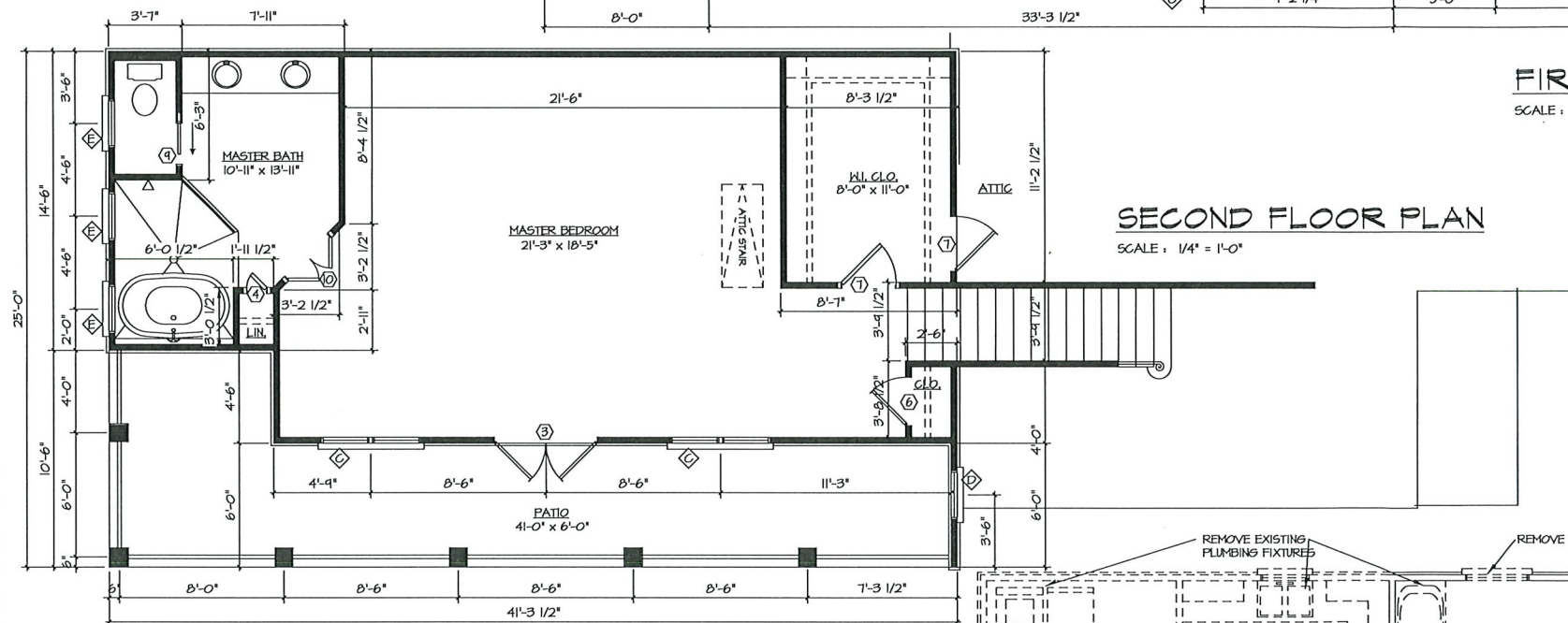
SCALE : 1/4" = 1'-0"

FIREPLACE & HEARTH

FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL121. HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA.

SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"

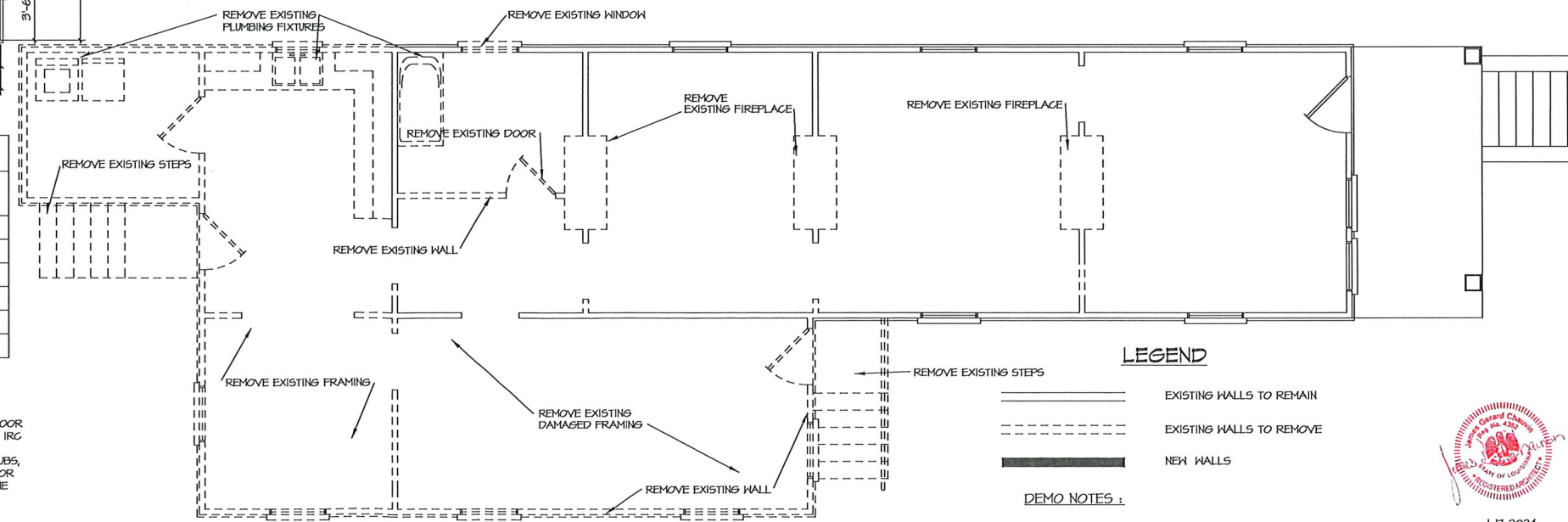


| Door Schedule | | |
|---------------|----------------------|--|
| | size | description |
| 1 | x x | EXISTING DOOR TO REMAIN |
| 2 | 3'0" x 6'6" x 1 3/4" | 3/4 GLASS HOOD ENTRY DOOR |
| 3 | 5'0" x 6'6" x 1 3/4" | PAIR - FULL GLASS FIBERGLASS FRENCH DOOR |
| 4 | 1'0" x 6'6" x 1 3/8" | 6 PANEL MASONITE DOOR |
| 5 | 2'0" x 6'6" x 1 3/8" | 6 PANEL MASONITE DOOR |
| 6 | 2'4" x 6'6" x 1 3/8" | 6 PANEL MASONITE DOOR |
| 7 | 2'8" x 6'6" x 1 3/8" | 6 PANEL MASONITE DOOR |
| 8 | 3'0" x 6'6" x 1 3/8" | 6 PANEL MASONITE DOOR |
| 9 | 2'0" x 6'6" x 1 3/8" | 6 PANEL MASONITE POCKET DOOR |
| 10 | 3'0" x 6'6" x 1 3/8" | PAIR-6 PANEL MASONITE DOORS |
| 11 | 3'0" x 6'6" x | CASED OPENING |
| 12 | 5'0" x 6'6" x | CASED OPENING |
| 13 | 2'4" x 6'6" x 1 3/4" | 6 PANL FIBERGLASS DOOR |
| | | |

| Window Schedule | | | | |
|-----------------|--------------|---------------|-------|---------------------------|
| ◇ | dimensions | | | description |
| | sash opening | rough opening | | |
| | | head | width | |
| A | x | | | EXISTING WINDOW TO REMAIN |
| B | x | | | |
| C | 24" x 6'0" | 70" | DBL | 4/2 SINGLE HUNG |
| D | 24" x 4'0" | 70" | | 2/2 SINGLE HUNG |
| E | 2'0" x 2'0" | 70" | | FIXED GLASS |
| | | | | |

WINDOW NOTES :

1. ALL GLAZINGS TO BE VINYL, DIVIDED LIGHT UNLESS NOTED OTHERWISE.
2. ALL GLAZING IN RAMP AREAS SHALL BE TEMPERED.
3. WINDOWS INSTALLED IN BATHUB ENCLOSURES LESS THAN 60" FROM THE FLOOR REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION 9308.4.5 OF THE IRC 2021 ED.
4. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWER, SHIMERS AND INDOOR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" INCH MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. SEC. 9308.4.5 IRC 2021 ED.



FIRST FLOOR DEMO PLAN

SCALE : 1/4" = 1'-0"

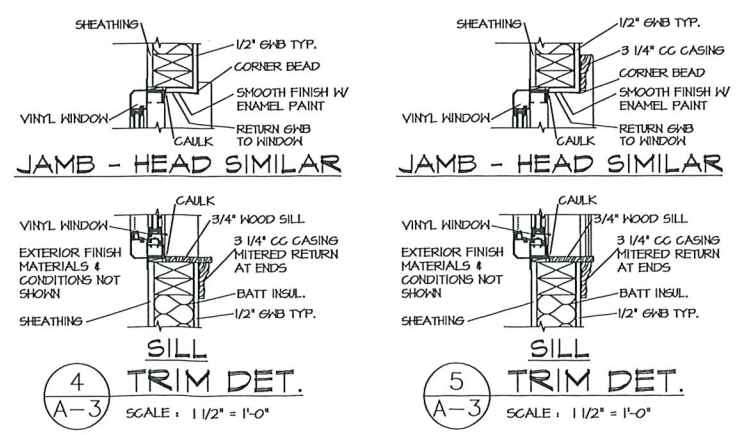
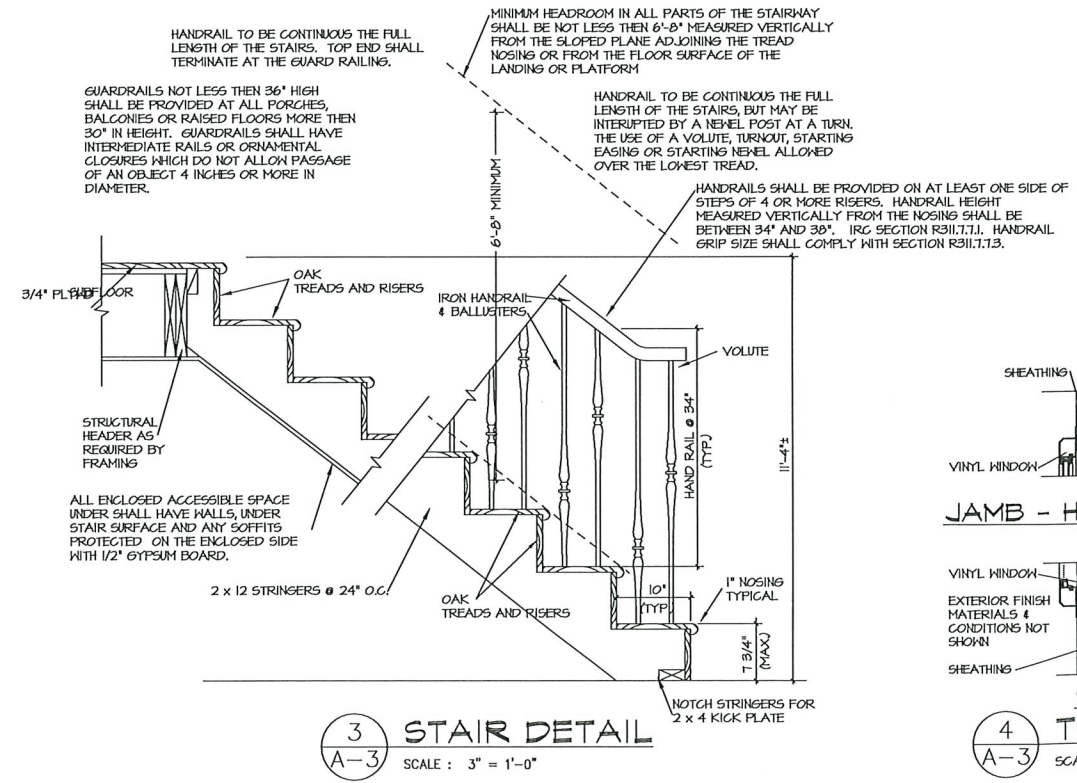
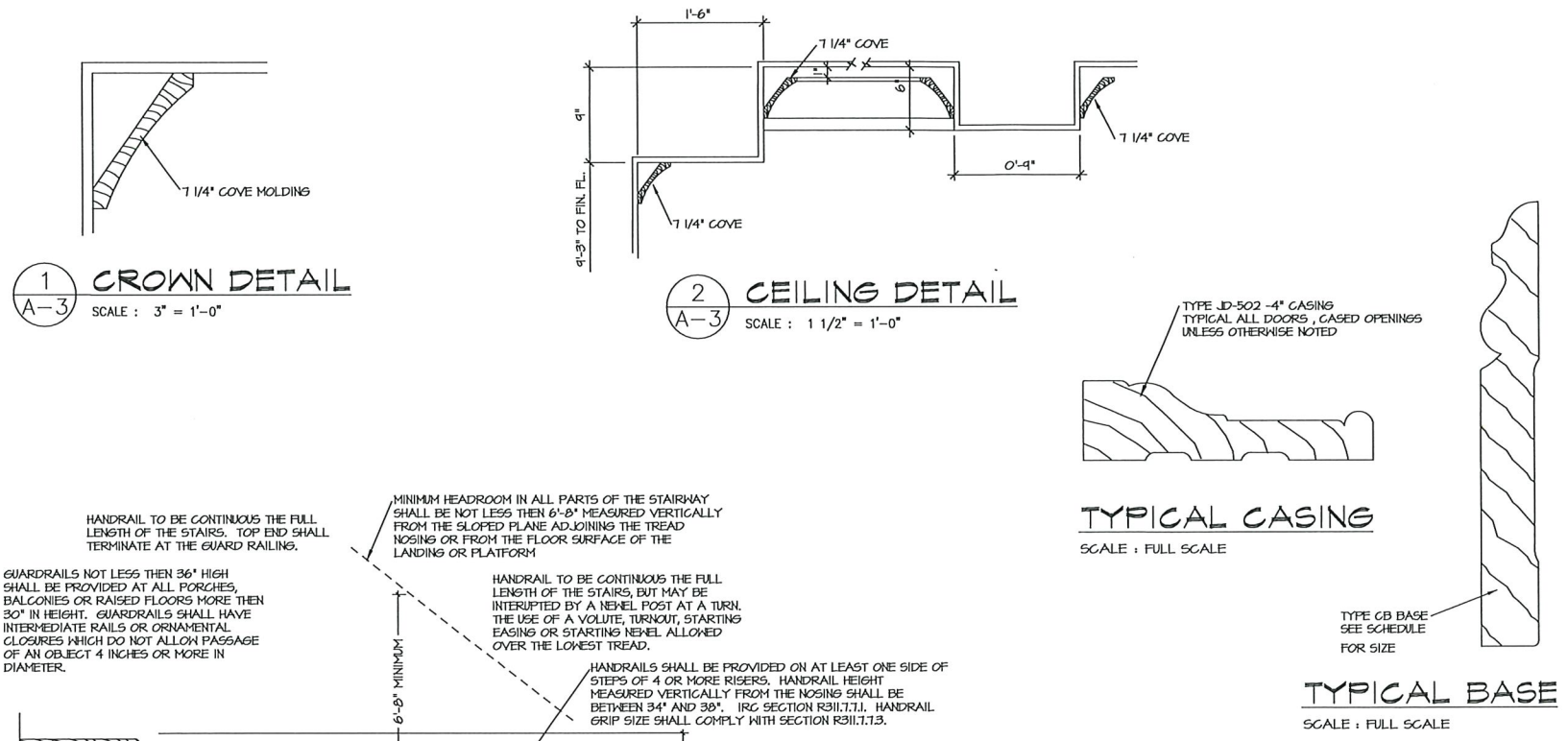
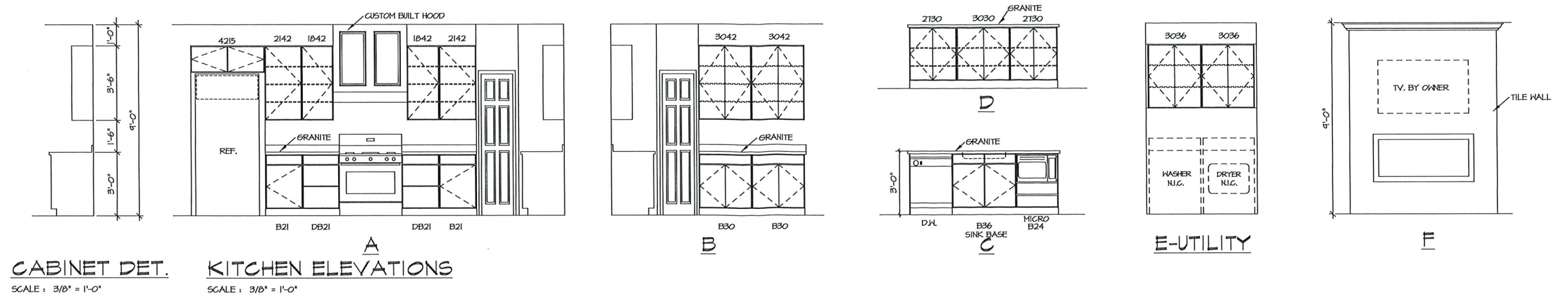
LEGEND

- | | |
|------------|--------------------------|
| ===== | EXISTING WALLS TO REMAIN |
| ----- | EXISTING WALLS TO REMOVE |
| ██████████ | NEW WALLS |

DEMO NOTES :

1. REMOVE AND REPLACE ALL EXISTING WINDOWS.
2. REMOVE ALL EXISTING FLOORING
3. REPAINT ALL EXISTING WALLS AND CEILINGS.

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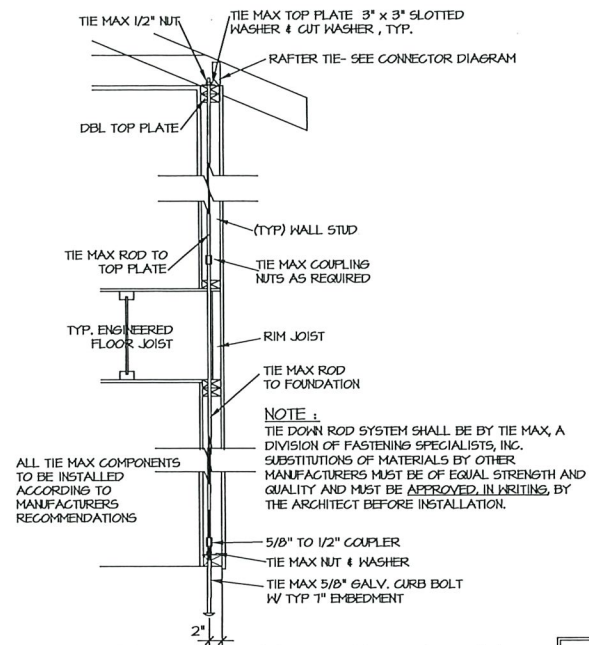


| Finish Schedule | | | | | | | |
|-----------------|-----------|------------|---------|-----------|-----------|-------------|----------------|
| room | floor | base | walls | ceiling | cell. ht. | window trim | remark |
| FOYER | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 10'-0" | | SEE DET. 1/A-3 |
| DINING RM | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | | SEE DET. 2/A-3 |
| GREAT RM | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 5/A-3 | SEE DET. 2/A-3 |
| KITCHEN | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | | SEE DET. 2/A-3 |
| BEDROOM #2 | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 4/A-3 | SEE DET. 1/A-3 |
| BATH #2 | CER. TILE | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 4/A-3 | |
| BEDROOM #3 | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 4/A-3 | SEE DET. 1/A-3 |
| CLOSETS | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | | |
| HALL | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | | SEE DET. 1/A-3 |
| UTILITY RM | CER. TILE | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 4/A-3 | |
| PONDER | CER. TILE | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 4/A-3 | |
| STAIR | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | VARIES | | SEE DET. 3/A-3 |
| M. BEDROOM | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 5/A-3 | SEE DET. 1/A-3 |
| MST. BATH | CER. TILE | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | 5/A-3 | SEE DET. 1/A-3 |
| M. CLOSET | WOOD | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | | |
| PORCH | COMPND | | | VINYL BD. | 10'-0" | | |
| PATIO | COMPND | | | VINYL BD. | 9'-0" | | |
| PATIO 2ND FLR | COMPND | | | VINYL BD. | 9'-0" | | |
| BATH #3 | CER. TILE | 5 1/4" MDF | GYP.BD. | GYP.BD. | 9'-0" | | |

- FINISH NOTES :**
1. DRYWALL - WALLS AND CEILINGS TO BE TAPED AND FLOATED WITH A "LIGHT ORANGE PEEL" FINISH. WATERPROOF GYP. BD. TO BE USED AT DAMP LOCATIONS AND IN SHOWER AND TUB ENCLOSURES TO CEILING.
 2. PAINT - WALL AND CEILING PAINT TO BE TO BE FLAT LATEX. TRIM PAINT TO BE SEMI-GLOSS LATEX ENAMEL.



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TYPICAL TIE MAX TIE DOWN

SCALE : N.T.S.

| HEADER SCHEDULE | | | |
|--|-------------------------|--|-------------------------|
| EXTERIOR WALLS | | INTERIOR WALLS | |
| EXTERIOR WALLS MIN. HEADER SIZE | SPAN (CLEAR OPENING) | LOAD BEARING INTERIOR WALLS MIN. HEADER SIZE | SPAN (CLEAR OPENING) |
| SOLID SAWN LUMBER HEADER SIZES & SPANS SHALL BE IN ACCORDANCE WITH IRC 2015 TABLE R602.1(1) | | SOLID SAWN LUMBER HEADER SIZES & SPANS SHALL BE IN ACCORDANCE WITH IRC 2015 TABLE R602.1(2) | |
| 3 1/2" x 9 1/2" PARALAM | 10'-2" | 3 1/2" x 9 1/2" PARALAM | 12'-1" |
| 3 1/2" x 11 7/8" PARALAM | 11'-4" | 3 1/2" x 11 1/4" PARALAM | 13'-10" |
| 3 1/2" x 14" PARALAM | 12'-6" | 3 1/2" x 14" PARALAM | 14'-4" |
| 3 1/2" x 16" PARALAM | 13'-4" | 3 1/2" x 16" PARALAM | 15'-4" |
| 3 1/2" x 18" PARALAM | 18'-0" | 3 1/2" x 18" PARALAM | 18'-0" |

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| HEADER STUD SCHEDULE | | | | | | | | |
|--|--------------------------------|-------|-------|-------|--------|--------|--------|--------|
| NO. OF STUDS FOR EACH END OF HEADERS | HEADER SPAN (CLEAR OPENING) | | | | | | | |
| | 2'-0" | 4'-0" | 6'-0" | 8'-0" | 10'-0" | 12'-0" | 14'-0" | 16'-0" |
| FULL HEIGHTS STUDS | 1 | 2 | 3 | 3 | 4 | 5 | 6 | 6 |
| EXT. WALL - JACK STUDS Supporting Roof & Ceiling | 1 | 1 | 2 | 2 | 3 | 3 | 4 | 4 |
| EXT. WALL - JACK STUDS Supporting Roof, Ceiling & One Floor | 1 | 2 | 2 | 3 | 4 | 4 | 5 | 5 |
| INTERIOR BEARING WALL FULL HEIGHT STUDS Supporting One Floor | 1 | 1 | 2 | 2 | 2 | 3 | 3 | 3 |
| INTERIOR BEARING WALL JACK STUDS Supporting One Floor | 1 | 1 | 2 | 2 | 3 | 3 | 4 | 4 |

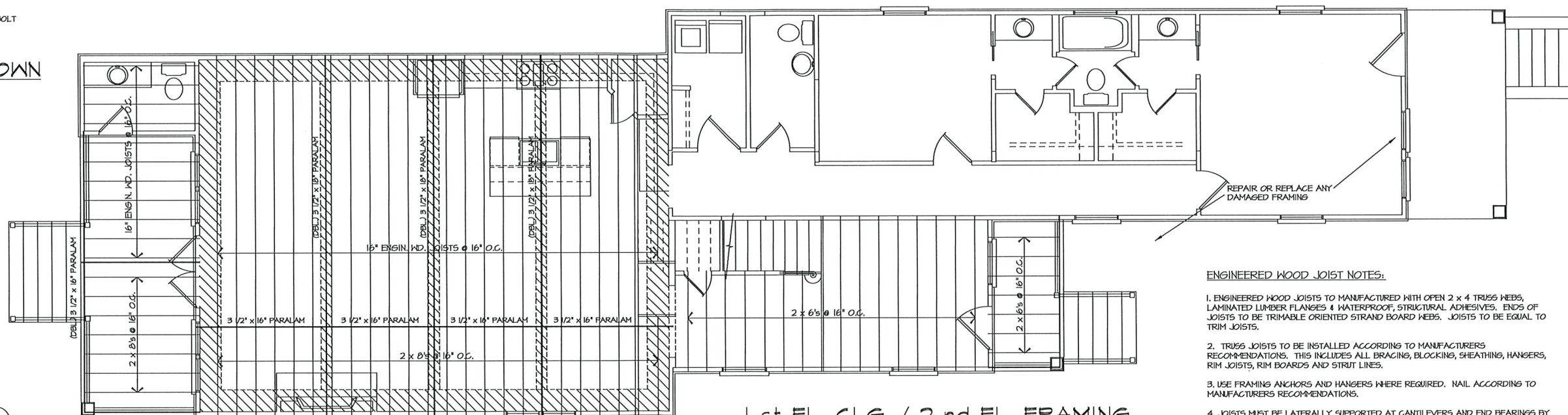
ABOVE SIZES TO BE USED UNLESS OTHERWISE NOTED ON THE FRAMING PLAN.
STUD GRADE OR BETTER KD SOUTHERN PINE - HOOD FRAME CONSTRUCTION MANUAL
© 2018, Old Orleans Designs, Inc.

| HIP & VALLEY BEAMS | |
|-----------------------|-----------------------------|
| BEAM SIZE | MAXIMUM UNSUPPORTED SPAN |
| 1 - 2 x 6 | 8'-6" |
| 2 - 2 x 6 | 11'-4" |
| 2 - 2 x 8 | 14'-2" |
| 2 - 2 x 10 | 17'-0" |
| 3 - 2 x 12 | 19'-10" |
| 4 - 2 x 12 | 22'-8" |

BASED ON #2 KD SOUTHERN PINE
20 PSF LIVE LOAD, 10 PSF DEAD LOAD
HOOD FRAME CONSTRUCTION MANUAL
© 2018, Old Orleans Designs, Inc.

| RAFTER SPANS | | |
|----------------------------|---------------------------------------|-----------------------------------|
| RAFTER SIZE AND SPACING | MAXIMUM UNSUPPORTED SPAN | |
| | CEILING NOT ATTACHED TO RAFTERS | CEILING ATTACHED TO RAFTERS |
| 2 x 6 AT 16" O.C. | 13'-0" | 13'-0" |
| 2 x 8 AT 16" O.C. | 16'-10" | 16'-10" |

BASED ON #2 KD SOUTHERN PINE
20 PSF LIVE LOAD, 10 PSF DEAD LOAD
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1st FL. CLG. / 2nd FL. FRAMING

SCALE : 1/4" = 1'-0"

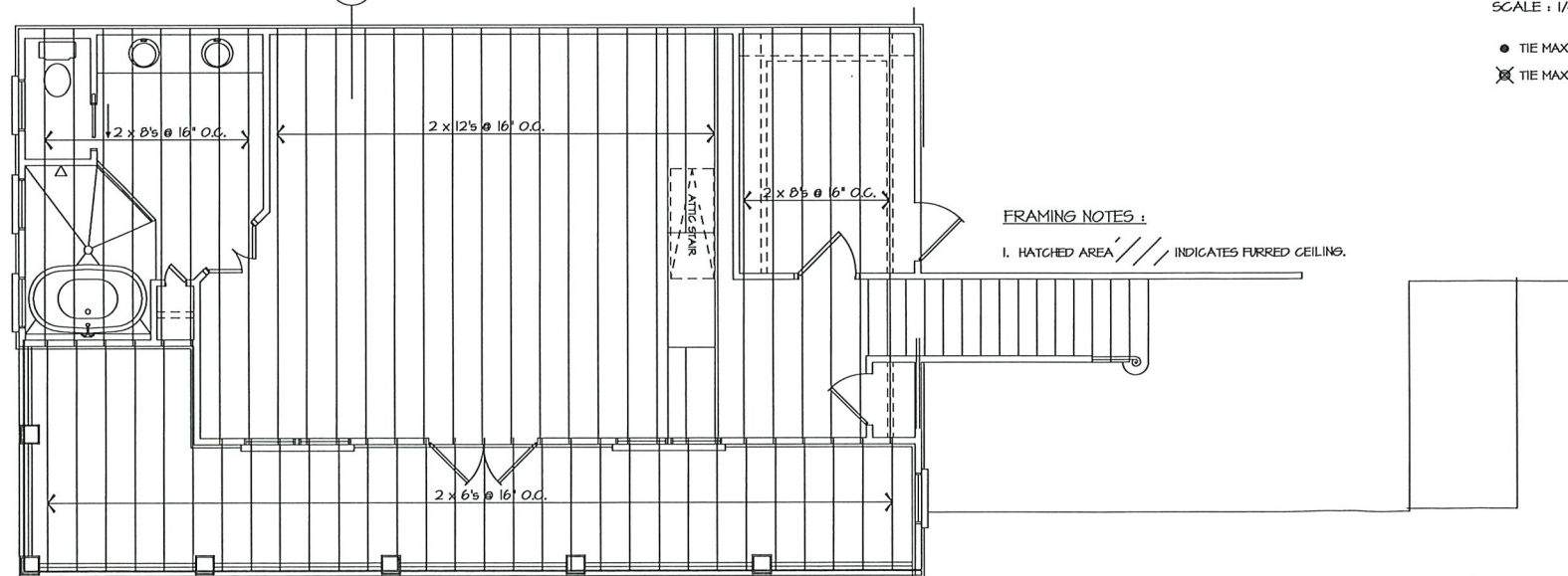
- TIE MAX ANCHOR
- ⊗ TIE MAX CURB ANCHOR

ENGINEERED WOOD JOIST NOTES:

- ENGINEERED WOOD JOISTS TO MANUFACTURED WITH OPEN 2 x 4 TRUSS WEBS, LAMINATED LUMBER FLANGES & WATERPROOF, STRUCTURAL ADHESIVES. ENDS OF JOISTS TO BE TRIMMABLE ORIENTED STRAND BOARD WEBS. JOISTS TO BE EQUAL TO TRIM JOISTS.
- TRUSS JOISTS TO BE INSTALLED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. THIS INCLUDES ALL BRACING, BLOCKING, SHEATHING, HANGERS, RIM JOISTS, RIM BOARDS AND STRUT LINES.
- USE FRAMING ANCHORS AND HANGERS WHERE REQUIRED. NAIL ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- JOISTS MUST BE LATERALLY SUPPORTED AT CANTILEVERS AND END BEARINGS BY BLOCKING PANELS, HANGERS OR DIRECT ATTACHMENT TO A RIM BOARD OR RIM JOIST.
- HOLES IN WEBS ARE ALLOWED ACCORDING TO HOLE SIZE CHARTS AND END DISTANCES ALLOWED BY MANUFACTURER. DO NOT CUT OR NOTCH FLANGES.
- SLOPE CUT JOISTS ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- SUPPLIER TO VERIFY JOIST DEPTH AND ALLOWABLE SPANS WITH MANUFACTURER. LAYOUT DRAWINGS ARE TO BE FURNISHED BY SUPPLIER. JOIST LAYOUT DRAWINGS TO BE STAMPED BY AN ENGINEER REGISTERED IN LOUISIANA.

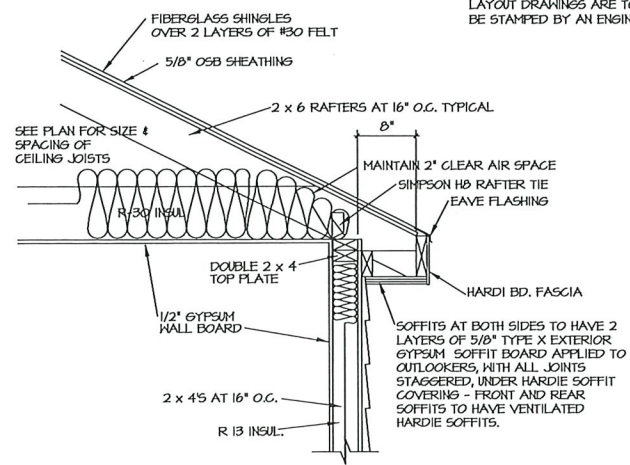
FRAMING NOTES :

- HATCHED AREA /// INDICATES FURRED CEILING.



2nd FLOOR CEILING FRAMING

SCALE : 1/4" = 1'-0"



1 HR. FIRE RATED SOFFIT DETAIL

SCALE : 1" = 1'-0"

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Electrical Legend

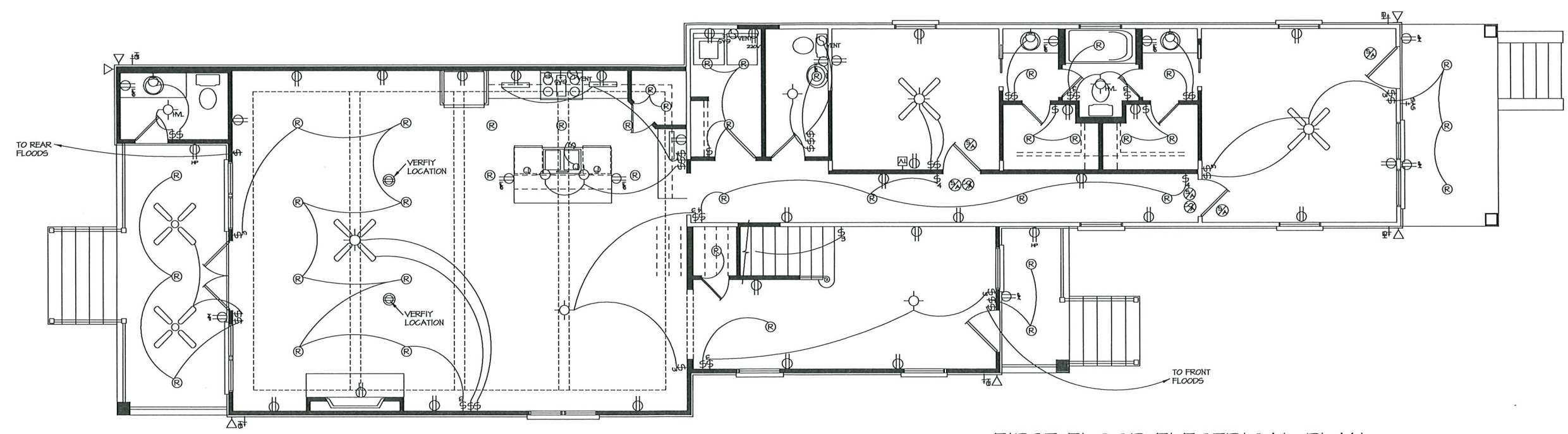
| | | | | | | | |
|--|-------------------------|--|---------------------------------|--|--------------------------|--|----------------------|
| | CEILING MOUNTED FIXTURE | | CEILING FAN | | DUPLEX OUTLET | | DIMMER SWITCH |
| | RECESSED FIXTURE | | CEILING FAN W/ LIGHT | | FLOOR OUTLET | | TIMER |
| | PENDANT FIXTURE | | SURFACE FLUORESCENT OR LED | | QUADRAPLEX OUTLET | | WATERPROOF SWITCH |
| | RECESSED SPOTLIGHT | | RECESSED FLUORESCENT OR LED | | GROUND FAULT INTERRUPTER | | TELEPHONE JACK |
| | WALL MOUNTED FIXTURE | | UNDERCOUNTER FLUORESCENT OR LED | | DUPLEX W/ USB PORT | | FLOOR TELEPHONE JACK |
| | FLOOD LIGHT | | FLUORESCENT OR LED STRIP LIGHT | | WATERPROOF OUTLET | | TELEVISION CABLE |
| | PAIR - FLOOD LIGHTS | | SMOKE ALARM | | 220 VOLT OUTLET | | CAT 5 COMPUTER CABLE |
| | TRACK LIGHT | | CARBON MONOXIDE ALARM | | SWITCHED OUTLET | | THERMOSTAT |
| | ROPE LIGHTS | | VENT/LIGHT | | SWITCH | | JUNCTION BOX |
| | ELECTRICAL PANEL | | HEAT/VENT/LIGHT | | THREE WAY SWITCH | | DOOR BELL |
| | GAS CONNECTION | | HOSE BIB | | FOUR WAY SWITCH | | |

NOTES :

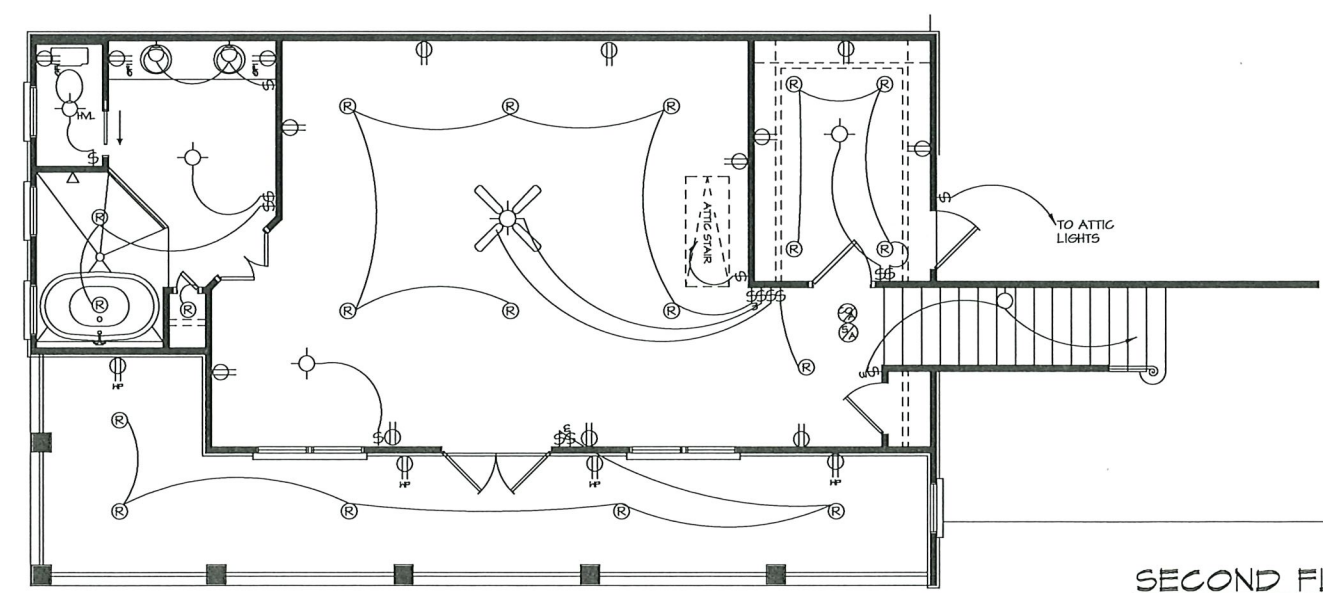
1. ALL ELECTRIC WORK TO BE DONE UNDER NEC 2020.
2. PROVIDE ELECTRICAL AND/OR GAS, AS REQUIRED, FOR HOT WATER HEATERS, POWER VENTS & HVAC IN ATTIC.
3. PROVIDE ELECTRICAL FOR HVAC CONDENSERS, VERIFY LOCATION.
4. ALL SLEEPING AREAS SHALL BE PROVIDED WITH AN APPROVED SMOKE ALARMS WIRED INTO THE BUILDING ELECTRICAL POWER SOURCE AND PROVIDED WITH A BATTERY BACKUP. IRC SECTION R314.
5. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
6. RECESSED FIXTURES - USE IC HOUSINGS IN INSULATED CEILINGS OR KEEP INSULATION A MINIMUM OF 3" FROM THE RECESSED HOUSING.
7. ALL BRANCH CIRCUITS SUPPLYING 125V, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS BE PROTECTED BY AN AFCI-FAULT CIRCUIT INTERRUPTER.
8. ALL EXTERIOR RECEPTACLES, RECEPTACLES OVER COUNTERTOPS, IN BATHROOMS & IN GARAGES TO BE GFI PROTECTED.
9. ALL OUTLETS TO BE TAMPERPROOF.
10. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE REQUIRED FLOOD ELEVATION, IRC R322.
11. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, SYSTEMS ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOD ELEVATION PROVIDED THEY CONFORM TO THE PROVISIONS OF THE ELECTRICAL CODE FOR WET LOCATIONS AND THE PROVISIONS OF IRC R322.1.6.

MECHANICAL NOTES :

1. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL DUCT AND DEFUSER LOCATIONS, DRAINS, ETC. WITH ALL OTHER TRADES BEFORE FRAMING IS STARTED.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE MECHANICAL SYSTEM FOR PLACEMENT OF UNITS AND DUCT RUNS, BEFORE INSTALLATION, AND SHALL PROVIDE REQUIRED FURR DOWNS AND CHASES AS PART OF THE CONTRACT.
3. ARTIFICIAL LIGHT AND AN APPROVED MECHANICAL VENTILATION SYSTEM SHALL BE INSTALLED IN BATHROOMS, TOILET COMPARTMENTS AND SIMILAR ROOMS NOT PROVIDED WITH OPERABLE GLAZED AREAS. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THESE SPACES SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
4. NON-HABITABLE ROOMS, SUCH AS WALK-IN CLOSETS AND PANTRY, SHALL RECEIVE VENTILATION FROM THE AIR HANDLING SYSTEM TO MEET THE REQUIREMENTS OF HABITABLE ROOMS.
5. SUPPLY AND RETURN DUCTS OR PORTIONS THEREOF LOCATED OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM OF R-6.



FIRST FLOOR ELECTRICAL PLAN
SCALE : 1/4" = 1'-0"

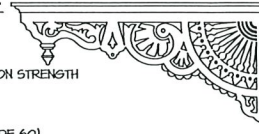


SECOND FLOOR ELECTRICAL PLAN
SCALE : 1/4" = 1'-0"



1-17-2024

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| HEADER SCHEDULE | | | |
|--|---------------------------|--|---------------------------|
| EXTERIOR WALLS | | INTERIOR WALLS | |
| EXTERIOR WALLS MIN. HEADER SIZE | SPAN (CLEAR OPENING) | LOAD BEARING INTERIOR WALLS MIN. HEADER SIZE | SPAN (CLEAR OPENING) |
| SOLID SAWN LUMBER HEADER SIZES & SPANS SHALL BE IN ACCORDANCE WITH IRC 2021 TABLE R602.1(1) | | SOLID SAWN LUMBER HEADER SIZES & SPANS SHALL BE IN ACCORDANCE WITH IRC 2021 TABLE R602.1(2) | |
| 3 1/2" x 9 1/2" PARALAM | 10'-2" | 3 1/2" x 9 1/2" PARALAM | 12'-4" |
| 3 1/2" x 11 7/8" PARALAM | 11'-4" | 3 1/2" x 11 7/8" PARALAM | 13'-10" |
| 3 1/2" x 14" PARALAM | 12'-6" | 3 1/2" x 14" PARALAM | 14'-4" |
| 3 1/2" x 16" PARALAM | 13'-4" | 3 1/2" x 16" PARALAM | 15'-4" |
| 3 1/2" x 18" PARALAM | 18'-0" | 3 1/2" x 18" PARALAM | 18'-0" |

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| HEADER STUD SCHEDULE | | | | | | | | | | |
|--|----------------------------------|-------|-------|-------|--------|--------|--------|--------|--------|--------|
| NO. OF STUDS FOR EACH END OF HEADERS | HEADER SPAN (CLEAR OPENING) | | | | | | | | | |
| | 2'-0" | 4'-0" | 6'-0" | 8'-0" | 10'-0" | 12'-0" | 14'-0" | 16'-0" | 18'-0" | 20'-0" |
| FULL HEIGHT STUDS | 1 | 2 | 3 | 3 | 4 | 5 | 6 | 6 | 7 | 8 |
| EXT. WALL - JACK STUDS Supporting Roof & Ceiling | 1 | 1 | 2 | 2 | 3 | 3 | 4 | 4 | 5 | 5 |
| EXT. WALL - JACK STUDS Supporting Roof, Ceiling & One Floor | 1 | 2 | 2 | 3 | 4 | 4 | 5 | 5 | 6 | 6 |
| INTERIOR BEARING WALL FULL HEIGHT STUDS Supporting One Floor | 1 | 1 | 2 | 2 | 2 | 3 | 3 | 3 | 3 | 3 |
| INTERIOR BEARING WALL JACK STUDS Supporting One Floor | 1 | 1 | 2 | 2 | 3 | 3 | 4 | 4 | 4 | 4 |

ABOVE SIZES TO BE USED UNLESS OTHERWISE NOTED ON THE FRAMING PLAN.
STUD GRADE OR BETTER KD SOUTHERN PINE - HOOD FRAME CONSTRUCTION MANUAL
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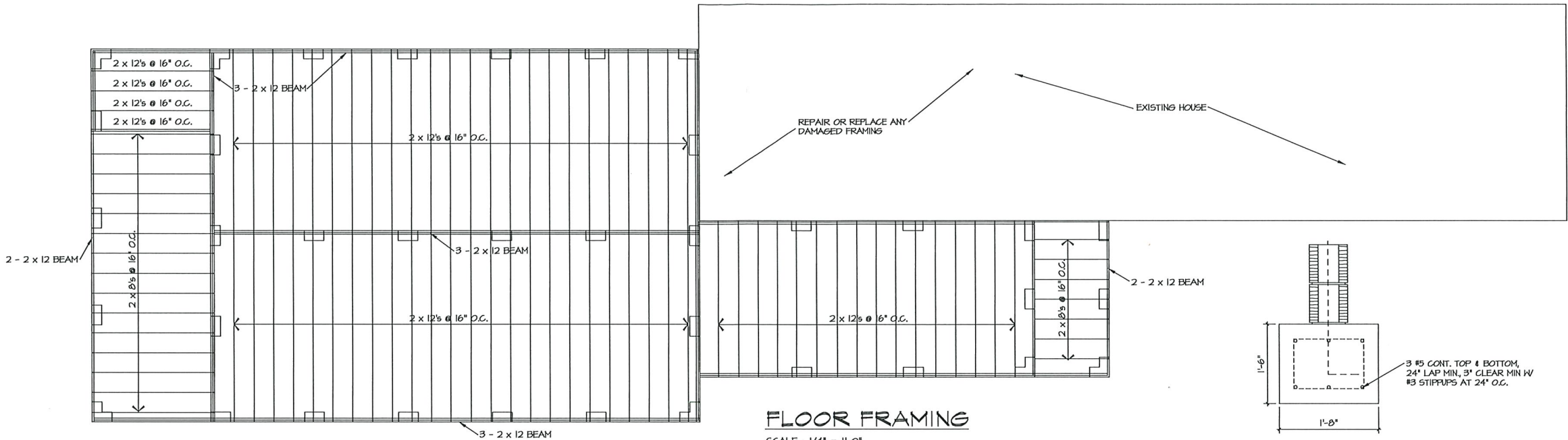
| HIP & VALLEY BEAMS | |
|-----------------------|-----------------------------|
| BEAM SIZE | MAXIMUM UNSUPPORTED SPAN |
| 1 - 2 x 6 | 8'-6" |
| 2 - 2 x 6 | 11'-4" |
| 2 - 2 x 8 | 14'-2" |
| 2 - 2 x 10 | 17'-0" |
| 3 - 2 x 12 | 19'-10" |
| 4 - 2 x 12 | 22'-8" |

BASED ON #2 KD SOUTHERN PINE
20 PSF LIVE LOAD, 10 PSF DEAD LOAD
HOOD FRAME CONSTRUCTION MANUAL
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| RAFTER SPANS | | |
|----------------------------|---------------------------------------|-----------------------------------|
| RAFTER SIZE AND SPACING | MAXIMUM UNSUPPORTED SPAN | |
| | CEILING NOT ATTACHED TO RAFTERS | CEILING ATTACHED TO RAFTERS |
| 2 x 6 AT 16" O.C. | 13'-0" | 13'-0" |
| 2 x 8 AT 16" O.C. | 16'-10" | 16'-10" |

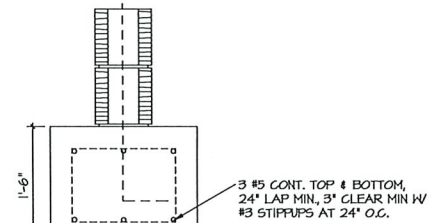
BASED ON #2 KD SOUTHERN PINE
20 PSF LIVE LOAD, 10 PSF DEAD LOAD
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- CONCRETE NOTES :
1. CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
 2. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS.
 3. ALL CONVENTIONAL REINFORCING STEEL SHALL BE ASTM DESIGNATION A-615 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
 4. REINFORCING SHALL HAVE 3" COVER IN GRADE BEAM BOTTOMS, 3" COVER IN BEAM SIDES AND TOPS, 1-1/2" COVER IN SLAB TOPS AND BOTTOMS, UNLESS OTHERWISE SHOWN. RE-BARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE. PROVIDE ADEQUATE SUPPORT FOR ALL MESH AND REBAR TO MAINTAIN PROPER POSITION.
 5. THE CONTRACTOR SHALL VERIFY ALL DROPS, OFF-SETS, BRICK LEDGES AND BLOCK-CUTS ON ARCHITECTURAL PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
 6. COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ALL OPENINGS, INSERTS, AND ANY OTHER RELATED ITEMS. PLANS FOR PIPES, CONDUITS, THIMBLES, ETC. THAT PASS THROUGH CONCRETE SLAB OR BEAM, MUST NOT CONFLICT WITH REINFORCING.
 7. PROVIDE .006 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS AND GRADE BEAMS. ALL SECTIONS SHOWN ARE THE SECTIONS AT MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.



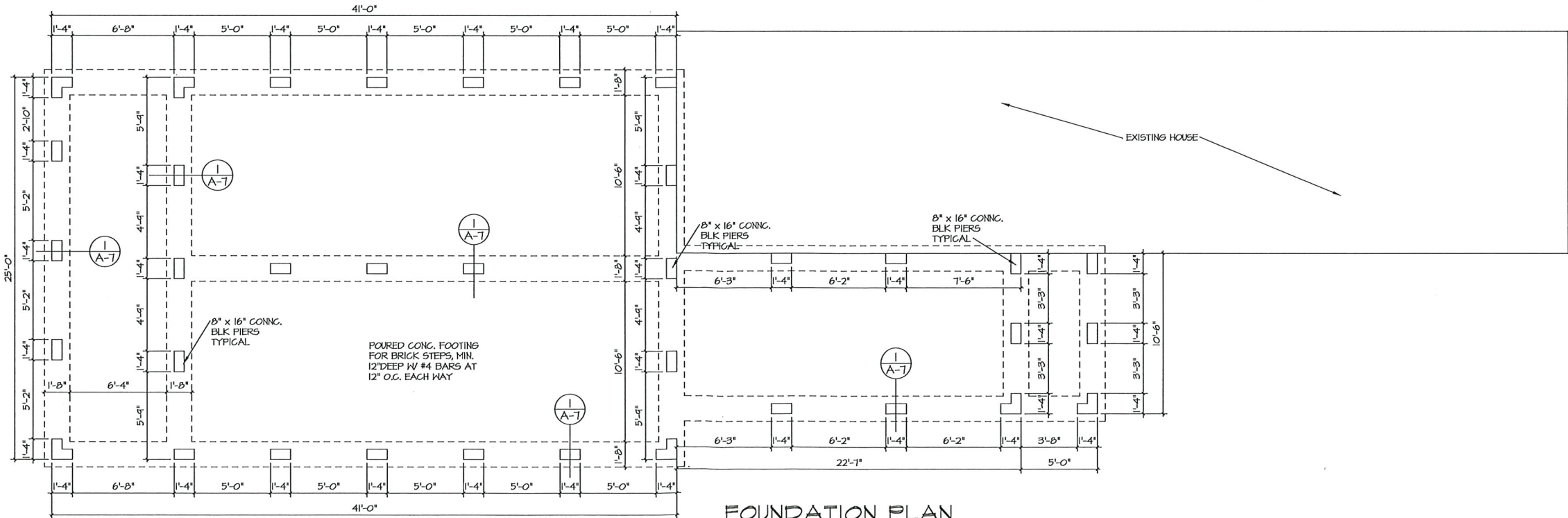
FLOOR FRAMING

SCALE : 1/4" = 1'-0"



SECTION
A-7

SCALE : 1" = 1'-0"



FOUNDATION PLAN

SCALE : 1/4" = 1'-0"



1-11-2024

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Historic District Commission

Meeting: March 29, 2024

152 Huey P Long Avenue
(District 2)

For: Revisions
From COA-23-047

Applicant:
Paula Peer



Historic District Commission **Application for Certificate of Appropriateness** Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: PM Peer Date: April 22, 2024

Applicant's Name: Paula Peer

Applicant's Address: 850 Tchoupitoulas Street, New Orleans LA 70130

Phone No: (504) 523-2772 Cell No: (504) 715-2709

For Office Use Only:

Application date: 4-22-24

Substantive Change: Yes ☐ No ☒ Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: April 24, 2024

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829

P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorronzona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Paula Peer the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Paula Peer

NAME OF APPLICANT (PLEASE PRINT)

850 Tchoupitoulas Street, New Orleans LA 70130

Applicant's address

152 Huey P Long Ave., Lot 1C

Gretna, LA 70053

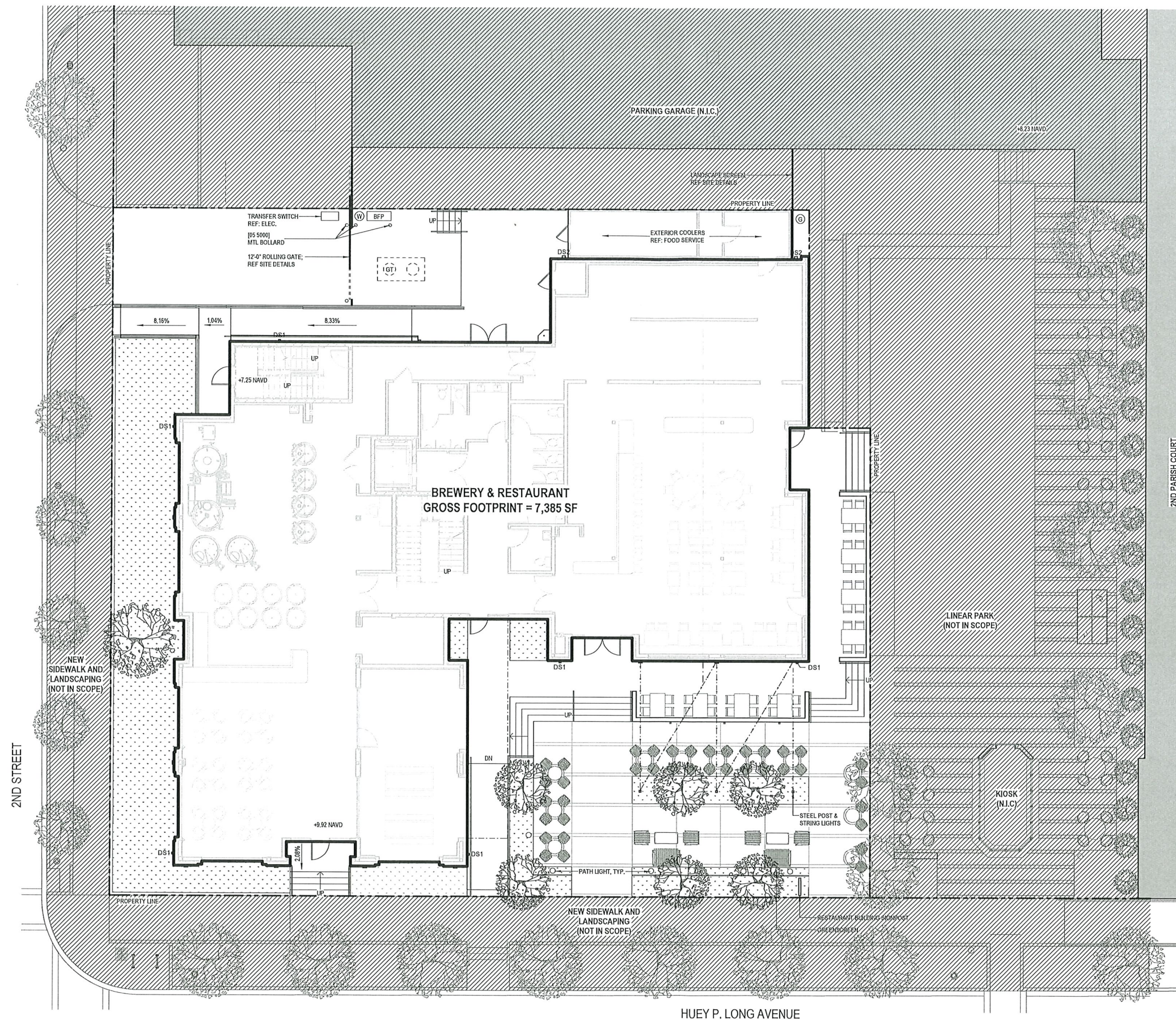
Actual address of the property for review

Date: May 30, 2023



GRETNA HDC REVIEW PACKAGE

JP GRETNA RETAIL
152 HUEY P. LONG AVE



SITE PLAN GENERAL NOTES

1. ALL DOWNSPOUTS ARE TO TIE-IN TO SUBSURFACE DRAINAGE. PROVIDE CAST-IRON DOWNSPOUT BOOTS AT ALL INSTANCES. REFERENCE ROOF PLAN FOR DOWNSPOUT SIZING.

DOWNSPOUTS

DS1 4" x 4" DOWNSPOUT & LEADERHEAD W/ CAST IRON DOWNSPOUT BOOT
DS2 6"x6" DOWNSPOUT & LEADERHEAD W/ CAST IRON DOWNSPOUT BOOT
DS3 6"x6" DOWNSPOUT & LEADERHEAD W/ SPLASHELOCK

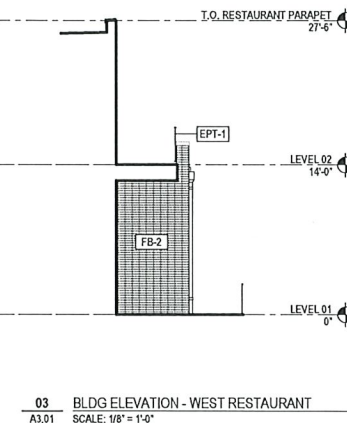
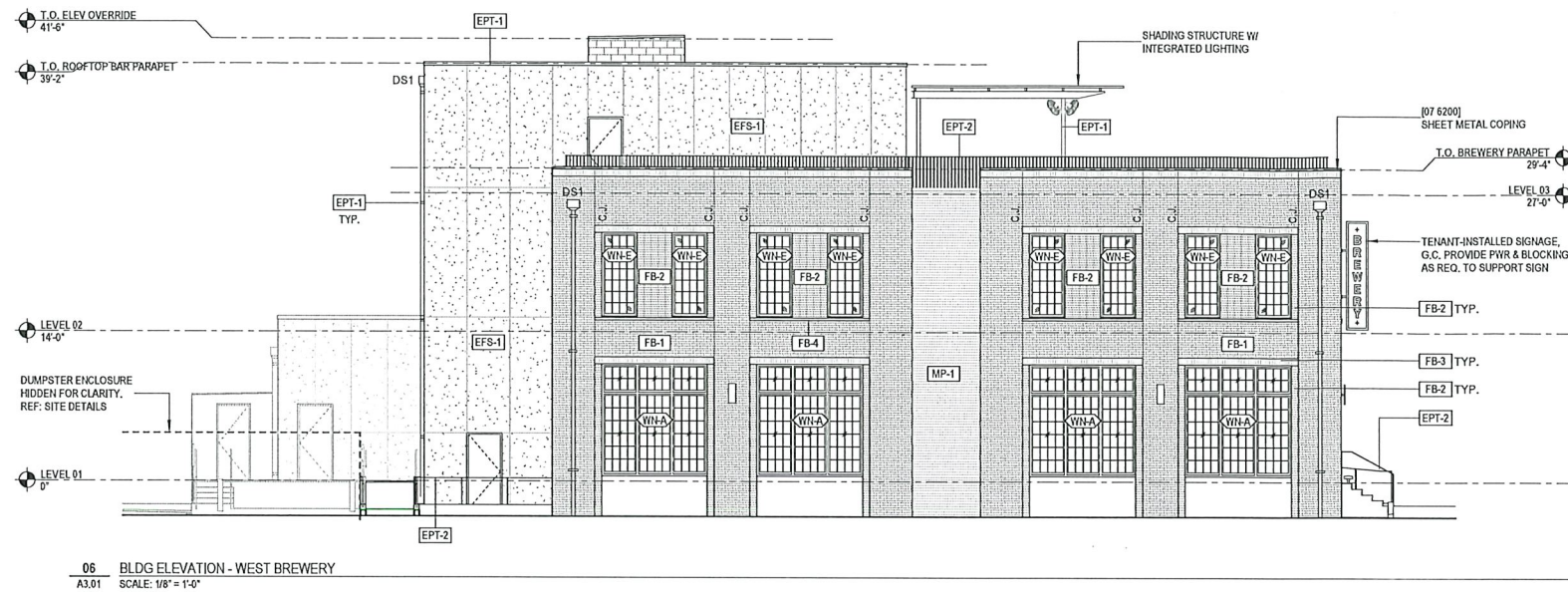
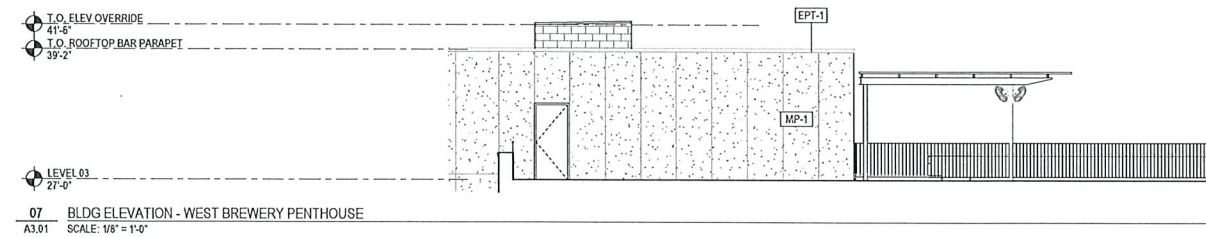
DOWNSPOUTS

HB-1 HOSE BIB
HB-2 HOSE BIB W/ HOT & COLD WATER

SITE PLAN LEGEND

| | | | |
|--|---------------------------------|--|------------------------------------|
| | SITE PAVING REF: CIVIL | | PRECAST CONCRETE REF: LANDSCAPE |
| | SCORED PAVING REF: LANDSCAPE | | BRICK PAVERS REF: LANDSCAPE |
| | PLANTING REF: LANDSCAPE | | NOT IN SCOPE |
| | GREASE TRAP REF: MECH | | WATER METER REF: MECH |
| | BACKFLOW PREVENTER REF: MECH | | GAS METER REF: MECH |

1 SITE PLAN
G0.03 SCALE: 1/8" = 1'-0"



BUILDING SECTION & ELEVATION GENERAL NOTES

1. INTERIOR VIEWS IN BUILDING SECTIONS ARE SIMPLIFIED FOR CLARITY. REFER TO LARGER SCALED INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
2. REFERENCE EXTERIOR STOREFRONT & CURTAINWALL TYPE SHEET FOR ALL GLAZING DIMENSIONS.
3. SOME STRUCTURAL AND MEP COMPONENTS / DEVICES ARE NOT SHOWN WHERE THESE COMPONENTS ARE SHOWN THEY ARE EITHER FOR GRAPHIC REFERENCE OR TO DIMENSION TO ADJACENT ARCHITECTURAL ELEMENTS. REFERENCE STRUCTURAL & MEP FOR FULL SCOPE OF WORK.
4. ALL EXTERIOR WALL MOUNTED EQUIPMENT DIMENSIONS ARE TO CENTERLINE OF FIXTURE.
5. SHEET METAL USED AT METAL PANELS TO MATCH ADJACENT PANEL.

EXTERIOR MATERIAL LEGEND

UNIT MASONRY

- FB-1 STANDARD MODULAR - 50% RUNNING BOND
- FB-2 STANDARD MODULAR - STACK BOND
- FB-3 STANDARD MODULAR - SOLDIER COURSE
- FB-4 KING - ROWLOCK

ARCHITECTURAL CONCRETE (03 3000) & (03 3300)

- AC-1 ARCHITECTURAL CONCRETE - SMOOTH FINISH
- PC-1 PRECAST CONCRETE COPING
- PC-2 PRECAST CONCRETE STEPS

METAL WALL PANELS

- MP-1 FORMED METAL WALL PANELS - RIBBED PROFILE
BOD: PAC CLAD HWP

CEMENT BOARD PANELS

- EFS-1 CEMENT BOARD
BOD: AMERICAN FIBER CEMENT

MISC. PREFINISHED & PAINTED METALS

- EPT-1 EXTERIOR PREFINISHED METAL - CHARCOAL
- EPT-2 EXTERIOR PVDF FINISH - CHARCOAL

EXTERIOR SYMBOL LEGEND

- DS DOWNSPOUT
- C.J. CONTROL JOINT
- BRK S.A. BRICK SHELF ANGLE; REF STRUCTURAL FOR ANGLE SIZE & ARCHITECTURAL FOR ELEVATION; VISIBLE STEEL TO BE PAINTED





BUILDING SECTION & ELEVATION GENERAL NOTES

1. INTERIOR VIEWS IN BUILDING SECTIONS ARE SIMPLIFIED FOR CLARITY. REFER TO LARGER SCALED INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
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4. ALL EXTERIOR WALL MOUNTED EQUIPMENT DIMENSIONS ARE TO CENTERLINE OF FIXTURE.
5. SHEET METAL USED AT METAL PANELS TO MATCH ADJACENT PANEL.

EXTERIOR MATERIAL LEGEND

UNIT MASONRY

- [FB-1] STANDARD MODULAR - 50% RUNNING BOND
- [FB-2] STANDARD MODULAR - STACK BOND
- [FB-3] STANDARD MODULAR - SOLDIER COURSE
- [FB-4] KING - ROWLOCK

ARCHITECTURAL CONCRETE [03 3000] & [03 3300]

- [AC-1] ARCHITECTURAL CONCRETE - SMOOTH FINISH
- [PC-1] PRECAST CONCRETE COPING
- [PC-2] PRECAST CONCRETE STEPS

METAL WALL PANELS

- [MP-1] FORMED METAL WALL PANELS - RIBBED PROFILE
BOD: PAC CLAD HWP

CEMENT BOARD PANELS

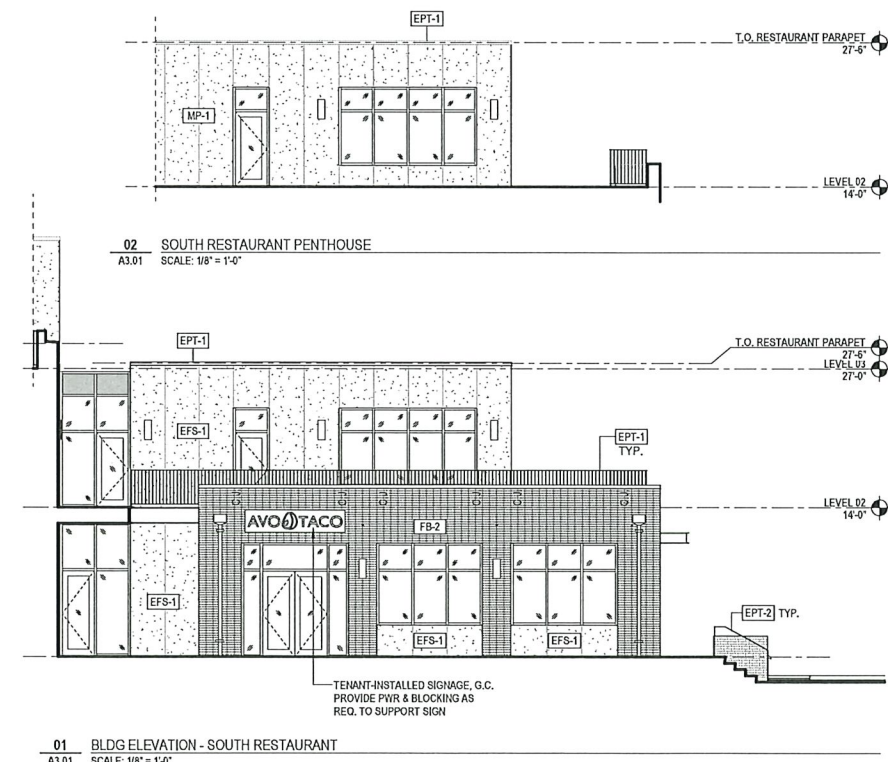
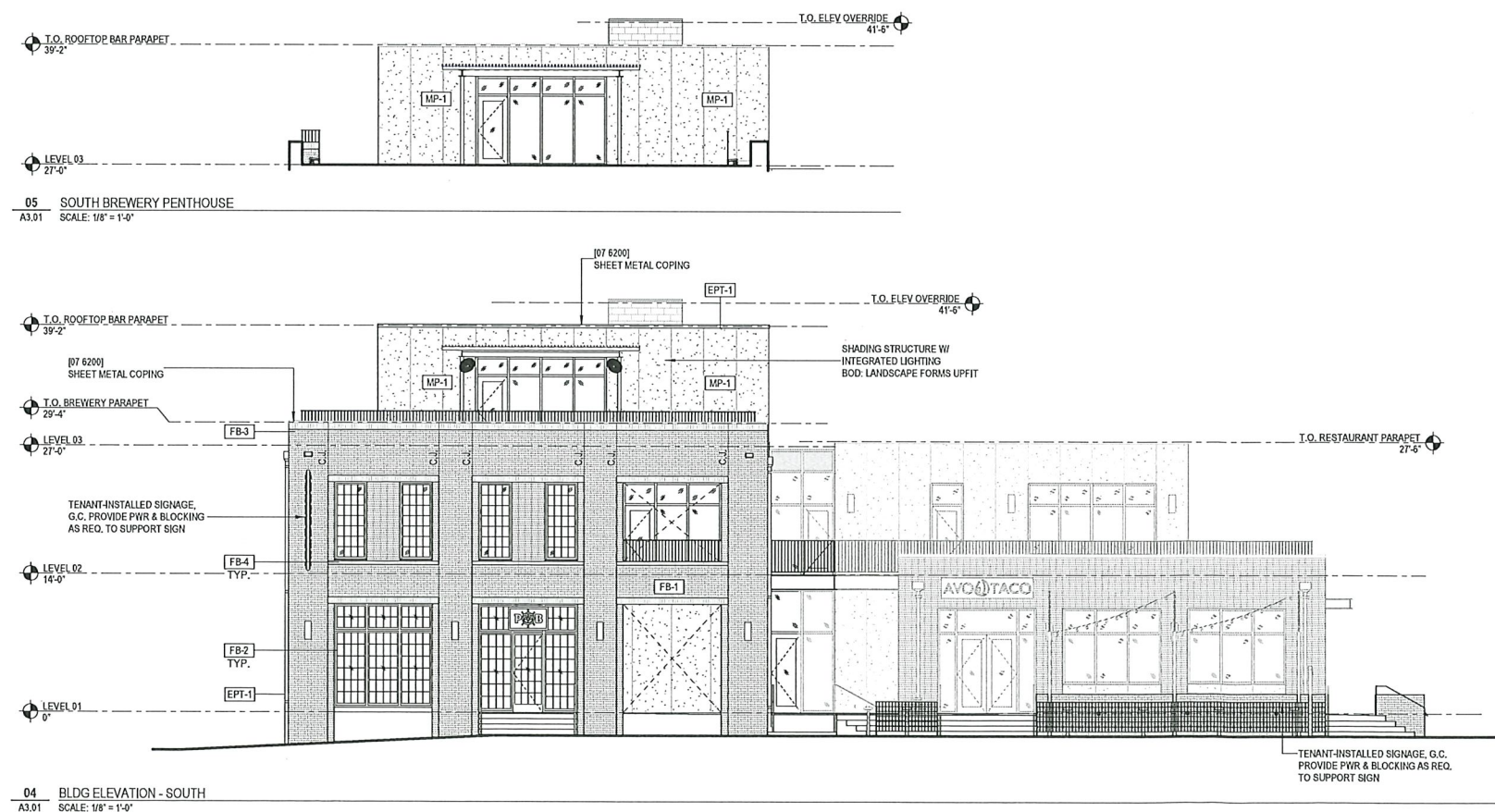
- [EFS-1] CEMENT BOARD
BOD: AMERICAN FIBER CEMENT

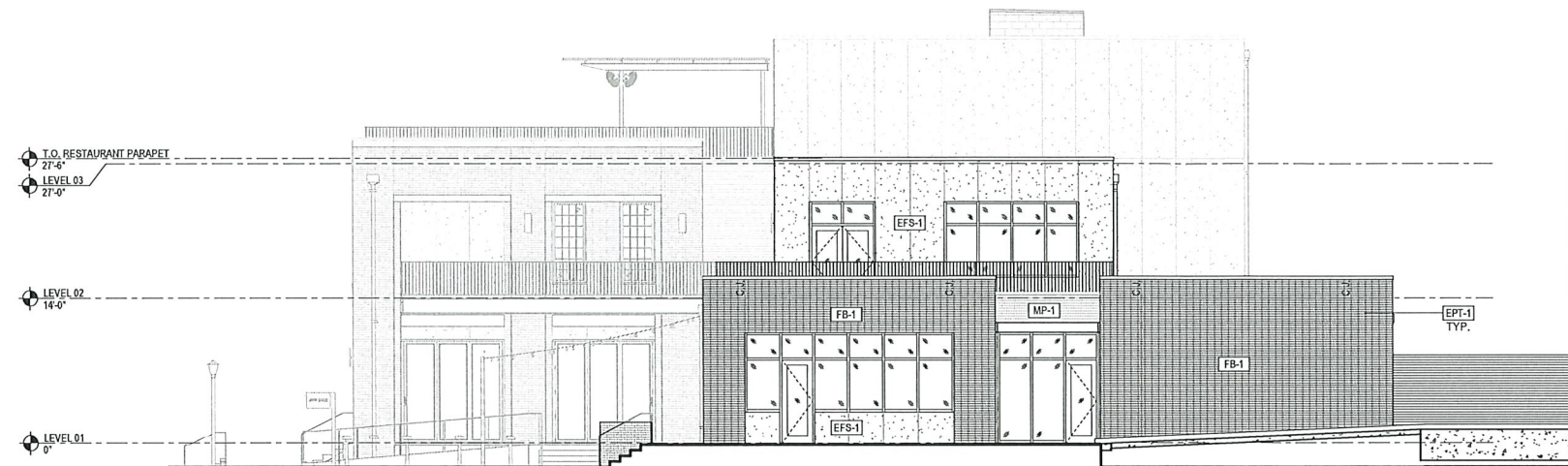
MISC. PREFINISHED & PAINTED METALS

- [EPT-1] EXTERIOR PREFINISHED METAL - CHARCOAL
- [EPT-2] EXTERIOR PVDF FINISH - CHARCOAL

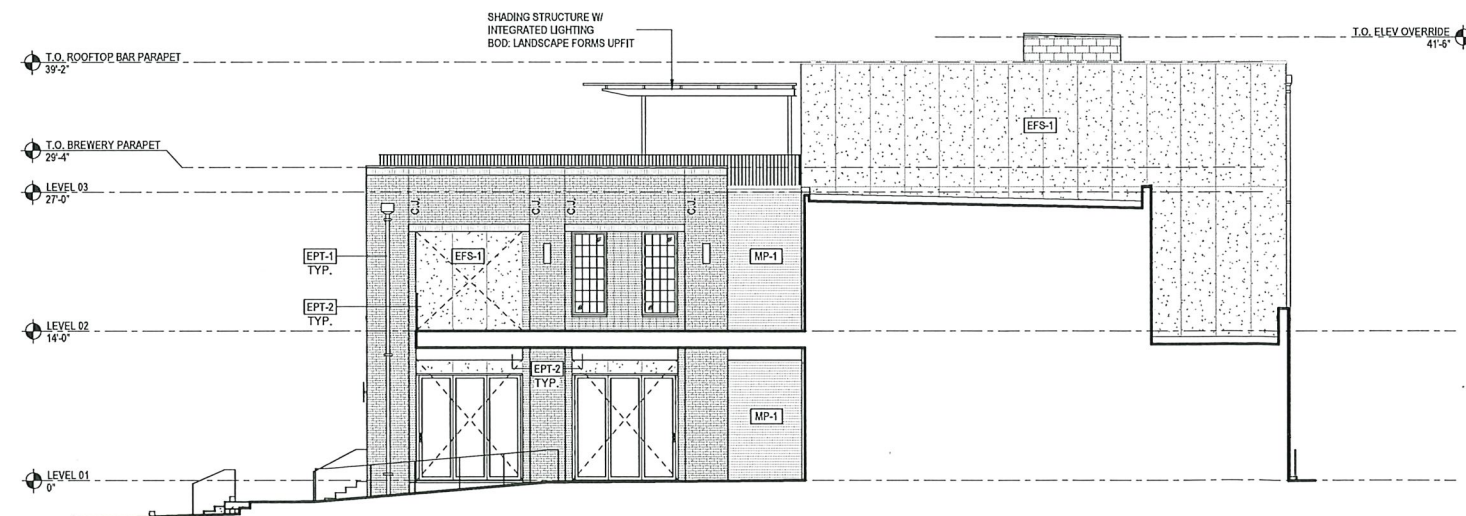
EXTERIOR SYMBOL LEGEND

- DS DOWNSPOUT
- C.J. CONTROL JOINT
- BRK S.A. BRICK SHELF ANGLE; REF STRUCTURAL FOR ANGLE
SIZE & ARCHITECTURAL FOR ELEVATION; VISIBLE
STEEL TO BE PAINTED

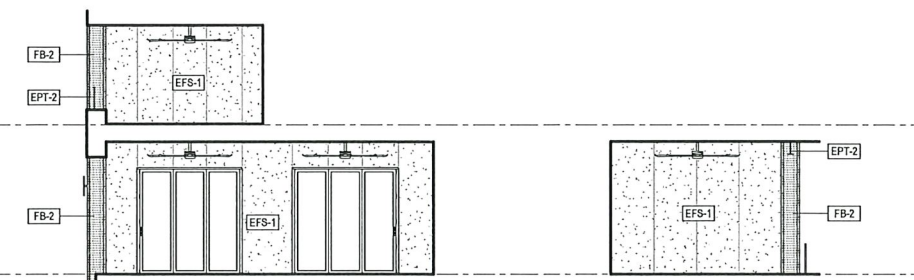




1 BLDG ELEVATION - EAST RESTAURANT
A3.02 SCALE: 1/8" = 1'-0"



3 BLDG ELEVATION - EAST BREWERY
A3.02 SCALE: 1/8" = 1'-0"



6 BLDG ELEVATION - EAST BREWERY PORCH
A3.02 SCALE: 1/8" = 1'-0"

5 BLDG ELEVATION - SOUTH BREWERY PORCH
A3.02 SCALE: 1/8" = 1'-0"

BUILDING SECTION & ELEVATION GENERAL NOTES

1. INTERIOR VIEWS IN BUILDING SECTIONS ARE SIMPLIFIED FOR CLARITY. REFER TO LARGER SCALED INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
2. REFERENCE EXTERIOR STOREFRONT & CURTAINWALL TYPE SHEET FOR ALL GLAZING DIMENSIONS.
3. SOME STRUCTURAL AND MEP COMPONENTS / DEVICES ARE NOT SHOWN WHERE THESE COMPONENTS / DEVICES ARE EITHER FOR GRAPHIC REFERENCE OR TO DIMENSION TO ADJACENT ARCHITECTURAL ELEMENTS. REFERENCE STRUCTURAL & MEP FOR FULL SCOPE OF WORK.
4. ALL EXTERIOR WALL MOUNTED EQUIPMENT DIMENSIONS ARE TO CENTERLINE OF FIXTURE.
5. SHEET METAL USED AT METAL PANELS TO MATCH ADJACENT PANEL.

EXTERIOR MATERIAL LEGEND

UNIT MASONRY

- FB-1 STANDARD MODULAR - 50% RUNNING BOND
- FB-2 STANDARD MODULAR - STACK BOND
- FB-3 STANDARD MODULAR - SOLDIER COURSE
- FB-4 KING - ROWLOCK

ARCHITECTURAL CONCRETE (B3 3000I & B3 3300I)

- AC-1 ARCHITECTURAL CONCRETE - SMOOTH FINISH
- PC-1 PRECAST CONCRETE COPING
- PC-2 PRECAST CONCRETE STEPS

METAL WALL PANELS

- MP-1 FORMED METAL WALL PANELS - RIBBED PROFILE
BOD: PAC CLAD HWP

CEMENT BOARD PANELS

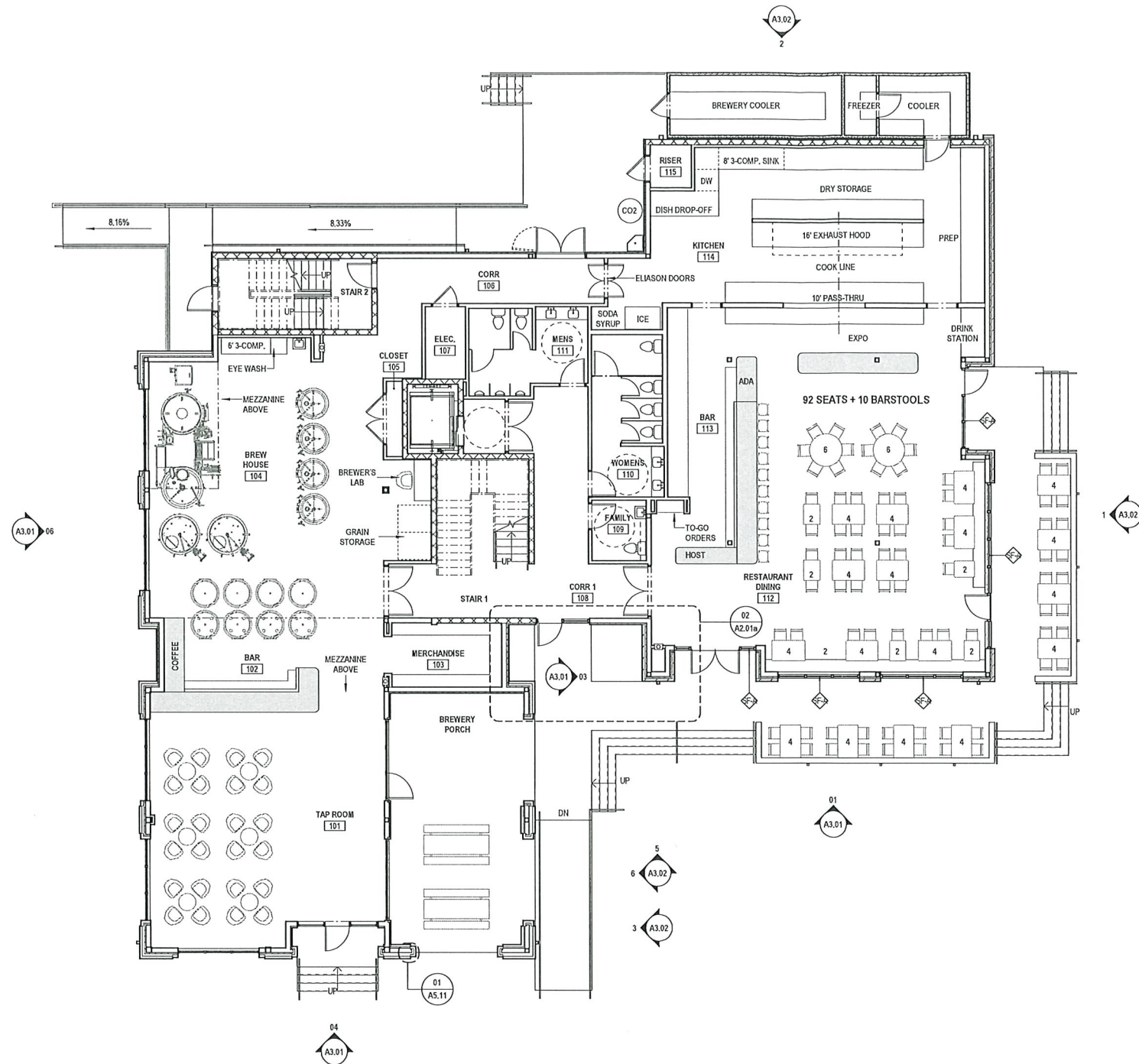
- EFS-1 CEMENT BOARD
BOD: AMERICAN FIBER CEMENT

MISC. PREFINISHED & PAINTED METALS

- EPT-1 EXTERIOR PREFINISHED METAL - CHARCOAL
- EPT-2 EXTERIOR PVDF FINISH - CHARCOAL

EXTERIOR SYMBOL LEGEND

- DS DOWNSPOUT
- C.J. CONTROL JOINT
- BRK S.A. BRICK SHELF ANGLE; REF STRUCTURAL FOR ANGLE SIZE & ARCHITECTURAL FOR ELEVATION, VISIBLE STEEL TO BE PAINTED



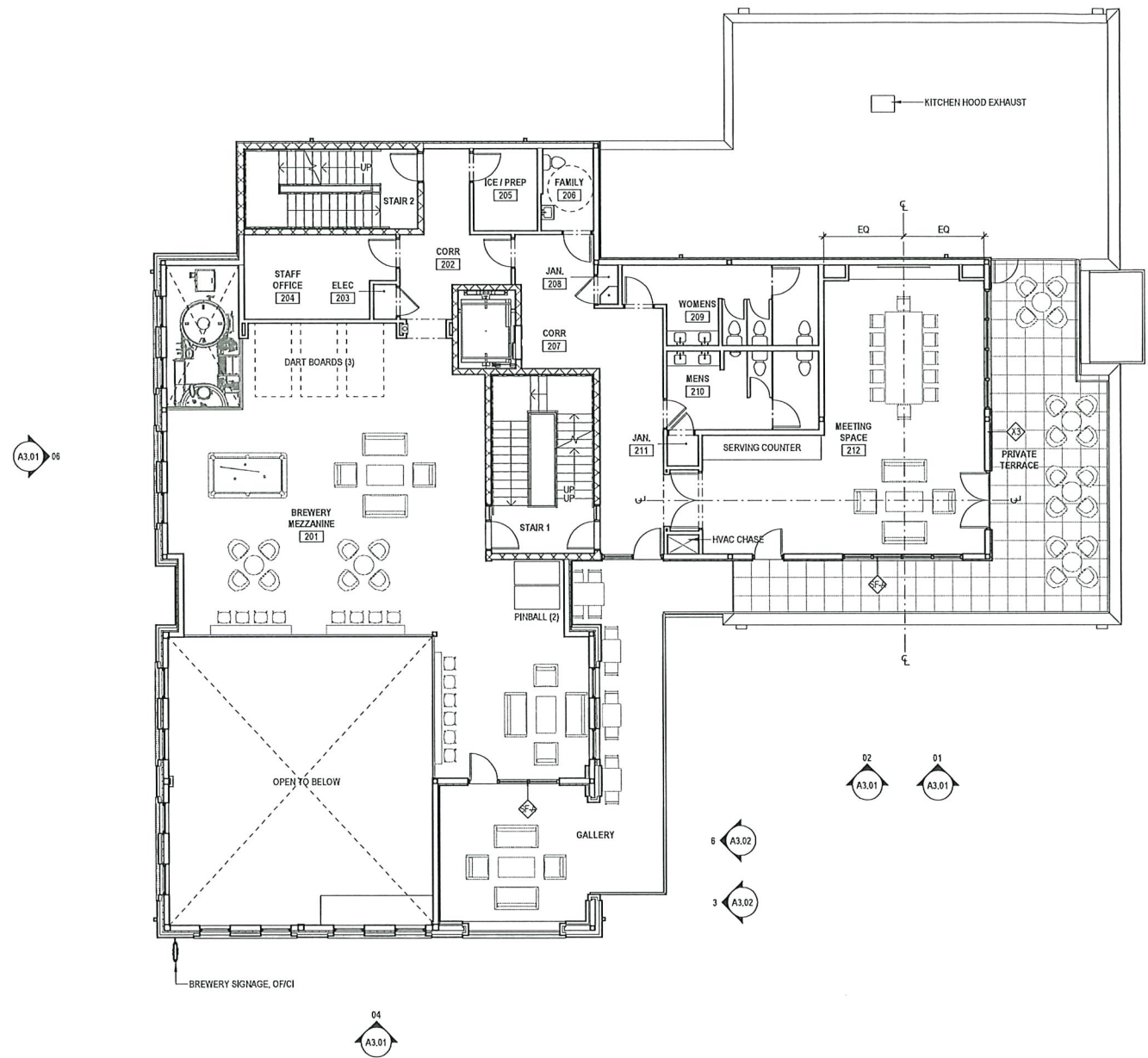
01 LEVEL 01 - DESCRIPTIVE PLAN
A2.01 SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

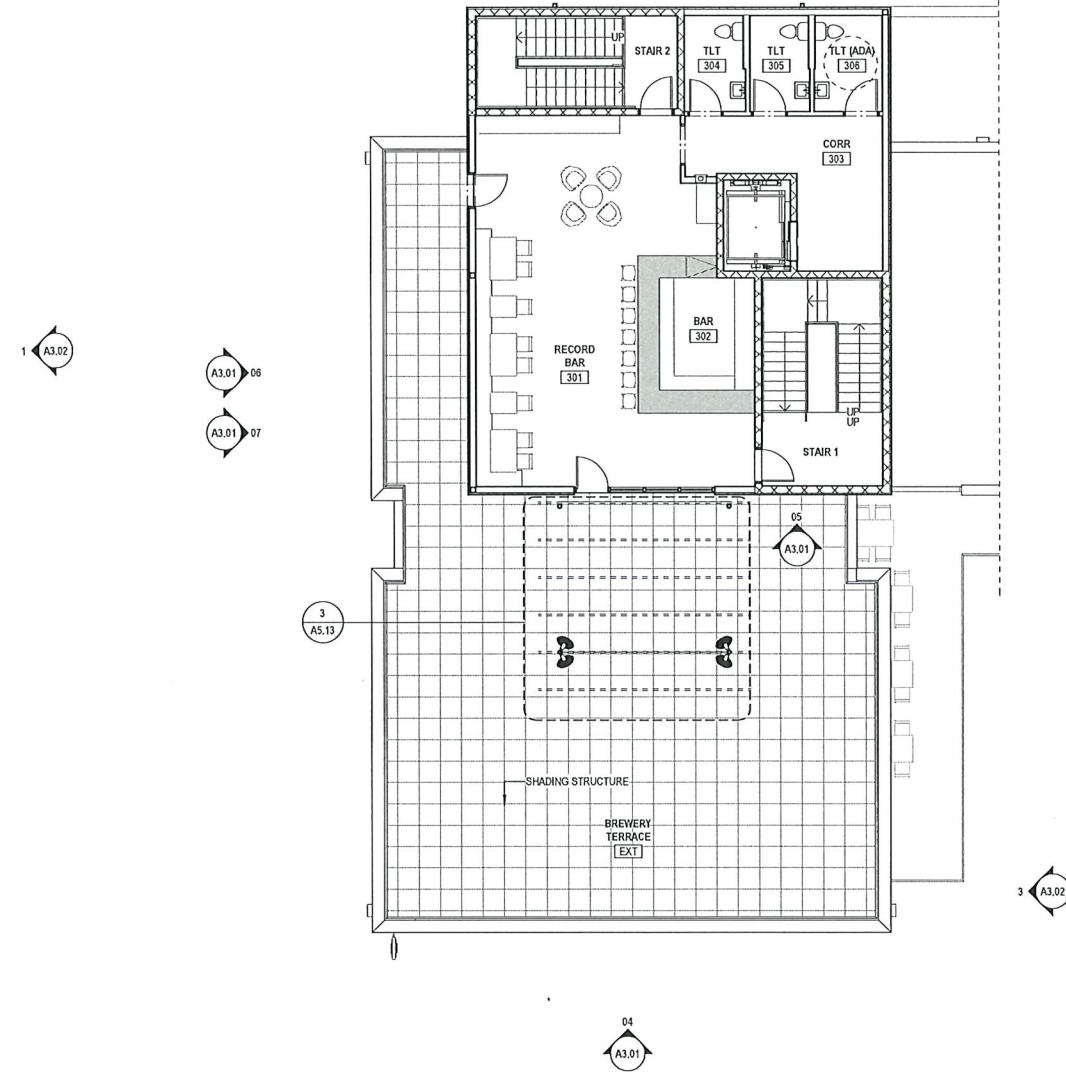
1. REFERENCE ARCHITECTURAL SITE PLAN AND CIVIL FOR ALL INFORMATION RELATED TO SITE PAVING ADJACENT TO THE BUILDING.
2. REFER TO LIFE SAFETY PLANS FOR RATED CONSTRUCTION INFORMATION.
3. ALL VISIBLE STRUCTURE AND INFRASTRUCTURE COMPONENTS ARE TO BE PAINTED INCLUDING EXPOSED DUCTS AND MISC. PIPING.
4. SOME STRUCTURAL AND MEP COMPONENTS / DEVICES ARE NOT SHOWN, REFERENCE STRUCTURAL & MEP FOR ADDITIONAL INFORMATION.
5. WHERE STRUCTURAL AND MEP COMPONENTS ARE SHOWN THEY ARE EITHER FOR GRAPHIC REFERENCE OR TO DIMENSION TO ADJACENT ARCHITECTURAL ELEMENTS, REFERENCE STRUCTURAL & MEP FOR FULL SCOPE OF WORK.
6. PROVIDE BLOCKING AT ALL BATHROOM ACCESSORIES, ADA GRAB BARS, MOUNTED MELLWORK, AND CABINETRY SHOWING.
7. ALL EQUIPMENT SHOWN IN COMMERCIAL KITCHEN AND PANTRY INCLUDING WALK-IN COOLER IS OWNER-FURNISHED CONTRACTOR INSTALLED, COORDINATE ALL BLOCKING, ELECTRICAL, ETC WITH ARCHITECT PRIOR TO INSTALLATION.
8. ALL DOWNSPOUTS ARE TO TIE-IN TO SUBSURFACE DRAINAGE, PROVIDE CAST-IRON DOWNSPOUT BOOTS AT ALL INSTANCES, REFERENCE ROOF PLAN FOR DOWNSPOUT SIZING.
9. LOCATE DOOR ROUGH OPENINGS FOR DOORS 4" FROM INSIDE FACE OF STUD WALL UNLESS OTHERWISE NOTED.
10. EXTERIOR FACE OF CMU ALWAYS ALIGNS WITH INTERIOR EDGE OF BRICK LEDGE UNO.
11. CONTRACTOR TO REFER TO OPENING DETAILS TO DETERMINE FINAL CMU OPENING DIMENSIONS.
12. ALL STEEL LOCATED AT THE EXTERIOR OF THE BUILDING IS TO BE HOT-DIPPED GALVANIZED AND PREPPED TO RECEIVE PAINT

FLOOR PLAN SYMBOL LEGEND

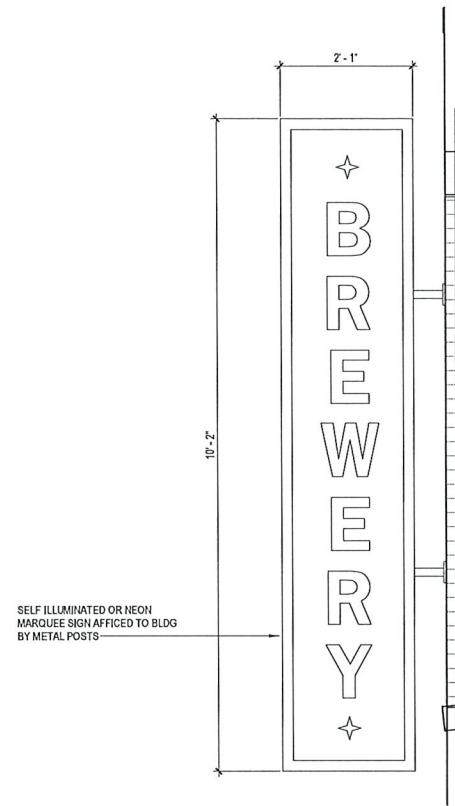
- ⊗ EXTERIOR DECORATIVE LIGHT FIXTURE, WALL MOUNTED, REF: ELECTRICAL
- ⊗ GAS WATER HEATER, REF PLUMBING
- ⊗ ELECTRIC WATER HEATER, REF PLUMBING
- H.B. HOSE BIB



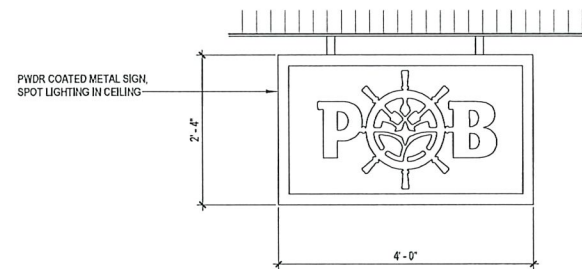
01 LEVEL 02 - DESCRIPTIVE PLAN
A2.02 SCALE: 1/8" = 1'-0"



2 LEVEL 03 - DESCRIPTIVE PLAN
A2.02 SCALE: 1/8" = 1'-0"



5 ELEVATION - BREWERY MARQUEE
PR1.01 SCALE: 3/4" = 1'-0"



4 ELEVATION - BREWERY SIGNAGE
PR1.01 SCALE: 3/4" = 1'-0"



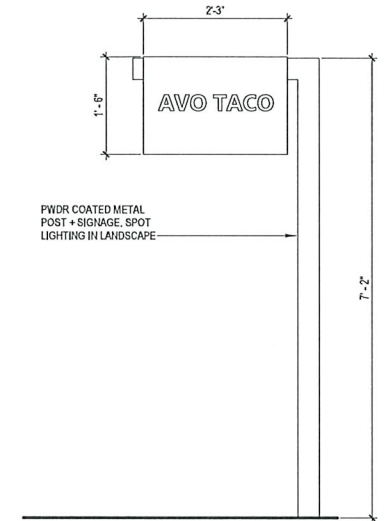
3 RENDER - BREWERY
PR1.01 NTS



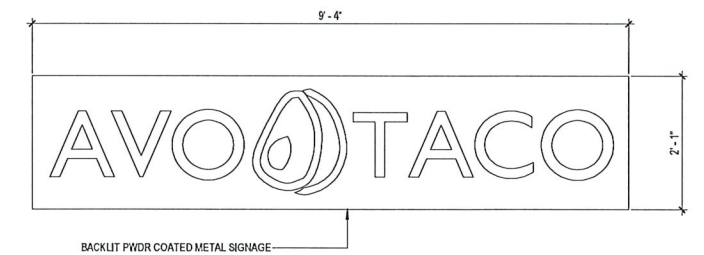
1 RENDER - RESTAURANT SIDEWALK
PR1.01 NTS



2 RENDER - RESTAURANT BUILDING
PR1.01 NTS



7 ELEVATION - RESTAURANT SIDEWALK
PR1.01 SCALE: 3/4" = 1'-0"



6 ELEVATION - RESTAURANT BUILDING
PR1.01 SCALE: 3/4" = 1'-0"

PRELIMINARY SIGNAGE REVIEW ONLY - FINAL SIGNAGE SIZING, LOCATION, AND MATERIALITY TO BE APPROVED BY THE HDC SEPARATELY