

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 Second Street, Gretna, LA 70053
Council Chambers, 2nd floor.**

February 3, 2025 - 4:00 PM

AGENDA

AGENDA ITEM(S):

1. Call to Order/Roll Call.

2. CONSENT AGENDA for Certificate of Appropriateness:

- (1) 717 Huey P. Long Avenue
Shed and wooden fence - Craig Senner, Applicant (District 2)
- (2) 139 Huey P. Long Avenue
Balcony deck and handrails-Donovan Archote, Applicant (District 2)
- (3) 1122 Amelia Street
Solar panels - Jeffrey Cantin, Applicant (District 2)
- (4) 819 Dolhonde Street
Solar panels - Caitlin Altomare, Applicant (District 2)

3. Properties with request for Certificate of Appropriateness:

- (1) 1000 Amelia Street
Storm shutters - Michael Labruzzo, Applicant (District 2)
- (2) 330 Amelia Street
Deviation from approved COA 7/31/23 - Kelli Vedros, Applicant (District 2)
- (3) 1119 9th Street
New single-family residence previously approved COA June 5, 2023.
Manuel Mitten, Applicant (District 2)
- (4) 714 7th Street
Handrails and window molding - Crissy Czemy, Applicant (District 2)
- (5) 704 Lafayette Street
Deviation from approved COA 12/4/23 -Sage Spicuzza, Applicant (District 1)

- (6) 514 Perry Street
Garage renovation preliminary conference April 1, 2024.
Zack Dieterich, Applicant (District 1)

- (7) 1005 Monroe Street
Accessory structure preliminary conference September 30, 2024.
Peter Spera III, Applicant (District 1)

4. Meeting Adjournment.



Historic District Commission

Meeting: February 3, 2025

717 Huey P Long Avenue

(District 2)

For: Shed and wooden fence

**Applicant:
Craig Senner**



FORM NO. 8218
8218

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 717 Huey P. Long Ave

Renovation: 8x10 Shed and 6 FT wooden fence

New Construction: _____

Age of Structure: 100 + 1890

Demolition: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Craig T. Senner Date: 1-7-2025
Applicant's Name: CRAIG T SENNER
Applicant's Address: 717 Huey P. Long Ave
Phone No: (504) 301 3942 Cell No: () SAME

For Office Use Only:

Application date: Jan 24, 2025

Substantive Change: Yes No

Inventory Number: 347

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Garrondona

Planning and Zoning

Azalea M. Roussel

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Craig Sennner the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on February 3 2025 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Craig T Sennner

Signature of Applicant

CRAIG T SENNER

NAME OF APPLICANT (PLEASE PRINT)

717 Huey P. Long Ave

Applicant's address

717 Huey P. Long Ave

Actual address of the property for review

Date: _____

App#

App# 159510

15945



RANCH STYLE SHEDS

KEYSTONE SERIES® KR-600

Affordable ranch style building. Shown here with paint upgrade.

Concrete Wood Foundation

Steel Reinforced Tuff Shed® Door*

Door Placement

• 5'8" Clear Interior Size

• 24" On Center 2x4 Walls

• 3" Flat Sidewall Eave



RANCH STYLE SHEDS

KEYSTONE SERIES® KTB-400



Wall A



Wall D



Wall B

Wall C

Base Details/Permit Details

Building Size & Shape
Custom Panels - 8' wide by 12' long
Door
4' x 8' Single Slid Door, Left Hinge
Placement
Panel Selection
Base: No Paint, Trim: No Paint
Roof Selection
Weathered Gray 2 Tab
Edge
White
Is a permit required for this job?
Yes, Engineering fees still apply
When is pulling the permit?
Customer

Optional Details

Walls
2x6 S4 11 Home Wrap
Floor and Foundation
4 Ea Steel Anchor into Dirt - Auger or
MUD
Yards
10'x8' Wall Veneer - White

Agitate/Installer Details

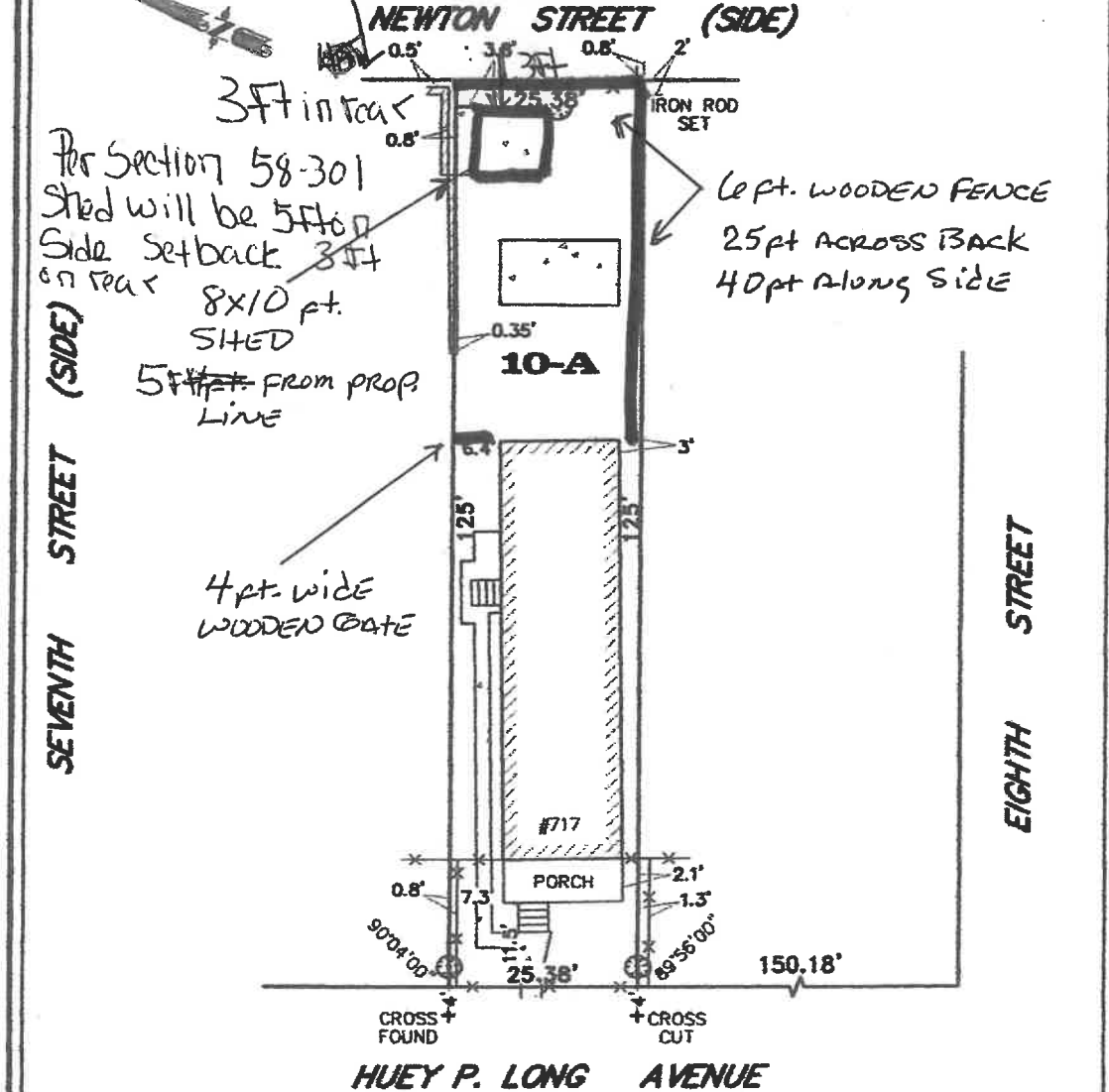
Do you plan to locate this building after
Tuff Shed installs it?
Yes
Is there a primary outlet within 100 feet of
installation location?
Yes
The building location must be level to
properly install the building. How level
is the lot at location?
Within 4" of level
Will there be 10' of unobstructed
workspace around the perimeter of all
four walls?
Yes
Can the installers park their pickup truck &
trailer within approximately 200' of
your installation site?
Yes
Substrate Shed will be installed on?
Gr/Gravel

Customer Signature: _____ Date: _____





**BOUNDARY SURVEY OF
LOT 10-A
SQUARE 28
VILLAGE OF MECHANICKHAM
JEFFERSON PARISH, LA**



NOTE:
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1
REFERENCE PLAN #1: A PLAN OF SURVEY BY DUFFRENE SURVEYING DATED MAY 28, 1996.

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

ELEVATION NOTES

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 02-02-18
FLOOD ZONE: X
BASE FLOOD ELEVATION: N/A
COMMUNITY PANEL: 22051C 0220 F



THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREINA WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:LR, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

MADE AT THE REQUEST OF GREG SENNER

R.W. KREBS
PROFESSIONAL LAND SURVEYING, LLC
RICHMOND W. KREBS, SR., PLS
8445 N. CAUSEWAY BLVD, SUITE 201
METAIRIE, LA. 70002
PHONE: (504) 889-9616
FAX: (504) 889-9616
E-MAIL: info@rwwkrebs.com
WEB: www.rwwkrebs.com

BY: *Richmond W. Krebs*
RICHMOND W. KREBS, PLS, LLC #4836

DATE: SEPTEMBER 9, 2024 DRAWN BY: JSN
SCALE: 1" = 20' CHECKED BY: NDK
JOB #: 241253



Historic District Commission

Meeting: February 3, 2025

139 Huey P Long Avenue
(District 2)

For: Balcony deck and handrails

Applicant:
Donovan Archote

FORM #
8228



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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Demolition – the complete, partial or constructive removal of a building from any site

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Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 139 Huey P. Long Ave.

Renovation: Replace as Existing

New Construction: _____ Demolition:

Age of Structure: 10 1910

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies Deck-engineered wood Handrails same as existing

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 1/22/25

Applicant's Name: DONOVAN, Archote

Applicant's Address: 139 Huey P. Long Ave., Gretna

Phone No: () _____ Cell No: () 504-616-9090

For Office Use Only:

Application date: January 27 2025

Substantive Change: Yes No Inventory Number: 281

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Donovan Archoke the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on _____ at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

[Signature]

Signature of Applicant

Donovan Archoke

Name of Applicant (Please Print)

139 Huey P. Long Ave

Applicant's Address

139 Huey P. Long Ave

Address under HDC review

Date: 1/27/25





Historic District Advisory Committee
 November 4, 2013
 4:00 P.M.

139 Huey P Long Ave.
District - 2

**For: Adding a balcony, gable roof,
 shutters and lighting**

Owner: Donovan Archote

Submitted: October 25, 2013

first look
Send Virginia *Unusual*



HISTORIC DISTRICT PERMIT APPLICATION
Governed by Ordinance No. 3166

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanikham - Gretna Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanikham Gretna Historic District.*

Historic District Permits are *Required* for the following activities:

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Demolition - the complete, partial or constructive removal of a building from any site

Historic Building - a building at least fifty (50) years old with significant architectural value and integrity

Ordinary Repairs and Standard Maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage

NDAC
MHS 11/4/2013

Dee Lee 10/30/13

Important Criteria for New Construction: all new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new construction shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive Change - changes which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decoratives

Substantive changes require review by the Historic District Advisory Committee

As part of its monthly meeting, the City Council shall hold a public hearing on each application for an Historic District Permit except in those instances where the Building Official has determined that the application for an Historic District Permit does not represent a substantive change

Applications must be filed no later than 14 calendar days prior to any meeting of the Mayor and City Council at which time such application is to be heard.

The Historic District Advisory Committee HDAC shall review all applications requiring an Historic District Permit representing substantive changes and report its recommendations to the City Council.

In addition to the information on the cover sheet, please provide the following:

Re: Address 139 Holly P Lane Ave

Renovation: _____ New Construction: Demolition: _____

Age of structure: _____

Building Type:
Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:
Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

SOFFITS - WOOD

Exterior materials proposed:

Roof _____

Soffit _____

Fascia _____

Siding _____

Masonry _____

Porches ^{2x4 TO 2x6 BRACKETED COMINGS} _____

Balconies ^{WOOD DECKING} _{on STEEL BRACKETS} _____

Handrails ^{WOOD 2x4} _{COMPOSITE FOR BRACKETS} _____

Type of exterior lighting fixtures: down canned lighting ^{columns - CAST IRON}

Style of Windows: _____

Type of Exterior Doors: _____

Describe any ornamental woodwork: COMPOSITE BRACKET

Elevations

Front Space: _____ ft.

Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This application is for the purpose of Historic District Advisory Committee review only. Matters relating to zoning requirements or other City of Gretna permits such as: building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature]

Date: 10/25/10

Applicant's Name: DONOVAN ARCHUTE

Address: 131 HUN P. LONG AVE.

Phone Number: 504-616-9090

For Office Use Only:

Date of Application: 10/25/13 Substantive Change: Yes No

Public Hearing to be held at 11-13-13 City Council Meeting

Historic District Advisory Committee Meeting Date: 11-4-13

Contributing Element to Gretna National Register Historic District: Yes No

Inventory Number: N/A Architectural Description/Comments (as per Gretna

National Register Historic District nomination form): _____

BUILDING PERMIT APPLICATION CITY OF GRETNA

PERMIT NUMBER _____

Call before you dig.
1-800 272-3020

P. O. Box 404
Second Street & Huey P. Long Avenue
Gretna, LA 70054-0404
Telephone No. (504) 363-1563

1 Job Address 139 Huey P. Long Ave.		Apt.			
2 Legal Description	Subdivision	Square	Lot No.		
3 Owner DONOVAN Archote		Mail Address 131 Huey P. Long Ave Gretna, LA 70053	Zip 70053		
4 Contractor UP FOR BID		Mail Address	Zip		
5 Architect Engineer		Mail Address	Zip		
6 Class of Work:		Reg. No.	Phone		
<input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Move <input type="checkbox"/> Remove <input type="checkbox"/> Demolish					
7 Describe Work * ADDITION OF BALCONY, ROOF GABLE, AND SHUTTERS TO DUPLICATE 1897 photo & lighting					
8 Valuation Of Work	Permit Fee \$	Penalty Fee \$	Sewage Escrow Fee \$		
<p style="text-align: center;">NOTICE</p> <p>SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING AIR CONDITIONING, SIGNS OR FENCES, THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6-MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6-MONTHS AT ANY TIME AFTER WORK IS COMMENCED.</p> <p>THE ISSUANCE OF THIS PERMIT IN NO WAY RELIEVES CONTRACTOR, OWNER, OR AUTHORIZED AGENT FROM COMPLYING WITH ALL OTHER RELEVANT CITY REQUIREMENTS AND RESTRICTIONS.</p> <p>I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT, ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.</p> <p>I UNDERSTAND I AM RESPONSIBLE FOR THE DISPOSITION OF TRASH OR DEBRIS RESULTING FROM ANY ACTIVITY CONNECTED TO THIS BUILDING PERMIT. IT IS NOT TO BE PLACED FOR COLLECTION AS PART OF NORMAL GARBAGE PICKUP. I ALSO UNDERSTAND A CITATION WILL BE ISSUED WITHOUT FURTHER NOTIFICATION IF SUCH TRASH OR DEBRIS IS PLACED ON ANY PUBLIC RIGHT-OF-WAY OR OTHER PROPERTY.</p>		Application Accepted by:		Total Permit Fee \$	
		9 Additional Sq. Ft.	10 Bldg. Use:	11 Special Flood Hazard Zone Yes <input type="checkbox"/> No <input type="checkbox"/>	
		12 Type of Const.	No. of stories	Occupancy Group	
		Max. Occ. Load	Zoning:	Fire Sprinkler Required Yes <input type="checkbox"/> No <input type="checkbox"/>	
		No. of Dwelling Units	OFF STREET PARKING	SPACES:	
			Covered	Uncovered	
		Special Approvals	Required	Received	Not Required
		Zoning			
		Health Dept.			
		Fire Marshal			
Soil Report					
Elevation Cert.					
Public Works					
Other					

RECEIVED
OCT 25 2013

THIS PERMIT EXPIRES SIX MONTHS FROM DATE OF ISSUE

Huey P's Balcony/Roof Reno.
 Exterior Renovation
 139 Huey P. Long Avenue, Gretna, LA 70053
TRAPOLIN-PBSR ARCHITECTS
 A PROFESSIONAL CORPORATION

Drawn by: Archibald
 131 Huey P. Long Ave.
 Gretna, LA 70053
 T (504) 818-0500
 drew@trapolin-pbsr.com

CONSULTANT NAME
 Address 1
 Address 2
 T (area code) number

Scale	1/4" = 1'-0"
Project Number	CA10443
Drawn By	ETS
Checked By	PP
Date	08/23/2013

Elevations and Details

A-1.00

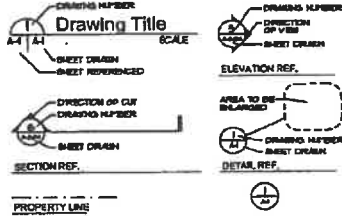
Drawing Set For:

Huey P's Pizzeria Balcony/Roof Renovation

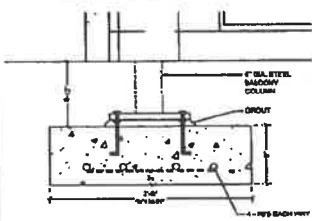
Directory

Architect:
 Trapolin-PBSR Architects, APC
 837 Jurels St.
 New Orleans, LA 70110
 P: 504.523.7772
 Contact:
 G. Blake Oakley, Project Manager
 gboakley@trapolin-pbsr.com
 Paula Poir, Principal
 ppoir@trapolin-pbsr.com

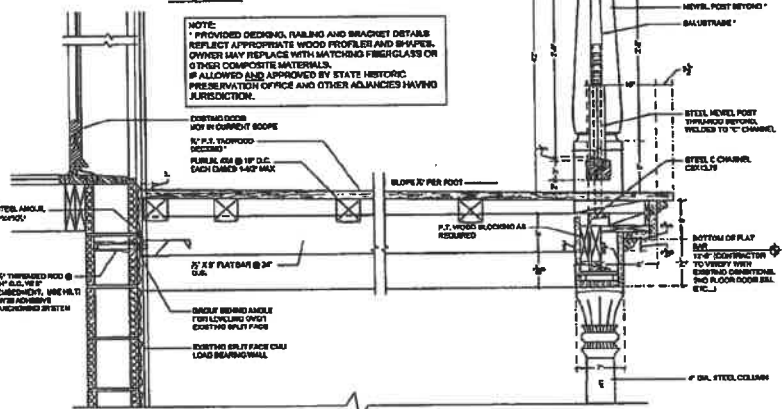
Architectural Symbols



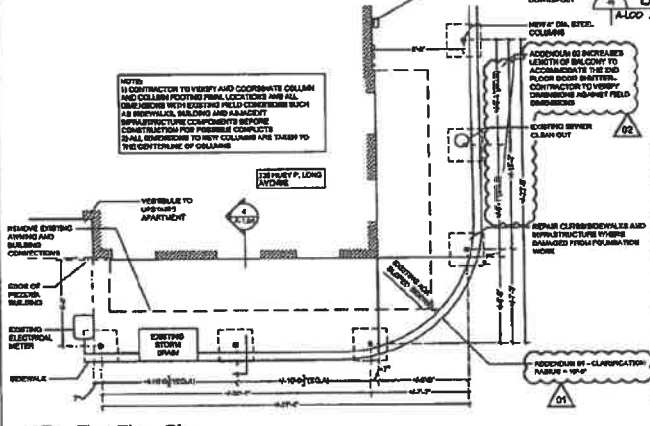
NOTE:
 PROVIDED DETAILING, FINISHING AND BRACKET DETAILS
 REFLECT APPROPRIATE WOOD ROOFING AND SHAPES.
 OWNER MAY REPLACE WITH MATCHING FIBER GLASS OR
 OTHER COMPOSITE MATERIALS.
 IF ALLOWED AND APPROVED BY STATE HISTORIC
 PRESERVATION OFFICE AND OTHER AGENCIES HAVING
 JURISDICTION.



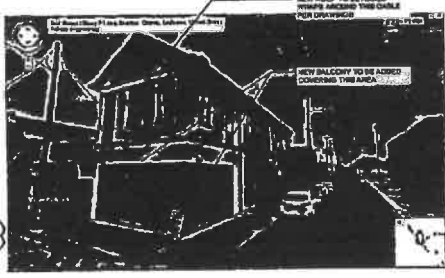
6 Balcony Section - Foundation
 SCALE 1/2" = 1'-0"



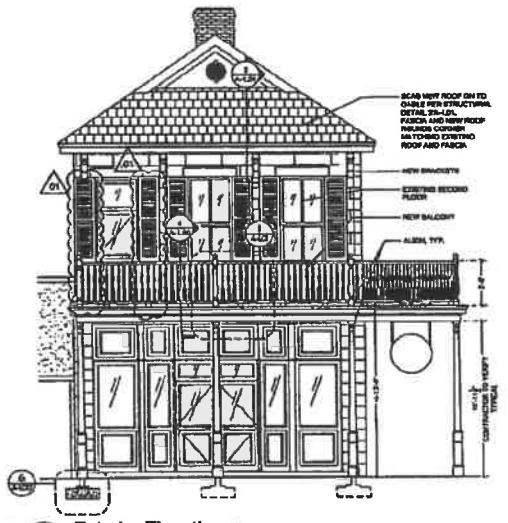
4 Balcony Section
 SCALE 1/2" = 1'-0"



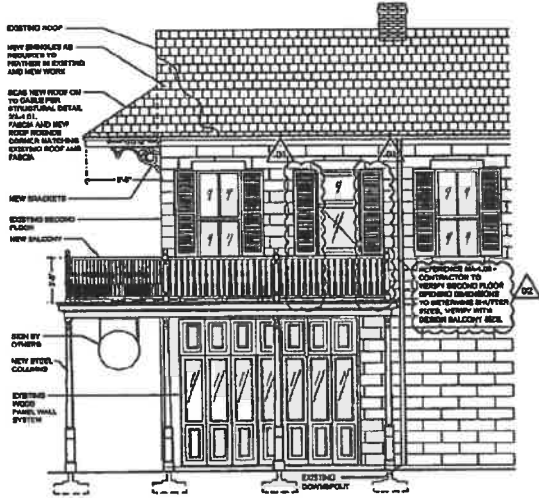
5 First Floor Plan
 SCALE 1/4" = 1'-0"



3 Existing Building - 139 Huey P. Long Avenue
 SCALE 1/8" = 1'-0"



2 Exterior Elevation
 SCALE 1/4" = 1'-0"

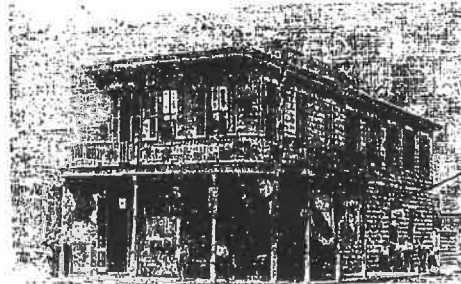
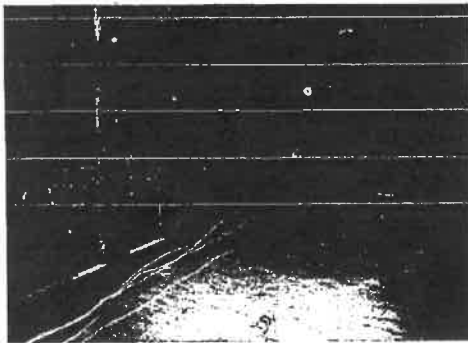


1 Exterior Elevation
 SCALE 1/4" = 1'-0"

Material Designations **General Notes**

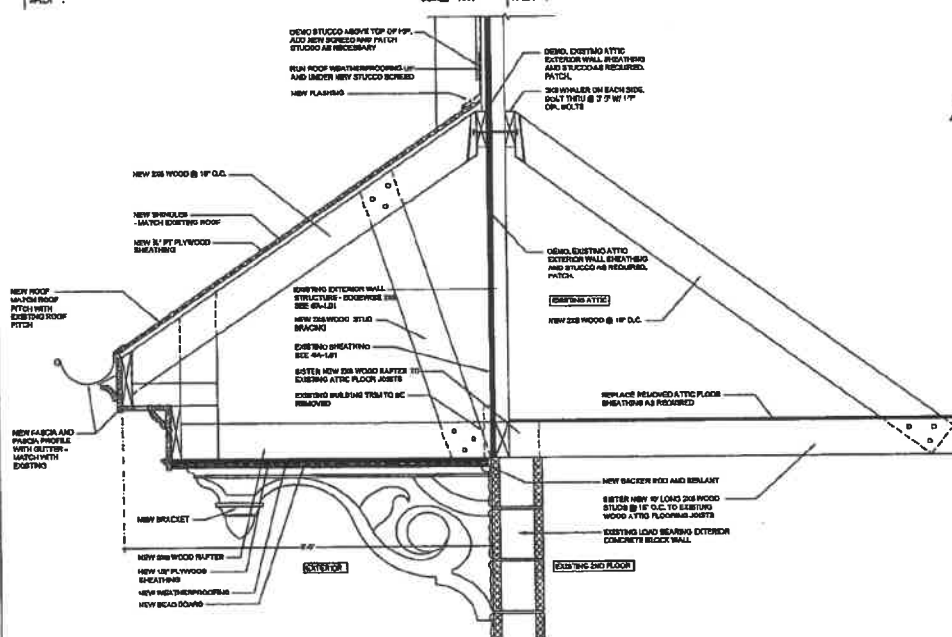
	GLASS IN ELEVATION
	MIRROR IN ELEVATION
	METAL
	RIGID INSULATION
	INSULATION
	FIREPROOFING
	COMPACT FILL
	CONCRETE MASONRY UNITS
	STUCCO
	CAST IN PLACE CONCRETE (CIP)
	CONCRETE
	BRICK MASONRY
	CAST STONE MASONRY
	WOOD
	WOOD FINISH
	GYP. BOARD
	PLYWOOD
	DRYWALL BOARD, PLASTER, GYPSUM

1. ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS, AND ORDINANCES.
2. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS OR GUIDELINES FROM GOVERNING REGULATORY AGENCIES BEFORE PROCEEDING WITH ANY ITEMS OF WORK UNDER OR WITHIN SUCH JURISDICTIONS.
3. CONTRACTOR SHALL PROVIDE PUBLIC PROTECTIONS NECESSARY PER ALL APPLICABLE CODES.
4. THE DRAWINGS, AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS, FIELD ORDERS, OR CHANGE ORDERS ARE PART OF THESE CONTRACT DOCUMENTS.
5. DO NOT SCALE DRAWINGS.
6. CONSULT WITH ARCHITECT REGARDING CLARIFICATIONS, VERIFY LOCATION OF ALL EQUIPMENT WITH ARCHITECT, PRIOR TO INSTALLATION.
7. THE EXISTING PLAN IS DOCUMENTED ON THE DRAWINGS IN ACCORDANCE WITH A LIMITED NUMBER OF AVAILABLE ORIGINAL CONSTRUCTION DRAWINGS AND FIELD INVESTIGATIONS. VARIANCE OF ACTUAL EXISTING CONDITIONS FROM THOSE ILLUSTRATED ON THESE DOCUMENTS MAY OCCUR. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
8. WORK INDICATED AS "NOT IN CONTRACT," "N.I.C.," OR "BY OTHERS" SHALL BE PERFORMED BY OWNERS SEPARATE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OWNER AND COOPERATE IN COMPLETION OF SEPARATE CONTRACTS.
9. ALL EXISTING ITEMS TO REMAIN UNLESS OTHERWISE NOTED.
10. ALL EXISTING STRUCTURAL CONDITIONS SHALL BE VISUALLY FIELD VERIFIED. ANY CONFLICTS WITH THE DRAWINGS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
11. TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL COMPLETELY REVIEW THE PLANS AND SPECIFICATIONS, NOT ONLY FOR ITS RESPECTIVE TRADES BUT FOR THE WORK OF OTHER RELATED TRADES AS WELL.
12. PLAN ORIENTATION REFERENCE: PLAN NORTH REFERS TO THE TOP OF DRAWING SHEET. TRUE NORTH IS INDICATED BY A NORTH ARROW SHOWN ON THE PLAN.
13. ALL DIMENSIONS ARE FROM STUD TO STUD UNLESS OTHERWISE NOTED.

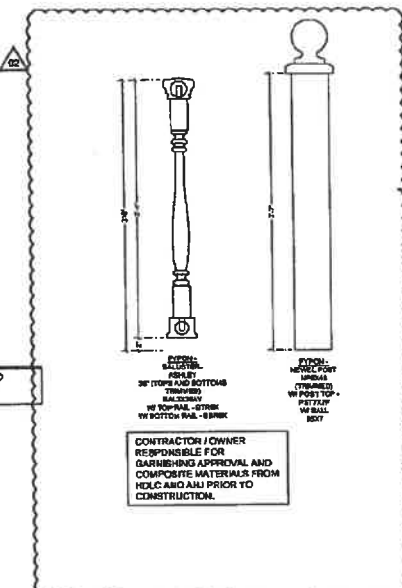


4 Existing Attic Exterior Wall SCALE: 1/4" = 1'-0"

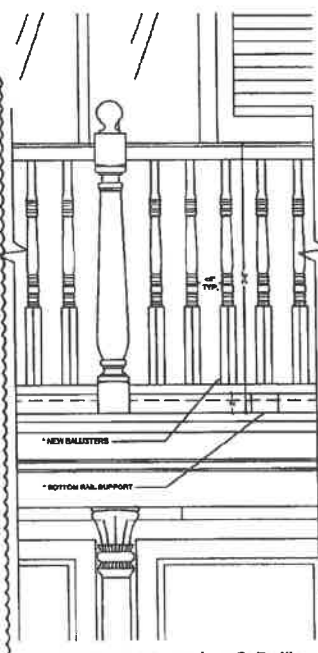
3 Historic Photograph - 139 Huey P. Long SCALE: N/A



2 Scabbed Roof Section SCALE: 1/4" = 1'-0"



Fypon Railing Option - Addendum 2 SCALE: 1/4" = 1'-0"



Enlarged Elevation @ Railing SCALE: 1/4" = 1'-0"

Huey P.'s Balcony/Roof Reno.
 Exterior Renovation
 139 Huey P. Long Avenue, Gretna, LA 70053
TRAPOLIN-PBER ARCHITECTS
 A PROFESSIONAL CORPORATION
 181 Huey P. Long Ave., Gretna, LA 70053
 T (504) 816-4000
 donovan@trapolin-pber.com

Project Name:	CH10443
Drawn By:	ED
Checked By:	PP
Date:	09/20/2013
Section and Existing Photographs:	

A-1.01

Huey P's Balcony/Roof Reno.

Exterior Renovation
131 Huey P. Long Avenue, Gretna, LA 70053

TRAPOLIN-PEER ARCHITECTS
A PROFESSIONAL CORPORATION

1313 Poydras Street, Suite 2000, New Orleans, LA 70112
Phone: (504) 581-0000
Fax: (504) 581-0000
Email: trapolin@trapolin-peer.com

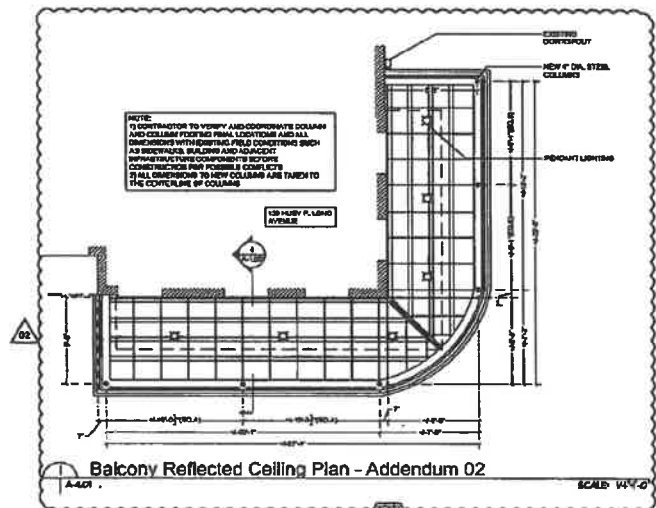
Designer/Architect
131 Huey P. Long Ave.
Gretna, LA 70053
T (504) 581-0000
dtrapolin@trapolin-peer.com

CONSULTANT NAME
Address 1
Address 2
T (area code) number

Project Number	0900463
Sheet No.	EG
Checked By	TP
Date	09/22/2013

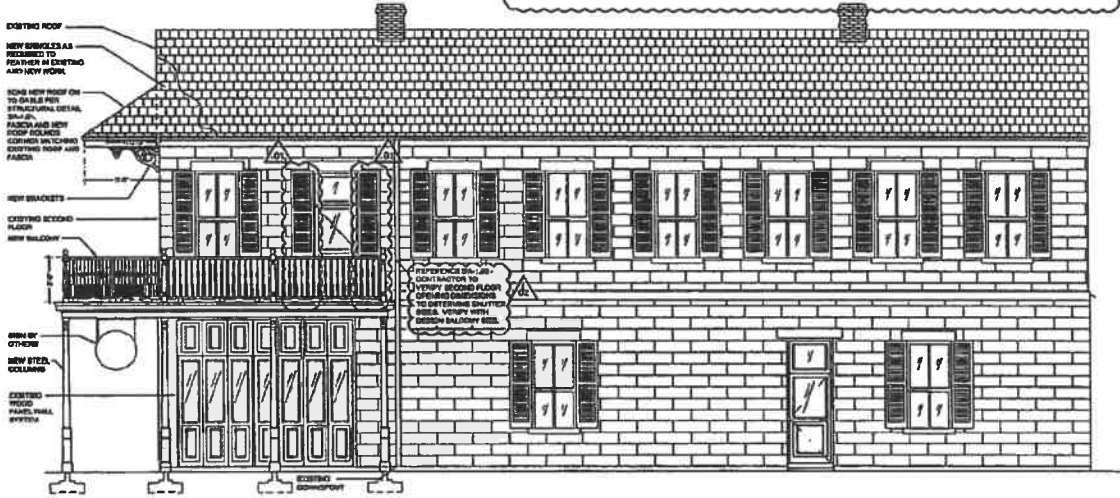
Elevations and Floor Plan

A-4.01



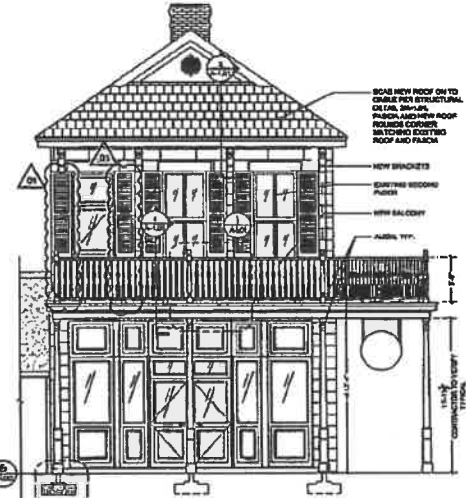
Balcony Reflected Ceiling Plan - Addendum 02

SCALE: 1/4"=1'-0"



3 Exterior Elevation

SCALE: 1/4"=1'-0"



2 Exterior Elevation

SCALE: 1/4"=1'-0"



Historic District Commission

Meeting: February 3, 2025

1122 Amelia Street

(District 2)

For: Solar Panels

**Applicant:
Jeffrey Cantin**



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

[X] Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham - Gretna Historic District.

[] McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
Moving of a historic building
Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
New construction of a building or accessory building or structure, if subject to view from a public street
Change in existing walls and fences or construction of new walls and fences if along a public street
Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration - any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition - the complete, partial or constructive removal of a building from any site

Historic building - a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change - changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1122 Amelia Street, Gretna LA 70053

Renovation: Roof mounted solar panel installation

New Construction: _____
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other X _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other X _____

Exterior materials proposed:

Roof _____ Soffit _____
Fascia _____ Siding _____
Masonry _____ Porches _____
Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 1/27/2025

Applicant's Name: Jeffrey Cantin

Applicant's Address: 5804 River Oaks Road S., New Orleans LA 70123

Phone No: (504) 324-0616 Cell No: (504) 324-0616

For Office Use Only:

Application date: January 27, 25
Inventory Number: N/A

Substantive Change: Yes No

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Solar Alternatives the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on February 3, 2025 at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Solar Alternatives

Signature of Applicant

Jeff Cantin

Name of Applicant (Please Print)

5804 River Oaks Road S., New Orleans, LA 70123

Applicant's Address

1122 Amelia Street, Gretna LA

Address under HDC review

Date: January 27, 2025



Gretna, Louisiana
Google Street View
Nov 2024 [See more dates](#)

Image capture: Nov 2024 © 2025 Go-





1" EMT CONDUIT FOR PV RUN-
ADD PV SOURCE LABEL EVERY 5 FT

TESLA INVERTER

PV DISCONNECT

1" EMT CONDUIT TO FROM PV DISCONNECT TO MAIN PANEL.
LINE SIDE TAP IN MAIN PANEL.

NOTES:

- 1.) ENSURING INSTALL PV DISCONNECT 6' 6" HIGH MAX AND 3' FRONT CLEARANCE MINIMUM, ACCORDING TO NEC 110.26

SOLAR ALTERNATIVES

5804 RIVER OAKS RD S,
ELMWOOD, LA 70123
PHONE: 504-267-1660

www.solalt.com

ENGINEERING
CERTIFICATION

DRAWN BY	REVIEWED BY	APPROVED BY
LR	OM	OM

POWER PEAK IN MODULES:
10.4 kWp
POWER NOMINAL IN INVERTERS:
7.60 kWn

No.	Description	Date
1	INITIAL SET	10/24/2024
2	QA/QC	10/28/2024

PROJECT:
LIV DINOSO

PROJECT ADDRESS:
1122 AMELIA STREET, GREINA LA
70053

CLIENT NAME:
LIV DINOSO

SHEET NAME :
EQUIPMENT ELEVATIONS

DATE:
OCTOBER 28, 2024
SCALE
THE INDICATED

E-200



Historic District Commission

Meeting: February 3, 2025

819 Dolhonde Street

(District 2)

For: Solar Panels

Applicant:
Caitlin Altomare



8229

Historic District Commission
Application for Certificate of Appropriateness
 Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

Mechanickham Historic District – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

McDonoghville Historic District – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 819 Dolhonde St. Gretna, LA 70053

~~R~~enovation: Solar Panels

New Construction: _____

Demolition: _____

Age of Structure: 41 year 1920

Building Type:

Creole Cottage _____

Shotgun X w/wing

Bungalow ✓

Other _____

Building Style:

Greek Revival _____

Italianate X

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Carlin M. Altomare* Date: 01/10/25

Applicant's Name: Carlin M. Altomare

Applicant's Address: 819 Dolhonde St. Gretna LA

Phone No: (774) 261 0766 Cell No: (774) 261 0766

For Office Use Only:

Application date: January 27, 2025

Substantive Change: Yes No

Inventory Number: 109

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

- Wayne A. Rau
Councilman-at-Large
- Milton L. Crosby
District One
- Michael Hinyub
District Two
- Mark K. Miller
District Three
- Jackie J. Berthelot
District Four

Departments

Building and Regulatory

- Danika Gorronzona
- Planning and Zoning
- Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Caitlin Altomare the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on February 4th 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Caitlin M. Altomare

Signature of Applicant

Caitlin M. Altomare

NAME OF APPLICANT (PLEASE PRINT)

819 Dolhonde St. Gretna, LA

Applicant's address

819 Dolhonde St. Gretna, LA

Actual address of the property for review

Date: Jan 10th, 2025



Image capture: Nov 2024 © 2025 Go



7.79 kW Qcells Solar PV System Quote

Prepared For
Caitlin Altomare
819 Dolhonde St, Gretna, LA
70053, USA

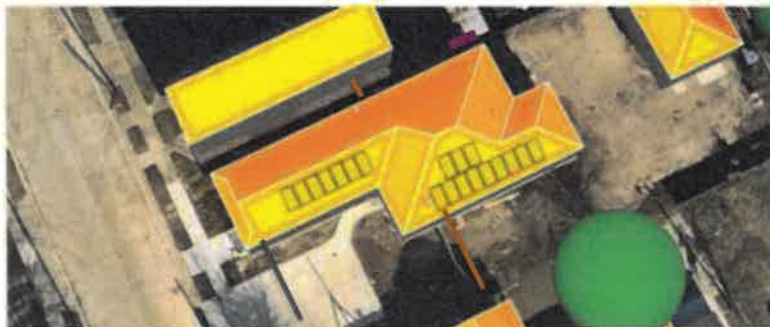
Prepared By
Rebekah Olinde
reb@southcoastsolar.com
+1 504 208 2336



QPEAK Duo BJK MG-Q10+ 410
PV3 Solar Inverter 11.5 (340V)



819 Dolhonde: Computer-generated picture of solar panels



819 Dolhonde: Aerial view of solar panel location

Solar Panels are for long term investment in property: energy independence, power outage mitigation, offset carbon footprint.

As described in City of Gretna's municipal code (Section 52-9(6)) , solar panels would be

1. A minimum of 10 feet behind the front wall of the structure
2. A minimum of 12 inches below the ridgeline
3. Project less than 8 inches above the roof surface.
4. Black colored to camouflage (with black roof)
5. Battery near back of house, behind gate.



System size
7.79 kW



Solar panels
19



Annual offset
83%

Age of home: ~1 year old.



819 Dolhonde: View from Street



Historic District Commission

Meeting: February 3, 2025

1000 Amelia Street
(District 2)

For: Storm shutters

Applicant:
Michael Labruzzo



Hermit #
8231

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1000 AMELIA ST.
Renovation: STEM SHUTTERS - LANDSCAPE & RAIL DOWN C. OUTLINE & DOOR
New Construction: _____

Age of Structure: 37 YEARS Demolition: _____

Building Type:

Creole Cottage N/A
Shotgun N/A
Bungalow N/A
Other ✓

Building Style:

Greek Revival N/A
Italianate N/A
New Orleans Bracketed N/A
Eastlake N/A
Colonial Revival N/A
Other ✓

Exterior materials proposed:

Roof _____ Soffit _____
Fascia _____ Siding _____
Masonry _____ Porches _____
Balconies _____ Handrails _____

Type of exterior lighting fixtures: N/A
Style of windows: 6/6
Type of exterior doors: _____
Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Michael A. Labruzzo Date: 1/14/25

Applicant's Name: Michael Labruzzo

Applicant's Address: 1000 Amelia St., Gretna LA 70053

Phone No: () — Cell No: 504 615-9807

For Office Use Only:

Application date: January 14, 2025

Substantive Change: Yes No

Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

- Wayne A. Rau
Councilman-at-Large
- Milton L. Crosby
District One
- Michael Hinyub
District Two
- Mark K. Miller
District Three
- Jackie J. Berthelot
District Four

Departments

Building and Regulatory

- Danika Gorrondona
- Planning and Zoning
- Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Michael Labruzzo the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on FEBRUARY 3, 2025 4:00 p.m. 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Michael Labruzzo
Signature of Applicant

Michael Labruzzo
NAME OF APPLICANT (PLEASE PRINT)

1000 Amelia ST.
Applicant's address

1000 AMELIA ST.
Actual address of the property for review

Date: 1/14/25

1000 Amelia Street

Request to Install Storm Shutters

I am requesting to install storm shutters on my house as follows:

Dormers on front of house will have white roll down shutters

Front door and side door will have bronze roll down shutters

All other windows and French doors will have bronze colonial style shutters

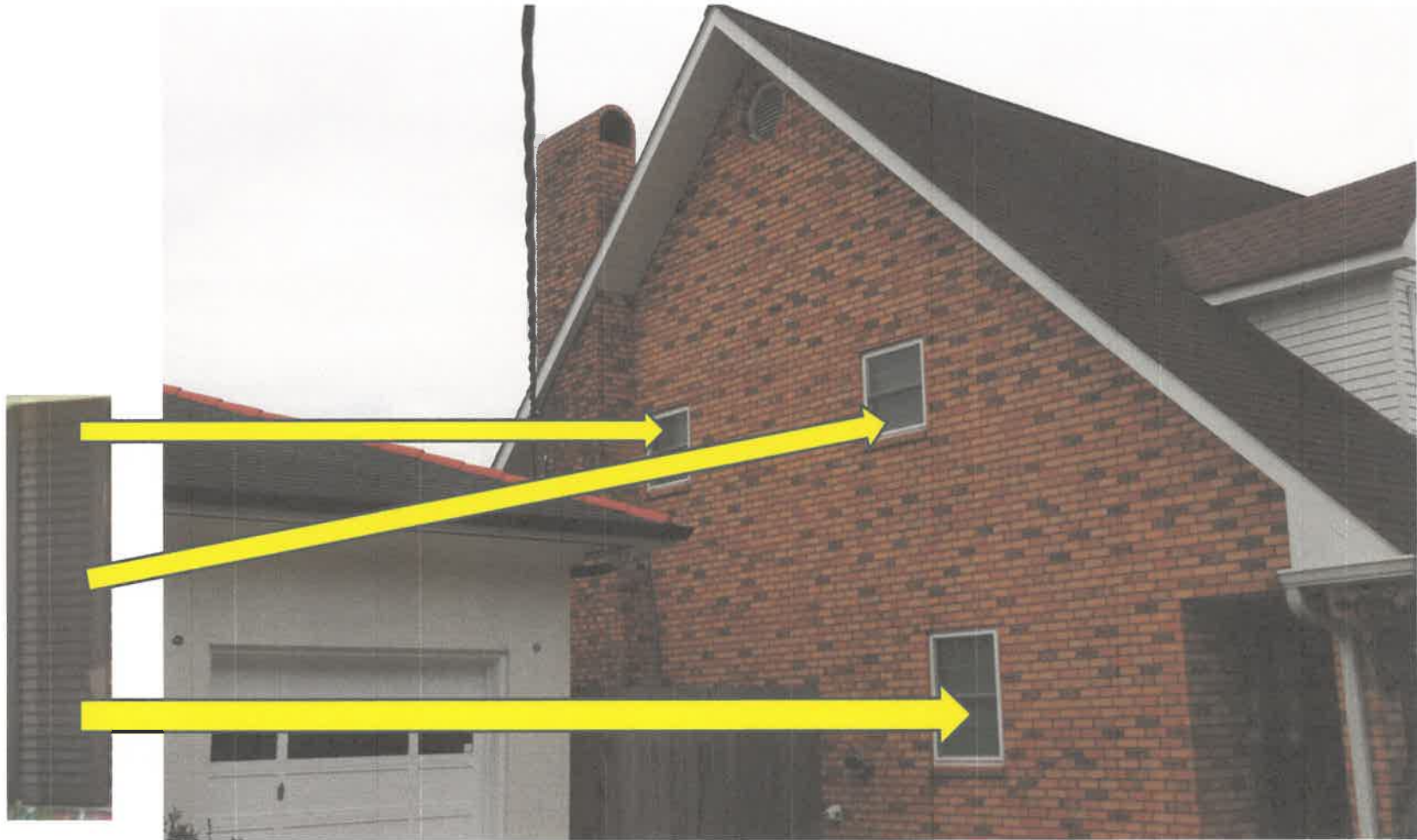
Please see attached pictures.

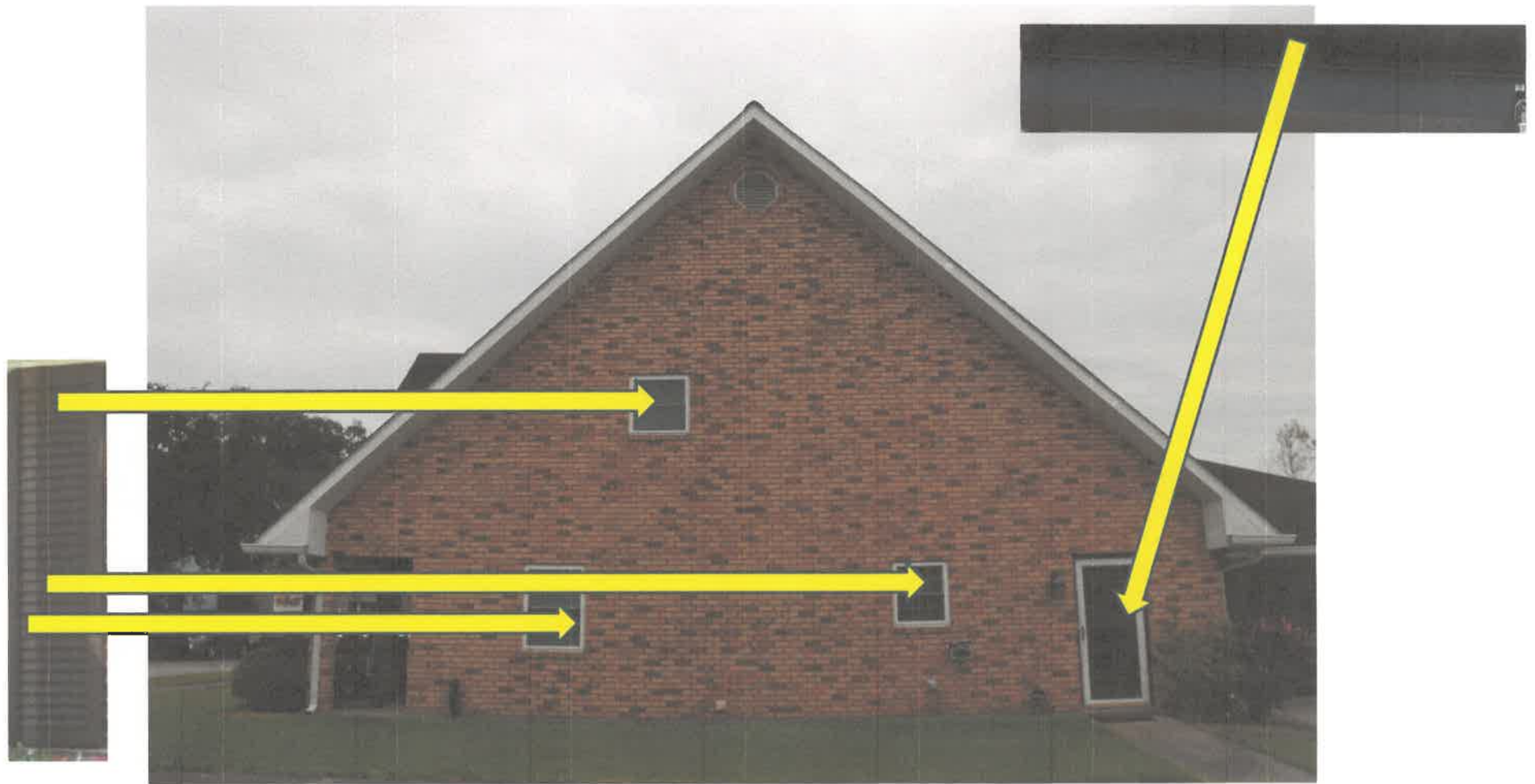
Respectfully,

A handwritten signature in cursive script, appearing to read "Michael Labruzzo".

Michael Labruzzo











Historic District Commission

Meeting: February 3, 2025

330 Amelia Street

(District 2)

**For: Deviation from originally
approved COA 7/31/23**

**Applicant:
Kelli Vedros**





Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are *required* for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 330 Amelia St (Sq 5, Lot 6, 7, 8, 9)?
Renovation: _____

New Construction: _____ Demolition: _____

Age of Structure: 1930

Building Type:
Creole Cottage _____
Shotgun _____
Bungalow ✓ _____
Other _____

Building Style:
Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof _____ Soffit _____
Fascia _____ Siding _____
Masonry _____ Porches _____
Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____
Style of windows: _____
Type of exterior doors: _____
Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Kelli Vedros Date: 1/14/25

Applicant's Name: Kelli Soileau Vedros

Applicant's Address: 330 Amelia St Gretna, VA 70053

Phone No: (504) 239-4989 cell only Cell No: ()

For Office Use Only:

Application date: January 14, 2025

Substantive Change: Yes No

Inventory Number: 610

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

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Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

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Mark K. Miller

District Three

Jackie J. Berthelot

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Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Kelli Soileau Vedros the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on 2/3/25 at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Kelli Soileau Vedros

Signature of Applicant

Kelli Soileau Vedros

Name of Applicant (Please Print)

330 Amelia St

Applicant's Address

330 Amelia St

Address under HDC review

Date:

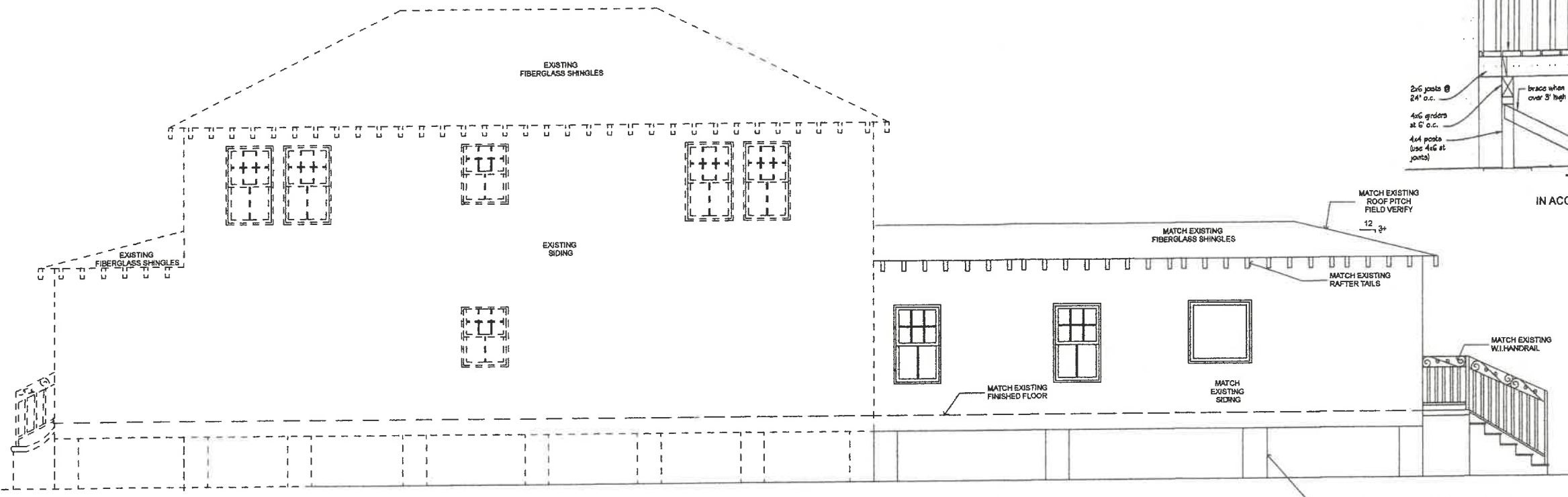
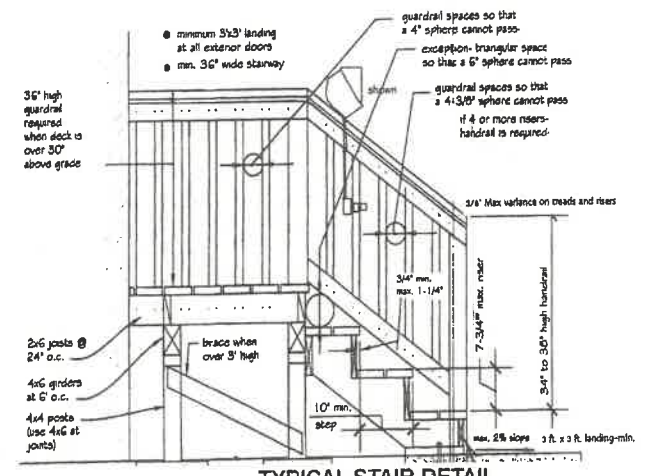
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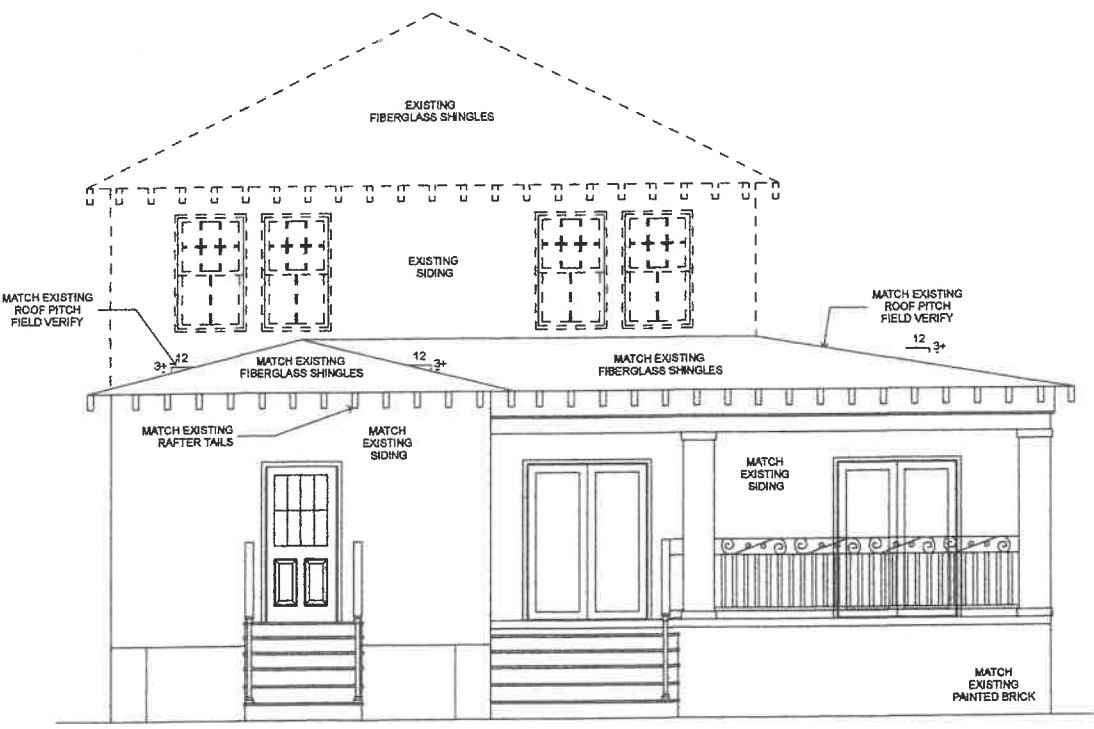


PREPARED FOR: KELLI SOILLEAU VEDROS
330/332 AMELIA STREET, GRETTNA, 70053
LOT A, & PART OF LOTS 6,7,8,&9, SQ. 5,
VILLAGE OF NEW GRETTNA, CITY OF GRETTNA,
JEFFERSON PARISH, LA.

J.E. BRUCE DESIGN CONSULTANTS, INC.
600 2ND STREET
GRETTNA, LOUISIANA 70053
PHONE/FAX: (504) 381-0308
jbruce@designgroup.com



PROPOSED RIGHT SIDE ELEVATION: 1/4"=1'-0"



PROPOSED REAR ELEVATION: 1/4"=1'-0"

NOTES:

- ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF COLUMN, OR FACE OF BRICK.
- VERIFY ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION.
- ALL MATERIAL SHALL BE NEW AND U.L. LISTED.
- NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCES.
- CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR.
- CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES.
- CAULKING ON EXTERIOR SHALL BE THIKOL CAULK.
- PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE 3 COATS. COLOR SELECTION BY OWNER.
- PROVIDE CLEAN-UP ON A REGULAR BASIS. NO TRASH STORED IN BUILDING.
- ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
- USE 6" STUDS AT ALL PLUMBING WALLS.
- GRANITE TOPS W/ 4" SPLASH IN KITCHEN.
- SIM. MARBLE TOPS W/ 4" SPLASH IN BATHS.
- NO FURRED CEILINGS UNLESS OTHERWISE NOTED.
- A/C MOUNTS IN ATTIC OVER G.L. DRIP PAN & DRAIN.
- W.H. MOUNTS IN ATTIC OVER G.L. DRIP PAN & DRAIN. PLUMBER SHALL PROVIDE CONTINUOUS RECIRCULATION SYSTEM.
- ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.
- EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS.
- WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH 20". PER R310.1, IRC 2021.
- EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS AREA OF NOT LESS THAN 5.7 SQ. FT. ON ANY FIRST FLOOR WINDOW THAT IS MORE THAN 44" FROM THE FINISHED GROUND LEVEL (NOT FINISHED FLOOR) IN ACCORDANCE WITH R 303.1, IRC 2021.
- ALL SLEEPING AREAS SHALL BE PROTECTED WITH UL-APPROVED SMOKE ALARMS. THESE SHALL BE WIRED TO THE 110 VOLT HOUSE CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268. THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CEILING, DEPENDING ON WHERE MOUNTED.
- BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN.) 5 CYCLES PER HOUR PER R 303.3, IRC 2021.
- PREFABRICATED FIREPLACES SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- ALL FRAMING MATERIAL TO BE #2 DENSE SYR.
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT. IRC 2021 R 312.1.
- ALL LUMBER EXPOSED TO WEATHER TO BE NATURALLY DURABLE OR PRESSURE TREATED.
- FOLLOW LOCAL BUILDING CODE FOR TERMITES AND DECAY PROTECTION.
- DEPTH OF NOTCHES AT ENDS OF FLOOR JOISTS NOT TO EXCEED 1/4" DEPTH.
- BRIDGING REQ'D BETWEEN FLOOR JOIST EXCEEDING 8FT. SPAN.
- DOUBLE FLOOR JOISTS REQ'D UNDER ALL WALLS.
- FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING.
- ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED. INSTALL ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).
- WHERE DISCREPANCY BETWEEN DRAWINGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE.
- REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY. MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2 5/8" IN CROSS-SECTIONAL DIMENSIONS, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS SHALL COMPLY W/ IRC 2021.
- THE MAXIMUM STAIR RISER HEIGHT SHALL BE 7 3/4" AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES IN ACCORDANCE WITH IRC 2021.
- ALL WINDOWS SHALL COMPLY WITH ARTICLE R 301.2.1.2 OF THE IRC 2021 ED REGARDING WIND BORNE DEBRIS, WHICH STATES THAT WOOD STRUCTURAL PANELS (PLYWOOD) WITH A MIN. THICKNESS OF 7/16 INCH OF MAXIMUM SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL PROVIDED IN ACCORDANCE WITH LABEL R301.2.1.2.
- EXTERIOR WALL LOCATIONS (WALLS AND PROJECTIONS INTO OPEN AREAS SHALL COMPLY WITH R302, IRC 2021.
- UNDER STAIR PROTECTION (ENCLOSED ACCESS. SPACE UNDER STAIRS IN ACCORDANCE WITH R302.7, IRC 2021.
- OVERHANGS PROJECTING INTO REQUIRED SIDE YARD SHALL BE PROVIDED W/ 1-HR RATED SOFFIT CONSISTING OF 1 LAYER 5/8" X RATED GYP. BD. PER R 302.1 IRC 2021.
- PROVIDE APPROVED CARBON MONOXIDE ALARMS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS PER SECTION R315 OF THE IRC 2021 ED.
- A MIN. TOTAL NET OPENING OF NOT LESS THAN 1 SQ. IN. FOR EVERY 1 SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF OPENING SHALL BE NO HIGHER THAN 1 FT. ABV. GRADE. OPENINGS TO BE PROVIDED AT LEFT WALL OF GARAGE & AT BASE OF GARAGE DOOR (360 SQ. IN. REQ'D. FOR GARAGE 1).
- VAPOR BARRIER SHALL BE REQUIRED AT OPEN CRAWL SPACES IN ACCORDANCE WITH GUIDELINES SET FORTH IN LSU AG CENTER PUB 3187 INSULATING RAISED FLOORS IN HOT, HUMID CLIMATES.



Please be advised that these plans have been designed by myself being a registered Civil Engineer. I have researched this chapter and the Louisiana State Uniform Construction Code and to the best of my knowledge and belief these drawings are in compliance therewith. I take full responsibility for the contents of these plans, and not generally administering the work. The plans will also meet the 2021 IRC.

ROBERT D. LEE LIN. NO. 28842

NOTE: THIS DOCUMENT IS BASED UPON THE INFORMATION SHOWN ON SURVEY PROVIDED BY OWNER. NO PUBLIC RECORD OR TITLE RESEARCH WAS PERFORMED FOR THIS PROJECT.

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NOTE: J.E. Bruce Design Consultants, Inc./ Advance Design Group. Assumes no Liability for errors or omissions. All information contained here in shall be confirmed prior to commencement of construction.

NO.	DESCRIPTION	DATE
1	##	##

PROJECT NO: ##-##-##

DATE: 06-20-2023

DRAWN BY: X.T.C.

CHECKED BY: ##

SCALE: 1/4"=1'-0"

A-5



Historic District Commission

Meeting: February 3, 2025

1119 9th Street

(District 2)

**For: New single family residence
previously approved COA 6/5/23**

**Applicant:
Manuel Mitten**



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

Permit # 8214
#6700

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1119 NINTH STREET

Renovation: _____
New Construction: X _____
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof ARCH SHINGLE _____ Soffit _____
Fascia SMOOTH CEMENTITIOUS _____ Siding SMOOTH CEMENTITIOUS _____
Masonry CHAIN WALL @ PORCHES _____ Porches 5/4 T&G BOARDS, PAINTED _____
Balconies N/A _____ Handrails METAL _____

Type of exterior lighting fixtures: MOTION SENSOR & SCONCE BY FRONT & SIDE DOOR

Style of windows: 1/1 CLAD WINDOWS BY MARVIN OR EQUAL

Type of exterior doors: 4 PANEL SOLID WOOD WITH TRANSOM

Describe any ornamental woodwork: N/A

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Manuel Mitten Date: 1/16/25

Applicant's Name: Manuel Mitten

Applicant's Address: 2217 Engineers Rd "A" Belle Chase, VA 70037

Phone No: (985) 290-9172 Cell No: (985) 290-9172

For Office Use Only:

Application date: January 16, 2025

Substantive Change: Yes No

Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

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Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Manuel Mitten the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on Feb. 3rd at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Manuel Mitten

Name of Applicant (Please Print)

2217 Engineers Rd.

Applicant's Address

2217 Engineers Rd.

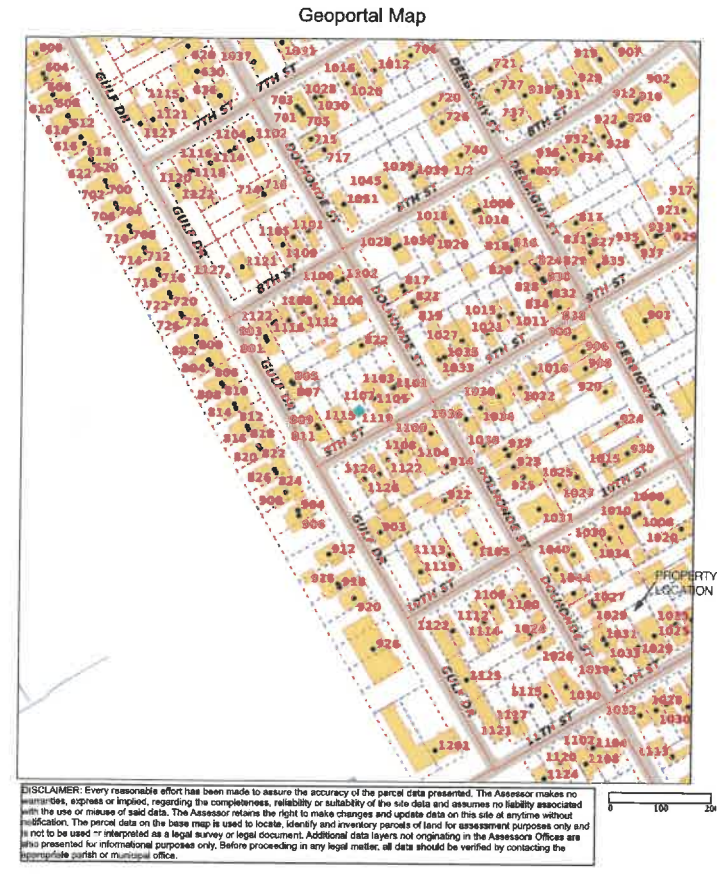
Address under HDC review

Date: _____

1/16/25

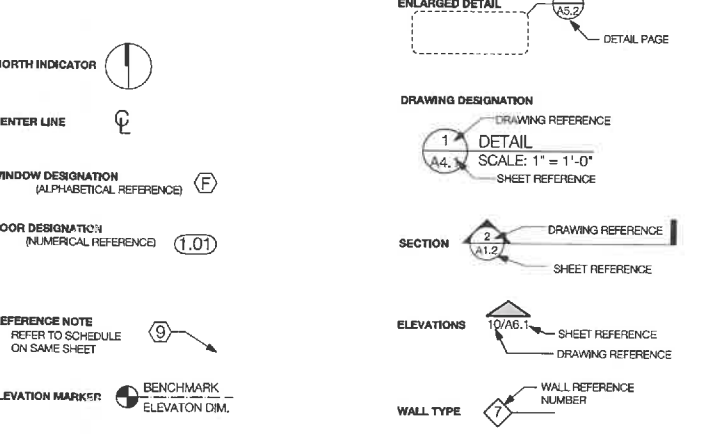
GENERAL NOTES

- CONTRACTOR AND MAJOR SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION SITE AND VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND THE OWNER. IN ADDITION REVIEW CAREFULLY ALL CONDITIONS AND SYSTEMS AND FAMILIARIZE HIMSELF WITH ALL ASPECTS OF THE REQUIRED WORK FOR A COMPLETE INSTALLATION. ALL DEMOTION OR CHANGES NECESSARY TO ACHIEVE THE INSTALLATIONS SHOWN SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO SUBMITTING FINAL PRICE TO MAKE NECESSARY ADJUSTMENTS SO AS TO AVOID ANY EXTRA COSTS DURING CONSTRUCTION.
- CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF DEMOLITION DEBRIS, WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATION AND SHALL REMOVE NO LESS THAN WEEKLY ALL DEBRIS FROM AND ABOUT THE PROJECT. ALL WASTE SHALL BE SEPARATED BY TYPE OF MATERIAL FOR RECYCLING. CONTRACTOR SHALL COORDINATE CONSTRUCTION LIMITS, STAGING LIMITS AND STAGING AREAS WITH OWNER.
- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS. CONTRACTOR SHALL ENSURE ALL MATERIALS AND WORK COMPLY WITH APPLICABLE GOVERNING CODES.
- CONTRACTOR SHALL INSTALL AND PROVIDE ALL SAFETY BARRIERS DURING CONSTRUCTION AS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ACCESS TO THE BUILDING OR ADJACENT FLOORS.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION OF AREA IN QUESTION.
- PERIMETER DIMENSIONS ARE TO BE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
- ALL RATED PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERSIDE OF STRUCTURE. INTEGRITY OF ONE-HOUR RATED PARTITIONS AND SMOKE PARTITIONS SHALL BE MAINTAINED AT CORNERS AND AT INTERSECTIONS OF OTHER PARTITION TYPES.
- UNLESS OTHERWISE NOTED OR DETAILED ALL PIPE CHASE WALLS WITH A THICKNESS GREATER THAN 4 INCHES ARE TO BE CONSTRUCTED OF 6" STUDS WITH ONE LAYER OF 5/8" TYPE X DRYWALL ON BOTH SIDES. PROVIDE METAL OR DRYWALL CROSS BRACES AS REQUIRED TO MAINTAIN THE REQUIRED FIRE RATING OF THE CONSTRUCTION. HOLD CHASE WALLS TO MINIMUM DIMENSIONS. VERTICAL PIPING LOCATED WITHIN THE STUD SPACE OF PARTITIONS SHALL BE COMPLETELY ENCLOSED WITH FULL THICKNESS OF DRYWALL ON EACH SIDE OF STUD.
- RECESSES FOR ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ANNUNCIATOR BOXES, ETC., LOCATED IN RATED PARTITIONS SHALL BE FACED WITH DRYWALL TO CREATE A FIVE SIDED ENCLOSURE AS REQUIRED TO RETAIN RATING OF WALL.
- JOINTS OCCURRING IN RATED DRYWALL PARTITIONS SHALL BE STAGGERED BOTH HORIZONTALLY AND VERTICALLY.
- ALL WALLS AND FLOOR OPENINGS SHALL BE FIRE STOPPED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL MECHANICALLY FASTENED IN PLACE TO PROVIDE AN EFFECTIVE AND APPROVED FIRE STOP. OPENING IN SLABS AND PARTITIONS FOR CONDUIT, PIPING AND OTHER ITEMS SHALL BE FILLED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL TO PROVIDE AN APPROVED SEAL TO PROHIBIT THE PASSAGE OF FIRE OR SMOKE.
- PROVIDE 6 INCH STUDS BEHIND SINKS, AND WHERE NOTED OR OTHERWISE REQUIRED TO CONCEAL PIPING AND OTHER ITEMS OCCURRING WITHIN PARTITIONS.
- NAILERS, BLOCKING AND OTHER ROUGH CARPENTRY ITEMS INDICATED AS "WOOD", "P.T. WOOD", OR "TREATED WOOD" SHALL BE TREATED FOR WATER RESISTANCE.
- THE CONTRACTOR AND SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE FOLLOWING ABBREVIATIONS AND THE STANDARD ABBREVIATIONS WHICH MAY USED IN THIS SET OF DRAWINGS:
 F.O.F. - FACE OF FINISH
 F.O.S.H. - FACE OF SHEATHING
 F.O.S. - FACE OF STUD
 F.O.E. - FACE OF EXISTING
 F.O.C. - FACE OF CONCRETE (MASONRY)
 A.F.F. - ABOVE FINISHED FLOOR
 N.T.S. - NOT TO SCALE
 R.O. - ROUGH OPENING
 M.O. - MASONRY OPENING
 U.N.O. - UNLESS NOTED OTHERWISE
 T.O.S. - TOP OF STEEL
 T.O.F.F. - TOP OF FINISH FLOOR
 O.F.C.I. - OWNER FURNISHED, CONTRACTOR INSTALLED
 E.T.R. - EXISTING TO REMAIN
- CONTRACTOR TO PROVIDE FINISH MATERIALS SUBMITTALS TO ARCHITECT FOR OWNER REVIEW
- ANY REQUEST FOR CONSIDERATION BY THE OWNER OF SUBSTITUTIONS OF SPECIFIED MATERIALS OR PRODUCTS CALLED FOR OR SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS, SHALL BE SUBMITTED TO THE OWNER IN WRITING FOR A WRITTEN APPROVAL BY THE OWNER. SHALL BE RECEIVED AT THE OWNER'S OFFICE TEN (10) BUSINESS DAYS PRIOR TO THE SPECIFIED BID DATE. ANY BID BASED UPON OR CONTAINING AN UNAPPROVED PRODUCT OR MATERIAL SUBSTITUTION MAY BE DISALLOWED.
- DO NOT SUBSTITUTE MATERIALS, PRODUCTS OR EQUIPMENT UNLESS SUCH SUBSTITUTION HAVE BEEN "SPECIFICALLY APPROVED IN WRITING" FOR THIS WORK BY THE OWNER.
- WHERE THE PHRASE "OR EQUAL" OR "AS APPROVED BY THE ARCHITECT" OCCURS IN THE CONTRACT DOCUMENTS, DO NOT ASSUME THAT MATERIALS, PRODUCTS OR EQUIPMENT WILL BE APPROVED AS EQUAL UNLESS THE ITEM HAS BEEN SPECIFICALLY APPROVED IN WRITING FOR THIS WORK BY THE ARCHITECT. THE DECISION OF THE OWNER SHALL BE FINAL IN RELATION TO SUBSTITUTIONS.
- ANY SUBSTITUTIONS FOR SPECIFIED MATERIALS CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, SHALL BE SUBMITTED TO THE OWNER IN WRITING FOR A WRITTEN APPROVAL 10 DAYS PRIOR TO THE SPECIFIED BID DATE.
- DIMENSIONS, ALIGNMENTS, DETAILS AND FLOOR PLAN DIMENSIONS SHOWN ON THESE DOCUMENTS ARE BASED UPON AN ASSUMED MANUFACTURER'S STANDARD DETAILS. IF A MANUFACTURER IS SUBSTITUTED AND/OR "APPROVED AS EQUAL" BY THE ARCHITECT AS SPECIFIED IN THE "BIDDING REQUIREMENTS"; THEN IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RECOORDINATE THE DIMENSIONAL AND DETAIL REQUIREMENTS OF THE SUBSTITUTED MANUFACTURER TO THE REQUIREMENTS OF THIS PROJECT AND/OR TO ENGAGE THE ARCHITECT TO REVISE AND RECOORDINATE THE CONTRACT DOCUMENTS AS MAY BE REQUIRED.
- CONTRACTOR TO COORDINATE ALL FINISHES WITH OWNER AND ARCHITECT OF RECORD.
- CONTRACTOR TO PROVIDE BLOCKING FOR ALL CABINETS AND CASEWORK.
- PROVIDE BLOCKING FOR ALL SURFACE MOUNTED, SEMI-RECESSED OR RECESSED ITEMS SUCH AS ACCESSORIES, GRAB-BARS, CLOSET RODS AND SHELVES, DRAPERY ROD, SHOWER CURTAIN RODS, COUNTERTOPS, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF MECHANICAL, ELECTRICAL, PLUMBING, ETC WORK SO THAT THE WORK IN THE FIELD WILL ACHIEVE THE DESIGN CRITERION SET OUT IN THE ARCHITECTURAL PACKAGE.
- CONSTRUCTION OF ALL VERTICAL OPENINGS (SHAFTS) SHALL BE IN ACCORDANCE WITH ALL CODE REQUIREMENTS.
- ALL SUBCONTRACTORS TO SEAL ALL PENETRATIONS, SEAMS, OPENINGS THROUGH RATED WALLS AND/OR FLOOR-CEILING ASSEMBLIES WITH FIRE SEALANT AND/OR INTUMESCENT PIPE WRAPS. INTUMESCENT PIPE WRAPS TO BE USED AT ALL PVC PIPING THAT PENETRATES RATED ASSEMBLIES.
- SEAL ALL PENETRATIONS THROUGH ALL PARTITIONS.
- ALL WALL AND FLOOR ASSEMBLIES MUST MEET THE REQUIREMENTS OF THE U.L. ASSEMBLY SYSTEM REFERENCED.
- CONSULT ARCHITECT FOR APPROVAL OF PARTITION LAYOUT ON EACH FLOOR BEFORE CONSTRUCTION PROCEEDS. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARISE.



SITE LOCATOR MAP

GRAPHIC SYMBOLS



SCOPE OF WORK

- ARCHITECTURAL**
CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE
- MECHANICAL**
HVAC SYSTEM TO BE INSTALLED PER PER APPLICABLE CODES.
- ELECTRICAL**
NEW ELECTRICAL SYSTEM TO BE INSTALLED PER PLANS PER APPLICABLE CODES.
- PLUMBING**
NEW PLUMBING SUPPLY AND DRAIN LINES TO BE INSTALLED PER APPLICABLE CODES. FIXTURES TO BE INSTALLED PER PLANS.
- STRUCTURAL**
NEW BANDED-PIILING FOUNDATION, PER PLANS

PROJECT INFORMATION

CLASSIFICATION OF WORK: CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE

BUILDING HEIGHT (PROPOSED): SEE A4.1

TOTAL OCCUPANCY AREA: 1,425 SF

ZONING: R-2

THESE DRAWINGS HAVE BEEN PREPARED TO MEET THE DESIGN SPECIFICATIONS OF THE INTERNATIONAL RESIDENTIAL CODE 2021 EDITION. THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE 2021 ED.

WIND LOADS = 130 MPH. BASIC WIND SPEED EXPOSURE "B" (R301.2 (4))

PROJECT DIRECTORY

OWNER
MANNY MITTEN
301 5TH STREET
GRETNLA, LA 70063

ARCHITECT OF RECORD
KIMBERLY FINNEY, ARCHITECT
425 FIRST STREET, APT. 7
NEW ORLEANS, LA 70130
KFALLC@ICLOUD.COM

CONTRACTOR
OUT TO BID

DRAWING INDEX

SHEET	DESCRIPTION
A0.0	GENERAL INFORMATION
A0.1	SITE INFORMATION
A0.2	SITE PLAN
A1.1	INTERIOR DETAILS
A1.2	EXTERIOR DETAILS
A2.0	FOUNDATION PLAN
A2.1	FLOOR PLAN
A2.2	FRAMING PLANS
A3.1	REFLECTED CEILING PLANS
A4.1	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A5.2	STRUCTURAL DETAILS



7112
APPROVED FOR
SHALL BE RESPONSIBLE FOR THE ARCHITECT
ON SITE AT 425 FIRST STREET, APT. 7
INSPECTION NEW ORLEANS, LA 70130
OTHERWISE I WILL BE DEEMED A FAIL
KFALLC@ICLOUD.COM



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
GRETNLA, LA

REVISION	REVISION DATE	PROJECT NO.	DRAWN BY:	APPROVED BY:
			K6F	K6F

GENERAL INFORMATION
APRIL 5, 2023
A0.0



SURVEY & ELEVATION CERTIFICATE NOTES:

1. SURVEY AND ELEVATION CERTIFICATE ARE PROVIDED BY OWNER FOR REFERENCE & USE IN THE DESIGN AND CONSTRUCTION AT 1119 NINTH STREET, GRETNA, LA ONLY.
2. ARCHITECT IS PERMITTED TO RELY ON THE ACCURACY OF THE INFORMATION CONTAINED IN THE SURVEY AND ELEVATION CERTIFICATE WITH NO OBLIGATION FOR VERIFICATION ON THE PART OF THE ARCHITECT.
3. ANY DISCREPANCIES FOUND IN THE SURVEY OR ELEVATION CERTIFICATE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, ARCHITECT, GENERAL CONTRACTOR, AND SURVEYOR IMMEDIATELY.
4. ANY WORK THAT PROCEEDS AFTER A DISCREPANCY IS FOUND OR REPORTED SHALL BE SOLELY AT THE RISK OF THE OWNER AND/OR GENERAL CONTRACTOR.

BENCHMARK CERTIFICATE

Dufrene Surveying & Engineering Inc.
 P.O. BOX 753 - 1634 MANHATTAN BLVD - HARVEY, LA 70058
 TELEPHONE: (504) 368-6390 - FAX: (504) 368-6394

JOB NO. 22-0375 DATE July 11, 2022
 ERIC ECCLES

RE: CONSTRUCTION BENCH MARK

Location LOT 11, SQUARE 22, VILLAGE OF NEW MECHANICKHAM, CITY OF GRETNA (NINTH STREET) JEFFERSON PARISH, LA

Elevation of High Point of curb or existing Centerline of Street: 0.7 N.A.V.D.
 HEAG (Natural Ground Elevation) 0.7 N.A.V.D.
 Existing Ground Elevation 1.6 N.A.V.D.
 Description of Construction Bench Mark: RED DOT PAINTED IN CENTER OF STREET IN FRONT OF LOT 11

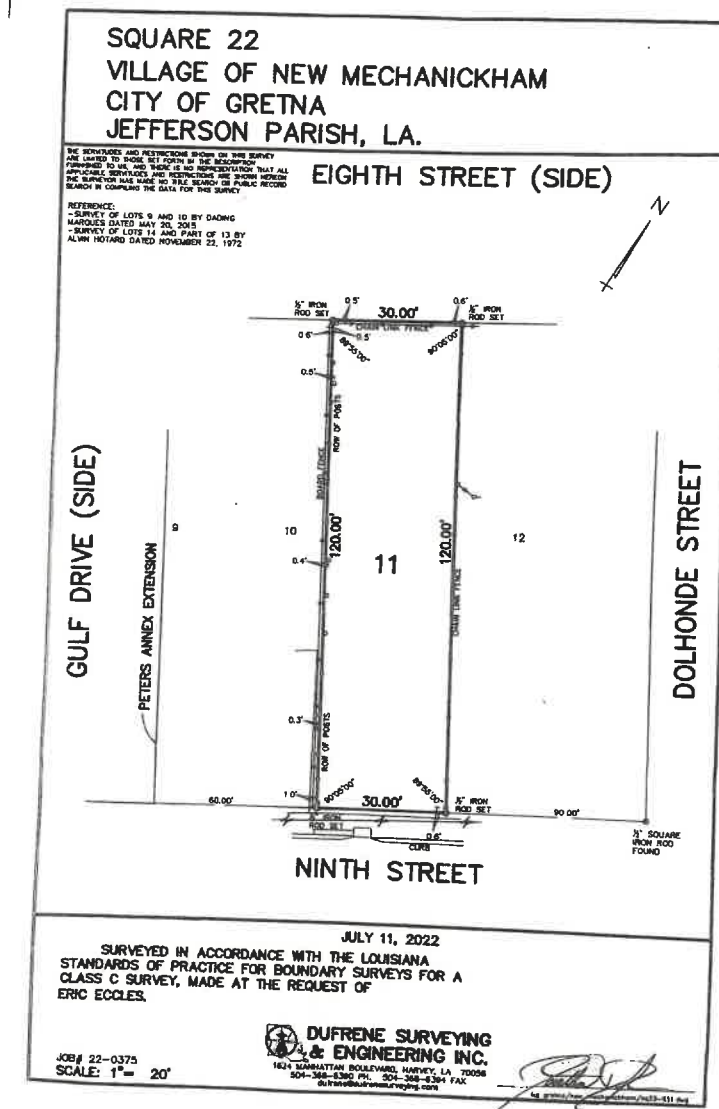
Elevation of Construction Bench Mark: 0.7 N.A.V.D.
 Reference Bench Mark Used to Establish Elevations: GPS OBSERVATIONS (GEOID18)

THE UNDERSIGNED IS NOT RESPONSIBLE FOR TRANSFER OF GRADE ELEVATION FROM ESTABLISHED CONSTRUCTION TBM TO FORMS BY THE CONTRACTOR OR OTHERS. WE RECOMMEND THAT THE CONSTRUCTION BENCH MARKS, DUE TO THEIR TEMPORARY NATURE, NOT BE USED MORE THAN 30 DAYS AFTER ESTABLISHMENT.
 THE INFORMATION SHOWN HEREON IS CURRENT AS OF THE DATE AT THE TOP OF THE FORM. OWNER/CONTRACTOR TO VERIFY SFE REQUIREMENTS AT THE TIME OF PERMITTING.

PROFESSIONAL LAND SURVEYOR

TO BE OBTAINED FROM LOCAL BUILDING PERMIT OFFICIAL:
 COMMUNITY NO. 225198 PANEL NO. 0215F DATE OF FIRM 02/02/18
 F.I.A. ZONE X BASE FLOOD ELEVATION N/A N.A.V.D.
 MINIMUM STRUCTURE ELEVATION N.A.V.D.

SURVEY



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETNA, LA

REVISION DATE:	
REVISION:	
ISSUED DATE:	
ISSUED FOR:	
PROJECT NO.	
DRAWN BY:	KKF
APPROVED BY:	KKF

SITE INFORMATION

APRIL 5, 2023

A0.1

NOTES

1. CONTRACTOR TO GRADE SITE TO SHEET DRAIN TO PUBLIC RIGHT-OF-WAY
2. CONTRACTOR TO PROVIDE DOWNSPOUTS AND SPLASH BLOCKS
3. HVAC EQUIPMENT TO BE PLACED ON A TREATED WOOD PLATFORM AT OR ABOVE B.F.E.
4. TERMITES PROTECTION SHALL BE BY CHEMICAL TERMITICIDE TREATMENT IN ACCORDANCE WITH IRC 2021 SECTION R318.2.

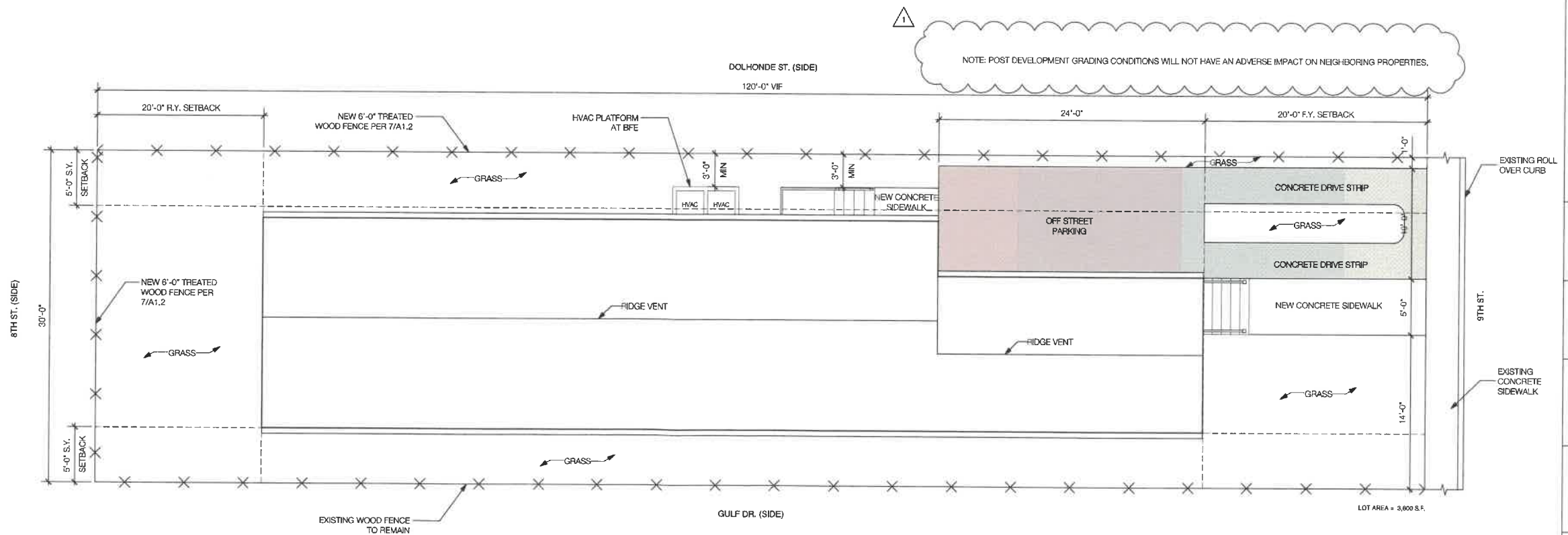
PROJECT INFORMATION

CLASSIFICATION OF WORK: CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE
 ZONING: R-2
 LOT AREA = 3,600 SF
 FRONT YARD PROVIDED = 600 SF
 MAXIMUM IMPERVIOUS FRONT YARD (60%) = 300 SF
 IMPERVIOUS FRONT YARD PROPOSED = 250 SF
 BUILDING HEIGHT = SEE A4.1



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET

GRETNA, LA



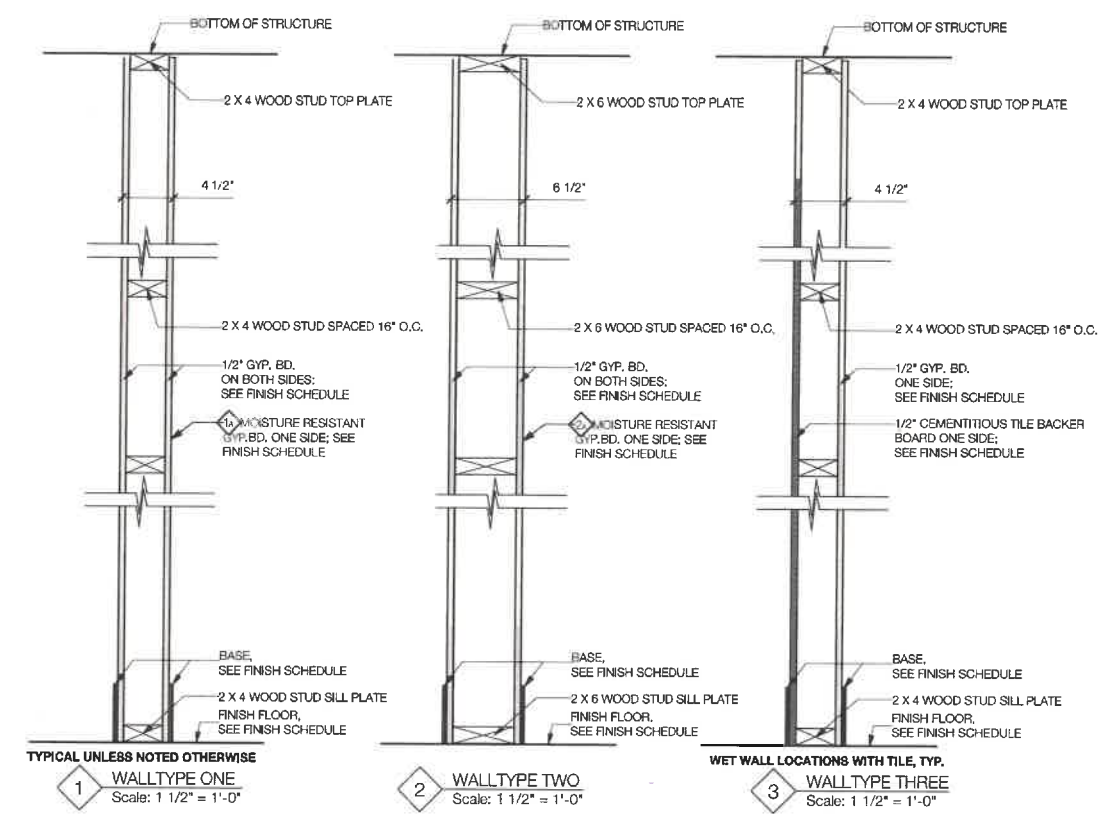
ISSUED FOR:	
ISSUED DATE:	
PERMIT REVIEW:	
REVISION DATE:	06/28/23
PROJECT NO.:	
DRAWN BY:	KKF
APPROVED BY:	KKF

SITE PLAN

APRIL 5, 2023

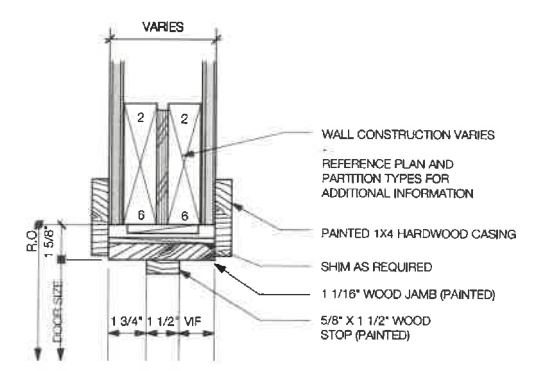
A0.2

1 SITE PLAN
 Scale: 3/16" = 1'-0"

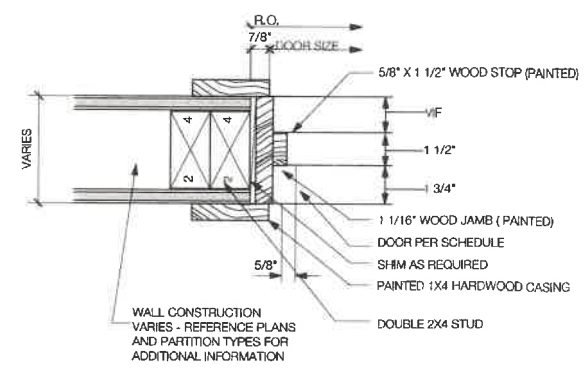


TYPICAL UNLESS NOTED OTHERWISE
 1 WALLTYPE ONE Scale: 1 1/2" = 1'-0"
 2 WALLTYPE TWO Scale: 1 1/2" = 1'-0"
 3 WET WALL LOCATIONS WITH TILE, TYP. WALLTYPE THREE Scale: 1 1/2" = 1'-0"

1 WALL TYPES Scale: 1 1/2" = 1'-0"



2 DOOR HEAD DETAIL - INTERIOR Scale: 3" = 1'-0"



3 DOOR JAMB DETAIL - INTERIOR Scale: 3" = 1'-0"

CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
 1119 NINTH STREET
 GRETNA, LA

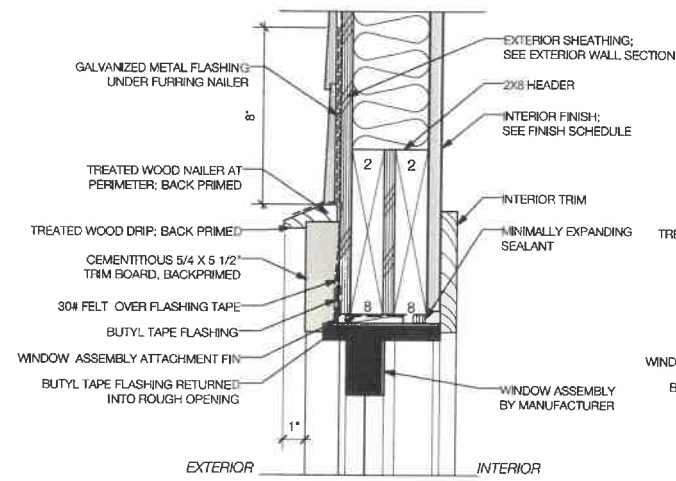
ISSUED FOR:	
ISSUED DATE:	
REVISION:	
REVISION DATE:	
PROJECT NO.:	
DRAWN BY:	
APPROVED BY:	

INTERIOR DETAILS

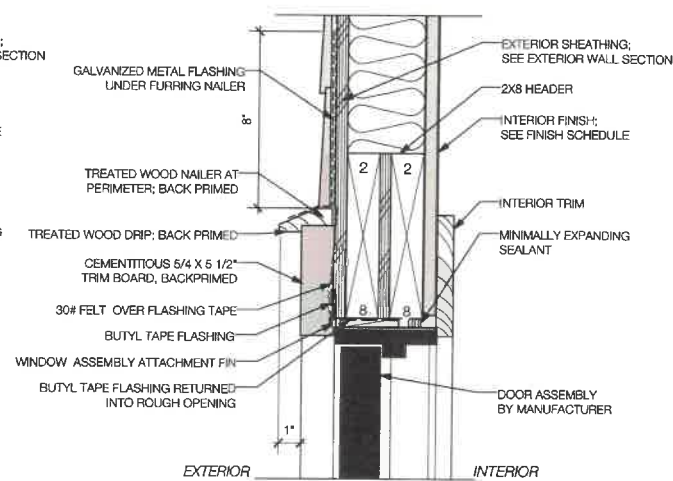
APRIL 5, 2023

A1.1

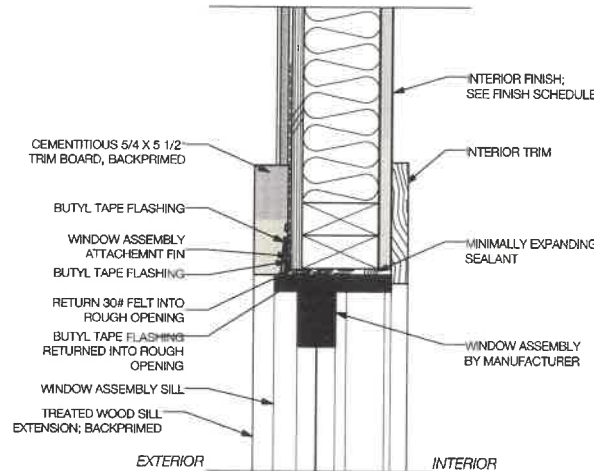
CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETTNA, LA



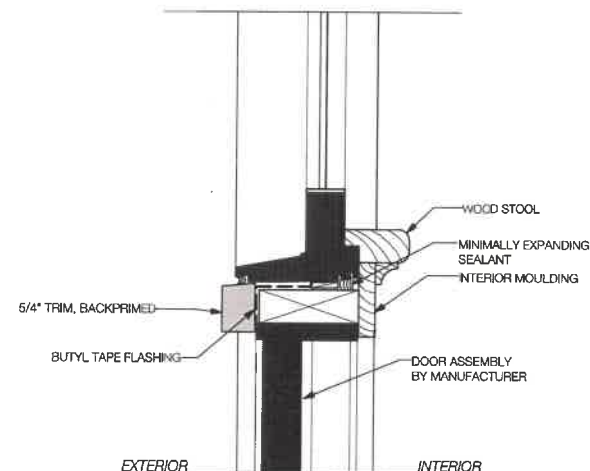
1 WINDOW HEAD
 Scale: 3" = 1'-0"



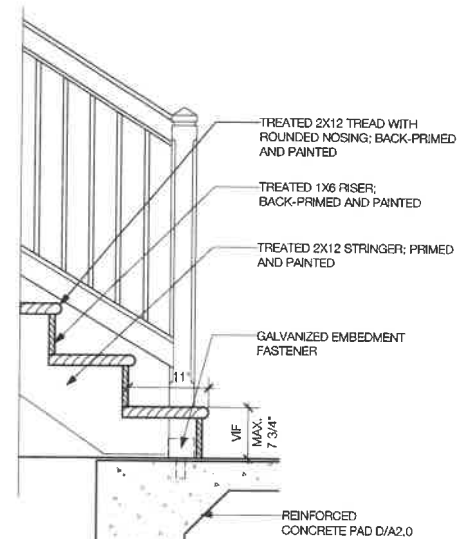
4 TRANSOM HEAD
 Scale: 3" = 1'-0"



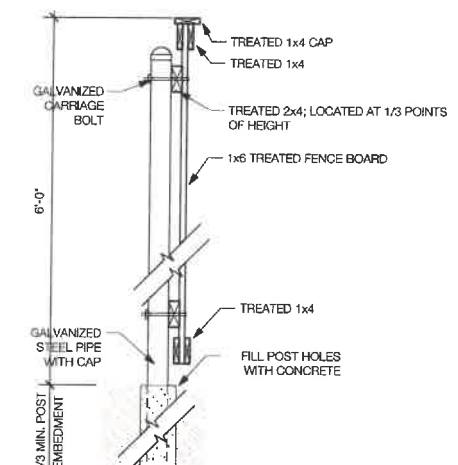
2 WINDOW JAMB TYP.
 Scale: 3" = 1'-0"



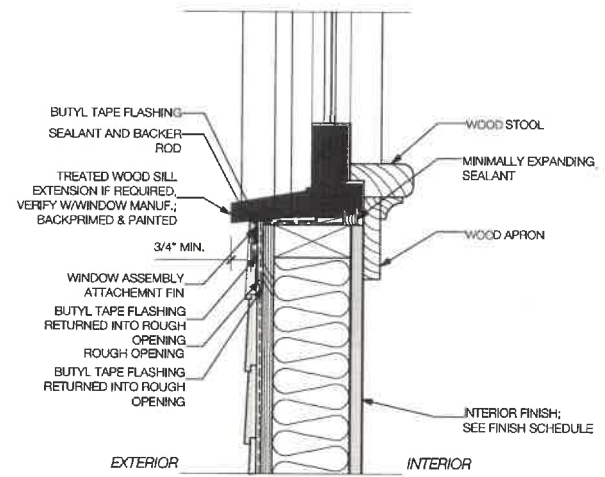
5 EXTERIOR DOOR HEAD & TRANSOM
 Scale: 3" = 1'-0"



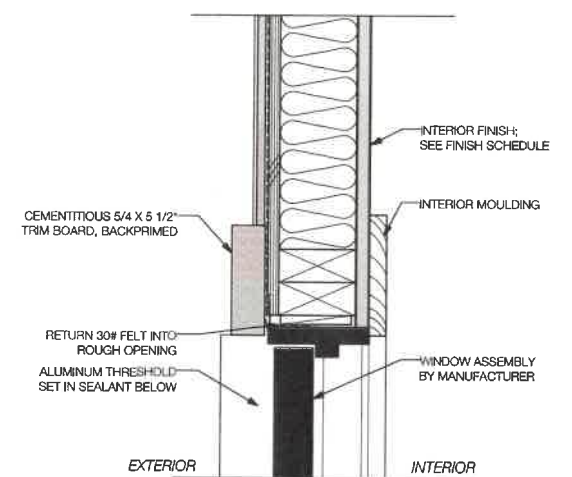
8 DETAIL - WOOD STAIR
 Scale: 1" = 1'-0"



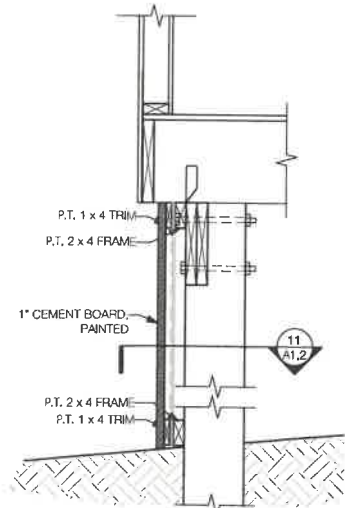
7 6'-0\"/>



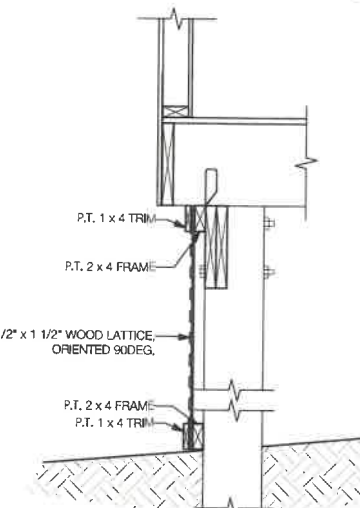
3 WINDOW SILL TYP.
 Scale: 3" = 1'-0"



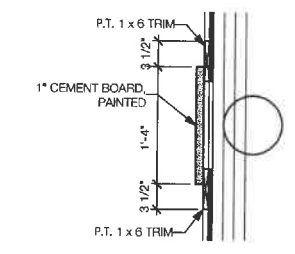
6 EXTERIOR DOOR JAMB
 Scale: 3" = 1'-0"



9 SECTION - LATTICE AT PILINGS
 Scale: 1" = 1'-0"



10 SECTION - LATTICE BETWEEN PILINGS
 Scale: 1" = 1'-0"



11 HORIZONTAL SECTION - LATTICE AT PILINGS
 Scale: 1" = 1'-0"

REVISION DATE:	REVISION:	ISSUED DATE:	ISSUED FOR:

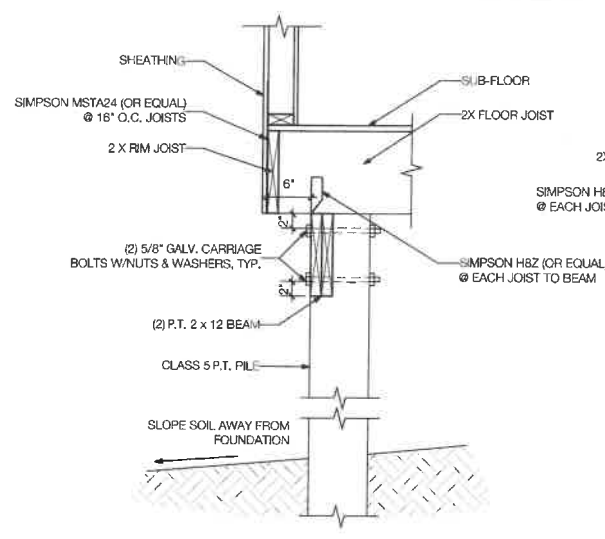
EXTERIOR DETAILS

APRIL 5, 2023

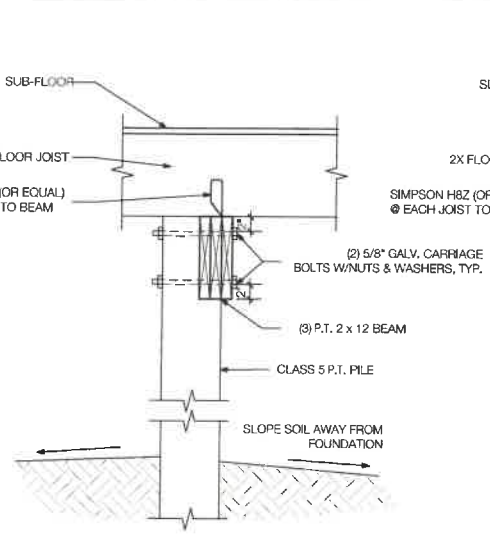
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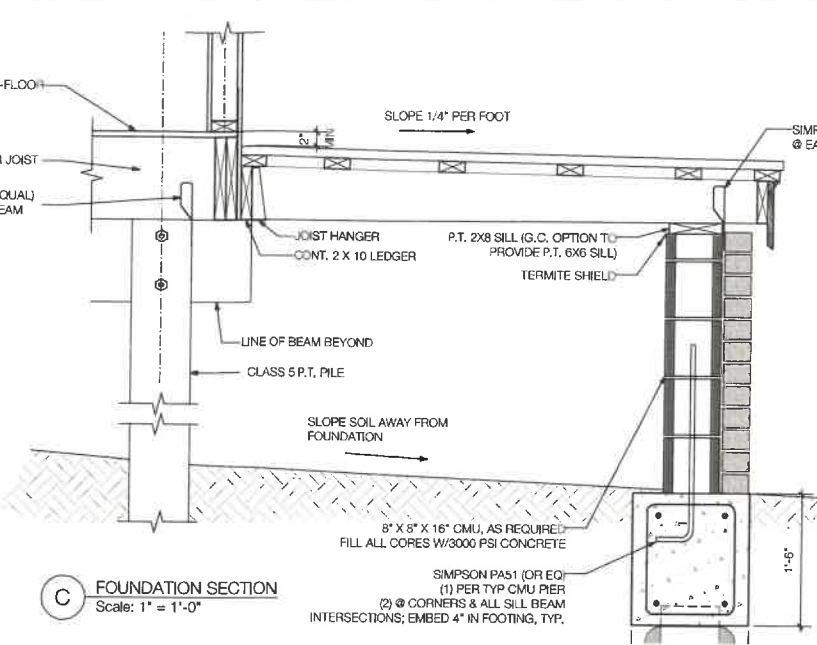
CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETNA, LA



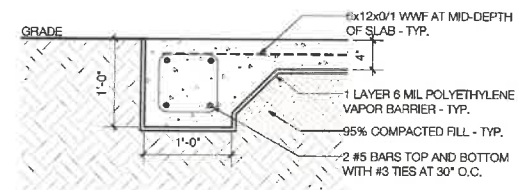
A FOUNDATION SECTION
 Scale: 1" = 1'-0"



B FOUNDATION SECTION
 Scale: 1" = 1'-0"



C FOUNDATION SECTION
 Scale: 1" = 1'-0"



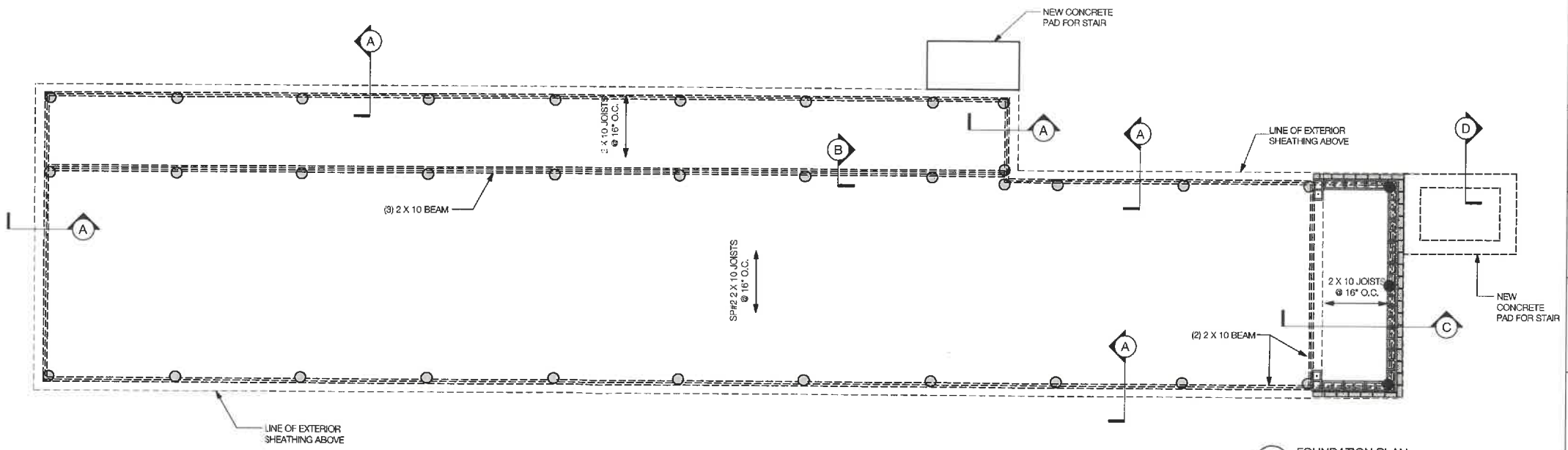
D STAIR PAD DETAIL
 Scale: 1" = 1'-0"

PILE SPECIFICATIONS

- PILES SHALL BE CLASS 5 WITH A MINIMUM 30 FOOT TIP EMBEDMENT BELOW NATURAL GRADE OR DRIVEN TO REFUSAL, (REFUSAL = 12 BLOWS PER FOOT FOR (2) CONSECUTIVE FEET AT 15,000 FT-LBS PER BLOW).
- DESIGN LOAD = 5 TONS PER PILE.
- NO FIELD SUPERVISION OR INSPECTION SHALL BE PROVIDED UNDER THIS SEAL UNLESS NOTED OTHERWISE.
- PILE LAYOUT MAY BE MODIFIED DUE TO ACTUAL DRIVING CONDITIONS. ARCHITECT SHALL BE NOTIFIED IN ADVANCE OF ANY MODIFICATION.
- A BLOW COUNT ON THE FIRST (4) PILES SHALL BE REPORTED TO THE ARCHITECT OF RECORD FOR REVIEW BEFORE DRIVING REMAINDER OF PILES.
- PILES SHALL MEET AWPA STANDARDS C3-02 FOR PRESERVATIVE RETENTION.
- A PILE BLOW COUNT LOG OF ALL PILES SHALL BE SUBMITTED TO THE ARCHITECT OF RECORD. FAILURE TO SUBMIT SAID LOG WILL RELEASE THE ARCHITECT OF ALL RESPONSIBILITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPARISON AND VERIFICATION OF PILE LAYOUT DIMENSIONS WITH THE MOST RECENT ARCHITECTURAL. ASSURING THAT PILES DO FALL WITHIN LIMITS OF THE STRUCTURE.

FOUNDATION NOTES

- TOTAL NEW FOUNDATION AREA = 1,600 SF
- THE CONTRACTOR SHALL FIELD VERIFY ALL DROPS, SLOPES, RECESSES, BRICK SEATS, BLOCK-OUTS ON ARCHITECTURAL PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MAY EXIST.
- COORDINATE ALL STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, INSERTS, AND ANY OTHER RELATED ITEMS.
- ALL SECTIONS SHOWN ARE AT THE MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
- ALL FORMWORK SHALL BE IN COMPLIANCE WITH A.C.I. 301.
- PROVIDE .008 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS AND GRADE BEAMS THAT ARE PART OF A SLAB FOUNDATION SYSTEM.
- CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM OF 5.0 SACKS OF CEMENT PER CUBIC YARD AND A MAXIMUM OF 30 GALLONS OF FREE AND ADDED WATER PER CUBIC YARD. POUR TO 5" +/- 1" SLUMP. SUCH A MIX SHOULD GIVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (A.C.I. 318R-04).
- FILL SHALL BE AN INERT GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR AND SHALL EXTEND A MINIMUM OF 5'-0" BEYOND THE PERIMETER OF THE FOUNDATION IN ALL DIRECTIONS.
- ALL CONVENTIONAL REINFORCING STEEL SHALL BE ASTM DESIGNATION A-615 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
- REINFORCEMENT SHALL HAVE 3" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS, 1 1/2" COVER IN SLAB TOPS AND BOTTOMS, UNLESS OTHERWISE SHOWN.
- REBARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
- LOCATE NO.5 REBAR IN FILLED 8" CONCRETE BLOCK WALL CELLS WHERE REQUIRED IN FOUNDATION.
- PLANS FOR PIPES, CONDUITS, THIMBLES, ETC TO PASS THROUGH CONCRETE SLAB OR BEAM MUST NOT CONFLICT WITH REINFORCING. WHERE A CONFLICT OCCURS, REINFORCING LOCATION IS TO TAKE PRECEDENCE.
- TERMITE PROTECTION SHALL BE BY CHEMICAL TERMITICIDE TREATMENT IN ACCORDANCE WITH IRC 2021 SECTION R318.2, OR BY BONDED CONTRACT.
- ALTERATION OR DEVIATION FROM THE INFORMATION SHOWN IN THE DRAWINGS WITHOUT ADVANCED APPROVAL FROM THE PROFESSIONAL OF RECORD (POR) MAY VOID POR RESPONSIBILITY.



1 FOUNDATION PLAN
 Scale: 1/4" = 1'-0"

REVISION DATE:	REVISION:	PROJECT NO.:	DRAWN BY:	APPROVED BY:

FOUNDATION PLAN

APRIL 5, 2023

A2.0

OPENING SCHEDULE

WINDOWS					
MARK	ROUGH OPENING		DESCRIPTION	HEAD HEIGHT	REMARKS
	WIDTH	HEIGHT			
A	3'-0"	6'-0"	NEW VINYL 2/2 WINDOWS	8'-0"	
B	3'-0"	5'-0"	NEW VINYL 1/1 WINDOWS	8'-0"	
C	3'-0"	2'-0"	NEW FIXED VINYL PICTURE WINDOW	8'-0"	EGRESS COMPLIANT PER IRC 2015
D	3'-0"	4'-0"	NEW VINYL 1/1 WINDOWS	8'-0"	MIN. SILL HT = 60" A.F.F.

DOORS					
MARK	UNIT SIZE		DESCRIPTION	TYPE	REMARKS
	WIDTH	HEIGHT			
100	3'-0"	6'-8"	NEW SOLID WOOD HALF-GLASS PANEL EXTERIOR DOOR WITH 1'-0" TRANSOM ASSEMBLY		3'-2" x 8'-2 1/2" F.O.
101	3'-0"	7'-0"	NEW INTERIOR PR DOOR		
102	3'-0"	6'-8"	NEW SOLID WOOD HALF-GLASS PANEL EXTERIOR DOOR WITH 1'-0" TRANSOM ASSEMBLY		3'-2" x 8'-2 1/2" F.O.
103	2'-0"	7'-0"	NEW INTERIOR POCKET DOOR		
104, 106, 109, 111	2'-8"	7'-0"	NEW INTERIOR DOOR		
105, 110	3'-0"	7'-0"	NEW INTERIOR POCKET DOOR		
107	1'-8"	7'-0"	NEW INTERIOR DOOR		
108, 115	2'-0"	7'-0"	NEW INTERIOR DOOR		
112, 113	2'-6"	7'-0"	NEW INTERIOR DOOR		
114	2'-0"	7'-0"	NEW INTERIOR PR DOOR		

OPENING SCHEDULE NOTES

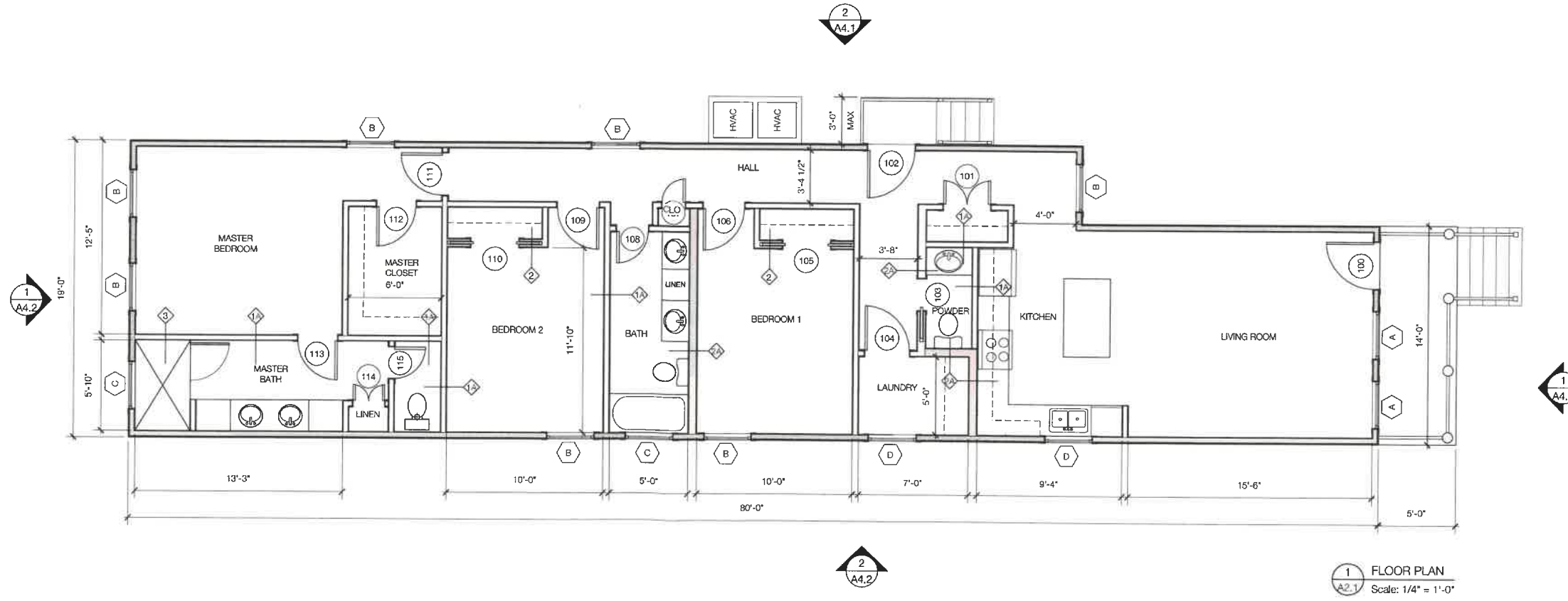
1. PROVIDE WIND-BORNE DEBRIS PROTECTION FOR WINDOWS IN ACCORDANCE WITH R301.2.1.2 IRC 2021
2. MAINTAIN 1/2" DIFFERENTIAL BETWEEN INTERIOR AND EXTERIOR FINISH FLOOR ELEVATIONS AT EXTERIOR DOORS. SLOPE PORCH SURFACES AWAY FROM EXTERIOR WALLS.
3. ALL DOORS SHALL RECEIVE A PAINT FINISH
4. INSTALL WEATHER STRIPPING AT ALL EXTERIOR DOORS
5. ALL WOOD SHALL BE KILN DRIED, MOISTURE CONTENT 6-12%
6. ALL DOOR GLASS SHALL BE TEMPERED
7. ALL HARDWARE SHALL BE BRUSHED NICKEL
8. PROVIDE DOOR STOPS OR BUMPERS AT ALL DOORS
9. PROVIDE GASKETED ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS

FINISHES SCHEDULE

MARK	ROOM	FLOOR	WALLS				CEILING	CEILING HEIGHT
			NORTH	EAST	SOUTH	WEST		
	LIVING ROOM	WOOD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"
	KITCHEN	WOOD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"
	POWDER	CERAMIC TILE	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	9'-0"
	LAUNDRY ROOM	WOOD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"
	BEDROOM 1	WOOD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"
	BATH	CERAMIC TILE	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	9'-0"
	BEDROOM 2	WOOD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"
	MASTER BATH	CERAMIC TILE	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	9'-0"
	MASTER BEDROOM	WOOD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED MOISTURE RESISTANT GYPSUM BOARD	9'-0"
	HALL	WOOD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"

FINISH SCHEDULE NOTES

1. CLOSETS SHALL HAVE NO CROWN, AND BASE SHALL MATCH ROOM IT SERVES
2. MAINTAIN 1/2" DIFFERENTIAL BETWEEN TILE AND WOOD FINISHES
3. ALL CERAMIC TILE SHALL BE SEALED
4. FLOORING SHALL BE LEFT IN HOUSE TO ACCLIMATE PRIOR TO INSTALLATION - SEE PROJECT NOTES



1 FLOOR PLAN
A4.2 Scale: 1/4" = 1'-0"



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETNA, LA

ISSUED FOR:	ISSUED DATE:	REVISION:	REVISION DATE:

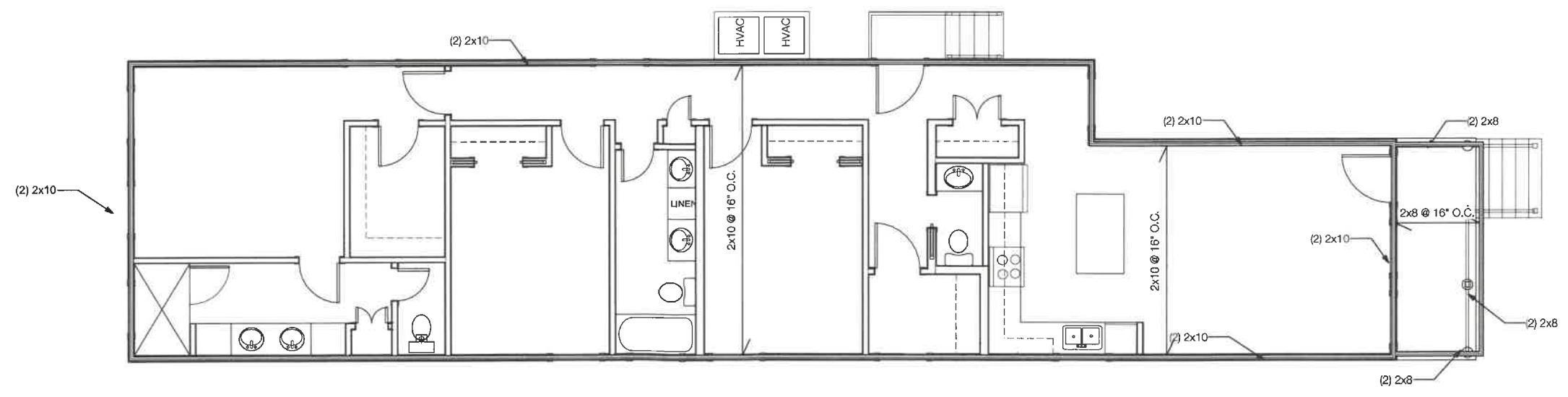
FLOOR PLAN
 APRIL 5, 2023
A2.1



FRAMING NOTES

1. ALL FRAMING TO COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, CURRENT ED. AND INTERNATIONAL RESIDENTIAL CODE 2021 ED. UNLESS NOTED OTHERWISE, ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE FOR THE INTERNATIONAL BUILDING CODE AND/OR THE CODES REFERENCED THEREIN. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
2. FRAMING LUMBER: SOUTHERN YELLOW PINE NO. 2 DENSE K.D. (15%) OR BETTER, U.N.O
3. FLOOR FRAMING SHALL BE SIZED AS INDICATED ON FRAMING PLANS. PROVIDE WOOD CROSS BRIDGING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPAN EXCEEDS EIGHT (8) FEET.
4. COORDINATE FRAMING LAYOUT WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS.
5. SUBSTITUTIONS FOR FRAMING SIZE, SPACING GRADE AND SPECIES WITH PERMISSION FROM THE ARCHITECT ONLY.
6. BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST AND SHALL NOT BE LARGER THAN 1 1/4" IN DIAMETER AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
7. ALL WALL SHEATHING SHALL BE APA STRUCTURALLY RATED SHEATHING. FLOOR AND ROOF SHEATHING SHALL BE APA RATED SHEATHING. SHEATHING SHALL BE NAILED AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, WITH 6D COMMON NAIL.
8. PLYWOOD SUB FLOORING SHALL BE APA RATED 48/24, 3/4" THICK TONGUE AND GROOVE, GLUED AND FASTENED TO FLOOR JOISTS AS INDICATED IN THE BUILDING SECTION, OR EQUAL.
9. PARALLAM JOISTS SHALL HAVE A MIN. E=2,000,000 PSI AND FB OF 2900 PSI.
10. THE NUMBER AND SIZE OF NAILS AT ALL WOOD CONNECTIONS SHALL BE PER THE INTERNATIONAL RESIDENTIAL CODE 2012 ED. TABLE R802.3(1).
11. CONNECTORS SPECIFIED AS "SIMPSON" TYPE ARE TO BE MFR'D BY SIMPSON TIE CO. OR APPROVED EQUAL. COMPLY WITH MFR'S FASTENING PROCEDURES. ALL CONNECTIONS SHALL BE GALVANIZED.
12. JOIST HANGERS SHALL BE 16 GAUGE TYPE "U" AS MANUFACTURED BY SIMPSON STRONG TIE, OR EQUAL. INSTALL JOIST HANGERS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, USE JOIST HANGERS FOR BEAMS AND JOISTS WHICH FRAME TO BEAMS AT SAME ELEVATION. JOIST HANGERS SHALL BE OF A SIZE APPROPRIATE FOR THE MEMBER SUPPORTED.
13. STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, 24 GAUGE GALVANIZED STRAPS 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.
14. ALL LUMBER BELOW BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED (P.T.)
15. TOP OF FINISH FLOOR SHALL BE AT OR ABOVE BASE FLOOD ELEVATION, TYP (SEE EXTERIOR ELEVATIONS).

CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETNA, LA



1 CEILING FRAMING PLAN
 A2.1 Scale: 1/4" = 1'-0"

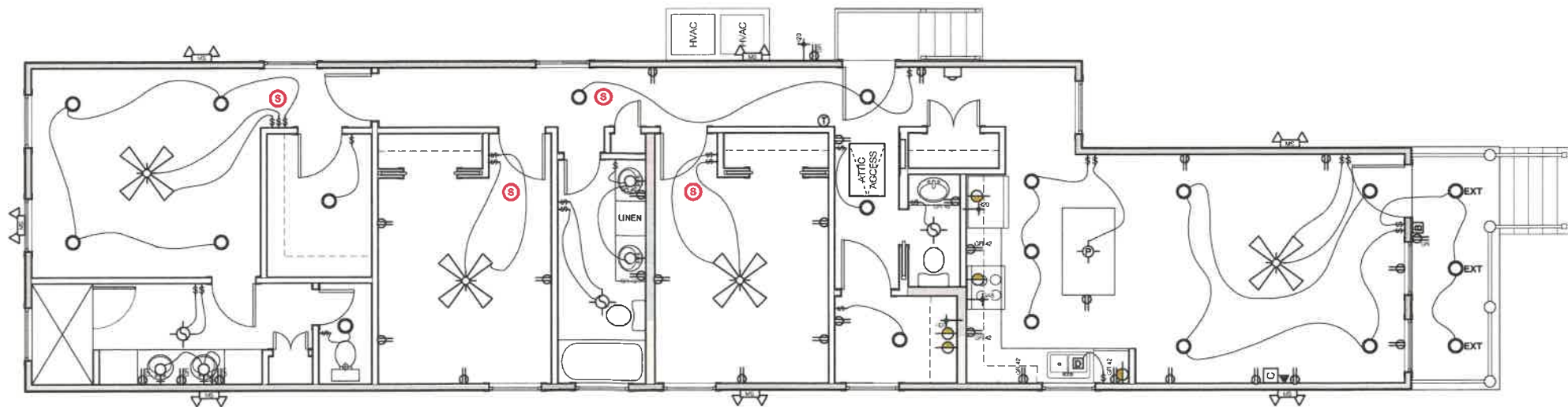
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ISSUED DATE:	
REVISION:	
REVISION DATE:	
PROJECT NO.:	
DRAWN BY:	
APPROVED BY:	

FRAMING PLANS

APRIL 5, 2023

A2.2

ELECTRICAL LEGEND	
	DUPLEX OUTLET
	DUPLEX OUTLET WITH SPECIFIED MOUNTING HEIGHT IN INCHES ABOVE FINISH FLOOR
	GROUNDING DUPLEX OUTLET, STANDARD HEIGHT
	GROUNDING DUPLEX OUTLET, WITH SPECIFIED MOUNTING HEIGHT IN INCHES ABOVE FINISH FLOOR
	SPECIAL PURPOSE OUTLET; VERIFY MOUNTING HEIGHT
	SINGLE POLE SWITCH
	SINGLE POLE SWITCH WITH DIMMER
	3-WAY SWITCH
	SINGLE POLE SWITCH WITH SPECIFIED MOUNTING HEIGHT IN INCHES ABOVE FINISH FLOOR
	DATA / TELEPHONE / CAT5
	PREWIRED CABLE
	SMOKE/CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	VENT / LIGHT
	HEATER / VENT
	HEATER / VENT / LIGHT
	VENT
	PATH LIGHT
	RECESSED CEILING FIXTURE - LED
	RECESSED WATERPROOF FIXTURE - LED
	CEILING MOUNTED LED PUCK LIGHT
	EXTERIOR LED PUCK LIGHT
	RECESSED WALL WASHER CEILING FIXTURE - LED
	CEILING FAN
	ALL FANS TO HAVE LIGHT AND SPEED CONTROL AT SWITCH BOX
	CEILING FAN WITH LIGHT KIT
	WALL MOUNT BRACKET OR SCOFF
	EXTERIOR WALL MOUNT BRACKET OR SCOFF
	CEILING SURFACE MOUNT FIXTURE (DECORATIVE OR UTILITY)
	EXTERIOR CEILING SURFACE MOUNT FIXTURE (DECORATIVE OR UTILITY)
	DECORATIVE PENDANT FIXTURE
	LED STRIP FIXTURE (UTILITY)
	LED STRIP FIXTURE (DECORATIVE)
	LED CONTINUOUS STRIP FIXTURE (UNDER CABINET)
	EXTERIOR MOTION SENSOR LIGHT - LED
	DOOR CHIME
	DOOR BELL
	THERMOSTAT
	3/4" HP GARBAGE DISPOSAL
	GAS HOOK-UP
	WATER LINE HOOK-UP
	CIRCUIT BREAKER PANEL
	AREA OF FIRE RATED EAVE - SEE 10/A1.2



1 REFLECTED CEILING PLAN - FIRST FLOOR
A3.1 Scale: 1/4" = 1'-0"



71122001-01-00000
APPROVED BY: [Signature]
71122001-01-00000
ON SITE AT 1119 FIRST STREET, APT. 7
INSPECTION NEW ORLEANS, LA 70130
IF OTHERWISE NOT ALL @ IN CLOUD.COM
INSPECTION WILL BE
DEEMED A FAIL

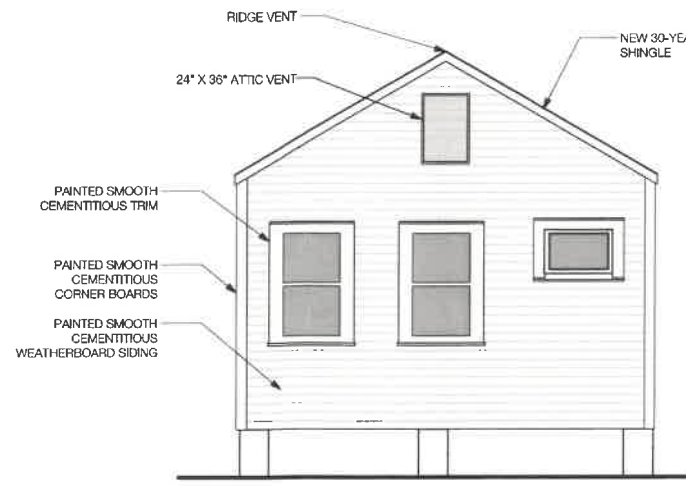


CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
GRETNA, LA

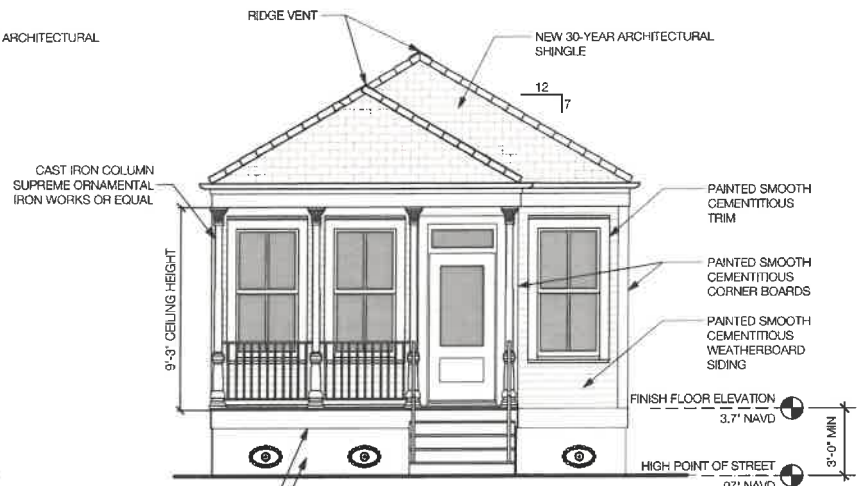
ISSUED FOR:	ISSUED DATE:	REVISION:	REVISION DATE:

REFLECTED CEILING PLAN:
FIRST FLOOR
APRIL 5, 2023

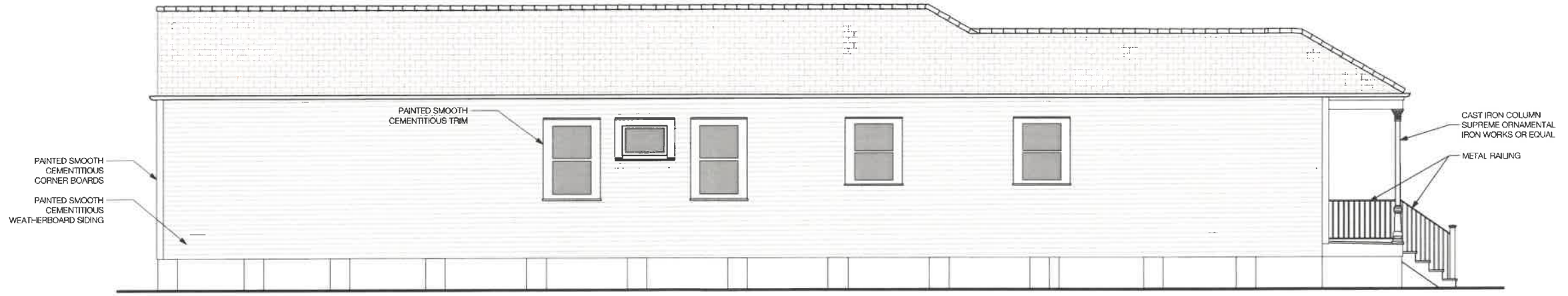
A3.1



2 EXTERIOR ELEVATION
 A4.1 Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION
 A4.1 Scale: 1/4" = 1'-0"



3 EXTERIOR ELEVATION
 A4.1 Scale: 1/4" = 1'-0"



4 EXTERIOR ELEVATION
 A4.1 Scale: 1/4" = 1'-0"

CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET

GRETTA, LA

ISSUED FOR:	ISSUED DATE:	REVISION:	REVISION DATE:

EXTERIOR ELEVATIONS

APRIL 5, 2023

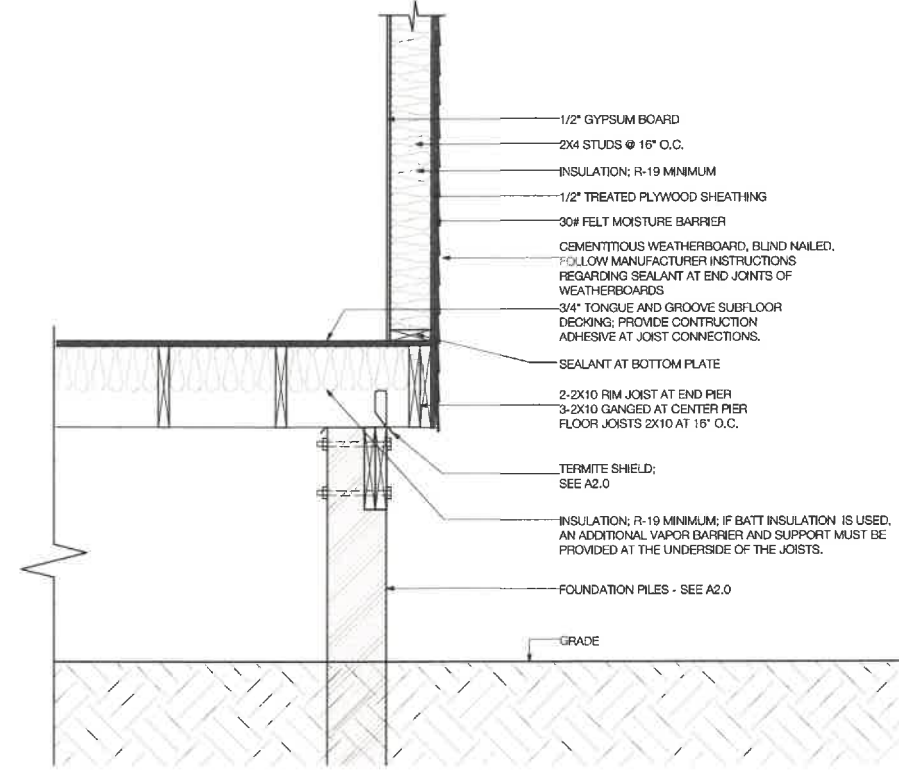
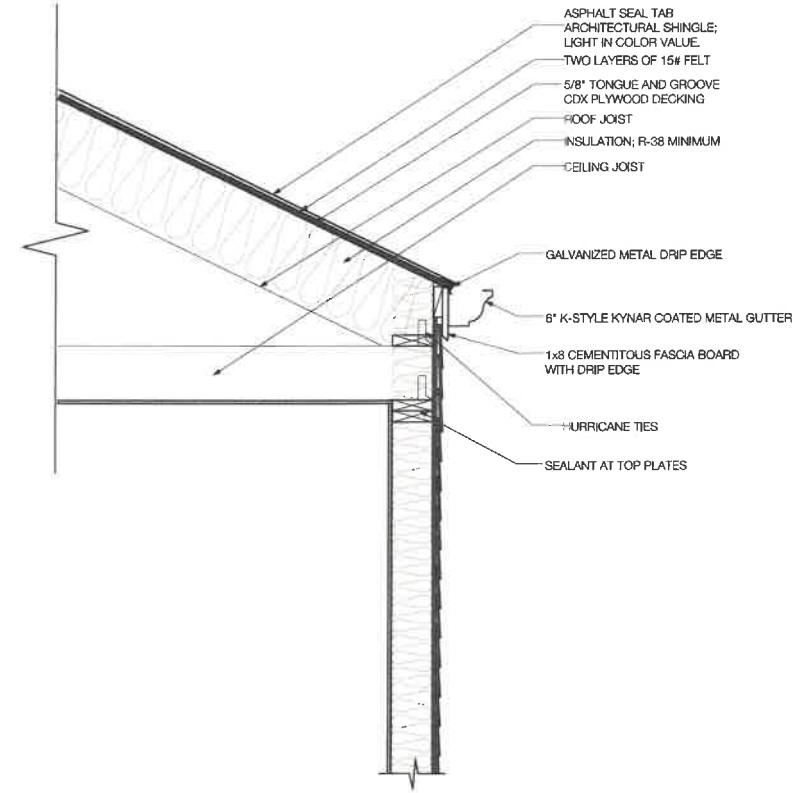
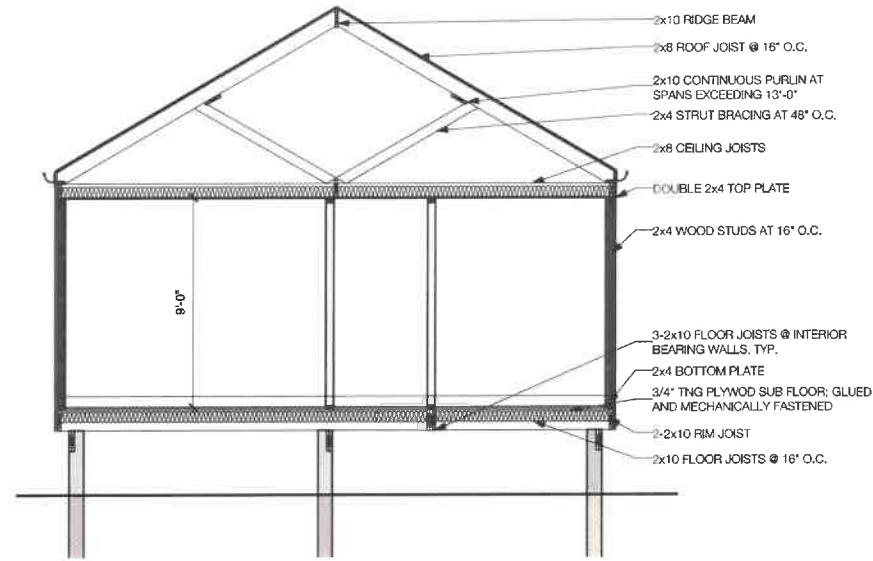
A4.1



7.1.23 CITY OF GRETTA
 APPROVED FOR THE
 SHALL BE FOR M. J. MINNEY, ARCHITECT
 ON SITE AT 1119 NINTH STREET, APT. 7
 INSPECTION NEW ORLEANS, LA 70130
 OTHERWISE THE FALL CLOUD.COM
 INSPECTION WILL BE
 THE ME A FALL



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETTA, LA



1 TYPICAL EXTERIOR WALL
 Scale: 1" = 1'-0"

FOUNDATION NOTES

- TOTAL NEW FOUNDATION AREA = 1,600 SF
- THE CONTRACTOR SHALL FIELD VERIFY ALL DROPS, SLOPES, RECESSES, BRICK SEATS, BLOCK-OUTS ON ARCHITECTURAL PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MAY EXIST.
- COORDINATE ALL STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, INSERTS, AND ANY OTHER RELATED ITEMS.
- ALL SECTIONS SHOWN ARE AT THE MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
- ALL FORMWORK SHALL BE IN COMPLIANCE WITH A.C.I. 301.
- PROVIDE .005 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS AND GRADE BEAMS THAT ARE PART OF A SLAB FOUNDATION SYSTEM.
- CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM OF 5.0 SACKS OF CEMENT PER CUBIC YARD AND A MAXIMUM OF 30 GALLONS OF FREE AND ADDED WATER PER CUBIC YARD. POUR TO 5" +/- 1" SLUMP. SUCH A MIX SHOULD GIVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (A.C.I. 318R-04).
- FILL SHALL BE AN INERT GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR AND SHALL EXTEND A MINIMUM OF 5'-0" BEYOND THE PERIMETER OF THE FOUNDATION IN ALL DIRECTIONS.
- ALL CONVENTIONAL REINFORCING STEEL SHALL BE ASTM DESIGNATION A-615 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
- REINFORCEMENT SHALL HAVE 3" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS, 1 1/2" COVER IN SLAB TOPS AND BOTTOMS, UNLESS OTHERWISE SHOWN.
- REBARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
- LOCATE NO.5 REBAR IN FILLED 8" CONCRETE BLOCK WALL CELLS WHERE REQUIRED IN FOUNDATION.
- PLANS FOR PIPES, CONDUITS, THIMBLES, ETC TO PASS THROUGH CONCRETE SLAB OR BEAM MUST NOT CONFLICT WITH REINFORCING. WHERE A CONFLICT OCCURS, REINFORCING LOCATION IS TO TAKE PRECEDENCE.
- TERMITE PROTECTION SHALL BE BY CHEMICAL TERMITICIDE TREATMENT IN ACCORDANCE WITH IRC 2021 SECTION R318.2, OR BY BONDED CONTRACT.
- ALTERATION OR DEVIATION FROM THE INFORMATION SHOWN IN THE DRAWINGS WITHOUT ADVANCED APPROVAL FROM THE PROFESSIONAL OF RECORD (POR) MAY VOID POR RESPONSIBILITY.

FRAMING NOTES

- ALL FRAMING TO COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, CURRENT ED. AND INTERNATIONAL RESIDENTIAL CODE 2021 ED. UNLESS NOTED OTHERWISE. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE FOR THE INTERNATIONAL BUILDING CODE AND/OR THE CODES REFERENCED THEREIN. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- FRAMING LUMBER: SOUTHERN YELLOW PINE NO. 2 DENSE K.D. (15%) OR BETTER, U.N.O
- FLOOR FRAMING SHALL BE SIZED AS INDICATED ON FRAMING PLANS. PROVIDE WOOD CROSS BRIDGING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPAN EXCEEDS EIGHT (8) FEET.
- COORDINATE FRAMING LAYOUT WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS.
- SUBSTITUTIONS FOR FRAMING SIZE, SPACING GRADE AND SPECIES WITH PERMISSION FROM THE ARCHITECT ONLY.
- BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST AND SHALL NOT BE LARGER THAN 1 1/4" IN DIAMETER AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
- ALL WALL SHEATHING SHALL BE APA STRUCTURALLY RATED SHEATHING. FLOOR AND ROOF SHEATHING SHALL BE APA RATED SHEATHING. SHEATHING SHALL BE NAILED AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, WITH 8D COMMON NAIL.
- PLYWOOD SUB FLOORING SHALL BE APA RATED 48/24, 3/4" THICK TONGUE AND GROOVE, GLUED AND FASTENED TO FLOOR JOISTS AS INDICATED IN THE BUILDING SECTION, OR EQUAL.
- PARALLAM JOISTS SHALL HAVE A MIN. E=2,000,000 PSI AND FB OF 2500 PSL
- THE NUMBER AND SIZE OF NAILS AT ALL WOOD CONNECTIONS SHALL BE PER THE INTERNATIONAL RESIDENTIAL CODE 2012 ED. TABLE R602.3(1).
- CONNECTORS SPECIFIED AS "SIMPSON" TYPE ARE TO BE MFR'D BY SIMPSON TIE CO. OR APPROVED EQUAL. COMPLY WITH MFR'S FASTENING PROCEDURES. ALL CONNECTIONS SHALL BE GALVANIZED.
- JOIST HANGERS SHALL BE 16 GAUGE TYPE "U" AS MANUFACTURED BY SIMPSON STRONG TIE, OR EQUAL. INSTALL JOIST HANGERS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANGERS FOR BEAMS AND JOISTS WHICH FRAME TO BEAMS AT SAME ELEVATION. JOIST HANGERS SHALL BE OF A SIZE APPROPRIATE FOR THE MEMBER SUPPORTED.
- STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, 24 GAUGE GALVANIZED STRAPS 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.
- ALL LUMBER BELOW BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED (P.T.)
- TOP OF FINISH FLOOR SHALL BE AT OR ABOVE BASE FLOOD ELEVATION, TYP (SEE EXTERIOR ELEVATIONS).

ISSUED FOR:	ISSUED DATE:	REVISION:	REVISION DATE:	PROJECT NO.:	DRAWN BY:	APPROVED BY:

BUILDING SECTIONS
 APRIL 5, 2023
A5.1



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETNA, LA

REVISION DATE:									
REVISION:									
ISSUED DATE:									
ISSUED FOR:									

**STRUCTURAL
 DETAILS**
 APRIL 5, 2023

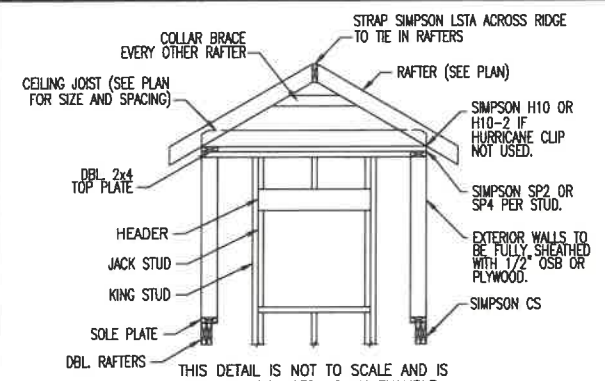
A5.2

THESE DRAWINGS HAVE BEEN CHECKED TO INSURE A REASONABLE AND NORMALLY ACCEPTABLE DEGREE OF ACCURACY. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS, AND CODE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS PRIOR TO THE START OF WORK.

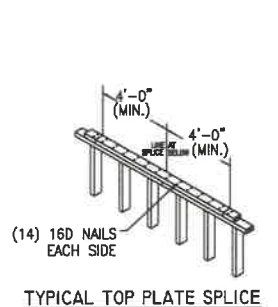
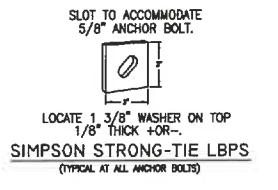
130 MPH – EXPOSURE B – FRAMING NOTES:

- THIS PLAN REQUIRES MANY CONSTRUCTION DETAILS THAT MAY NOT BE "STANDARD". FRAMING CREW – IT IS IMPORTANT THAT ALL DETAILS SHALL BE UNDERSTOOD OR CLARIFIED PRIOR TO NEW CONSTRUCTION.
- SAW LUMBER**
NOTCHES IN SOLID LUMBER JOIST, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN 1/3 OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4"(102mm) OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER. HOLES SHOULD NOT BE CLOSER THAN 2"(51mm) TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER LOCATED IN THE MEMBER, WHERE THE MEMBER IS ALSO NOTCHED. THE HOLE SHALL NOT BE CLOSER THAN 2"(51mm) TO THE NOTCH.
- DRILLING AND NOTCHING – STUDS**
ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF IT WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WITH ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NOT GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NOT CLOSER THAN 5/8"(15.9mm) TO THE EDGE OF THE STUD AND HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH EXCEPTIONS.
EXCEPTIONS:
WHEN THE ENTIRE SIDE OF THE WALL WITH THE NOTCH OR CUT IS COVERED BY WOOD STRUCTURAL PANEL SHEATHING.
- DRILLING AND NOTCHING OF TOP PLATE**
WHEN PIPING OR DUCT WORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR, BRACED OR LOAD-BEARING WALL, NECESSITATING A CUTTING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH. A GALVANIZED METAL TIE IS NOT LESS THAN .054"(1.37mm)(16 GA.) & 1.5 (38mm) WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN SIZE 16d NAILS.
EXCEPTIONS:
WHEN THE ENTIRE SIDE OF THE WALL WITH THE NOTCH OR CUT IS COVERED BY WOOD STRUCTURAL PANEL SHEATHING.
- ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA, PLYWOOD DESIGN SPECIFICATION BY THE APA STDS. SET FORTH BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, PRESSURE TREATED WOOD REQUIREMENTS BY ANPA AND MEET OR EXCEED LOCAL BUILDING CODES.
- ALL ANCHOR BOLTS SHALL BE 5/8"x12" W/STANDARD HOOKS AND MIN. EMBEDMENT OF 8", AT A MAX SPACING OF 24" O.C. ALL OPENINGS AND CORNERS SHALL HAVE ONE ANCHOR BOLT BETWEEN 6" & 12" OF WALL ENDS OR OPENINGS. WHEN ANCHOR BOLTS ARE USED FOR SHEAR & UPLIFT RESTRAINT, PLYWOOD OR OSB SHALL BE GLUED AND NAILED TO STUDS.
- WINDOW PROTECTION**
ALL WINDOWS/OPENINGS SHALL BE PROVIDED WITH ONE OF THE FOLLOWING: OPERABLE SHUTTERS, ANCHORABLE, PRECUT MIN. 5/8" THICK PLYWOOD, INSTALLABLE CORRUGATED STEEL PANELS OR IMPACT RESISTANT WINDOWS.
- ALL FRAMING LUMBER TO BE SOUTHERN YELLOW PINE NO. 2 GRADE 19% MAX. MOISTURE CONTENT. ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY ELEMENTS, OR EXPOSED TO WEATHER TO BE PRESSURE TREATED. COORDINATE FRAMING WITH OTHER TRADES.
- BLOCK ALL WALLS AT PLYWOOD EDGES. 1 1/2"x20 GA. GALVANIZED IRON STRAPS TO BE INSTALLED OVER ALL CUTOUTS IN STUDS FOR PLUMBING, ELECTRICAL, ETC.
- PROVIDE DRAFT/PIPE STOPPING ACCORDING TO LOCAL BUILDING CODE.
- FLOOR, ATTIC AND ROOF FRAMING SHALL BE AS PER PLAN OR SIZED ACCORDING TO REQUIREMENTS NOT TO EXCEED MAXIMUM SPAN TABLES OF SOUTHERN FOREST PRODUCTS ASSOC. LATEST ISSUE. PROVIDE BRIDGING WHERE SHOWN OR WHEN JOISTS EXCEED 8' SPAN. PROVIDE DBL. FLOOR JOISTS UNDER BEARING WALLS OR BEAM REQ'D. INSTALL THREE (3) STUDS UNDER EACH BEARING POINT OF BEAM STUDS TO BE FASTENED TOGETHER WITH .120x3" WIRE NAILS AT 4" O.C. & WITHIN 3" OF EACH END OF STUDS
- JOIST AND BEAM HANGERS TO BE 16 GA. OR LARGER AS PER MANUFACTURED BY SIMPSON STRONG-TIE CO. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPEC'S. IF JOISTS ARE TO BE NOTCHED AT ENDS, DO NOT EXCEED 1/4 DEPTH. HANGER SIZE TO MATCH MEMBER SIZE.
- PROVIDE COLLAR BRACING AT EVERY PAIR OF RAFTERS AT THE UPPER THIRD OF ROOF HEIGHT.
- FLOOR SHEATHING TO BE APA RATED, 3/4" THK. MINIMUM C-D TONGUE & GROOVE GLUE & NAIL TO FLOOR JOISTS WITH 8d COMMON NAILS @ 6" O.C. AT EDGES & 12" O.C. AT INTERMEDIATE JOISTS. THREE (3) STUDS UNDER EACH BEARING PT. OF BEAM STUDS TO BE FASTENED TOGETHER WITH .120x3" WIRE NAILS AT 4" O.C. & WITHIN 3" OF EACH END OF STUDS. ENSURE TIGHT FIT TOP & BOTTOM.
 - ROOF SHEATHING – SEE PLAN.
 - SHEAR WALLS – SEE SCHEDULE OR ELEVATIONS AND LAYOUT.
 - HEADER SIZE – SEE PLAN AND SCHEDULE.
 - CRAWL SPACE VENTILATION TO BE IN ACCORDANCE WITH STANDARD BUILDING CODE.
 - TOP PLATE SHALL BE SPLICE WITHIN THE CENTER THIRD OF WALL SECTION. SPLICE TO HAVE A MIN. OF 48" & CONNECTED WITH 16d NAILS @ 3" O.C. OR 2 ROWS .120x3" WIRE NAILS @ 3" O.C.
 - STAIRS SHALL HAVE A MIN. OF 3 STRINGERS FOR 36" & ONE ADDITIONAL STRINGER FOR EACH ADD'L 8" OF TREAD WIDTH. MAX. UNSUPPORTED STRINGER LENGTH, TO BE 6'-0".
 - SOFFIT OF SILL ALONG EXTERIOR & PORCHES SHALL BE P.T. 2x DEADWOOD BETWEEN COLUMNS.
 - ALL SILL BEAMS ALONG EXTERIOR AND PORCHES SHALL HAVE P.T. PLYWOOD BELOW SOFFIT OF SILLS.
 - IT IS INTENDED THAT THE PRESSURE TREATED SHEATHING BE FULLY INSTALLED SEALING UNTREATED LUMBER OF THE MAIN HOUSE PRIOR TO PORCH CONSTRUCTION.
 - 6 NAILS PER ROOF SHINGLE.
 - GABLE END CONSTRUCTION BUILT SIMILAR TO AND CONNECTED WITH WALL STUDS BELOW.
 - BRACE GABLE END AGAINST LATERAL LOADS.
 - HOLD DOWN ANCHORS AT THE ENDS OF ALL SHEAR PANELS/WALLS.
 - TOP PLATE & SOLE PLATE HOLD-DOWNS AND TRIMMER STRAPS MAY BE ELIMINATED IF ANCHOR BOLT SYSTEM IS USED. (SEE NOTE 6) AND LOCATE CONT. 1/2" PLYWOOD OR OSB FROM BOTTOM OF SOLE PLATE TO TOP OF TOP PLATE AND TO BE GLUED AND NAILED.
 - ANY MODIFICATIONS WILL HAVE TO BE APPROVED BY ENGINEER OF RECORD IN FORM OF A LETTER.

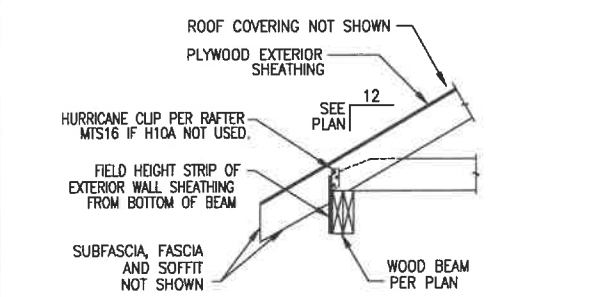
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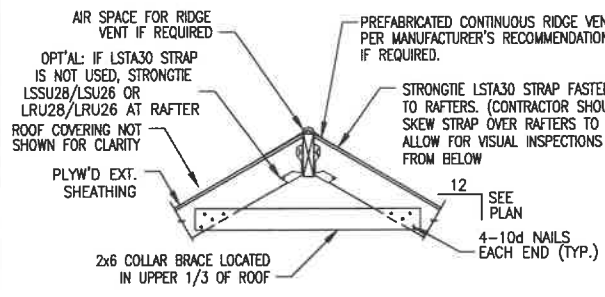
TYPICAL DORMER DETAIL
SCALE: N.T.S.



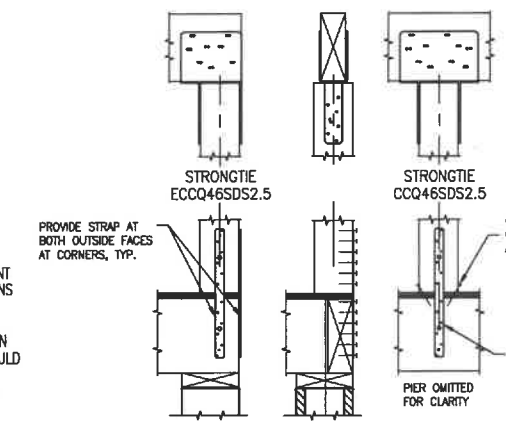
TYPICAL TOP PLATE SPLICE



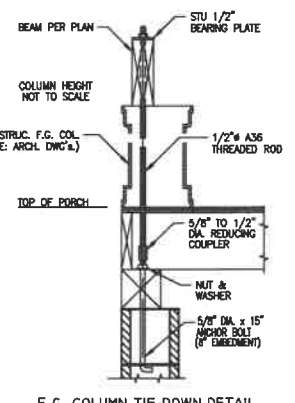
ROOF SUPPORT BEAM SECTION AT PORCH OR CARPORT
SCALE: N.T.S.



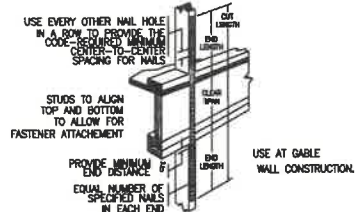
TYPICAL ROOF RIDGE FRAMING DETAIL
SCALE: N.T.S.



WOOD COLUMN CONNECTIONS (TYP.)
SCALE: N.T.S.

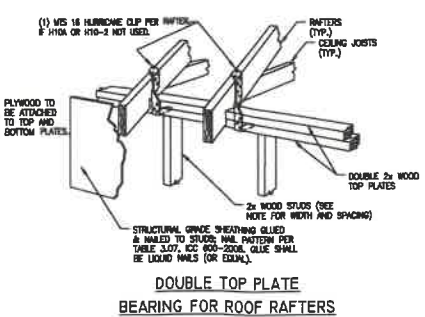


F.G. COLUMN TIE-DOWN DETAIL
SCALE: N.T.S.

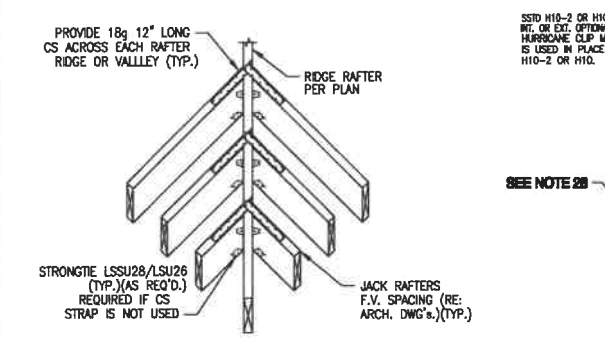


SIMPSON STRONG-TIE COILED STRAP LSTA24 OR LSTA36
AT ALL STUDS BETWEEN 1st & 2nd FLOOR (OVER SHEATHING IS ACCEPTABLE)

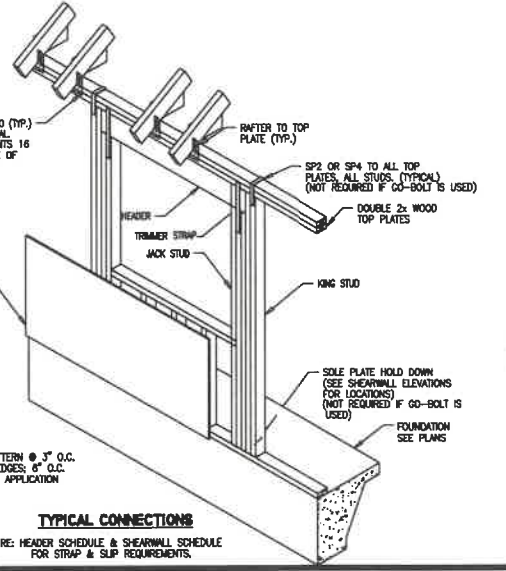
TYPE	TENSION	LATERAL	COMPRESSION
H10	990#	525#	
H7Z	985#	400#	
ABU44	2200#		6665#
MTS16	1000#		
LSTA24	1235#		
LSTA30	1840#		
LSSU28	450#		885#
ECCQ46SDS2.5	4040#		12,030#
GO BOLT or EQ.	5000#		
LIQUID NAILS	800#PSI		
SP2	1065#		
CS16	1705#		
JOIST HANGER IUT(2)			1110#



DOUBLE TOP PLATE BEARING FOR ROOF RAFTERS



TYPICAL RAFTER/RIDGE HIP-TOP ROOF
SCALE: N.T.S.



TYPICAL CONNECTIONS
RE: HEADER SCHEDULE & SHEARWALL SCHEDULE FOR STRAP & SUP REQUIREMENTS.

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

1119 9th Street

PROPERTY ADDRESS

Kimberly Finney

NAME OF APPLICANT

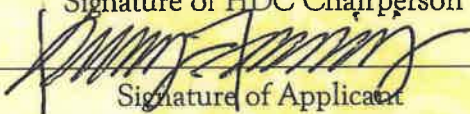
Work Approved: Construction of new single family residence. Approved as submitted with modification:

- Addition of two windows in living room - 1 on either exterior wall - set back at least 3' from front facade wall
- 6" with 1" spaced horizontal wood lattice between piers;
- Simple metal awning over side door;
- NO Iron columns. Wood or composite box columns;

Applicant may install 1 window on front facade instead of two - Same width & height of door. Centered between columns.



Signature of HDC Chairperson



Signature of Applicant

6/5/23

Date

6/15/23

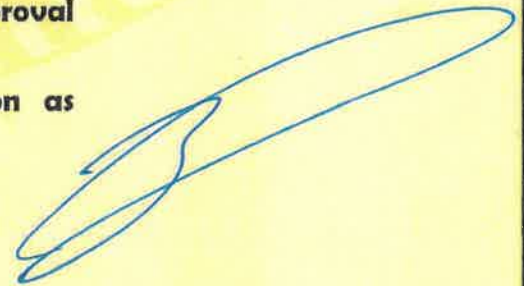
Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com



COA-23-048



Historic District Commission

Meeting: June 5, 2023

1119 9th Street
(District 2)

New Construction

Applicant:
Kimberly Finney



*Remove window
& side
column*

20/BM

- ADD windows on EACH SIDE @ 1/2" INCH OR 3" on from front
- ADD BOO COLUMNS
- ADD SIDE ARCHES @ secondary ENTRANCE
- WOOD TRIMCE / ~~DRIZZLE~~ HORIZONTAL 6" w/ 4" GAP



6111

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

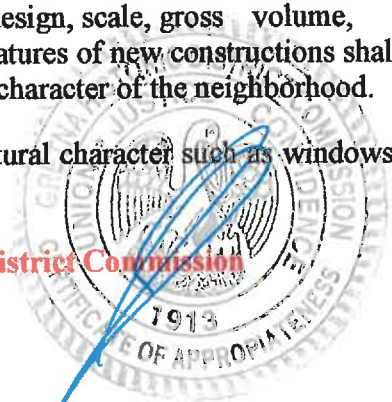
Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1119 NINTH STREET

Renovation: _____
New Construction: X _____
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof ARCH SHINGLE _____ Soffit _____
Fascia SMOOTH CEMENTITIOUS _____ Siding SMOOTH CEMENTITIOUS _____
Masonry CHAIN WALL @ PORCHES _____ Porches 5/4 T&G BOARDS, PAINTED _____
Balconies N/A _____ Handrails METAL _____

Type of exterior lighting fixtures: MOTION SENSOR & SCONCE BY FRONT & SIDE DOOR

Style of windows: 1/1 CLAD WINDOWS BY MARVIN OR EQUAL

Type of exterior doors: 4 PANEL SOLID WOOD WITH TRANSOM

Describe any ornamental woodwork: N/A

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.



Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Kimberly Finney* Date: MAY 17, 2023

Applicant's Name: KIMBERLY FINNEY, ARCHITECT

Applicant's Address: 425 FIRST STREET, APT 7, NEW ORLEANS, LA 70130

Phone No: () _____ Cell No: (504) 908-3191

For Office Use Only:

Application date: 5/17/2023

Substantive Change: Yes No

Inventory Number: _____

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: 06/05/2023

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):





City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Kimberly Finney the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on _____ 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Kimberly Finney
Signature of Applicant

Kimberly Finney

NAME OF APPLICANT (PLEASE PRINT)

425 First St. Apt. 7 NOLA 70130

Applicant's address

1119 Ninth St., Gretna LA

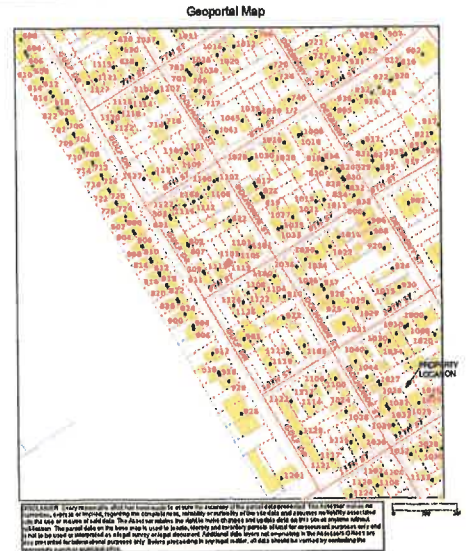
Actual address of the property for review

Date: 5/17/2023



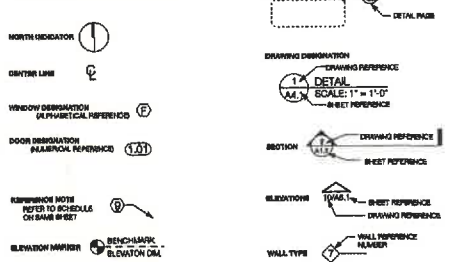
GENERAL NOTES

- CONTRACTOR AND SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION SITE AND VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND THE OWNER. IN ADDITION REVIEW CAREFULLY ALL CONDITIONS AND DIMENSIONS AND FAMILIARIZE YOURSELF WITH ALL ASPECTS OF THE REQUIRED WORK FOR A COMPLETE INSTALLATION. ALL DIMENSIONS ON CHANGES NECESSARY TO ACHIEVE THE RESOLUTIONS SHOWN SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO SUBMITTING FINAL PRICE TO MAKE NECESSARY ADJUSTMENTS SO AS TO AVOID ANY EXTRA COSTS DURING CONSTRUCTION.
- CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS FROM CEILING, WASTE MATERIALS OR FLOORING CAUSED BY HIS OPERATION AND SHALL REMOVE NO LESS THAN WEEKLY ALL DEBRIS FROM AND ABOUT THE PROJECT. ALL WASTE SHALL BE SEPARATED BY TYPE OF MATERIAL FOR RECYCLING. CONTRACTOR SHALL OCCUPY DESIGNATED CONSTRUCTION LINES, STAGING LINES AND STAGING AREAS WITH CHAINS. ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS AND AGENCIES. NO WORK SHALL BE CONCEALED UNLESS APPROVED BY LOCAL INSPECTORS. CONTRACTOR SHALL ENSURE ALL MATERIALS AND WORK COMPLY WITH APPLICABLE GOVERNING CODES.
- CONTRACTOR SHALL INSTALL AND PROVIDE ALL SAFETY BARRIERS DURING CONSTRUCTION AS NECESSARY TO PROTECT THE PUBLIC FROM ENTRY AND ACCESS TO THE BUILDING OR ADJACENT FLOORS.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION OF AREA IN QUESTION.
- PERIMETER DIMENSIONS ARE TO BE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
- ALL PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERSIDE OF STRUCTURAL INTERITY OF ONE-HOUR RATED PARTITIONS AND SMOKE PARTITIONS SHALL BE MAINTAINED AT CORNERS AND AT INTERSECTIONS OF OTHER PARTITION TYPES.
- UNLESS OTHERWISE NOTED OR DETAILLED, ALL FINE CHASE WALLS WITH A THICKNESS GREATER THAN 4 INCHES ARE TO BE CONSTRUCTED OF 6" STUDS WITH ONE LAYER OF 5/8" TYPE-X DRYWALL ON BOTH SIDES. PRECAST METAL OR SPINNAK CRIBS SHALL BE REQUIRED TO MAINTAIN THE REQUIRED PRECASTING THE CONSTRUCTION. HOLE CHASE WALLS TO MINIMUM DIMENSIONS. VERTICAL PIPING LOCATED WITHIN THE BUILDING SPACE OF PARTITIONS SHALL BE COMPLETELY ENCASED WITH FULL THICKNESS OF DRYWALL ON EACH SIDE OF STUD.
- RECESSES FOR ELECTRICAL SWAGS, PRE-DRIVEN CABINETS, MANICULATOR BOXES, ETC. LOCATED IN RATED PARTITION WALLS SHALL BE FACED WITH DRYWALL TO CREATE A FIRE BROAD SMOOGLINE AS REQUIRED TO RETAIN RATING OF WALL.
- JOINTS OCCURRING IN RATED PARTITION WALLS SHALL BE STAGGERED BOTH HORIZONTALLY AND VERTICALLY.
- ALL WALLS AND FLOOR OPENINGS SHALL BE PRESTORMED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL MECHANICALLY FASTENED IN PLACE TO PROVIDE AN EFFECTIVE AND APPROVED FIRE STOP. OPENINGS IN SLABS AND PARTITIONS FOR CONDUIT, PIPING AND OTHER ITEMS SHALL BE FILLED WITH AN APPROVED NON-COMBUSTIBLE MATERIAL TO PROVIDE AN APPROVED SEAL TO PREVENT THE PASSAGE OF FIRE OR SMOKE.
- PROVIDE 6" HIGH STUDS AND BRIMS, AND WHERE NOTED OR OTHERWISE REQUIRED TO CONCEAL PIPING AND OTHER ROUGH CARPENTRY ITEMS INDICATED AS "WOOD", "PT. WOOD", OR "TREATED WOOD" SHALL BE TREATED FOR WOOD PRESERVATION.
- THE CONTRACTOR AND SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE FOLLOWING ABBREVIATIONS AND THE STANDARD ABBREVIATIONS WHICH MAY BE USED IN THIS SET OF DRAWINGS:
 - F.O.F. - FACE OF FINISH
 - F.O.S.H. - FACE OF BREASTING
 - F.O.B. - FACE OF BRID
 - F.O.E. - FACE OF EXISTING
 - F.O.C. - FACE OF CONCRETE (BARRECHPT)
 - A.F.F. - ABOVE FINISHED FLOOR
 - N.T.S. - NOT TO SCALE
 - R.O. - ROUGH OPENING
 - M.C. - MASONRY OPENING
 - L.N.O. - LINE IS NOTED OTHERWISE
 - L.O.B. - TOP OF STEEL
 - T.O.P.P. - TOP OF FINISH FLOOR
 - O.F.C.I. - OWNER FURNISHED, CONTRACTOR INSTALLED
 - E.T.R. - EXISTING TO REMAIN
- CONTRACTOR TO PROVIDE FINISH MATERIALS SUBMITTALS TO ARCHITECT FOR OWNER REVIEW
- ANY REQUEST FOR CONSIDERATION BY THE OWNER OF SUBSTITUTIONS OF SPECIFIED MATERIALS OR PRODUCTS CALLED FOR OR SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS, SHALL BE SUBMITTED TO THE OWNER IN WRITING FOR A WRITTEN APPROVAL BY THE OWNER. SHALL BE RECEIVED AT THE OWNER'S OFFICE TEN (10) BUSINESS DAYS PRIOR TO THE SPECIFIED BID DATE. ANY BID BASED UPON OR CONTAINING AN UNAPPROVED PRODUCT OR MATERIAL, SUBSTITUTION MAY BE DISALLOWED.
- DO NOT SUBSTITUTE MATERIALS, PRODUCTS OR EQUIPMENT UNLESS SUCH SUBSTITUTION HAVE BEEN SPECIFICALLY APPROVED IN WRITING FOR THIS WORK BY THE OWNER.
- WHERE THE PHRASE "OR EQUAL" OR "AS APPROVED BY THE ARCHITECT" OCCURS IN THE CONTRACT DOCUMENTS, DO NOT ASSUME THAT MATERIALS, PRODUCTS OR EQUIPMENT WILL BE APPROVED AS EQUAL UNLESS THE ITEM HAS BEEN SPECIFICALLY APPROVED IN WRITING FOR THIS WORK BY THE ARCHITECT. THE DECISION OF THE OWNER SHALL BE FINAL IN REGARDS TO SUBSTITUTIONS.
- ANY SUBSTITUTIONS FOR SPECIFIED MATERIALS CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, SHALL BE SUBMITTED TO THE OWNER IN WRITING FOR A WRITTEN APPROVAL 10 DAYS PRIOR TO THE SPECIFIED BID DATE.
- DIMENSIONS, ALLOCATIONS, DETAILS AND FLOOR PLAN DIMENSIONS SHOWN ON THESE DOCUMENTS ARE BASED UPON AN APPROVED MANUFACTURER'S STANDARD DETAILS. IF A MANUFACTURER IS SUBSTITUTED AND/OR APPROVED AS EQUAL BY THE ARCHITECT AS SPECIFIED IN THE BIDDING REQUIREMENTS, THEN IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RECOORDINATE THE DIMENSIONAL AND DETAIL REQUIREMENTS OF THE SUBSTITUTED MANUFACTURER TO THE REQUIREMENTS OF THIS PROJECT AND/OR TO ENSURE THE ARCHITECT TO REVIEW AND RECOORDINATE THE CONTRACT DOCUMENTS AS MAY BE REQUIRED.
- CONTRACTOR TO COORDINATE ALL FINISHES WITH OWNER AND ARCHITECT OF RECORD.
- CONTRACTOR TO PROVIDE BIDDINGS FOR ALL CABINETS AND CARPENTRY.
- PROVIDE BIDDINGS FOR ALL SURFACES, SEAL RECESSES OR RECESSED ITEMS SUCH AS ACCESSORIES, GRAB-BARS, CLOSET RODS AND SHELVES, DRAPSTY ROD, SHOWER CURTAIN RODS, COILVENTORPS, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF MECHANICAL, ELECTRICAL, PLUMBING, ETC WORK SO THAT THE WORK IN THE FIELD WILL ACHIEVE THE DESIGN INTENTION SET OUT IN THE ARCHITECTURAL PACKAGE.
- CONSTRUCTION OF ALL VERTICAL OPENINGS SHALL BE IN ACCORDANCE WITH ALL CODE REQUIREMENTS.
- ALL SUBCONTRACTORS TO SEAL ALL PENETRATIONS, BEAMS, OPENINGS THROUGH RATED WALLS AND/OR FLOOR-CEILING ASSEMBLIES WITH FIRE RATED AND/OR FIRE/RESISTANT PIPE WRAPS. INSULATED PIPE WRAPS TO BE USED AT ALL PVD PIPING THAT PENETRATES RATED ASSEMBLIES.
- SEAL ALL PENETRATIONS THROUGH ALL PARTITIONS.
- ALL WALL AND FLOOR ASSEMBLIES MUST MEET THE REQUIREMENTS OF THE U.L. ASSEMBLY SYSTEM (IF APPLICABLE).
- CONSULT ARCHITECT FOR APPROVAL OF PARTITION LAYOUT ON EACH FLOOR BEFORE CONSTRUCTION PROCEEDS. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES APPEAR.



SITE LOCATOR MAP

GRAPHIC SYMBOLS



SCOPE OF WORK

- ARCHITECTURAL:** CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE
- MECHANICAL:** HVAC SYSTEM TO BE INSTALLED PER APPLICABLE CODES.
- ELECTRICAL:** NEW ELECTRICAL SYSTEM TO BE INSTALLED PER PLANS PER APPLICABLE CODES.
- PLUMBING:** NEW PLUMBING SUPPLY AND DRAIN LINES TO BE INSTALLED PER APPLICABLE CODES. FIXTURES TO BE INSTALLED PER PLANS.
- STRUCTURAL:** NEW BASED-PLING FOUNDATION, PER PLANS

PROJECT INFORMATION

CLASSIFICATION OF WORK: CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE

BUILDING HEIGHT (PROPOSED): SEE A4.1

TOTAL OCCUPANCY AREA: 1,428 SF

ZONING: R-2

THESE DRAWINGS HAVE BEEN PREPARED TO MEET THE DESIGN SPECIFICATIONS OF THE INTERNATIONAL RESIDENTIAL CODE 2021 EDITION. THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE 2021 ED.

WIND LOADS = 130 MPH, BASIC WIND SPEED EXPOSURE "B" (R301.2 (4))

PROJECT DIRECTORY

OWNER
 MANN WITEN
 331 15TH STREET
 GRETTA, LA 70388

ARCHITECT OF RECORD
 KIMBERLY FINNEY, ARCHITECT
 455 FIRST STREET, APT. 7
 NEW ORLEANS, LA 70130
 NEW@LORLEANS.COM

CONTRACTOR
 QUT TO BID

DRAWING INDEX

SHEET	DESCRIPTION
A0.0	GENERAL INFORMATION
A0.1	SITE INFORMATION
A0.2	SITE PLAN
A1.1	INTERIOR DETAILS
A1.2	EXTERIOR DETAILS
A2.0	FOUNDATION PLAN
A2.1	FLOOR PLAN
A2.2	FRAMING PLANS
A3.1	REFLECTED CEILING PLANS
A4.1	EXTERIOR ELEVATIONS
AS.1	BUILDING SECTIONS
AS.2	STRUCTURAL DETAILS



CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETTA, LA

REVISION	DATE	DESCRIPTION

GENERAL INFORMATION
 APRIL 5, 2023

A0.0



KIMBERLY F. AMY, ARCHITECT
425 PINE STREET, APT. 7
NEW ORLEANS, LA 70012
HWALLOR@KFA.COM

SURVEY & ELEVATION CERTIFICATE NOTES:

1. SURVEY AND ELEVATION CERTIFICATE ARE PROVIDED BY OWNER FOR REFERENCE & USE IN THE DESIGN AND CONSTRUCTION AT 1119 NINTH STREET, GRETNA, LA ONLY.
2. ARCHITECT IS PERMITTED TO RELY ON THE ACCURACY OF THE INFORMATION CONTAINED IN THE SURVEY AND ELEVATION CERTIFICATE WITH NO OBLIGATION FOR VERIFICATION ON THE PART OF THE ARCHITECT.
3. ANY DISCREPANCIES FOUND IN THE SURVEY OR ELEVATION CERTIFICATE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, ARCHITECT, GENERAL CONTRACTOR, AND SURVEYOR IMMEDIATELY.
4. ANY WORK THAT PROCEEDS AFTER A DISCREPANCY IS FOUND OR REPORTED SHALL BE SOLELY AT THE RISK OF THE OWNER AND/OR GENERAL CONTRACTOR.

BENCHMARK CERTIFICATE

Dufrene Surveying & Engineering Inc.
PO BOX 121 - NEW MECHANICKHAM, LOUISIANA 70069
 TELEPHONE: (504) 393-1211 FAX: (504) 393-1211

JOB NO. 22-0172 DATE July 11, 2022
 ERIC SCCLLES

RE: CONSTRUCTION BENCH MARK

Location: LOT 11, SQUARE 22, VILLAGE OF NEW MECHANICKHAM, CITY OF GRETNA (NINTH STREET) JEFFERSON PARISH, LA

Elevation of High Point of curb or existing Concrete of Street: 0.7 N.A.V.D.
 HEAD (Natural Ground Elevation) 0.7 N.A.V.D.
 Existing Ground Elevation 1.6 N.A.V.D.
 Description of Construction Bench Mark: RED DOT PAINTED IN CENTER OF STREET IN FRONT OF LOT 11

Elevation of Construction Bench Mark: 0.7 N.A.V.D.
 Reference Bench Mark Used to Establish Elevation: GPS OBSERVATIONS (GEOID11)

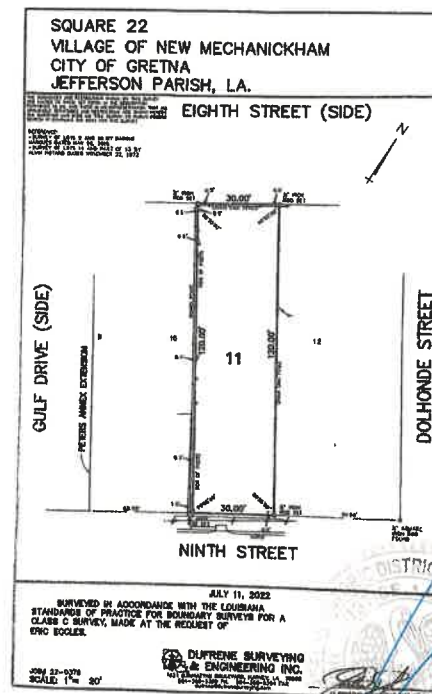
THE LANDOWNER IS NOT RESPONSIBLE FOR TRANSFER OF BENCH ELEVATION FROM ESTABLISHED CONSTRUCTION TO THIS POINT BY THE CONTRACTOR OR OWNER. WE RECOMMEND THAT THE CONTRACTOR/OWNER SHOULD OBTAIN TEMPORARY MARKERS FOR BENCH MARKS FROM A SURVEYOR'S OFFICE.

THE INFORMATION SHOWN HEREON IS CURRENT AS OF THE DATE AT THE TOP OF THIS FORM. OWNER/CONTRACTOR TO VERIFY ANY REQUIREMENTS AT THE TIME OF PERMITTING.

PROFESSIONAL LAND SURVEYOR

TO BE OBTAINED FROM LOCAL BULWOUND PERMIT OFFICIAL:
 COMMUNITY NO. 222198 PANEL NO. 0117 DATE OF PERM. 03/02/18
 F.I.A. ZONE X BASE FLOOD ELEVATION N/A N.A.V.D.
 MINIMUM STRUCTURE ELEVATION N.A.V.D.

SURVEY



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETNA, LA

REVISION DATE:	
REVISION:	
DATE:	
PROJECT NO.:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

SITE INFORMATION
 APRIL 5, 2023

A0.1

NOTES

1. CONTRACTOR TO GRADE SITE TO BEST DRAW TO PUBLIC RIGHT-OF-WAY
2. CONTRACTOR TO PROVIDE DOWNPOUTS AND SPLASH BLOCKS
3. HAND EQUIPMENT TO BE PLACED ON A TREATED WOOD PLATFORM AT OR ABOVE F.F.E.
4. TERMITES PROTECTION SHALL BE BY CHEMICAL TREATMENT IN ACCORDANCE WITH FIG 302.1 SECTION TO 162.

PROJECT INFORMATION

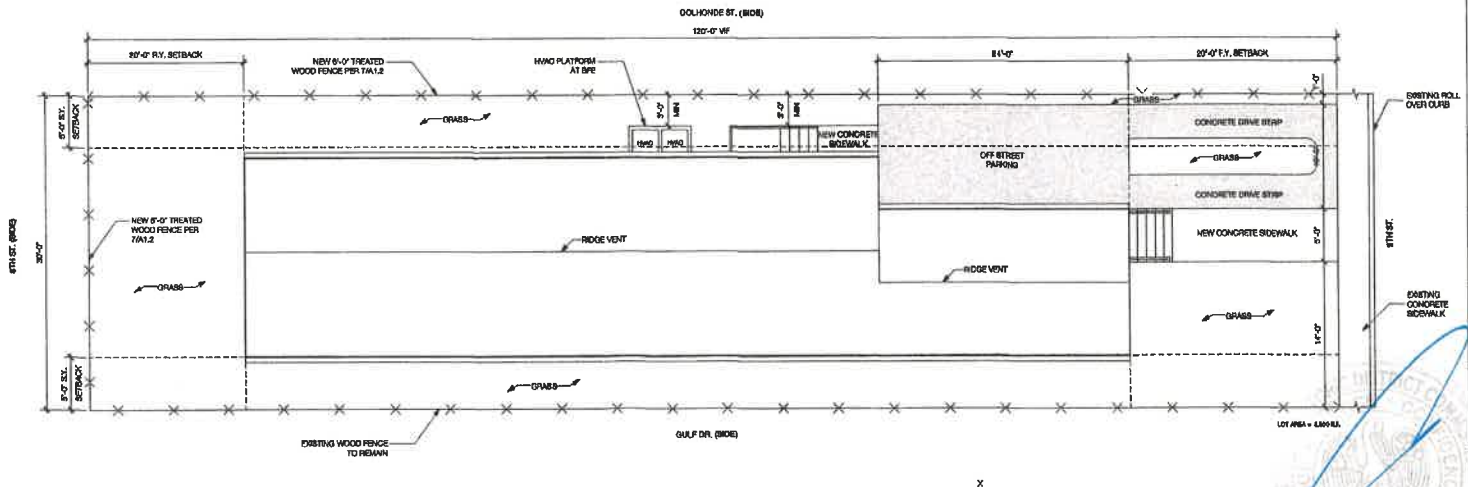
CLASSIFICATION OF WORK	CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE
ZONING	R-2
LOT AREA	8,800 SF
FRONT YARD PROPOSED:	800 SF
REAR YARD PROPOSED:	300 SF
IMPERVIOUS FRONT YARD PROPOSED	280 SF
BUILDING HEIGHT	SEE M.I.



WINDLEY FINLEY ARCHITECT
127 PINE STREET, 4TH F.
NEW ORLEANS, LA 70119
WWW.KFAARCHITECT.COM



CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE AT
1119 NINTH STREET
CRETEVA, LA



REVISION DATE:	
REVISION:	
DESIGNED DATE:	
ISSUED DATE:	
PROJECT NO.:	
DATE:	
APPROVED BY:	



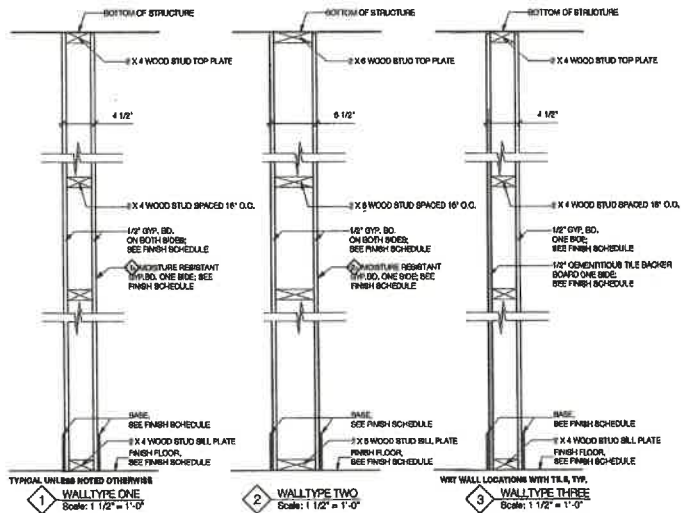
SITE PLAN
APRIL 5, 2023
A0.2



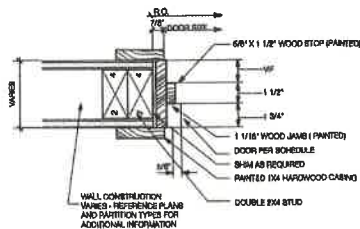
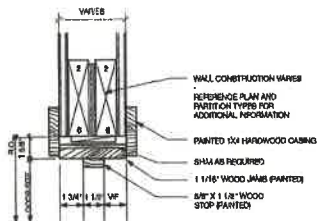
KRAFTLY FINISH, ARCHITECT
4211 WEST BRIDGE AVENUE, 7
NEW ORLEANS, LA 70113
WWW.KRAFTLYFINISH.COM



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
GRETNAL, LA



1 WALL TYPES
Scale: 1 1/2" = 1'-0"



REVISION DATE	REVISION	APPROVED DATE	DESIGNED BY

INTERIOR
DETAILS
APRIL 5, 2023

A1.1

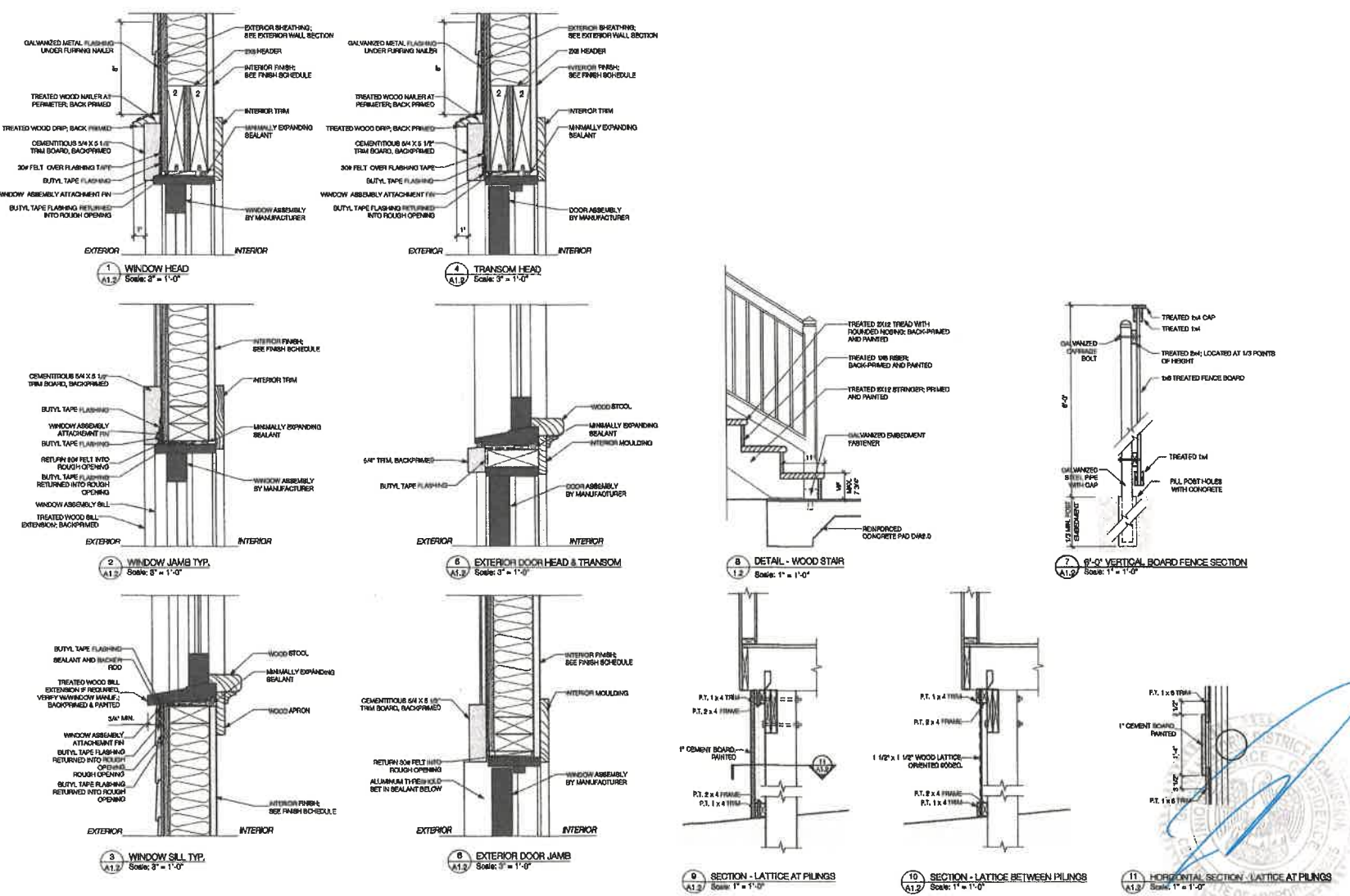


KIMBERLY FINEY, ARCHITECT
 425 PINE STREET, SUITE 1
 NEW ORLEANS, LA 70130
 KFA@KFOARCH.COM



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET

GREINA, LA



REVISION NO.	REVISION DATE	REVISION	PROJECT NO.	DATE

EXTERIOR DETAILS

APRIL 5, 2023

A1.2



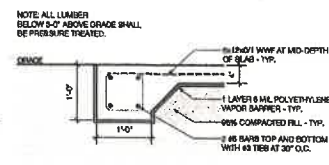
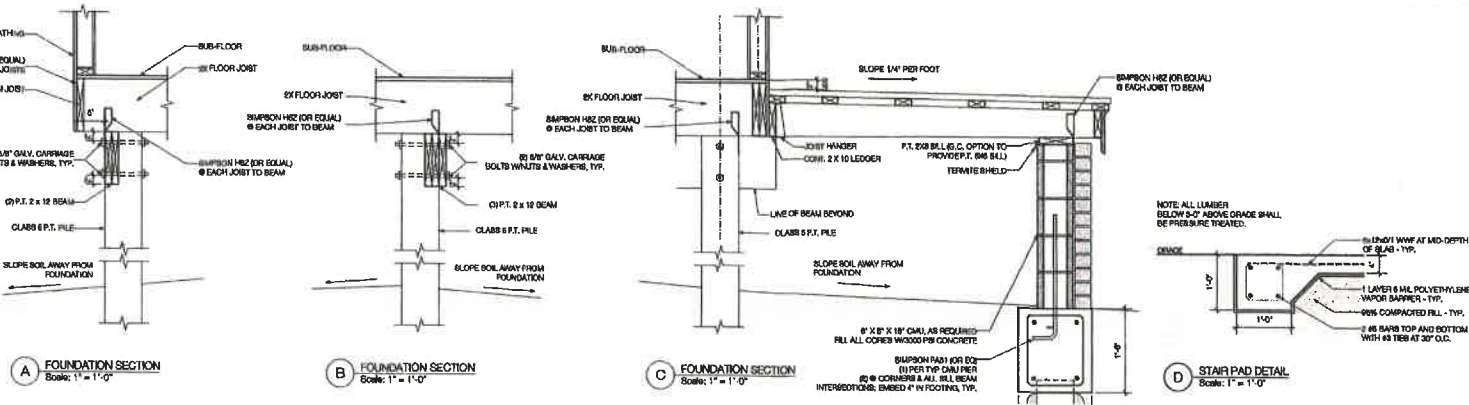
KIMBLEY FARMY, ARCHITECT
405 PINE STREET, 4TH FLOOR
NEW ORLEANS, LA 70130
NEW@KFA.CC.CCD.COM



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT

1119 NINTH STREET

GREYNA, LA



NOTE: ALL LUMBER BELOW 5'-0" ABOVE GRADE SHALL BE PRESURE TREATED.

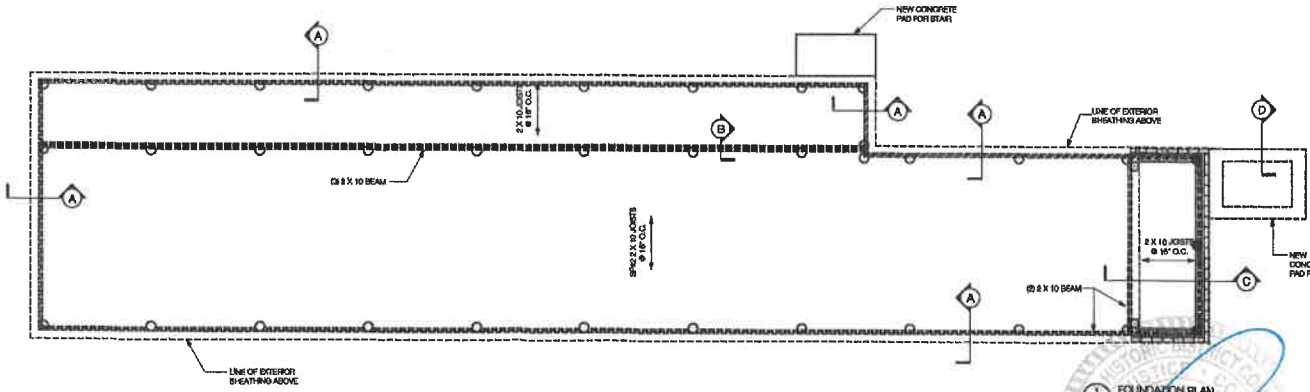
D STAIR PAD DETAIL Scale: 1" = 1'-0"

PILE SPECIFICATIONS

1. PILES SHALL BE CLASS 2 WITH A MINIMUM 30 FOOT TIP EMBEDMENT BELOW NATURAL GRADE OR DEPEN TO DESIGN. (TOTAL = 18 BLOWN PER FOOT FOR 2) CONCREUTE FEET AT 15,000 FT-LBS PER BLOW.
2. DESIGN LOAD = 8 TONS PER PILE.
3. NO FIELD SUPERVISION OR INSPECTION SHALL BE PROVIDED UNDER THIS SEAL UNLESS NOTED OTHERWISE.
4. PILE LENGTH MAY BE MODIFIED DUE TO ACTUAL DRIVING CONDITIONS. ARCHITECT SHALL BE NOTIFIED IN ADVANCE OF ANY MODIFICATION.
5. A BLOW COUNT ON THE FIRST 10 PILES SHALL BE REPORTED TO THE ARCHITECT OF RECORD FOR REVIEW BEFORE ORDERING REMAINDER OF PILES.
6. PILES SHALL MEET APCA STANDARDS C3-02 FOR PRESERVATIVE RETENTION.
7. A PILE BLOW COUNT LOG OF ALL PILES SHALL BE SUBMITTED TO THE ARCHITECT OF RECORD. FAILURE TO SUBMIT SAID LOG WILL RELEASE THE ARCHITECT OF ALL LIABILITY.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPARISON AND VERIFICATION OF PILE LOGS DRIVEN WITH THE MOST RECENT ARCHITECTURAL, AS BUREAU THAT PILES DO FALL WITH IN LIMITS OF THE STRUCTURE.

FOUNDATION NOTES

1. TOTAL NEW FOUNDATION AREA = 1,800 SF
2. THE CONTRACTOR SHALL FIELD VERIFY ALL DROPS, SLOPES, NECESSARY, BRICK BATS, BLOCKS OUTS ON ARCHITECTURAL PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MAY EXIST.
3. COORDINATE ALL STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, INSERTS, AND ANY OTHER RELATED ITEMS.
4. ALL SECTIONS SHOWN ARE AT THE MID-SPAN OF GRAZE BEAMS UNLESS OTHERWISE SHOWN.
5. ALL FORMWORK SHALL BE IN COMPLIANCE WITH A.C.I. 301.
6. PROVIDE 20M POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS AND GRAZE BEAMS THAT ARE PART OF A SLAB FOUNDATION SYSTEM.
7. CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM OF 80 BAGS OF CEMENT PER CUBIC YARD AND A MAXIMUM OF 30 GALLONS OF FINE AND AGGREGATE PER CUBIC YARD. POUR TO 2" +/- 1" BUMP. SUCH A MIX SHOULD GIVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DESIGN MAY BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (A.C.I. 318-19).
8. FILL SHALL BE AN BEST GRANULAR MATERIAL, COMPACTED TO 95% MODIFIED PROCTOR AND SHALL EXTEND A MINIMUM OF 3'-0" BEYOND THE PERIMETER OF THE FOUNDATION IN ALL DIRECTIONS.
9. ALL DIMENSIONAL REINFORCING STEEL SHALL BE ASTM DESIGNATION A615 GRADE 60 REINFORCING AND SHALL BE DETAIL AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF CONCRETE PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
10. REINFORCEMENT SHALL HAVE 3" COVER IN GRAZE BEAM BOTTOMS, 2" COVER IN BEAM ENDS AND TOPS, 1 1/2" COVER IN SLAB TOPS AND BOTTOMS UNLESS OTHERWISE SHOWN.
11. REPAIRS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
12. LOCATE NO 8 REBAR IN FILLED 6" CONCRETE BLOCK WALL CELLS WHERE REQUIRED IN FOUNDATION.
13. PLUGS FOR PIPES, COULTS, THUMBUS, ETC TO PASS THROUGH CONCRETE SLAB OR BEAM MUST NOT COME WITH REINFORCING. WHERE A CONDUIT COULDS, REINFORCING LOCATION IS TO TAKE PRECEDENCE.
14. TERMITES PROTECTION SHALL BE BY CHEMICAL TERMITES TREATMENT IN ACCORDANCE WITH FID 3081 SECTION F0 4.2, OR BY BONDED CONTACT.
15. ALTERATION OR DEVIATION FROM THE INFORMATION SHOWN IN THE DRAWINGS WITHOUT ADVANCED APPROVAL FROM THE PROFESSIONAL OF RECORD (FOR ANY VOID FOR RESPONSIBILITY).



REVISION	DATE	BY	CHKD BY

FOUNDATION PLAN

APRIL 5, 2023

A2.0

OPENING SCHEDULE

WINDOWS					
MARK	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	DESCRIPTION	HEAD HEIGHT	REMARKS
A	3'-0"	6'-0"	NEW VAIL 22 WINDOWS	6'-0"	
B	2'-0"	6'-0"	NEW VAIL LT WINDOWS	6'-0"	EXPOSED CORNERS UNIT PER IBC 2018
C	3'-0"	6'-0"	NEW FIXED VAIL PICTURE WINDOW	6'-0"	MFL SILL HT - 80" AFF.
D	3'-0"	6'-0"	NEW VAIL LT WINDOWS	6'-0"	

DOORS					
MARK	UNIT SIZE WIDTH	UNIT SIZE HEIGHT	DESCRIPTION	TYPE	REMARKS
100	3'-0"	6'-8"	NEW SOLID WOOD HALF-GLASS PANEL EXTERIOR DOOR WITH 1'-0" TRANSOM ASSEMBLY		6'-0" x 6'-2 1/2" R.O.
101	3'-0"	7'-0"	NEW INTERIOR PR DOOR		
102	3'-0"	6'-8"	NEW SOLID WOOD HALF-GLASS PANEL EXTERIOR DOOR WITH 1'-0" TRANSOM ASSEMBLY		6'-0" x 6'-2 1/2" R.O.
103	2'-0"	7'-0"	NEW INTERIOR POCKET DOOR		
104, 105, 106, 110	2'-0"	7'-0"	NEW INTERIOR DOOR		
107, 110	3'-0"	7'-0"	NEW INTERIOR POCKET DOOR		
107	1'-8"	7'-0"	NEW INTERIOR DOOR		
108, 118	3'-0"	7'-0"	NEW INTERIOR DOOR		
109, 113	2'-0"	7'-0"	NEW INTERIOR DOOR		
114	2'-0"	7'-0"	NEW INTERIOR PR DOOR		

OPENING SCHEDULE NOTES

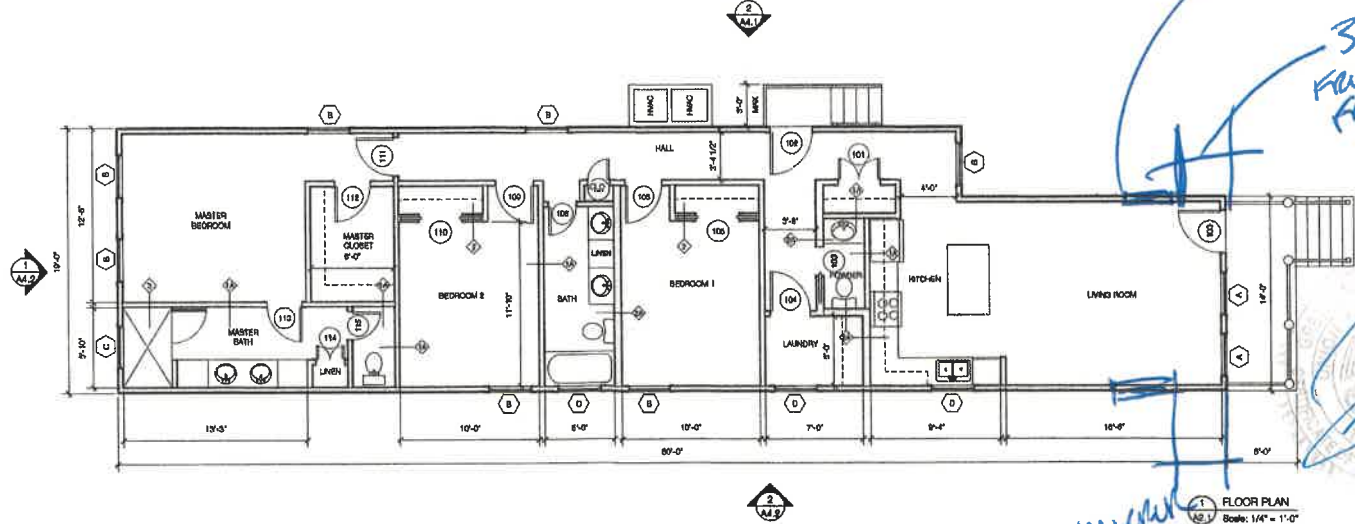
1. PROVIDE WINDBORNE DEBRIS PROTECTION FOR WINDOWS IN ACCORDANCE WITH IBC 2.1.2 AND 2021.
2. MAINTAIN 1/2" DIFFERENTIAL BETWEEN INTERIOR AND EXTERIOR FINISH FLOOR FINISHES AT EXTERIOR DOORS. SLIDE PORCH SURFACES AWAY FROM EXTERIOR WALLS.
3. ALL DOORS SHALL RECEIVE A PAINT FINISH.
4. INSTALL WEATHER STRIPPING AT ALL EXTERIOR DOORS.
5. ALL WOOD SHALL BE KILN DRIED, MOISTURE CONTENT 6-10%.
6. ALL DOOR GLASS SHALL BE TEMPERED.
7. ALL HARDWARE SHALL BE BRUSHED NICKEL.
8. PROVIDE DOOR STOPS OR BUMPS AT ALL DOORS.
9. PROVIDE GASKETED ALUMINUM THRESHOLD SET IN BEZELANT AT ALL EXTERIOR DOORS.

FINISHES SCHEDULE

MARK	ROOM	FLOOR	WALLS				CEILING		CEILING HEIGHT
			NORTH	EAST	SOUTH	WEST	CEILING	CEILING HEIGHT	
	MASTER ROOM	WOOD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	8'-0"	
	POWDER ROOM	CERAMIC TILE	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	8'-0"	
	LARVEST ROOM	WOOD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	8'-0"	
	BEDROOM I	WOOD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	8'-0"	
	BATH	CERAMIC TILE	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	8'-0"	
	BEDROOM II	WOOD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	8'-0"	
	MASTER BATH	CERAMIC TILE	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	PAINTED MOISTURE RESISTANT OYPSUM BOARD	8'-0"	
	MASTER BEDROOM	WOOD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	8'-0"	
	HALL	WOOD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	PAINTED OYPSUM BOARD	8'-0"	

FINISH SCHEDULE NOTES

1. CLOSETS SHALL HAVE NO CROWN, AND BASE SHALL MATCH ROOM IT SERVES.
2. MAINTAIN 1/2" DIFFERENTIAL BETWEEN TILE AND WOOD FINISHES.
3. ALL CERAMIC TILE SHALL BE SEALED.
4. FLOORING SHALL BE LEFT IN HOUSE TO ACCLIMATE PRIOR TO INSTALLATION - SEE PRODUCT NOTES.



Handwritten notes:
 ADD WINDOW
 3'-0" FROM FRONT
 MIRROR ON OTHER SIDE



KFD ARCHITECTURE
 405 WEST STREET, #PT. 3
 NEW ORLEANS, LA 70130
 504.586.0000



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETINA, LA

REVISION DATE	REVISION	DESIGNED BY	PROJECT I.D.	APPROVED BY

FLOOR PLAN
 APRIL 5, 2023
A2.1

FRAMING NOTES

1. ALL FRAMING TO COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS, CURRENT ED. AND INTERNATIONAL RESIDENTIAL CODE BOOK ED. UNLESS NOTED OTHERWISE. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE FOR THE INTERNATIONAL BUILDING CODE AND/OR THE CODES REFERENCED THEREIN. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
2. FRAMING LUMBER: SOUTHERN YELLOW PINE NO. 2 DENISE K.D. (15%) OR BETTER, UNAD.
3. FLOOR FRAMING SHALL BE BRED AS INDICATED ON FRAMING PLANS. PROVIDE WOOD CROSS BRACING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPAN EXCEEDS 8'0" FEET.
4. COORDINATE FRAMING LAYOUT WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS.
5. SUBSTITUTIONS FOR FRAMING SIZE, SPACING GRADE AND SPECIES WITH PERMISSION FROM THE ARCHITECT ONLY.
6. BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST AND SHALL NOT BE LARGER THAN 1/4" IN DIAMETER AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
7. ALL WALL SHEATHING SHALL BE APA STRUCTURALLY RATED SHEATHING. FLOOR AND ROOF SHEATHING SHALL BE APA RATED SHEATHING. SHEATHING SHALL BE NAIL-ED AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND 18" O.C. AT INTERMEDIATE SUPPORTS, WITH NO COMMON NAIL.
8. PLYWOOD SUB FLOORING SHALL BE APA RATED 4824, 3/4" THICK TONGUE AND GROOVE, GLED AND FASTENED TO FLOOR JOISTS AS INDICATED IN THE BUILDING SECTION, OR EQUAL.
9. PARALLEL JOISTS SHALL HAVE A MIN. EA-3,000,000 PSF AND FB OF 2800 PSF.
10. THE NUMBER AND SIZE OF NAILS AT ALL WOOD CONNECTIONS SHALL BE PER THE INTERNATIONAL RESIDENTIAL CODE 2012 ED. TABLE 606.3.10.
11. CONNECTIONS SPECIFIED AS "EMBRON" TYPE ARE TO BE METRO BY SIMPSON STRONG TIE OR APPROVED EQUAL, COMPLY WITH METRO FASTENING PROCEDURES. ALL CONNECTIONS SHALL BE GALVANIZED.
12. JOIST HANGERS SHALL BE 18 GAUGE TYPE "U" AS MANUFACTURED BY SIMPSON STRONG TIE OR EQUAL. METAL JOIST HANGERS IN BRICK ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANGERS FOR BEAMS AND JOISTS WHICH FRAME TO BEAMS AT SAME ELEVATION. JOIST HANGERS SHALL BE OF A SIZE APPROPRIATE FOR THE MEMBER SUPPORTED.
13. STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1/2" WIDE, 24 GAUGE GALVANIZED STRAPS 18" LONG, BOTH SIDES OF WALL, NIPED TO PLATES.
14. ALL LUMBER BELOW BASE FLOOR ELEVATION SHALL BE PRESSURE TREATED P.F.1.
15. TOP OF FINISH FLOOR SHALL BE AT OR ABOVE BASE FLOOR ELEVATION. TYPE SEE EXTERIOR ELEVATIONS.

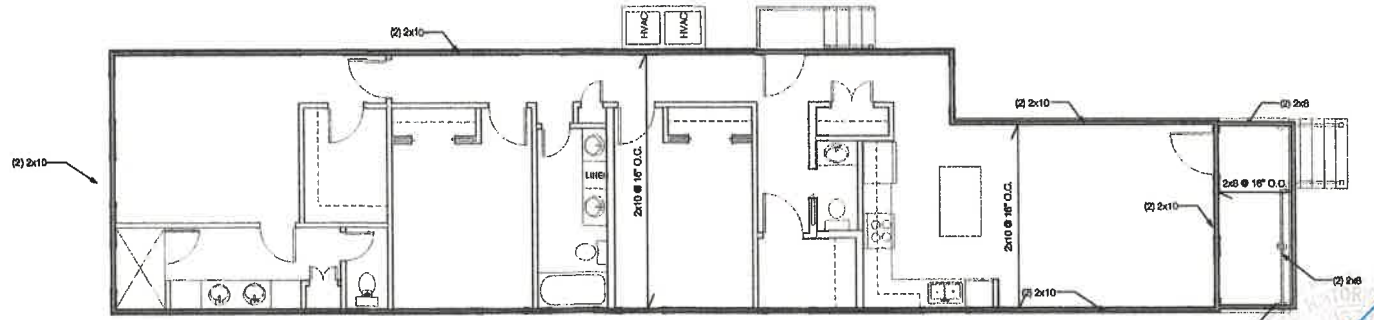


KID
KIDNEY INSTITUTE, PROTECT
KIDNEY HEALTH, LIVE
NEW ORLEANS, LA 70130
WWW.KIDCLOUDBOOK.COM



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET

CRETINA, LA

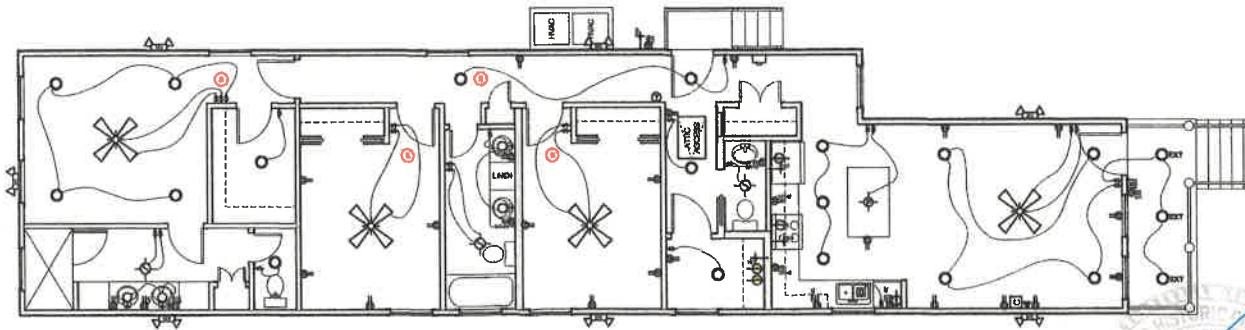


1 CEILING FRAMING PLAN
Scale: 1/4" = 1'-0"

REVISION DATE:	
REVISION:	
DATE:	
PROJECT NO.:	
DRAWN BY:	
CHECKED BY:	
DATE:	

FRAMING PLANS
APRIL 5, 2023
A2.2

ELECTRICAL LEGEND	
<ul style="list-style-type: none"> ⊕ DUPLEX OUTLET ⊕ DUPLEX OUTLET WITH SPECIFIED MOUNTING HEIGHT IN INCHES ABOVE FINISH FLOOR ⊕ GROUNDING DUPLEX OUTLET, STANDARD HEIGHT ⊕ GROUNDING DUPLEX OUTLET, WITH SPECIFIED MOUNTING HEIGHT IN INCHES ABOVE FINISH FLOOR ⊕ SPECIAL PURPOSE OUTLET: VENT/FY MOUNTING HEIGHT ⊕ SINGLE POLE SWITCH ⊕ SINGLE POLE SWITCH WITH DIMMER ⊕ 3-WAY SWITCH ⊕ SINGLE POLE SWITCH WITH SPECIFIED MOUNTING HEIGHT IN INCHES ABOVE FINISH FLOOR 	<ul style="list-style-type: none"> DATA / TELEPHONE / CAT5 PREWIRED CABLE SMOKE/CARBON MONOXIDE DETECTOR BACKE DETECTOR VENT / LED-LT HEATER / VENT HEATER / VENT / LIGHT VENT PATH LIGHT
<ul style="list-style-type: none"> WP EDT CEILING FAN ALL FANS TO HAVE LIGHT AND SPEED CONTROL AT SWITCH BOX CEILING FAN WITH LIGHT KIT 	<ul style="list-style-type: none"> RECESSED CEILING FIXTURE - LED RECESSED WATERPROOF FIXTURE - LED CEILING MOUNTED LED PLUCKLIGHT EXTERIOR MOUNTED LED PLUCKLIGHT RECESSED WALL WARMER CEILING FIXTURE - LED CEILING FAN ALL FANS TO HAVE LIGHT AND SPEED CONTROL AT SWITCH BOX CEILING FAN WITH LIGHT KIT
<ul style="list-style-type: none"> WALL MOUNT BRACKET OR SCORNS EXTERIOR WALL MOUNT BRACKET OR SCORNS CEILING SURFACE MOUNT FIXTURE (DECORATIVE OR UTILITY) EXTERIOR CEILING SURFACE MOUNT FIXTURE (DECORATIVE OR UTILITY) DECORATIVE PENDANT FIXTURE LED STRIP FIXTURE (UTILITY) LED STRIP FIXTURE (DECORATIVE) LED CONTINUOUS STRIP FIXTURE (UNDER CABINET) 	<ul style="list-style-type: none"> EXTERIOR MOTION SENSOR LIGHT - LED DOOR CHIME DOOR BELL THERMOSTAT 3/4" HP GARBAGE DISPOSAL GAS HOOD-CUP WATER LINE HOOD-CUP CIRCUIT BREAKER PANEL AREA OF FIRE RATED GAVE - SEE 1041 &



1 REFLECTED CEILING PLAN - FIRST FLOOR
 A3.1 Scale: 1/4" = 1'-0"

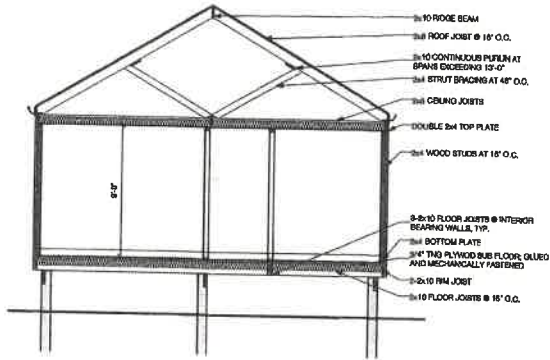


CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET
 GRETNIA, LA

REVISION NO.	REVISION DATE	REVISION	PREPARED BY	DATE	APPROVED BY

REFLECTED CEILING PLAN:
 FIRST FLOOR
 APRIL 5, 2023

A3.1

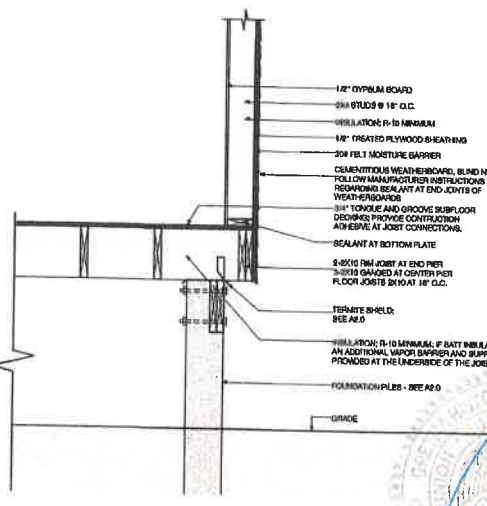
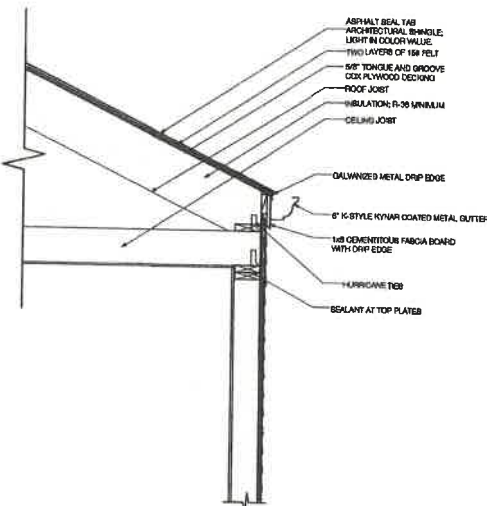


FOUNDATION NOTES

- TOTAL NEW FOUNDATION AREA = 1,800 SF
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, RECESSES, BRICK BEATS, BLOCK-OUTS ON ARCHITECTURAL PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MAY EXIST.
- COORDINATE ALL STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, RISERS, AND ANY OTHER RELATED ITEMS.
- ALL RECESSES SHOWN ARE AT THE MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
- ALL FORMWORK SHALL BE IN COMPLIANCE WITH A.C.I. 308.
- PROVIDE 500 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS AND GRADE BEAMS THAT ARE PART OF A SLAB FOUNDATION SYSTEM.
- CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM OF 8.0 BAGS OF CEMENT PER CUBIC YARD AND A MAXIMUM OF 30 GALLONS OF FINE AND AGGREGATE WATER PER CUBIC YARD. POUR TO 0.1" SLUMP. SUCH A MIX SHOULD HAVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (A.C.I. 318.04).
- FILL SHALL BE AN INERT GRANULAR MATERIAL, COMPACTED TO 95% MOISTURE PROCTOR AND SHALL EXTEND A MINIMUM OF 6" BEYOND THE PERIMETER OF THE FOUNDATION IN ALL DIRECTIONS.
- ALL CONVENTIONAL REINFORCING STEEL SHALL BE ASTM DESIGNATION A615 GRADE 60 REINFORCING AND SHALL BE DETAIL AND ACCORDING PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
- REINFORCEMENT SHALL HAVE 3" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS, 1 1/2" COVER IN SLAB TOPS AND BOTTOMS, UNLESS OTHERWISE SHOWN.
- REBAR SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
- LOCATE NO. 6 REBAR IN FIELD 6" CONCRETE BLOCK WALL CELLS WHERE REQUIRED IN FOUNDATION.
- PLANS FOR PIPES, CONDUITS, TRAYS, ETC TO PASS THROUGH CONCRETE SLAB OR BEAM MUST NOT CONFLICT WITH REINFORCING. WHERE A CONFLICT OCCURS, REINFORCING LOCATION IS TO TAKE PRECEDENCE.
- TEMPERATURE PROTECTION SHALL BE BY CHEMICAL TEMPERATURE TREATMENT IN ACCORDANCE WITH PRO 2021 SECTION 05.10, OR BY BONDED CONTRACT.
- ALTERATION OR DEVIATION FROM THE INFORMATION SHOWN IN THE DRAWINGS WHICH REQUIRES APPROVAL FROM THE PROFESSIONAL OF RECORD FOR ANY VOID FOR RESPONSIBILITY.

FRAMING NOTES

- ALL FRAMING TO COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, CURRENT EDITION, AND INTERNATIONAL RESIDENTIAL CODE BOOK (IRC), UNLESS NOTED OTHERWISE. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE FOR THE INTERNATIONAL BUILDING CODE AND/OR THE CODES REFERENCED THEREIN. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
- FRAMING LUMBER: SOUTHERN YELLOW PINE NO. 2 DENSE KID. (ENR) OR BETTER, UNAD.
- FLOOR FRAMING SHALL BE SIZED AS INDICATED ON FRAMING PLANS. PROVIDE WOOD CROSS BRACING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPAN EXCEEDS EIGHT (8) FEET.
- COORDINATE FRAMING LAYOUT WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS.
- SUBSTITUTIONS FOR FRAMING SIZE, SPACING GRADE AND SPECIES WITH PERMISSION FROM THE ARCHITECT ONLY.
- BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST AND SHALL NOT BE LARGER THAN 1 1/4" DIAMETER AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
- ALL WALL BRACING SHALL BE APA STRUCTURALLY TREATED BRACING. FLOOR AND ROOF BRACING SHALL BE APA PATED BRACING. BRACING SHALL BE NAILLED AT 4" O.C. ALONG SUPPORTED PANEL EDGES AND 16" O.C. AT INTERMEDIATE SUPPORTS, WITH 80 COMMON NAIL.
- PLYWOOD SUB FLOORING SHALL BE APA PATED 4698, 3/4" THICK TONGUE AND GROOVE, GAPPED AND FASTENED TO FLOOR JOISTS AS INDICATED IN THE BUILDING SECTION, OR EQUAL.
- PAPILLAM JOISTS SHALL HAVE A MIN. E=2,000,000 PSI AND F8 OF 2900 PSI.
- THE NUMBER AND SIZE OF NAILS AT ALL WOOD CONNECTIONS SHALL BE PER THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC), TABLE 1603.3.1(b).
- CONNECTIONS SPECIFIED AS "BRIEFING" TYPE ARE TO BE SET BY BRACING THE CO. OR APPROVED EQUAL. COMPLY WITH WFTS FASTENING PROCEDURES. ALL CONNECTIONS SHALL BE GALVANIZED.
- JOINT HANDERS SHALL BE 18 GAUGE TYPE "U" AS MANUFACTURED BY BRANCO STEEL CO. OR EQUAL. INSTALL JOINT HANDERS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANDERS FOR BEAMS AND JOISTS WHICH FRAME TO JOISTS AT SAME ELEVATION. JOINT HANDERS SHALL BE OF A SIZE APPROPRIATE FOR THE MEMBER SUPPORTED.
- STRAP ALL PLATES OUT AWAY FROM PLUMBING WITH 1 1/2" WIDE, 24 GAUGE GALVANIZED STRAPS 16" LONG, BOTH SIDES OF WALL, BRIGED TO PLATES.
- ALL LUMBER BELOW BASE FLOOD ELEVATION SHALL BE PRESURE TREATED (PT).
- TOP OF FINISH FLOOR SHALL BE AT OR ABOVE BASE FLOOD ELEVATION, TYP (SEE EXTENSION ELEVATIONS).



1 TYPICAL EXTERIOR WALL
Scale: 1" = 1'-0"



CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE AT
1119 NINTH STREET

GRETINA, LA

NO.	DATE	DESCRIPTION

BUILDING SECTIONS

APRIL 5, 2023

A5.1



Historic District Commission

Meeting: February 3, 2025

714 7th Street

(District 2)

For: Handrails and window molding

**Applicant:
Crissy Czemy**



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham - Gretna Historic District.
McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
Moving of a historic building
Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
New construction of a building or accessory building or structure, if subject to view from a public street
Change in existing walls and fences or construction of new walls and fences if along a public street
Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration - any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition - the complete, partial or constructive removal of a building from any site

Historic building - a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change - changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 714 7th Street, Gretna, LA 70053

Renovation: _____

New Construction: _____

Demolition: _____

Age of Structure: 1890

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding Pine siding, trim, and molding

Masonry _____ Porches Cypress spandrels

Balconies _____ Handrails Cast iron

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: Details attached

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Crissy Czerny* Date: 1/24/25

Applicant's Name: Crissy Czerny, C3NOLA Investment Group, LLC DBA C3NOLA Construction Services

Applicant's Address: 5568 Catina Street, New Orleans, LA 70124

Phone No: () Cell No: (504) 284-8980

For Office Use Only:

Application date: *January 27, 25*

Substantive Change: Yes No Inventory Number: *350*

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: *February 3, 2025 @ 4:00*

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Crissy Czerny the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on February 3, 2025 at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Crissy Czerny
Signature of Applicant

Crissy Czerny

Name of Applicant (Please Print)

5568 Catina Street, New Orleans, LA 70124

Applicant's Address

714 7th Street, Gretna, LA 70053

Address under HDC review

Date: 1/24/25

714 7th Street

Existing Home



Proposed Renovations - Owner would like the home to appear more historical in nature.

At front facade, remove existing siding and replace using:

Pine shiplap 9-1/2"

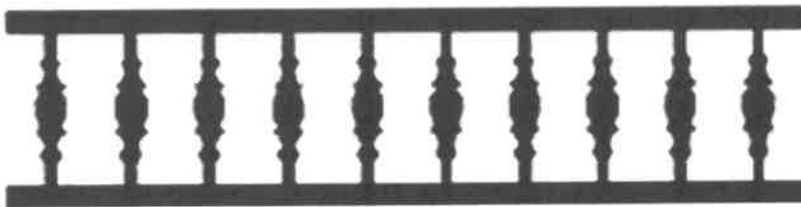


Treated dry KDat 5/4 x 8 above door and window with 5-1/4" treated pine crown molding above door and window

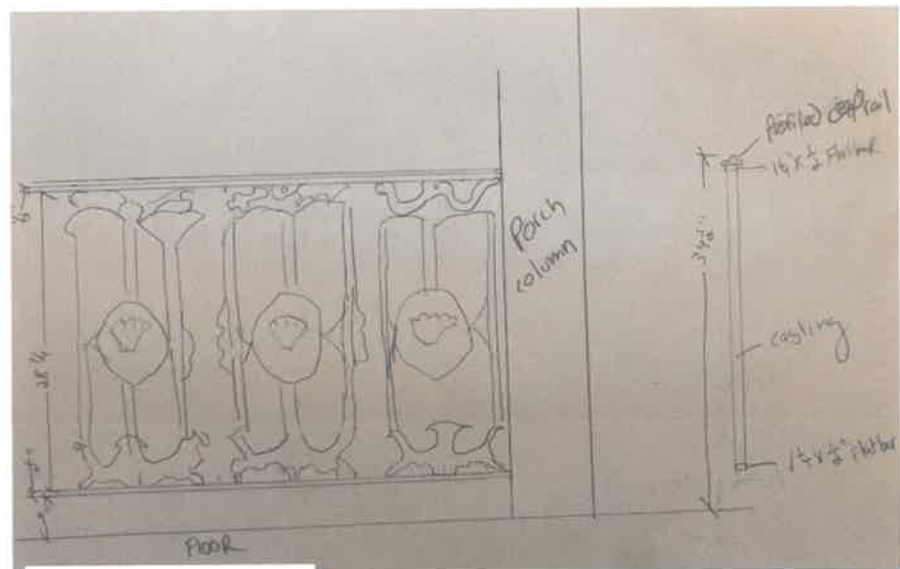


Cypress 9-1/2" spandrels in between columns

9-1/2" Spool Spandrel



At front facade, remove existing railings and spindles and replace with cast iron components:





Historic District Commission

Meeting: February 3, 2025

704 Lafayette Street
(District 1)

**For: Deviation from previously
approved COA 12/4/23**

**Applicant:
Sage Spicuzza**

Form # 7291



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham - Gretna Historic District.
McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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Moving of a historic building
Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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Change in existing walls and fences or construction of new walls and fences if along a public street
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Alteration - any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition - the complete, partial or constructive removal of a building from any site

Historic building - a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change - changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 704 Lafayette Street

Renovation: _____
New Construction: _____
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof _____ Soffit _____
Fascia _____ Siding _____
Masonry _____ Porches _____
Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: glass to match window

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.
Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Sage Spicuzza Date: 1/28/25

Applicant's Name: Sage Spicuzza

Applicant's Address: 704 Lafayette Street

Phone No: (504) 417 4869 Cell No: ()

For Office Use Only:

Application date: January 28, 2025

Substantive Change: Yes No

Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

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Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Sage Spicuzza the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on February 3 2025 at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740^{2nd} Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Sage Spicuzza
Signature of Applicant

Sage Spicuzza
Name of Applicant (Please Print)

704 Lafayette Street
Applicant's Address

Same

Address under HDC review

Date: 1/28/25



We would like to get a custom Mahogany wooden door to match the front window. It would be a working door. We would like to have natural light come in from the front of the house and we would like it to match the window for aesthetic.

On Jan 28, 2025, at 9:42 AM, Sage Spicuzza <sagespicuzza@icloud.com> wrote:

Filled out form

On Jan 28, 2025, at 8:58 AM, Maria Caulking <mcaulking@gretnala.com> wrote:

<HDC Application and Waiver.pdf>

*Maria Caulking
City Development Coordinator
Gretna City Hall
504-363-1563*

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.



<HDC Application and Waiver.pdf>

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

704 Lafayette Street
PROPERTY ADDRESS

Sage Spicuzza
NAME OF APPLICANT

Work Approved: Approval for Cavelback addition
to existing single family residence. Approved
as submitted.


Signature of HDC Chairperson

Signature of Applicant

12/4/23
Date
9/24/24
Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

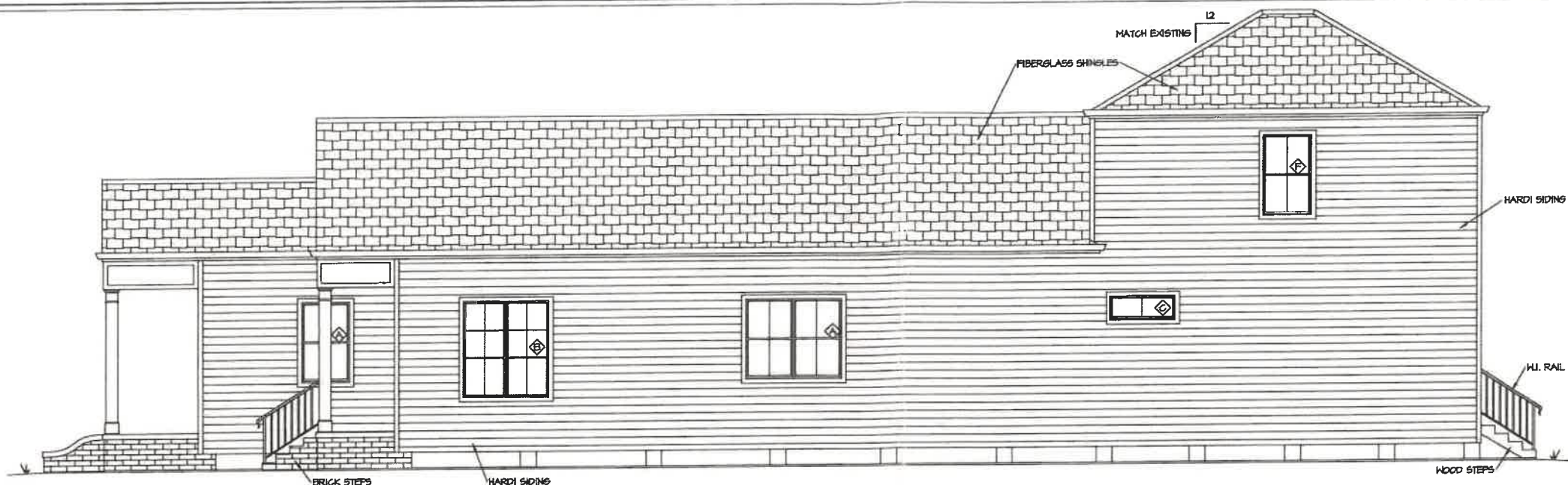
Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com



COA-23-115



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING CONSTRUCTION
THE HURRICANE RESISTANCE CONSTRUCTION FOR THIS RESIDENCE WAS DESIGNED TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE SECTION R301.2.1, AS MANDATED BY THE EMERGENCY PROVISIONS OF LOUISIANA ACT 12 (2014).

I HAVE RESEARCHED THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE DRAWINGS.

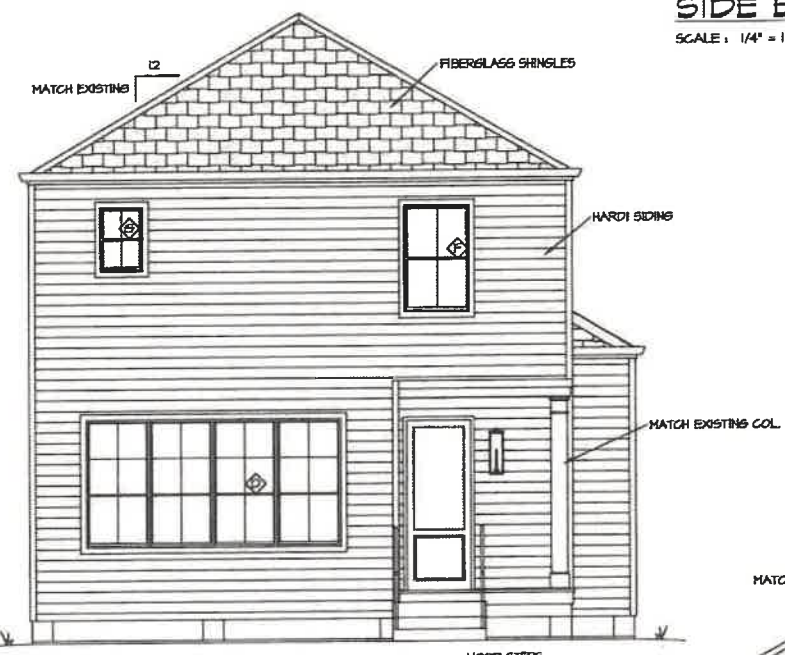
THE CONSTRUCTION OF THIS STRUCTURE IS TO CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, ASCE 7 WIND LOADS, AS WELL AS THOSE REQUIRED BY FEMA.

HURRICANE RESISTANCE CONSTRUCTION HAS BEEN DESIGNED USING THE PRESCRIPTIVE REQUIREMENTS OF THE HOOD FRAME CONSTRUCTION MANUAL, LATEST EDITION.

THE STRUCTURE HAS BEEN DESIGNED FOR 1 THREE SECOND WIND GUST OF 130 MPH - BASED ON EXPOSURE B.

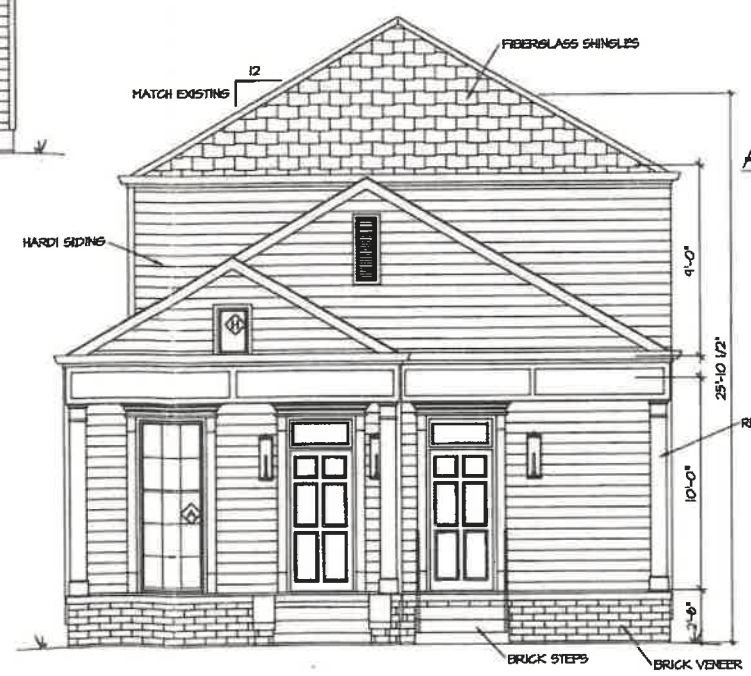
UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION.

THE 2021 INTERNATIONAL RESIDENTIAL CODE APPLIES TO ONE AND TWO-FAMILY DWELLINGS NOT MORE THAN THREE STORIES ABOVE GRADE PLANE, AND THEIR ACCESSORY STRUCTURES, UNLESS NOTED OTHERWISE. ALL REVIEW COMMENTS AND CITATIONS REFERENCE THE 2021 IRC, INCLUDING ALL RELEVANT SUBSECTIONS.



REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROVIDE POWER ROOF VENTS ON REAR SIDE OF ROOF AS REQUIRED BY CODE



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FLASHING NOTES:

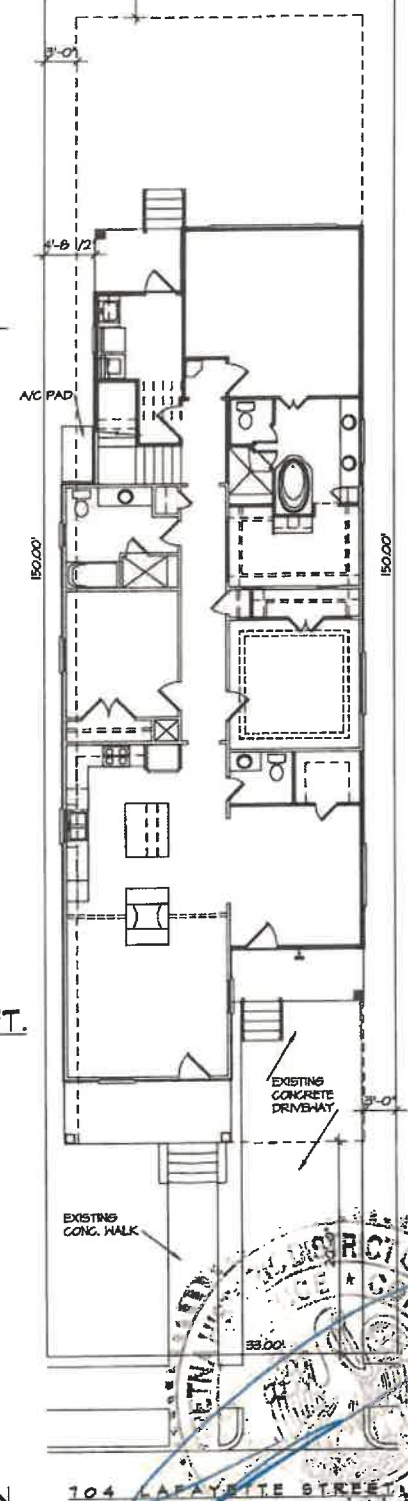
1. SHEET METAL - ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SMAGNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT NOT LIMITED TO: GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL COPINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.

2. FLASHING - APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. FLASHING AND HEPHOLES AT BRICK SHALL COMPLY WITH SECTIONS R103.0.5 AND R103.0.6. HALL FLASHINGS SHALL COMPLY WITH SECTIONS R103.0.8. ROOF FLASHING SHALL COMPLY WITH SECTION R405.2.0. IRC 2021.

GLAZED OPENING PROTECTION
ALL WINDOWS WITHOUT OPERABLE SHUTTERS SHALL BE PROVIDED WITH A MINIMUM THICKNESS OF 1/8" HOOD STRUCTURAL PANELS FOR PROTECTION OF WINDBORNE DEBRIS, AS PER SECTION 301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. THE PANELS ARE TO BE FREIGHT TO COVER THE GLAZED OPENINGS, WITH A MAXIMUM SPAN OF 8' AND PROVIDED WITH ATTACHMENT HARDWARE. ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.

APPROXIMATE SQ. FT.

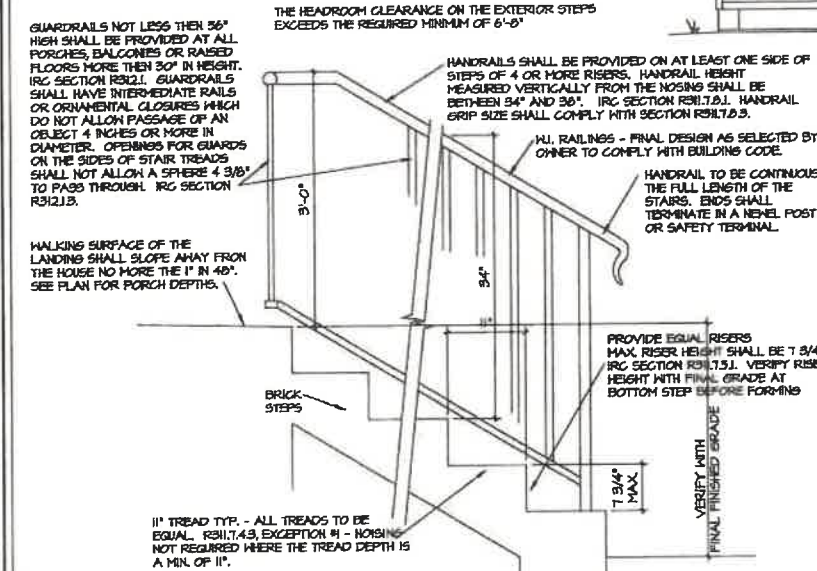
LIVING AREA	
FIRST FLOOR (EX)	1205 S.F.
FIRST FLOOR (ADD)	806 S.F.
SECOND FLOOR (ADD)	846 S.F.
SUBTOTAL	2857 S.F.
PORCH (EX)	41 S.F.
SIDE PORCH (ADD)	61 S.F.
PATIO (ADD)	47 S.F.
GROSS	2954 S.F.



SITE PLAN
SCALE: 1/8" = 1'-0"
LOT # SUBDIVISION JEFFERSON PARISH, LA

THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK. REG. NO. 4852

Attention to or deviation from the information shown on this sheet without advance approval, in writing, from the Architect, may void Old Orleans Design's responsibility.
© 2023, Old Orleans Design, Inc.



EXTERIOR STAIR DETAIL
SCALE: 1" = 1'-0"



Historic District Commission

Meeting: February 3, 2025

514 Perry Street

(District 1)

**For: Garage renovation
preliminary conference 4/1/24**

**Applicant:
Z. Dieterich**





Kernut 7485

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 514 Perry (512 Perry)

Renovation: _____

New Construction: _____

Demolition: _____

Age of Structure: ~50

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other Accessory structure

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other N/A

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding Smooth h.w.

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: 1/1

Type of exterior doors: 6 panel steel or 1/2 panel steel

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 12/20/24

Applicant's Name: Z. Dietsch

Applicant's Address: 913 HPL

Phone No: () _____ Cell No: (561) 430-0164

For Office Use Only:

Application date: December 20, 2024

Substantive Change: Yes No

Inventory Number: 26-02212

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: January 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Z. Dieterich the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on January 2, 2025 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

[Signature]
Signature of Applicant

Z. Dieterich
NAME OF APPLICANT (PLEASE PRINT)

913 HPL
Applicant's address

514 Perry
Actual address of the property for review

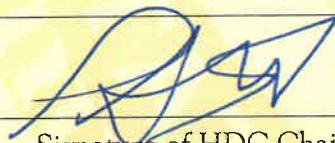
Date: 12/20/24

CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

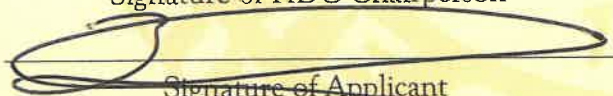
514 Perry Street
PROPERTY ADDRESS

Z. Dieterich
NAME OF APPLICANT

Work Approved: Remove brick cladding on front facing wall and ~~relocate~~ relocate arched smooth hardi siding. Remove full width balcony railing and retain existing smaller balcony landing, install iron handrails. Relocate second window on 1st floor, right elevation to location where window was previously enclosed; Remove second door on right elevation. Install french doors on rear elevation.


Signature of HDC Chairperson

4/1/2024
Date


Signature of Applicant

4/12/24
Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com

COA-24-037





Historic District Commission

Meeting: March 04, 2024

514 Perry Street
(District 1)



For: Exterior Renovation

Applicant: Zach Dieterich

P.C. JR/BM - 1
- demo garage
- masonry wall

- JR/BM
as indicated on
report:
||||| 6-0



Historic District Commission
Application for Certificate of Appropriateness
 Governed by Ordinance No. 4653 Adopted 2-11-15

Carmel #
7483

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

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- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

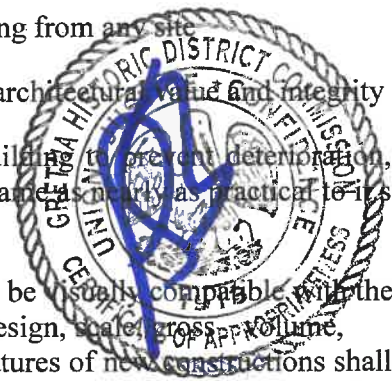
Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, cross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 514 Perry Street

Renovation: Exterior & interior renovations to existing single family residence.

New Construction: _____
Demolition: _____

Age of Structure _____

Building Type:

Creole Cottage 1920

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate X

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding Smooth hardi

Masonry _____ Porches _____

Balconies Iron Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

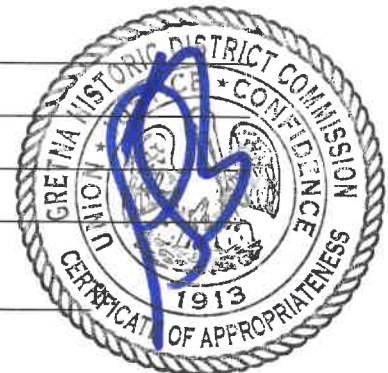
Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____

Rear Space: _____ ft.



Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 2/26/24

Applicant's Name: Z. Dieterich

Applicant's Address: 913 Hwy P. Long

Phone No: () _____ Cell No: (Su) 430-0164

For Office Use Only:

Application date: 2/26/24

Substantive Change: Yes No

Inventory Number: 26-022/2

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: 3/09/24

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____





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740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

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Belinda Cambre Constant

Council Members

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Councilman-at-Large
- Milton L. Crosby
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- Michael Hinyub
District Two
- Mark K. Miller
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Planning and Zoning

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City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Z. Dieterich the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on 3/4/24 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

[Handwritten Signature]

Signature of Applicant

Z. Dieterich

NAME OF APPLICANT (PLEASE PRINT)

913 Huey P. Long

Applicant's address

514 Perry

Actual address of the property for review

Date: 2/26/24

Gretna Historic District Commission
March 4, 2024
Meeting

514 Perry Street
Gretna, LA 70053



Photo 1 – Existing Conditions

align w/ 2nd floor window

- Remove brick cladding on front facing wall and reclad with smooth hardi siding;
- Remove full width balcony railing and retain existing smaller balcony landing, installing iron handrails;
- Relocate second window on 1st floor, right elevation to rear where window was previously enclosed;
- Remove second door on right elevation; - *infill*
- Install French doors on rear elevation;





Photo 2 – Example Balcony Handrail & Appearance

Preliminary Conference

- Existing Apartment/Formerly Garage
- Masonry Wall – Courtyard Enclosure

Demolition







Historic District Commission

Meeting: February 3, 2025

1005 Monroe Street

(District 1)

**For: Accessory structure
preliminary conference 9/30/24**

**Applicant:
Peter Spera III**

FEBRUARY 8 2024



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
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Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1005 Monroe St

Renovation: _____

New Construction: Pool and Accessory Structure

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other accessory _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other accessory _____

Exterior materials proposed:

Roof asphalt shingle _____

Soffit wood _____

Fascia hardie _____

Siding hardie _____

Masonry n/a _____

Porches n/a _____

Balconies n/a _____

Handrails metal _____

Type of exterior lighting fixtures: recessed can _____

Style of windows: n/a _____

Type of exterior doors: painted fiberglass and steel panel garage door _____

Describe any ornamental woodwork: n/a _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 2025.01.24

Applicant's Name: Peter Spera III

Applicant's Address: 1005 Monroe St

Phone No: (504) 400-7976 Cell No: ()

For Office Use Only:

Application date: January 24, 2025

Substantive Change: Yes No

Inventory Number: 26-00120

Contributing Element to Gretna National Register Historic District: Yes No

Historic District Commission meeting date: February 3, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

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Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Peter Spera III the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on September 30th, 2024 4:00 p.m., 740 2nd Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Peter Spera III

NAME OF APPLICANT (PLEASE PRINT)

1005 Monroe St

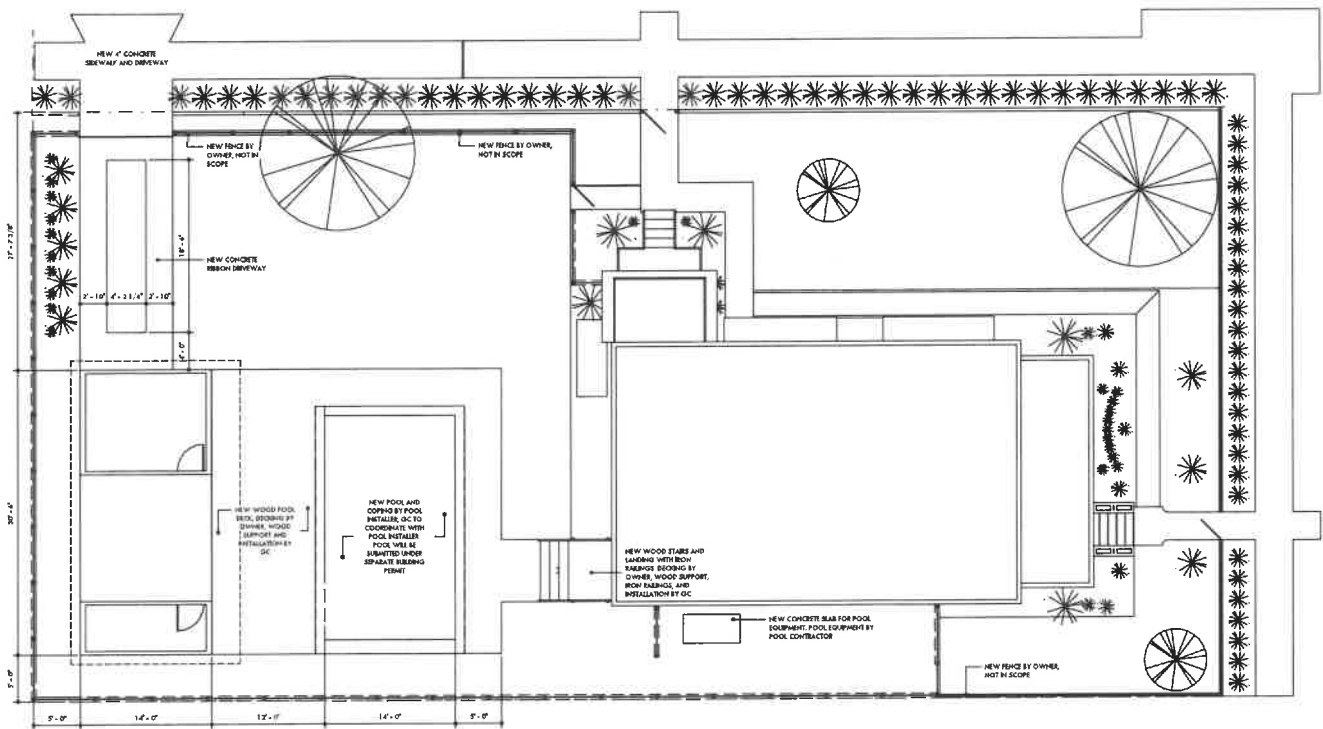
Applicant's address

1005 Monroe St

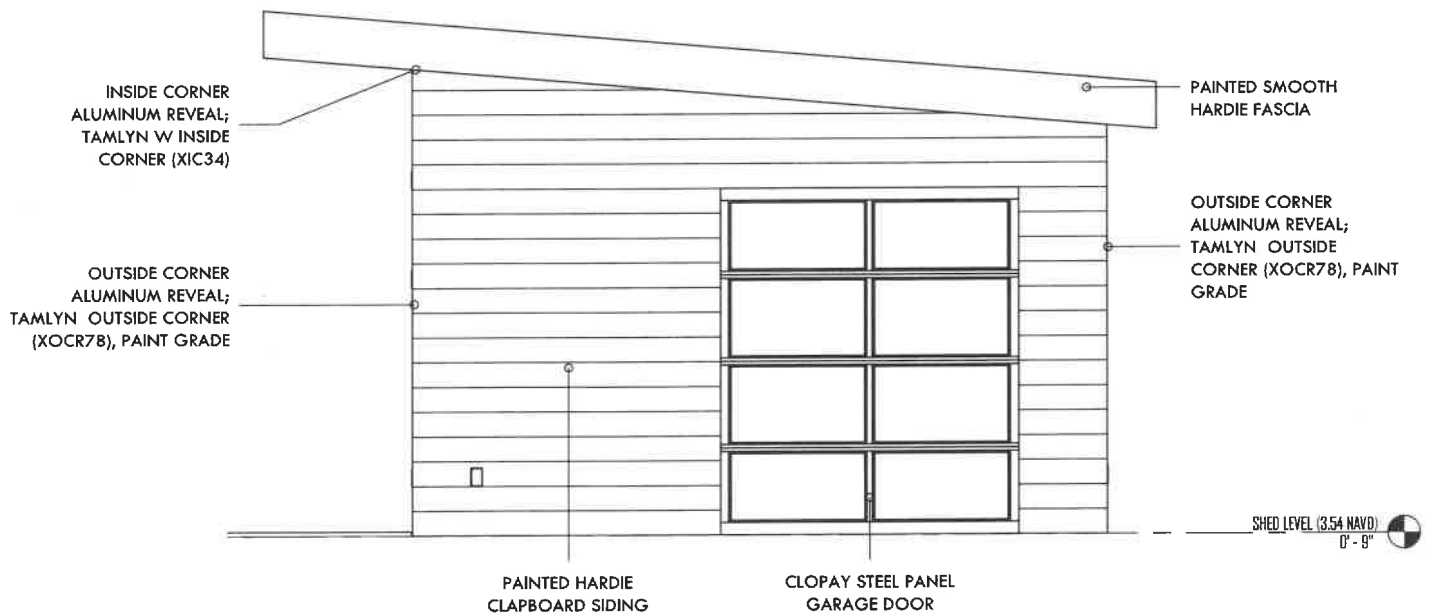
Actual address of the property for review

Date: 2025.01.24

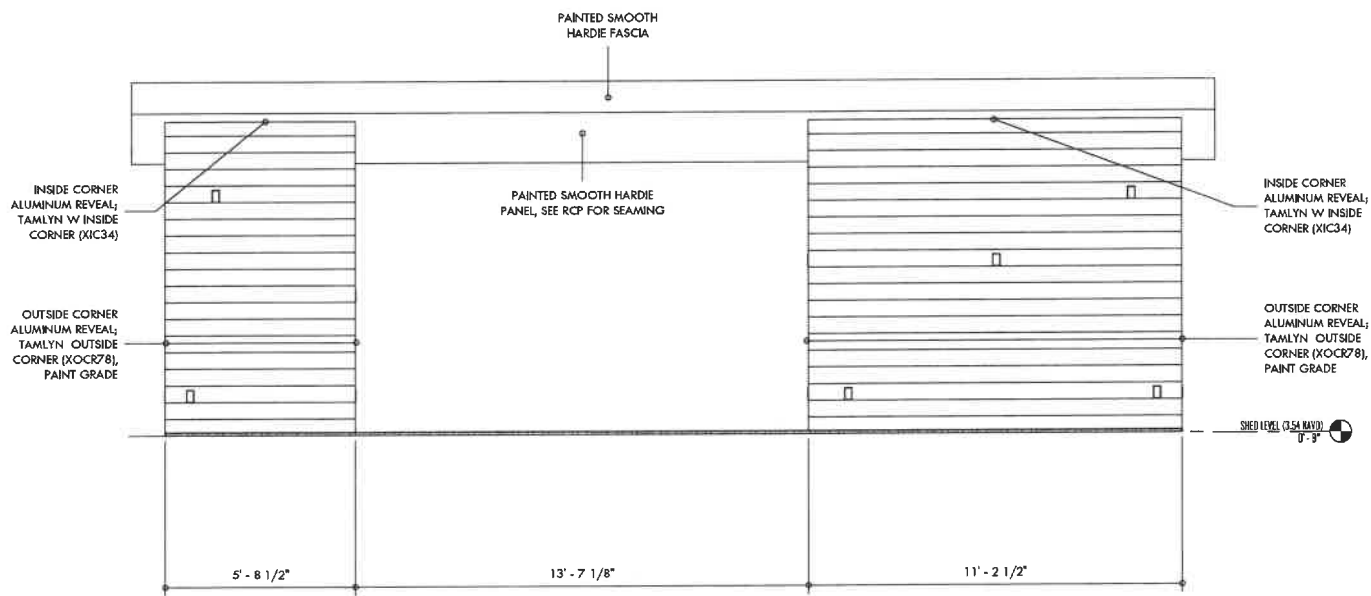
**SPERA RESIDENCE
1005 MONROE STREET
POOL & ACCESSORY STRUCTURE
2025.02.03 HDC MEETING**



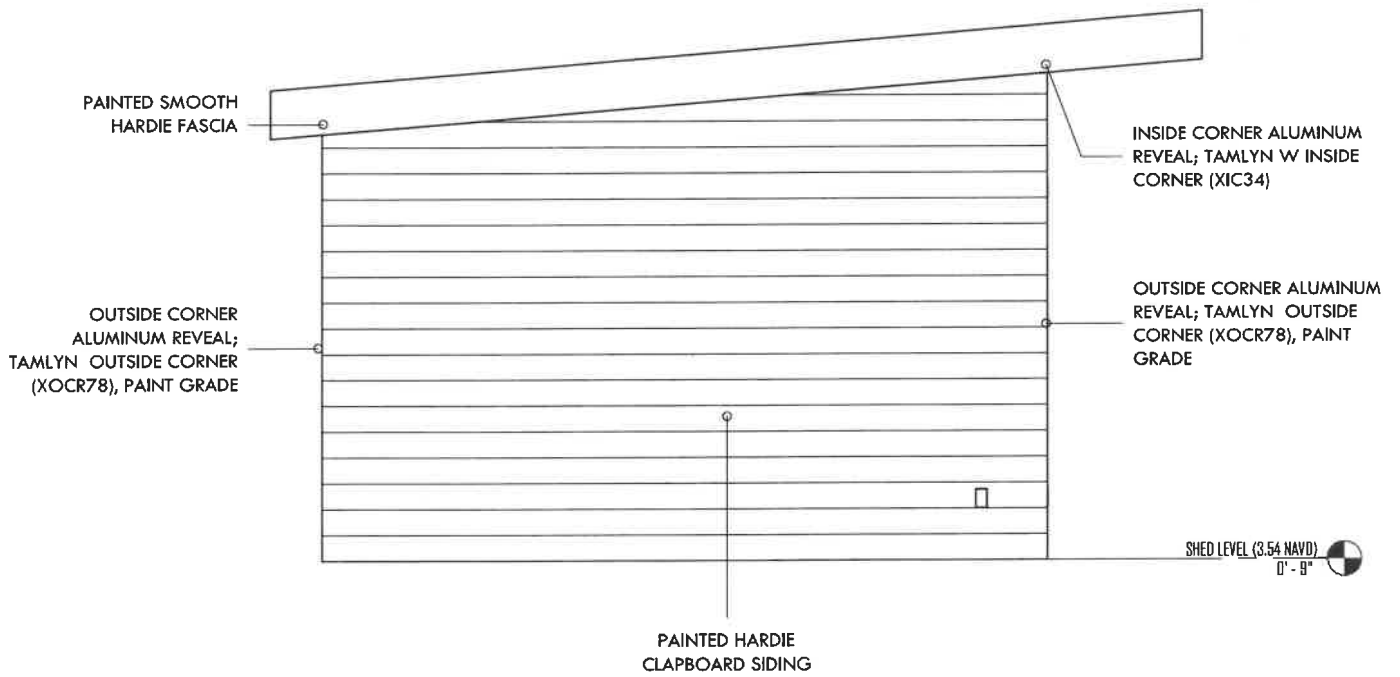
POOL & ACCESSORY STRUCTURE SITE PLAN



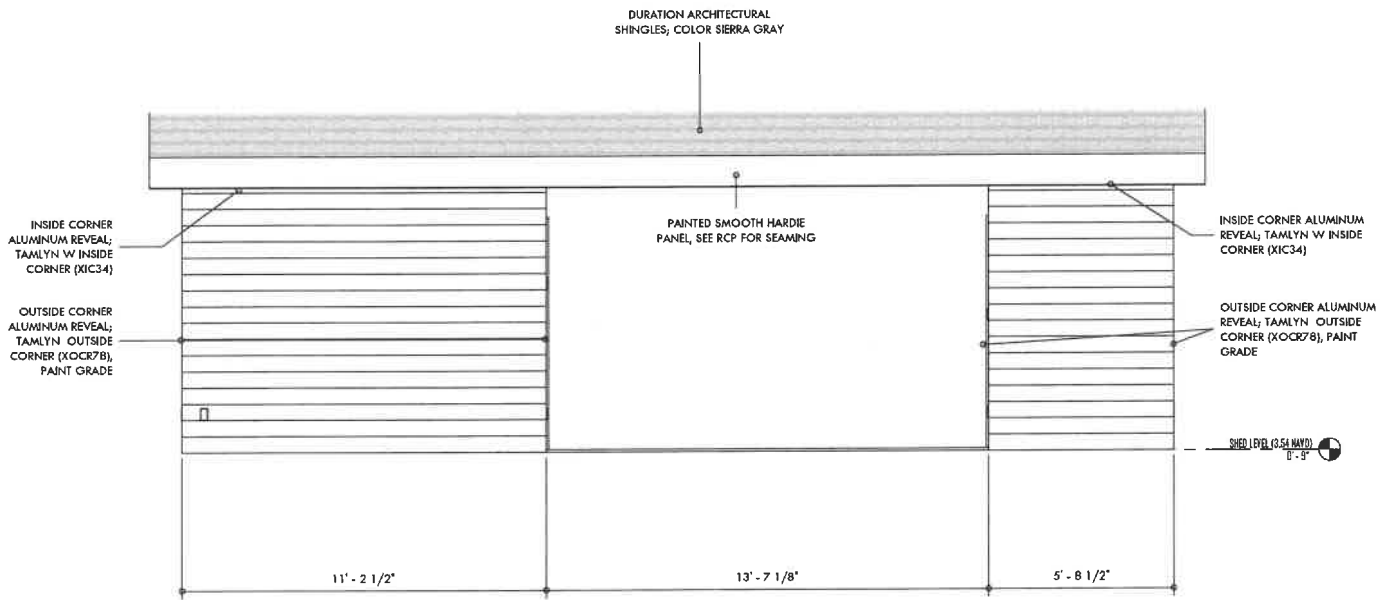
ACCESSORY STRUCTURE NORTH ELEVATION



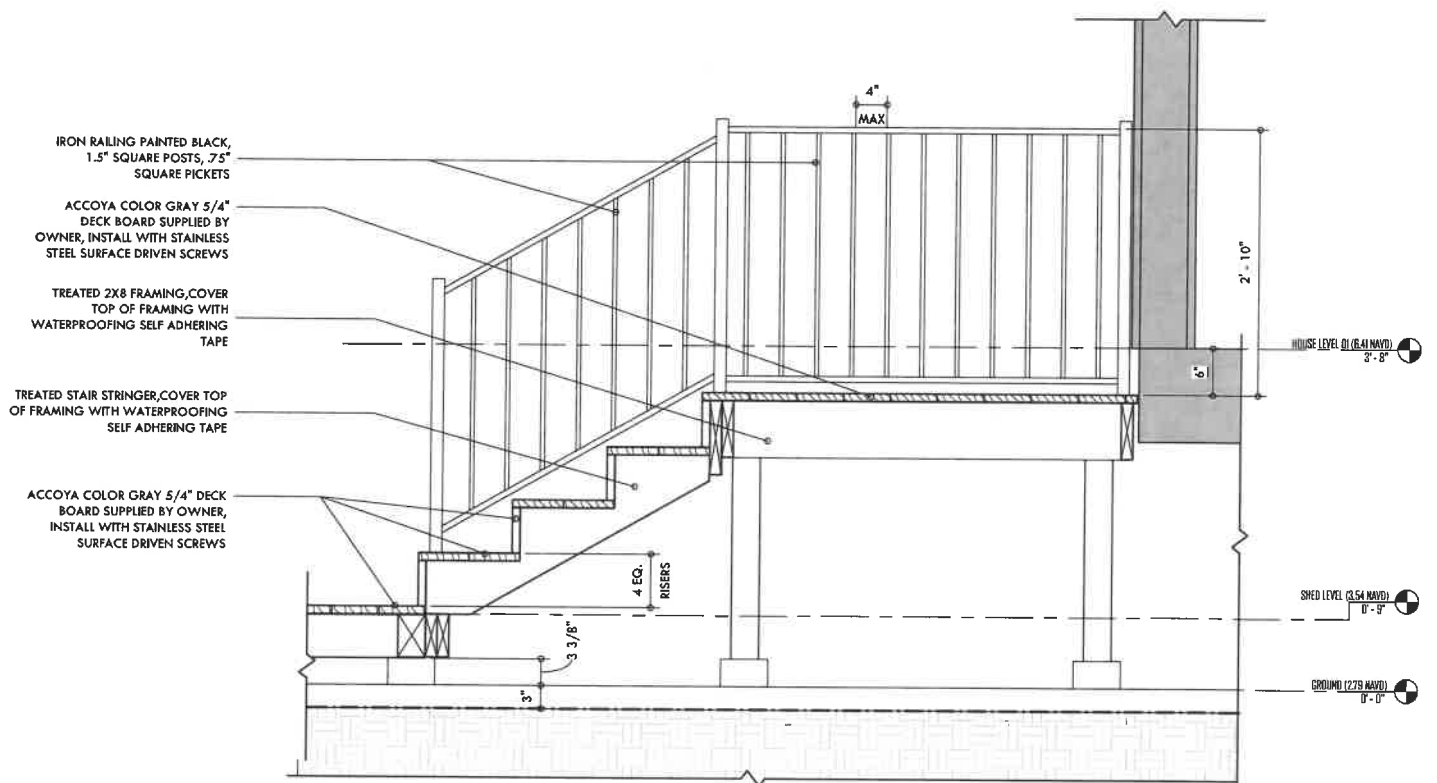
ACCESSORY STRUCTURE EAST ELEVATION



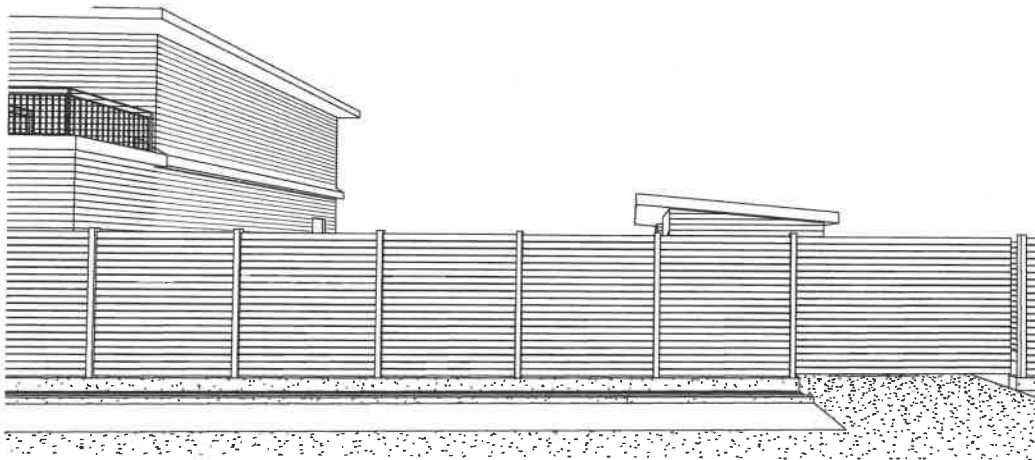
ACCESSORY STRUCTURE SOUTH ELEVATION



ACCESSORY STRUCTURE WEST ELEVATION



STAIR AND RAIL DETAIL



ACCESSORY STRUCTURE STREET VIEW

**CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

1005 Monroe Street

PROPERTY ADDRESS

Peter Spera III

NAME OF APPLICANT

Work Approved: Approval For Continuation of
existing iron & wood fence as submitted.
Preliminary conference for accessory structure.



Signature of HDC Chairperson

9/30/24

Date

9/30/2024

Date

Signature of Applicant

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

**Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com**



COA-24-103