

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 Second Street, Gretna, LA 70053
Council Chambers, 2nd floor.**

May 5, 2025 - 4:00 PM

AGENDA

AGENDA ITEM(S):

- 1. Call to Order/Roll Call**
- 2. CONSENT AGENDA for Certificate of Appropriateness:**
 - (1) 529 3rd Street
Patio Sign - Tamara Moffett, Applicant (District 2)
 - (2) 1120 11th Street
Light Fixtures - Niala Howard, Applicant (District 2)
- 3. Properties with request for Certificate of Appropriateness:**
 - (1) 531 Hancock Street
New Construction - James Catalano, Applicant (District 1)
 - (2) 1118 Huey P. Long Avenue
Windows - Nicholas Bui, Applicant (District 2)
 - (3) 1104 Huey P. Long Avenue
Windows - Giang Nguyen, Applicant (District 2)
 - (4) 1122 Huey P. Long Avenue
New Construction - Hyman Bartolo, Jr., Applicant (District 2)
- 4. Discussion Only:**
 - (5) 514-516 2nd Street
For discussion only - James Rolfe, Applicant (District 2)
- 5. Meeting Adjournment.**



Historic District Commission

Meeting: May 05, 2025

529 3rd Street
CD-2

Patio Sign

Applicant:
Tamara Moffett



Historic District Commission
Application for Certificate of Appropriateness
 Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 529 3rd St

Renovation: Patio Cover

New Construction: 1880 Demolition: _____

Age of Structure: original 1881 - Renovated 2018

Building Type:

Creole Cottage _____

Shotgun ☒ _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate ☒ _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit ☒ _____

Fascia _____ Siding _____

Masonry _____ Porches ☒ _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: none

Style of windows: n/a

Type of exterior doors: n/a

Describe any ornamental woodwork: n/a

Elevations:

Front Space: 0.5 ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Tamara Moffett Date: 4-16-25

Applicant's
Name: Tamara Moffett

Applicant's
Address: 529 3rd St

Phone No: () _____ Cell No: (678) 221-8649

For Office Use Only:

Application date: April 16, 2025

Substantive Change: Yes ☐ No ☒

Inventory Number: 460

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: May 05, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma I. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Tamara Moffett the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
application for historic district appropriateness will be reviewed on
May 5, 2025 at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
for the applied property is expected to attend the meeting. If unable to attend, review
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness
issued by the Historic District Commission does not guarantee approval of the
Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.

Tamara Moffett
Signature of Applicant

Tamara Moffett
Name of Applicant (Please Print)

529 3rd St.
Applicant's Address

529 3rd St.
Address under HDC review

Date April 16, 2025

Phone: (504)363-1505 - www.gretnala.com - Fax: (504)363-1509











**BOUNDARY SURVEY OF
LOT 13
SQUARE 3
VILLAGE OF GRETN
JEFFERSON PARISH, LA**

SECOND STREET (SIDE)

STREET

LAVOISIER

(SIDE)

STREET

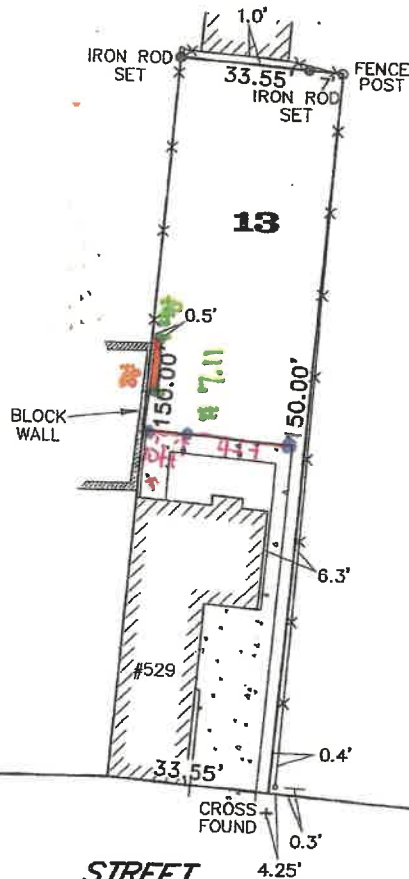
LAFAYETTE

Red marker:
Size of over hang
Length from Kitchen
Window (24" x 14")
Closed in Patio
4ft W x 18ft.

Blue dots: Columns
3 in total

- If there need to be
a 3ft space from wall.
The wall facing brick wall
to have 4 in slates down
the frame of the wall

106.27'



NOTE:

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1
REFERENCE PLAN #1: A PLAN OF SURVEY BY DUFRENE SURVEYING DATED JULY 27, 1999

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL



Designing the Perfect Roof Overhang

[Visit >](#)

Images may be subject to copyright. [Learn More](#)

[Share](#)[Save](#)

GreenTek Roofing
The Function And ...

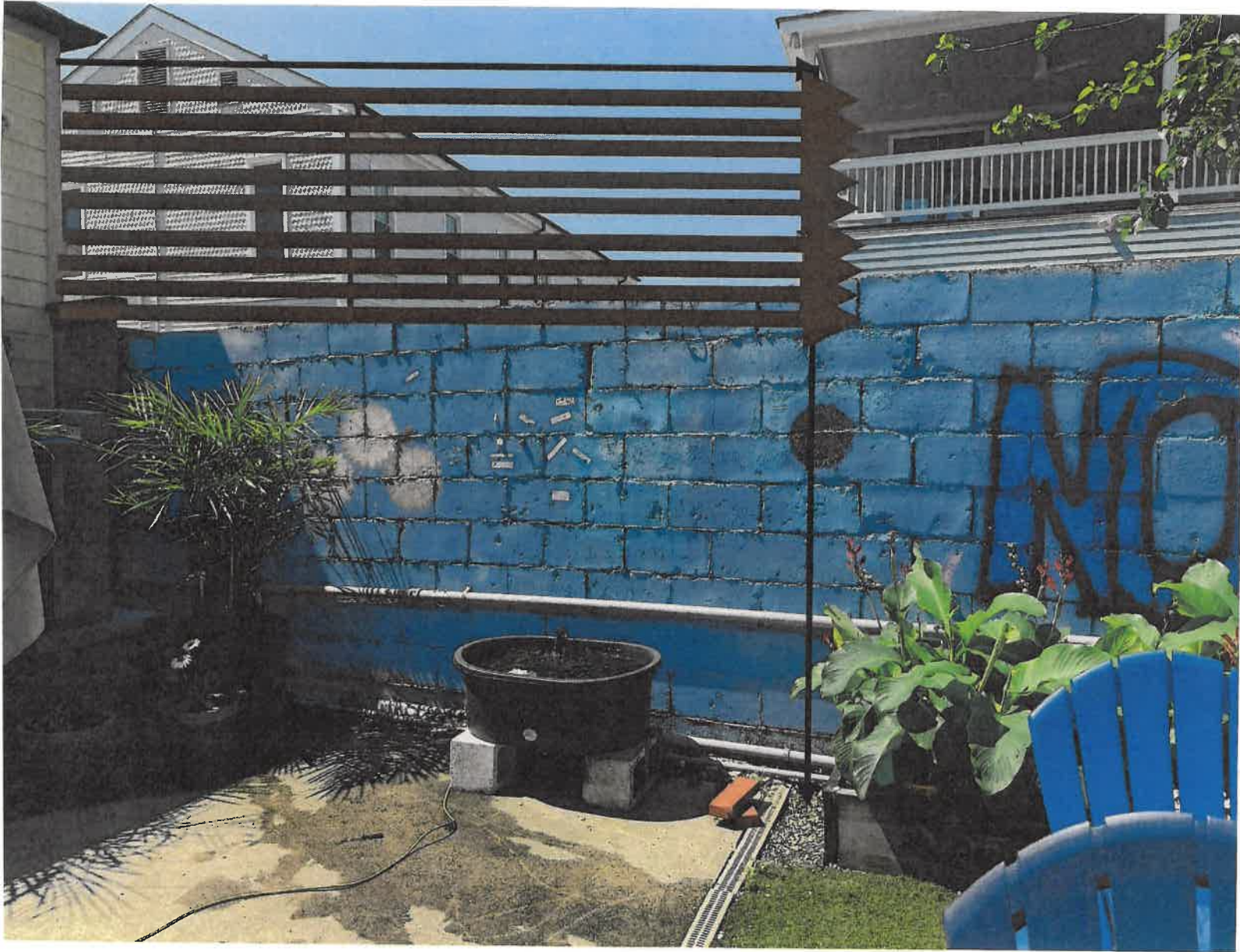


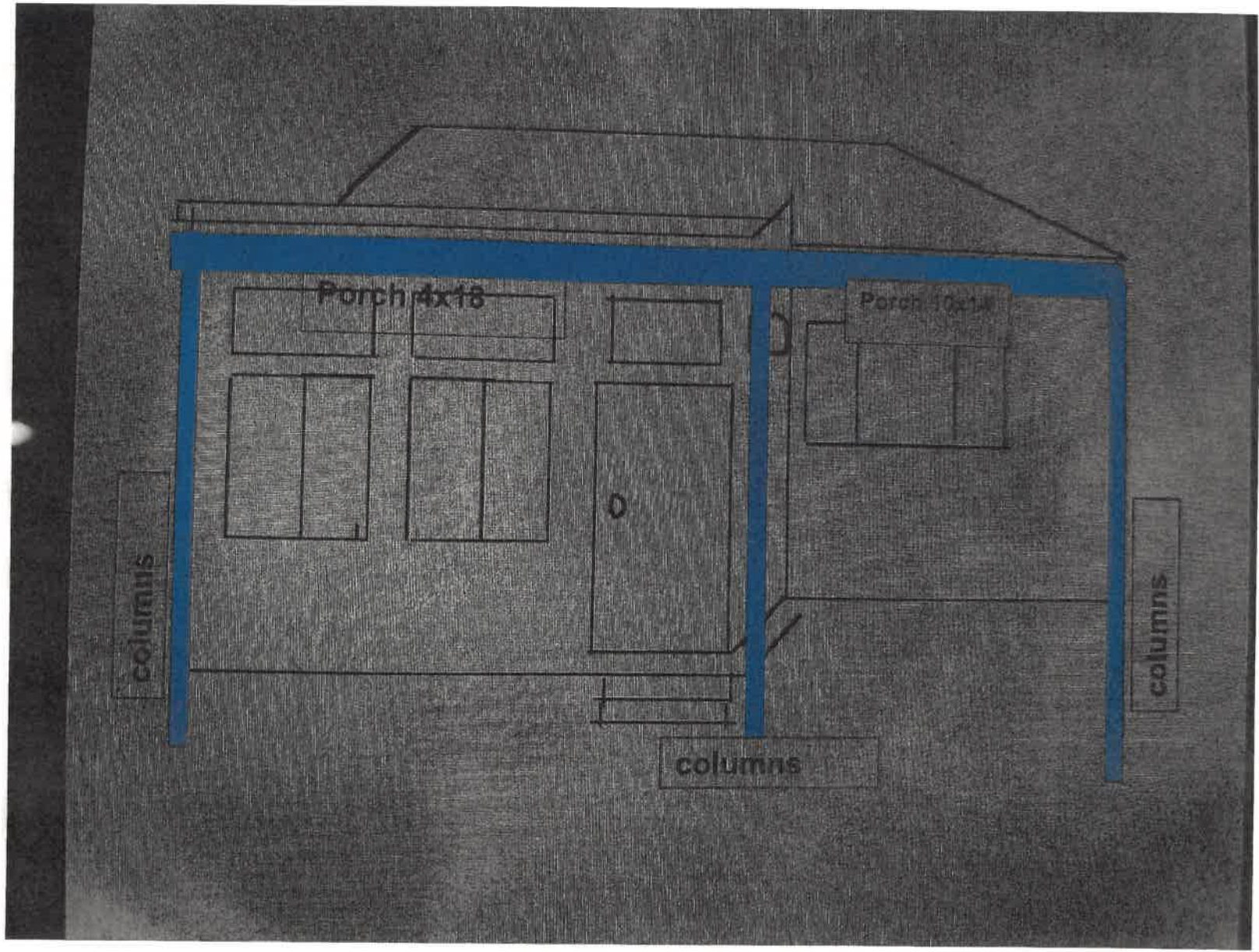
Roofing4US

Proposed Look is

Q overhang on house







Project for 529 3rd Street

Owner: Tamara Moffett

Designs are attached.

Would like to add a covered porch to back exterior house.

Material use:

2x6 for frame exposed to be stained.

6x6 Columns

Roof will be 28g metal or higher.

Color: brown or copper (not sure)

Wall facing Lavoisier street Material:

4 inch Pressure treated slates with 1-3 inch space to allow air to flow through. They will run horizontal just below the cinder block. This is to allow shade and privacy.



Historic District Commission

Meeting: May 05, 2025

1120 11th Street
CD-2

Light Fixtures

Applicant:
Niala Howard



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1120 11TH Street Gretna LA 70053

Renovation: ☒ Front Light Fixtures
New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ☒ _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Craftsman _____

Exterior materials proposed:

Roof Architectural Shingles

Soffit Wood

Fascia Wood

Siding N/A

Masonry N/A

Porches Mission style Fixture

Balconies N/A

Handrails N/A

Type of exterior lighting fixtures: Mission style Fixture

Style of windows: 3 x 2 and wood, double-hung windows

Type of exterior doors: N/A

Describe any ornamental woodwork: N/A

Elevations:

Front Space: 1.25 ft.

Side Space: 1.25 ft.

Rear Space: 1.25 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Niala Howard Date: 4/24/2025

Applicant's
Name: Star Recovery Services, LLC

Applicant's
Address: 3525 N. Causeway Blvd. Ste. 902 Metairie LA 70002

Phone No: (504) 874-3513 Cell No: (504) 874.3513

For Office Use Only:

Application date April 28, 2025
Inventory Number: N/A

Substantive Change: Yes ☐ No ☒

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: May 5, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hlmyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Star Recovery Services, LLC the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on May 5, 2025 at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Niala Howard

Signature of Applicant

Star Recovery Services, LLC

Name of Applicant (Please Print)

3525 North Causeway Blvd., Metairie, LA 70002

Applicant's Address

1120 11TH Street Gretna LA 70053

Address under HDC review

Date: 4/24/2025

Photograph 1



Photograph 2



Photograph 3



Photograph 4





Sale

● ○ ○ ○ ○

#option 1

<https://www.wayfair.com/lighting/pdp/freeport-park-enloe-1...utdoor-hanging-lantern-w005059090.html?piid=1143917511>

4/29/25, 9:56 AM
Page 2 of 12



\$67.99

— or —

\$17 in 4 interest-free payments
with Klarna or Cash App Afterpay [Learn More](#) ⓘ



**Option 2*



Gretna 10PM

70053

S...



Gretna 10PM

70053

Shop All Services

DIY

Log In

... / Outdoor Hanging Lights / Outdoor Pendant Lights

53

Bel Air Lighting (Brand Rating: 4.2/5) ①

Huntington 2-Light Black Hanging Outdoor Pendant Light Fixture with Seeded Glass

★★★★★ (5) ✓



SHOP SPRING DEALS

\$54³⁷



Pay **\$29.37** after **\$25 OFF** your total qualifying purchase upon opening a new card. ①
Apply for a Home Depot Consumer Card

Fixture Color/Finish: **Black**



Exterior Lighting Product Type: **Pendant**

Pendant Sconce

**option 3*



Historic District Commission

Meeting: May 05, 2025

531 Hancock Street
CD-1

New Construction

Applicant:
James Catalano



8434

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 531 Hancock Street, Gretna

Renovation: _____

New Construction: NEW CONSTRUCTION

Demolition: _____

Age of Structure: 1950

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow SINGLE STORY, LOW SLOPE, PORCHES

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other TRANSITIONAL

Exterior materials proposed:

Roof METAL ROOFING Soffit CEMENTIOUS BOARD

Fascia CEMENTIOUS BOARD Siding CEMENTIOUS LAP SIDING

Masonry NONE Porches CONCRETE

Balconies NONE Handrails WOOD

Type of exterior lighting fixtures: TRANSITIONAL, MINIMAL

Style of windows: CASEMENT AND FIXED, NO MUNTINS

Type of exterior doors: SINGLE LITE, SOLID WOOD

Describe any ornamental woodwork: EXPOSED BEAMS AND COLUMNS AT ENTRANCE

Elevations:

Front Space: 40' ft. Side Space: 63' ft.

Rear Space: 44' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: *James Catalano* Date: 4/3/25

Applicant's
Name: JAMES CATALANO

Applicant's
Address: 4933 MAGAZINE STREET, SUITE 202, NEW ORLEANS, LA 70115

Phone No: () _____ Cell No: (504)723 2565

For Office Use Only:

Application date: April 28, 2025

Substantive Change: Yes ☐ No ☒ Inventory Number: 26-01830

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: May 5, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Donika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, James Catalano the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
application for historic district appropriateness will be reviewed on
May 5, 2025 at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
for the applied property is expected to attend the meeting. If unable to attend, review
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness
issued by the Historic District Commission does not guarantee approval of the
Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.



Signature of Applicant

James Catalano

Name of Applicant (Please Print)

4993 Magazine Street, New Orleans

Applicant's Address

531 Hancock, Gretna

Address under HDC review

Date: 4-28-25

Phone: (504)363-1505 - www.gretnala.com - Fax: (504)363-1509

PROJECT INFORMATION

SCOPE OF WORK
THE SCOPE OF WORK FOR THIS PROJECT INCLUDES BUT IS NOT LIMITED TO:

CONSTRUCTION OF NEW SINGLE-STORY SINGLE-FAMILY HOME.

ZONING SUMMARY

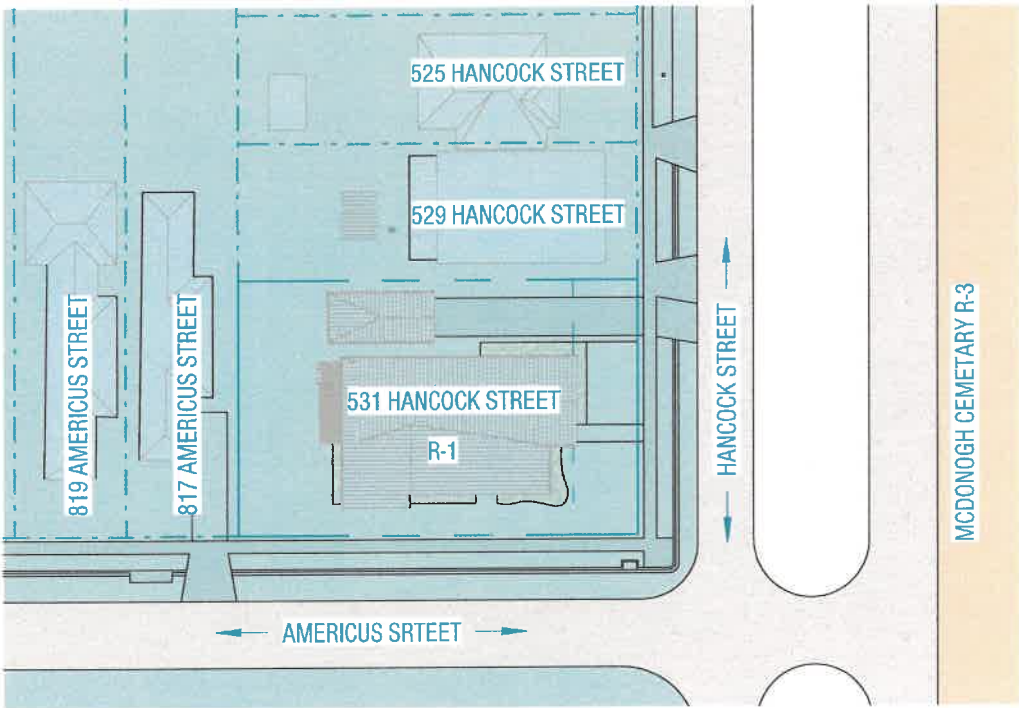
ADDRESS	531 HANCOCK ST GRETNA, LA 70053
SQUARE LOTS LOT AREA	120 11 & 12; 125'-0" x 78' 9,966.25 SF
FLOOD ZONE	"X" (X-AREA WITH REDUCED FLOOD RISK DUE TO LEVEE)
ZONING DISTRICT	R-1 (SINGLE FAMILY RESIDENTIAL)
HISTORIC DISTRICT	MCDONOGHVILLE
HISTORIC LANDMARK STATUS	NO
BULK & YARD	FRONT YARD SETBACK: 20' SIDE YARD SETBACK: 5' CORNER SIDE YARD SETBACK: 15' REAR YARD: 15 FT
BUILDING GROSS SF ACCESSORY BUILDING	2498 SF 414 SF

VICINITY MAPS (NTS)

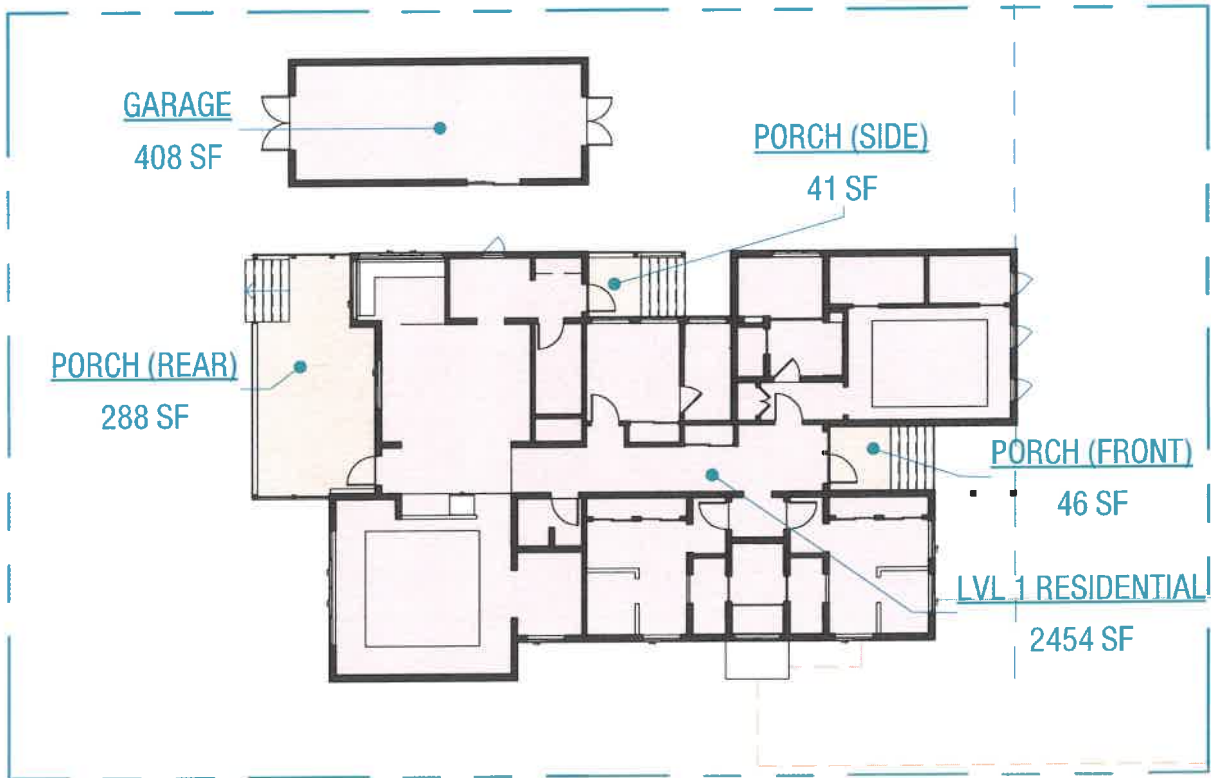


PROJECT DIRECTORY

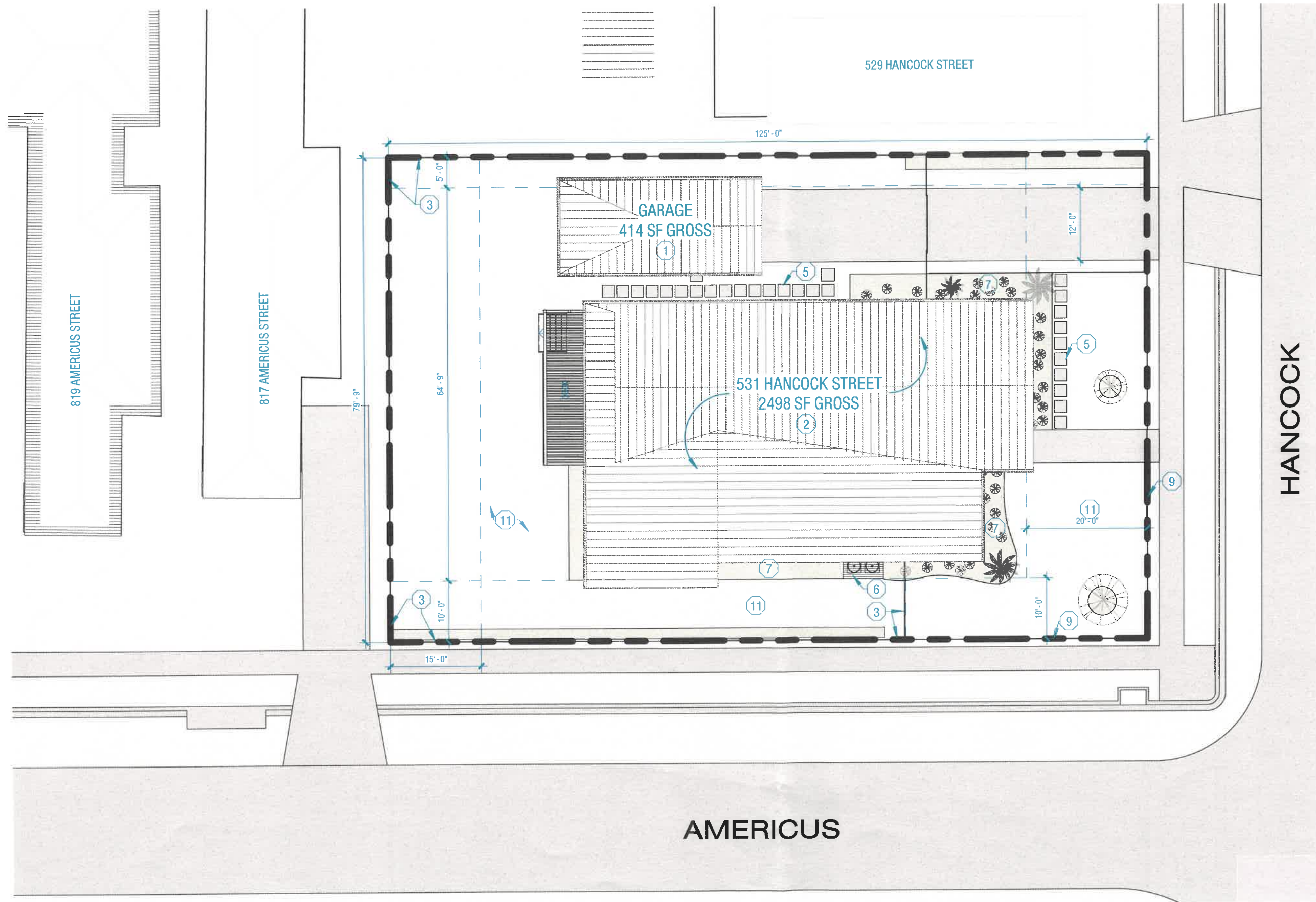
- OWNER:
LINDSEY AND MATT MCKAY
531 HANCOCK STREET
GRETNA, LA 70056
T: (504) 234-2808
- ARCHITECT
JAMES CATALANO
CICADA, LLC
4933 MAGAZINE STREET, STE 202
NEW ORLEANS, LA 70115
T: (504) 723-2565
- STRUCTURAL ENGINEERING :
SOUTHEAST ENGINEERS
4880 BLUEBONNET BLVD.
BATON ROUGE, LA
T: (225) 295-1880



1 // ZONING DIAGRAM HD
1" = 60'-0"



2 // AREA PLAN HD
1" = 20'-0"

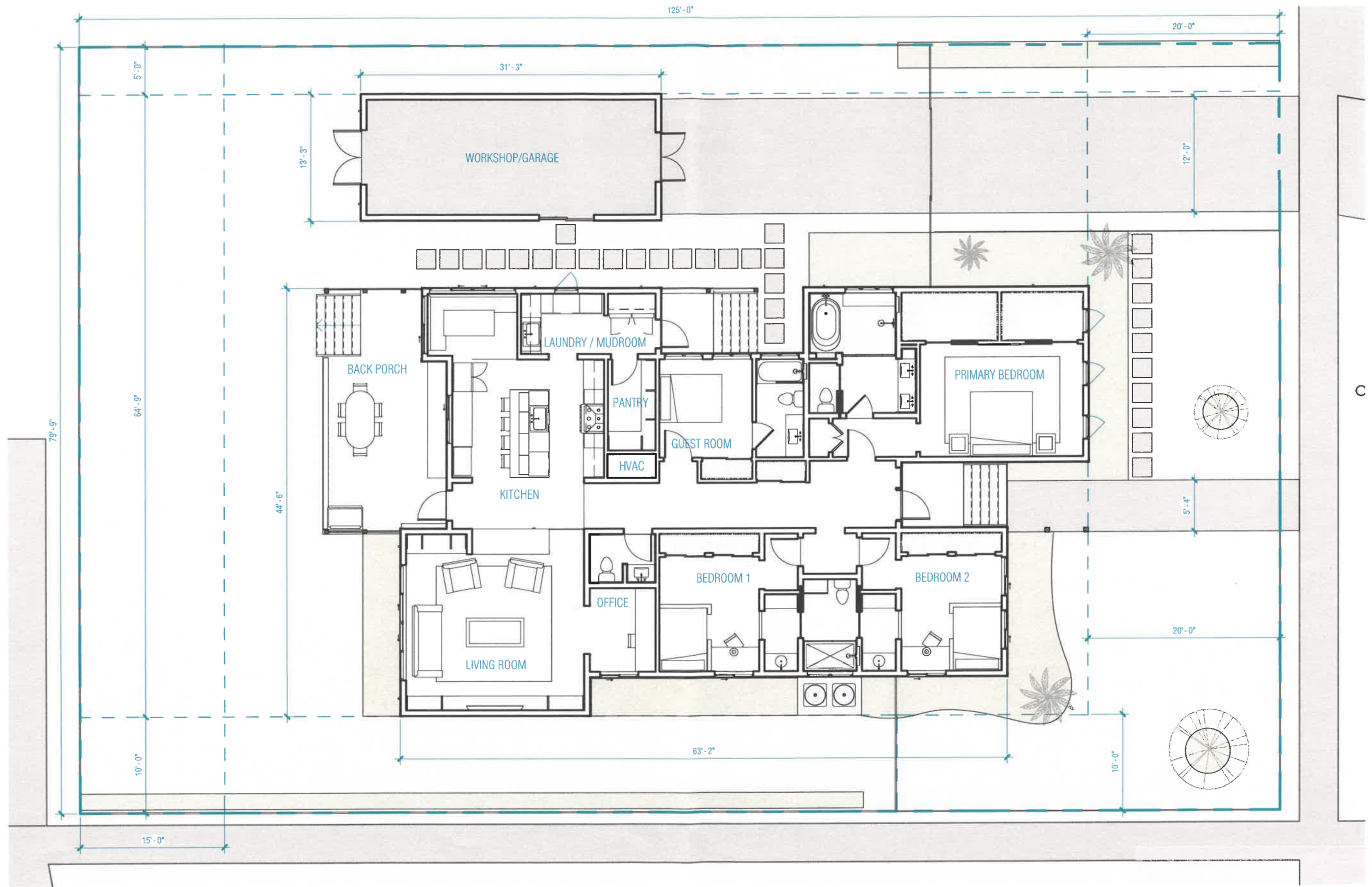


SITE PLAN NOTES HD

1	ACCESSORY GARAGE STRUCTURE
2	NEW SINGLE-FAMILY HOME
3	NEW 7'-0" WOOD BOUNDARY FENCE @ PROPERTY LINE
5	NEW CONCRETE PAVERS
6	HVAC CONDENSERS ON NEW MECHANICAL PLATFORM
7	GARDEN BED
9	3' METAL FENCE
11	GC TO RE-SOD ENTIRE SITE POST-CONSTRUCTION, TYP.

AMERICUS

HANCOCK

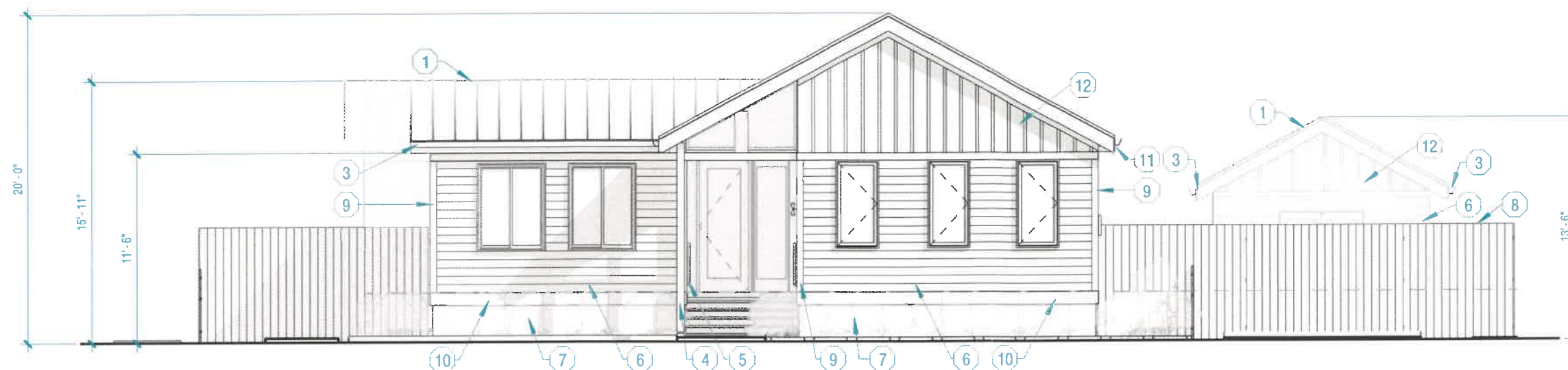


FLOOR PLANS

1" = 10'-0" // MCKAY FAMILY HOME

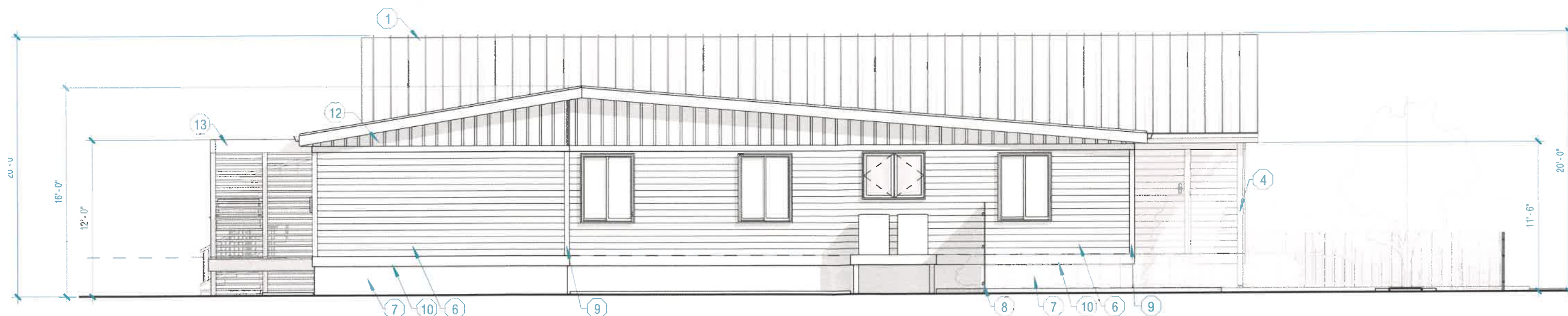
In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 34 of 100

CICADA



1 // A // FRONT ELEVATION H
 1/8" = 1'-0"

ELEVATION NOTES HD	
1	STANDING SEAM METAL ROOF - COLOR TO BE SELECTED BY OWNER FROM MANUFACTURERS FULL RANGE OF OPTIONS
3	HALF ROUND GUTTER, COLOR TO MATCH METAL ROOF
4	PTD. COLUMN WRAP, TYP. - ALL EXTERIOR TRIM TO BE PRESSURE TREATED AND PRIMED PRIOR TO INSTALLATION
5	PTD STEEL RAILING, 1/2" SQUARE TUBE WITH PTD. PRESSURE TREATED WOOD CAP
6	SMOOTH SHIPLAP HARDIE CLAPBOARD, PTD. - COLOR TO BE SELECTED BY OWNER
7	SMOOTH CEMENT SKIMCOAT OVER CONCRETE FOUNDATION
8	PTD. PRESSURE TREATED 1x4 FENCE, TYP.
9	SMOOTH 1x4 CEMENTITIOUS TRIM, PTD. - TYP. AT ALL OUTSIDE CORNERS
10	SMOOTH 1x10 CEMENTITIOUS BASE TRIM, PTD. - TYP
11	DOWNSPOUT, COLOR TO MATCH GUTTER. NOTE: ALL DOWNSPOUTS TO TIE INTO SUBSURFACE DRAINAGE, DRAINED VIA FRENCH DRAIN SLOPED TOWARD THE STREET
12	SMOOTH VERTICAL BOARD AND BATTON HARDIE SIDING, 12" O.C., PTD. - COLOR TO BE SELECTED BY OWNER
13	EXTERIOR PERGOLA ATTACHED TO STRUCTURE. PRESSURE TREATED FRAMING AND WOOD SHADE SLATS



2 // A // SIDE STREET ELEVATION H
 1/8" = 1'-0"

ELEVATIONS

1/8" = 1'-0" // MCKAY FAMILY HOME

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 35 of 100

CICADA

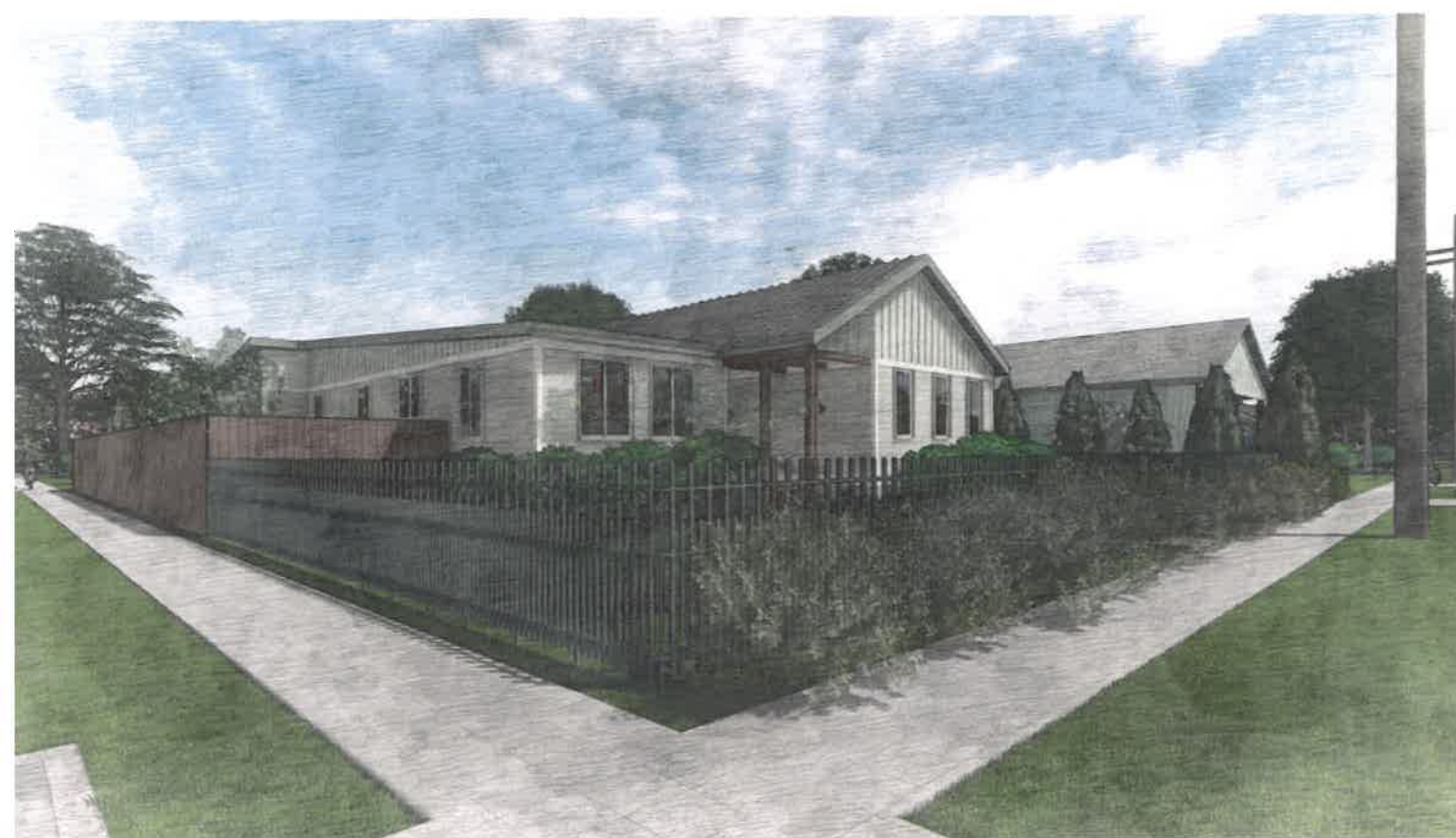


ELEVATION NOTES HD	
1	STANDING SEAM METAL ROOF - COLOR TO BE SELECTED BY OWNER FROM MANUFACTURERS FULL RANGE OF OPTIONS
3	HALF ROUND GUTTER, COLOR TO MATCH METAL ROOF
4	PTD. COLUMN WRAP, TYP. - ALL EXTERIOR TRIM TO BE PRESSURE TREATED AND PRIMED PRIOR TO INSTALLATION
5	PTD STEEL RAILING, 1/2" SQUARE TUBE WITH PTD. PRESSURE TREATED WOOD CAP
6	SMOOTH SHIPLAP HARDIE CLAPBOARD, PTD. - COLOR TO BE SELECTED BY OWNER
7	SMOOTH CEMENT SKIMCOAT OVER CONCRETE FOUNDATION
8	PTD. PRESSURE TREATED 1x4 FENCE, TYP.
9	SMOOTH 1x4 CEMENTITIOUS TRIM, PTD. - TYP. AT ALL OUTSIDE CORNERS
10	SMOOTH 1x10 CEMENTITIOUS BASE TRIM, PTD. - TYP
11	DOWNSPOUT, COLOR TO MATCH GUTTER. NOTE: ALL DOWNSPOUTS TO TIE INTO SUBSURFACE DRAINAGE, DRAINED VIA FRENCH DRAIN SLOPED TOWARD THE STREET
12	SMOOTH VERTICAL BOARD AND BATTON HARDIE SIDING, 12" O.C., PTD. - COLOR TO BE SELECTED BY OWNER
13	EXTERIOR PERGOLA ATTACHED TO STRUCTURE. PRESSURE TREATED FRAMING AND WOOD SHADE SLATS

1 // A // REAR ELEVATION H
 1/8" = 1'-0"



2 // A // INTERIOR YARD ELEVATION H
 1/8" = 1'-0"



RENDERINGS
// MCKAY FAMILY HOME

CICADA



Historic District Commission

Meeting: May 05, 2025

1118 Huey P long Avenue
(District 2)

Windows

Applicant:
Nicholas Bui



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1118 Hwy P Long Ave

Renovation: _____

New Construction: ☒ Window

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other Camel back

Building Style:

Greek Revival _____

Italianate ✓

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof Facia Soffit _____

Fascia _____ Siding Hardy

Masonry _____ Porches Changing from brick to concrete

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: Changing One Window ~~From double~~

Type of exterior doors: Changing from two panel to single panel

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 4/16/2025

Applicant's Name: Nicholas Bui

Applicant's Address: 1127 6th St Gretna LA 70053

Phone No: 504 230-4337 Cell No: ()

For Office Use Only:

Application date: April 16, 2025

Substantive Change: Yes ☐ No ☒ Inventory Number: _____

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: May 5, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory
Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Nicholas Bui the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 5/5/2025 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

[Signature]
Signature of Applicant

Nicholas Bui
NAME OF APPLICANT (PLEASE PRINT)

1127 6th St, Gretna LA 70053
Applicant's address

1118 Huey P Long Ave Gretna, LA 70053
Actual address of the property for review

Date: 4/16/2025





McKay & Associates, L.L.C.
ENGINEERING SURVEYING

Project: BUI RESIDENCE
Location: 1118 HUEY P LONG AVE, GRETN, LA 70053

Notes:
A. OVERHANGS/PROJECTIONS WITHIN 5 FEET FROM THE PROPERTY LINE SHALL BE SET BACK AS PER TABLE 302.1(1) OF THE IRC 2015 ED.
B. ROOF SHALL BE IN ACCORDANCE WITH THE IRC CODE SECTION 905.1-905.9.

Assumptions:
A. ELEVATIONS SHOWN ARE BASED ON FEMA ELEVATION CERTIFICATE BY MCKAY ASSOCIATES, L.L.C. DATED 10/06/2024.

DATA1	N/A
B.F.	BASE FLOOD ELEVATION
T.O.	TOP OF
B.O.F.	"BOTTOM OF
FFB	FINISH FLOOR ELEVATION
H.E.G.	HIGHEST ELEVATION ADJACENT GRADE

McKay & Associates, L.L.C.
1118 HUEY P LONG AVE, GRETN, LA 70053
1/29/2025

Client: BUI RESIDENCE

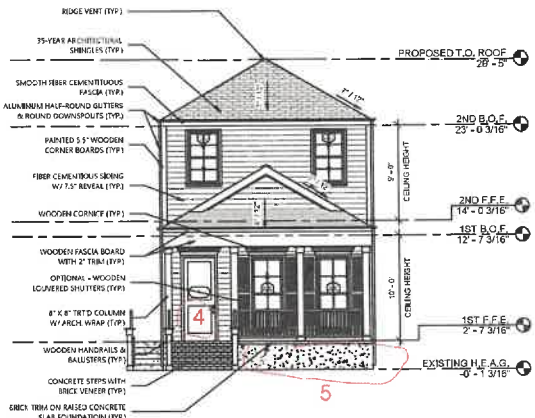
Location: 1118 HUEY P LONG AVE, GRETN, LA 70053

Plan Issue Date: 1/29/2025

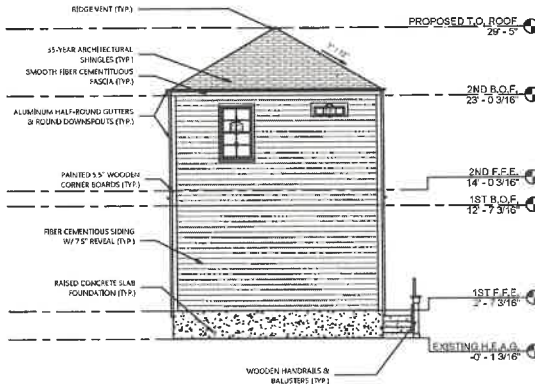
Sheet Name: PROPOSED ELEVATIONS

Checked By: C.M.
Drawn By: L.N.

Project Number: 24-276

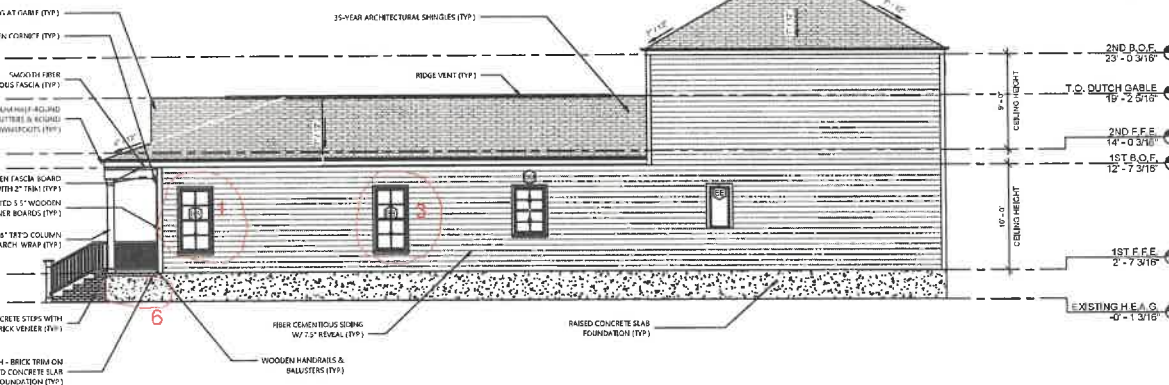


1 FRONT ELEVATION
3/16\"/>

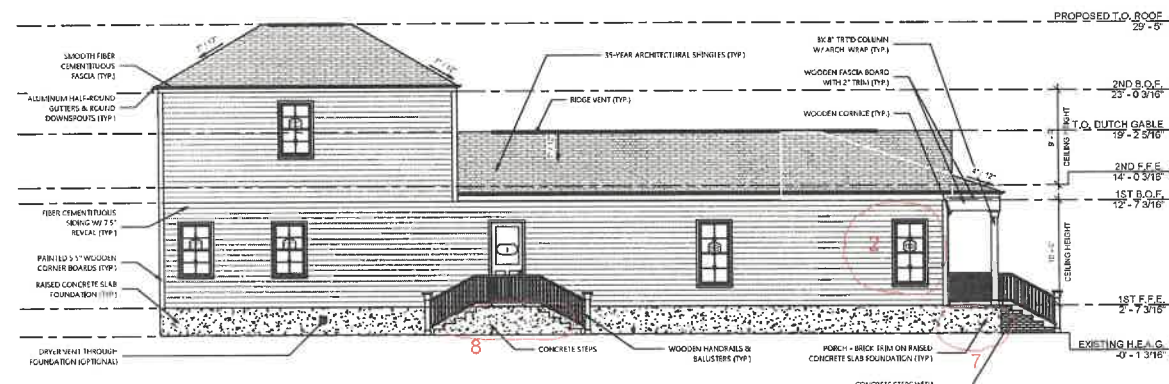


3 REAR ELEVATION
3/16\"/>

- Changes:
1 & 2 - Windows added from request of HDC from previous meeting
3 - Double window to single to match other side of house
4 - Double panel detail on door to single panel
5, 6, & 7 - Brick veneer to concrete siding with brick trim on top
8 - Side of the house brick steps to concrete steps



2 RIGHT ELEVATION
3/16\"/>



4 LEFT ELEVATION
3/16\"/>

REV.	DATE	REVISED	ISSUED BY



Historic District Commission

Meeting: May 05, 2025

1104 Huey P Long Avenue
CD-2

Windows

Applicant:
Giang Nguyen



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1104 Huey P Long.

Renovation: ☒

New Construction: ☐

Demolition: ☐

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun ☒

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other ☒

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding LAP SIDING

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: WOOD 6/6

Type of exterior doors: _____

Describe any ornamental woodwork: _____


Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature:  Date: 4/21/25
Applicant's
Name: GIANG NGUYEN
Applicant's
Address: 2023 MERLEDES BLVD
Phone No: (504) 610-2117 Cell No: (504) 610-2117

For Office Use Only:

Application date: April 24 2025
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: May 5, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stohl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, GIANG NGUYEN the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
application for historic district appropriateness will be reviewed on
MAY 5, 2025 at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
for the applied property is expected to attend the meeting. If unable to attend, review
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness
issued by the Historic District Commission does not guarantee approval of the
Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

GIANG NGUYEN

Name of Applicant (Please Print)

2023 MERCEDES BLVD, NO LA 70119

Applicant's Address

1104 Huey P Long

Address under HDC review

Date:

4/21/25

QUOTE

Jefferson Door Company, LLC
1227 First Avenue
Harvey, LA 70058
Phone: (504) 340-2471
Fax: (504) 348-4187



QUOTE

Quote # : 139563
Quote Date : 04/22/25
Route : SE
Sched :
Printed
Date: 04/22/25
Time: 05:01 PM

Page: 1 of 2

Sold To : CASH00

ANTHONY TRAN
LA

Ship To : 0000

1100 HUEY P LONG AVE.
GRETNA LA 70053

Via: OUR TRUCK

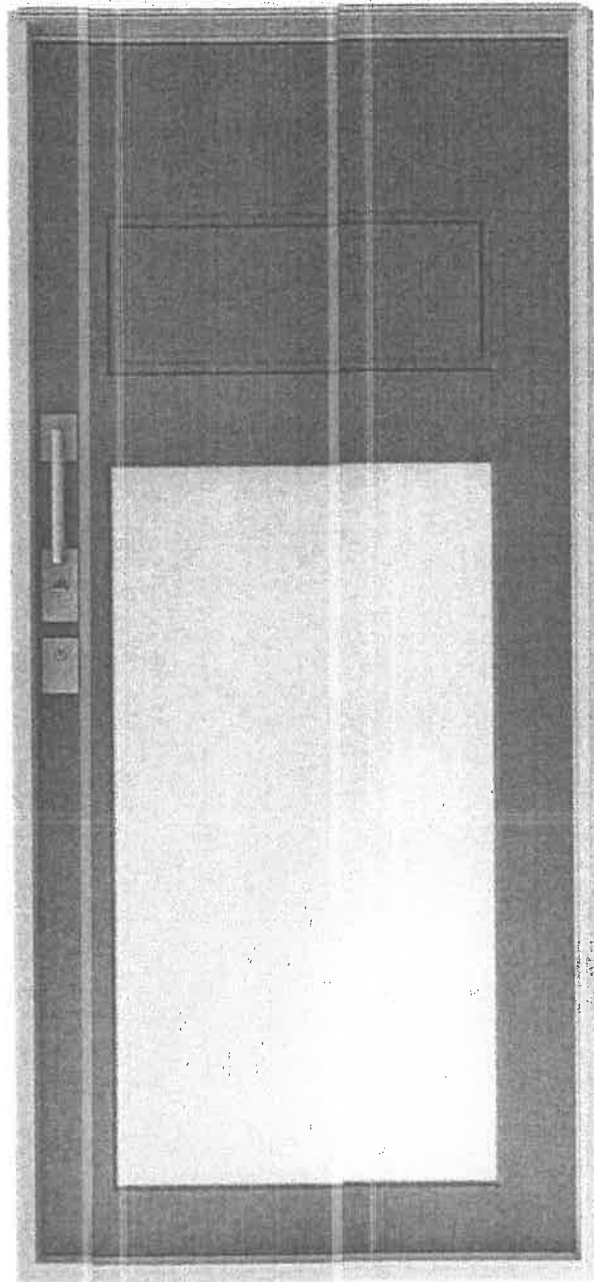
Contact:

Phone: (504) 231-6244

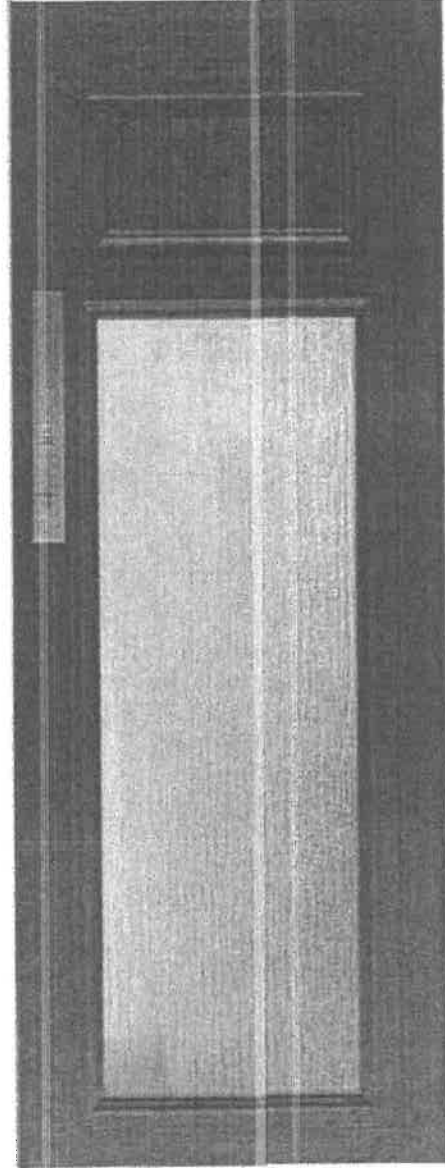
FOB:	Type:	Your Order:	Terms:	Entd By:	In / Out:
DLVD	WAREHOUSE	ANTHONY TRAN	CASH	WBRE	10 / 07
Shipping Instructions			Customer Instructions		
Line #	Item Number / Description	Quantity	Price / Unit	Extended	
0001.00	Item: *139563001.00 EXT SGL UNIT 3/0X8/0, DBL BORE 4 9/16" COMPOSITE JAMBS BFAT, I/S, 3 1/2" AZEK EXT CASING, 10B HINGES, BRONZE W/S, HAND TBD	1.00	2,007.14 EA	2,007.14	
010	SPECIAL ORDER 3-0 X 8-0 X 1 3/4 GLASSCRAFT PREMIUM MAHOGANY 3/4 LITE W/ CLOUD GLASS MCR18000	1.00	EA		
0002.00	Item: *139563002.00 EXT SGL UNIT 3/0X8/0, DBL BORE NO INSERT 4 9/16" COMPOSITE JAMBS, BFAT, I/S, 3 1/2" AZEK EXT CASING, 10B HINGES, BRONZE W/S, HAND TBD	1.00	1,370.04 EA	1,370.04	
010	SPECIAL ORDER 3-0 X 8-0 X 1 3/4 FIBERGRAFT FIBERGLASS DOOR 3/4 LITE SMOOTH FLUSH GLAZED W/ PEARL GLASS	1.00	EA		
0003.00	Item: *139563003.00 EXT SGL UNIT 3/0X8/0, DBL BORE NO INSERT 4 9/16" COMPOSITE JAMBS, BFAT, I/S, 3 1/2" AZEK EXT CASING, 10B HINGES, BRONZE W/S, HAND TBD	1.00	1,961.83 EA	1,961.83	
010	SPECIAL ORDER 3-0 X 8-0 X 1 3/4 FIBERGRAFT FIBERGLASS DOOR BELLEVILLE SMOOTH HOLLISTER 3/4 CUT OUT W/ ELEMENT GLASS INSERT	1.00	EA		



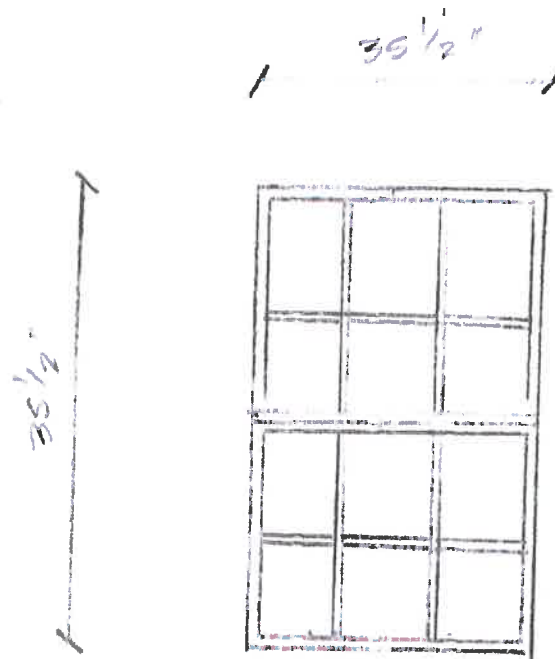
Opt. 1
Element



Page 1102



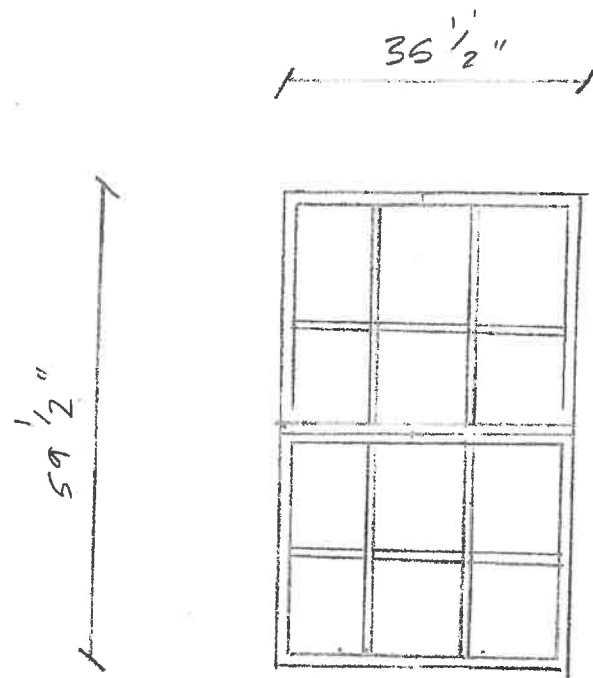
3 Oct 10/10



* MUNTINS TO BE ON OUTSIDE
OF GLASS

* 1x6 LAP SIDING TRIM BOARD,
3/4\"

WOOD WINDOW DETAIL



* MUNTINS TO BE ON OUTSIDE
OF GLASS

* 1x6 LAP SIDING TRIM BOARD,
INCL. APRON

WOOD WINDOW DETAIL







Historic District Commission

Meeting: May 05, 2025

1122 Huey P Long Avenue
CD-2

New Construction

Applicant:
Hyman Bartolo Jr



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1118 Huey P Long Ave (1122)

Renovation: _____
New Construction: ☒ _____
Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage ☒ _____
Shotgun _____
Bungalow _____
Other _____

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Roof <u>Asphalt Architectural Shingles</u>	Soffit <u>Hardie</u>
Fascia <u>Hardie</u>	Siding <u>Hardie</u>
Masonry <u>Brick Steps & Porch</u>	Porches <u>concrete</u>
Balconies <u>n/a</u>	Handrails <u>Wrought Iron</u>

Type of exterior lighting fixtures: Metal

Style of windows: Vinyl

Type of exterior doors: Fiberglass

Describe any ornamental woodwork: n/a

Elevations:

Front Space: 10' ft. Side Space: 3' ft.
Rear Space: 20' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 04/24/2025

Applicant's Name: Hyman L Bartolo Jr Contractors Inc.

Applicant's Address: 1100 MacArthur Ave. Harvey, LA 70058

Phone No: (504) 328-1381 Cell No: (504) 425-4622

For Office Use Only:

Application date: 04/24/25

Substantive Change: Yes ☒ No ☐ Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: May 5th 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Boudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Hyman L Bartolo Jr the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on May 5, 2025 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Hyman L Bartolo Jr

NAME OF APPLICANT (PLEASE PRINT)

1100 MacArthur Ave. Harvey, LA 70058

Applicant's address

1118 Huey P Long Ave

Actual address of the property for review

Date: 04/25/2025

HAND RAIL AT
FRONT, SIDE &
REAR STEPS

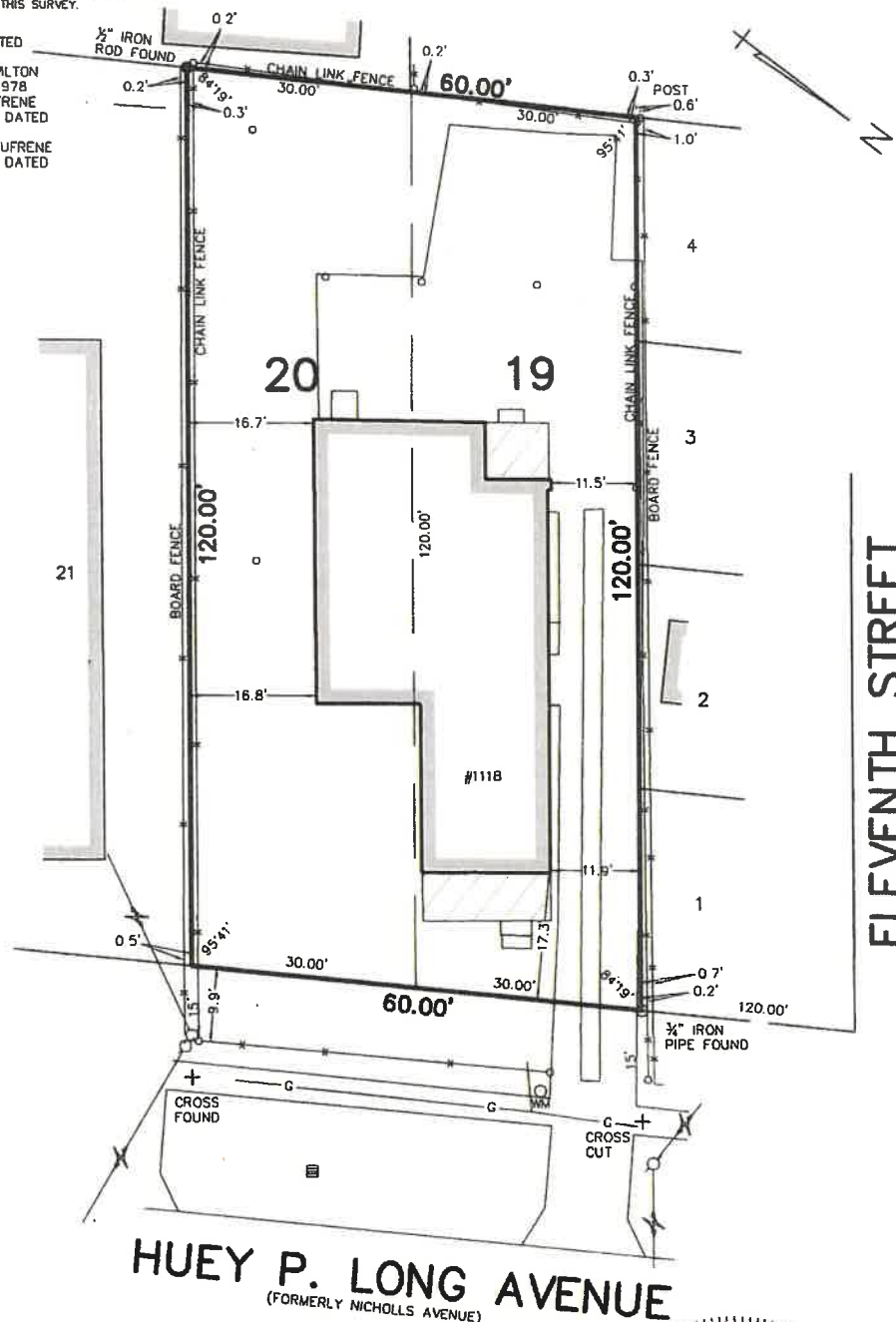


SQUARE 44
MECHANICKHAM
CITY OF GRETN
JEFFERSON PARISH, LA.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY
ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION
FURNISHED TO US, AND THERE IS NO REPRESENTATION THAT ALL
APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON
THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD
SEARCH IN COMPIING THE DATA FOR THIS SURVEY.

REFERENCE:
-SURVEY BY ALVIN HOTARD DATED
SEPTEMBER 1, 1961
-SURVEY OF LOTS 21, 22 BY WILTON
DUFRENE DATED DECEMBER 5, 1978
-SURVEY OF LOTS 7, 8 BY DUFRENE
SURVEYING & ENGINEERING INC. DATED
DECEMBER 6, 1999
-SURVEY OF LOTS 21, 22 BY DUFRENE
SURVEYING & ENGINEERING INC. DATED
APRIL 16, 2001

WEYER STREET (SIDE)



ELEVENTH STREET

HUEY P. LONG AVENUE
(FORMERLY NICHOLLS AVENUE)

SEPTEMBER 29, 2022

SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A
CLASS C SURVEY, MADE AT THE REQUEST OF
FOR RENT PROPERTIES.



**DUFRENE SURVEYING
& ENGINEERING INC.**

1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH. 504-368-6394 FAX
dufrene@dufrenesurveying.com

JOB# 22-0587
SCALE: 1" = 30'



Dusang Title Insurance Agency, LLC
401 Weyer Street
Gretna, Louisiana 70053
(504) 368-5223
License No. 270433

Underwriter: First American Title Insurance

Title Opinion by: Scott C. Dusang
LA Bar Roll #24398

CASH SALE

UNITED STATES OF AMERICA
STATE OF LOUISIANA
PARISH OF JEFFERSON

BE IT KNOWN, That on this 25th day of the month of April in the year of our Lord, two thousand twenty-five (2025);

BEFORE ME, the undersigned Notary Public, in and for the Parish of Jefferson, State of Louisiana, duly commissioned and qualified, and in the presence of the witnesses hereinafter named and undersigned,

PERSONALLY CAME AND APPEARED,

FOR RENT PROPERTIES, LLC (ID# XX-XXX1842), a Louisiana Limited Liability Company, domiciled in the Parish of Jefferson, State of Louisiana, herein appearing by and through the following Manager/Member, Bryan K. Bordelon, acting under and by virtue of Certificate of Authority, attached hereto, and whose mailing address is 818 Huey P. Long Ave., Gretna, Louisiana 70053;

(hereinafter sometimes referred to as "Seller") who declared and said, that for the price and consideration, and on the terms and conditions hereinafter expressed, he does, by these presents, grant, bargain, sell, convey, transfer, assign, set over and deliver, unto:

SANDRA S. DAIGLE (SS# XXX-XX-2980), wife of/and **DOUGLAS J. DAIGLE (SS# XXX-XX-3603)**, both persons of the full age of majority and residents of and domiciled in the Parish of Jefferson, State of Louisiana, who declared under oath, unto me, Notary, that they are currently married, presently living and residing together and whose current mailing address is 3 Oakley Drive Marrero LA 70072;

(hereinafter sometimes referred to as "Purchaser") here present accepting and purchasing for his heirs and assigns, and acknowledging delivery and possession thereof, the following described property, to-wit:

THAT CERTAIN PIECE OR PORTION OF GROUND, together with all the buildings and improvements thereon, and all the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, situated in the **CITY OF GRETN**A, **PARISH OF JEFFERSON, STATE OF LOUISIANA**, in the **NEW ADDITION OF MECHANICKHAM (NEW MECHANICKHAM)**, designated as **LOT NO. 20 of BLOCK NO. 44**, bounded by Huey P. Long (formerly Nicholls) Avenue, Weyer (formerly Curvier) Street, Eleventh and Twelfth Streets, and according to a plan by Hy L. Zander, Parish Surveyor, on August 15, 1908, and deposited in the office of the Clerk of Court of Jefferson Parish on June 29, 1917, said lot measures 30 feet front on Huey P. Long (formerly Nicholls) Avenue, same in width in the rear, by a depth between equal and parallel lines of 120 feet.

Being a portion of the same property acquired by For Rent Properties, LLC from Cheryl S. Simien and Talicia (Latrice) Craft, by act before Jada C. Washington, N.P., dated September 8, 2022, recorded September 9, 2022 at COB 3476, folio 187 under Instrument No. 12246083 in the records of Jefferson Parish, Louisiana.

This sale is made and accepted subject to all restrictions and/or servitudes which may appear in the chain of title without the benefit of reimposing same and without intention to interrupt or revive prescription thereon or recognize the validity thereof, including but not limited to the following restrictions to-wit:

CERTIFICATE OF AUTHORITY OF THE MEMBERS
OF
FOR RENT PROPERTIES, LLC

We, the undersigned members of FOR RENT PROPERTIES, LLC do hereby certify that the company is organized and existing as a limited liability company under the laws of the State of Louisiana, with offices located in the Parish of Jefferson and whose mailing address is 818 Huey P. Long Avenue, Gretna, Louisiana 70053.

We certify that a meeting of the members of the Company duly called and held, at which a quorum was present and voting it was resolved that

BRYAN K. BORDELON, Manager/Member, is authorized to sign and execute on behalf of the Company an Act of Sale on such terms and amount as agent deems appropriate and any and all documents deemed necessary for the purpose of selling the property known as:

LOT 20, SQUARE 44, NEW MECHANICKHAM, CITY OF GRETN, PARISH OF JEFFERSON,
LOUISIANA.

We the undersigned members of FOR RENT PROPERTIES, LLC do certify that we have read all of the provisions of this Certificate of Authority and we each jointly and severally and on behalf of the Company certify and agree to its terms.

Dated this 22nd day of April, 2025.



BRYAN K. BORDELON



ANGELE N. BORDELON

1. Discrepancies or shortage in the square footage, acreage or area of the land.

TO HAVE AND TO HOLD, the said described property herein conveyed unto the said Purchaser, his heirs and assigns forever.

And the said Seller hereby binds himself and heirs forever to warrant and defend the said property herein conveyed to the said Purchaser against all legal claims and demands whatsoever.

The said Seller does hereby moreover transfer unto said Purchaser all and singular the rights and actions of warranty to which the said Seller is or may be entitled, against any and all former owners and proprietors of property herein conveyed, hereby subrogating said Purchaser to all the said rights and actions, to be by him enjoyed and exercised in the same manner as they might have been by the said Seller.

Purchaser acknowledges that this sale of the subject property, including all improvements thereon, is made "as is" and "where is". The conveyance of the property is made without any warranty as to its condition. Purchaser further declares and acknowledges that the seller does not warrant that the within conveyed property is free from redhibitory or latent defects or vices and releases Seller of any liability for redhibitory or latent defects or vices under Louisiana Civil Code Article 2520 (1870) through Article 2548 (1870) and any other expressed or implied warranties as to defects. Purchaser declares and acknowledges that purchaser does hereby waive the warranty of fitness for intended purposes or guarantee against hidden or latent redhibitory vices under Louisiana law, including but not limited to, Louisiana Civil Code Article 2520 (1870) through Article 2548 (1870), and that warranty imposed by Louisiana Civil Code Article 2475, and Code Article 2520, et seq. Purchaser further declares and acknowledges that this express waiver shall be considered a material and integral part of this sale and the consideration thereof. Purchaser further declares and acknowledges that this waiver has been brought to the attention of purchaser and explained in detail and that purchaser has voluntarily and knowingly consented to this waiver of warranty of fitness and warranty against redhibitory vices and defects for the herein conveyed property.

SSD
Initials

THIS SALE IS MADE AND ACCEPTED, for and in consideration of the price and sum of ONE HUNDRED THIRTY-FIVE THOUSAND AND NO/100 (\$135,000.00) DOLLARS, all of which said amount has been well and truly paid unto said Seller, in lawful current funds of the United States of America, the receipt of which is hereby acknowledged and full acquittance granted therefor.

All taxes up to and including the taxes due and exigible in 2024 are paid, and taxes for the current year have been prorated between the parties hereto. The tax proration is based upon the best available information obtainable at the time of closing. Any future adjustments on said differences shall be solely between Purchaser and Seller and Vezina and Gattuso, LLC and the closing Notary shall be held harmless. If Vezina and Gattuso, LLC and the closing Notary holds an estimated amount pending the issuance and/or receipt of the tax bill, Seller agrees to be responsible for any shortage in the estimated amount and Vezina and Gattuso, LLC and the closing Notary agrees to refund any overage in the estimated amount.

By reference to the Public Records of Jefferson Parish, it does not appear that said property has been heretofore alienated by the Seller or is presently encumbered, EXCEPT:

MOB 4962/234 - Multiple Indebtedness Mortgage by Cheryl Simien and Talicia L. Craft in favor of US Small Business Administration, in the amount of \$650,000.00, before Marquita D. Matthews Naquin, N.P., dated November 27, 2021, recorded November 29, 2021 under Entry No. 12164750 - TO BE CANCELLED

Conveyance, Mortgage and City, State and Parish Tax Research Certificates have been waived, and the parties hereto relieve, release and covenant to hold me, Notary harmless from and against any and all liability and responsibility in connection therewith.

As a further consideration of this sale, by agreement between the parties, all leases and leasehold improvements are transferred and assigned to the account of the purchaser herein.

The parties to this act declare that they are aware of the importance of an environmental site assessment survey but have chosen to waive the production thereof, and that they have not requested such an assessment from the undersigned Notary; and that they do hereby relieve and release the undersigned Notary from any liability or responsibility in connection with the non-production thereof.

The parties to this act declare that they have not requested a survey from the undersigned Notary and that none has been provided, and they do hereby relieve and release me, Notary from any liability or responsibility in connection therewith.

The Seller declares that in the United States Courts, there are no judgments, general or particular, of record against Seller. The Seller hereby declares that the property herein conveyed stands registered in the name of the Seller and that it has not been heretofore alienated by said Seller.

The singular herein shall include the plural and the masculine gender shall include the feminine and neuter genders, and vice versa.

THUS DONE AND PASSED, in duplicate, in my office in the Parish of Jefferson, State of Louisiana on the day, month and year first aforesaid, in the presence of the undersigned competent witnesses, residing in this Parish, who have signed their names with the said appearers, and me, Notary, after due reading of the whole.

WITNESSES:

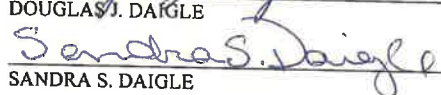

Bryant Roussele Lightfoot

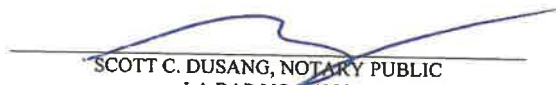

Janine D. Delaune

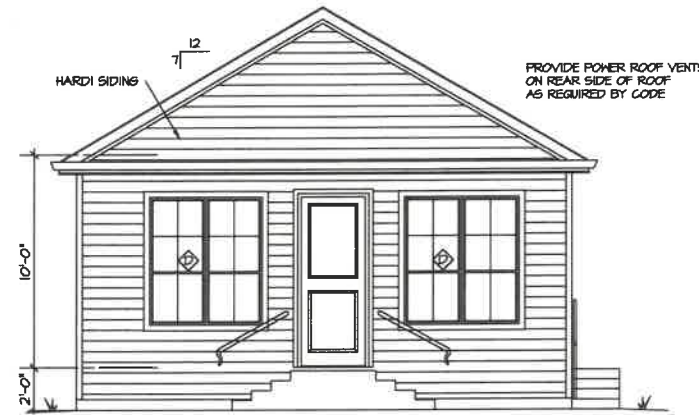
FOR RENT PROPERTIES, LLC

BY: 
BRYAN K. BORDELON, Manager/Member


DOUGLAS J. DAIGLE


SANDRA S. DAIGLE


SCOTT C. DUSANG, NOTARY PUBLIC
LA BAR NO. 24398
EXPIRES: AT DEATH



REAR ELEVATION

SCALE : 1/4" = 1'-0"

FLASHING NOTES:

1. SHEET METAL : ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SMAGNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT, NOT LIMITED TO GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL CORINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.
2. FLASHING : APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. FLASHING AND KEYPHOLES AT BRICK SHALL COMPLY WITH SECTIONS R103.2.5 AND R103.2.6. WALL FLASHINGS SHALL COMPLY WITH SECTIONS R103.2.5. ROOF FLASHING SHALL COMPLY WITH SECTION R103.2.8. IRC 2021.

GLAZED OPENING PROTECTION
ALL WINDOWS WITHOUT OPERABLE SHUTTERS SHALL BE PROVIDED WITH A MINIMUM THICKNESS OF 7/16" WOOD STRUCTURAL PANELS FOR PROTECTION OF WINDBORNE DEBRIS, AS PER SECTION 301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. THE PANELS ARE TO BE PRECUT TO COVER THE GLAZED OPENINGS, WITH A MAXIMUM SPAN OF 8' AND PROVIDED WITH ATTACHMENT HARDWARE. ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.

BUILDING CONSTRUCTION

THE HURRICANE RESISTANCE CONSTRUCTION FOR THIS RESIDENCE WAS DESIGNED TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, SECTION R301.2.1, AS MANDATED BY THE EMERGENCY PROVISIONS OF LOUISIANA ACT 12 (SB44).

I HAVE RESEARCHED THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE DRAWINGS.

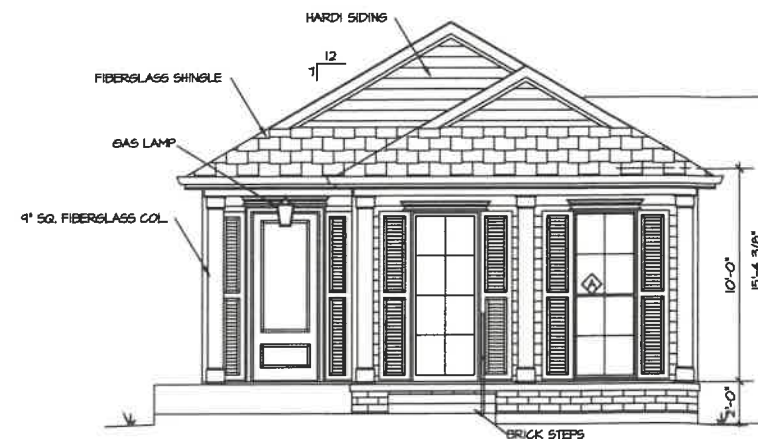
THE CONSTRUCTION OF THIS STRUCTURE IS TO CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, ASCE 7 WIND LOADS, AS WELL AS THOSE REQUIRED BY FEMA.

HURRICANE RESISTANCE CONSTRUCTION HAS BEEN DESIGNED USING THE PRESCRIPTIVE REQUIREMENTS OF THE WOOD FRAME CONSTRUCTION MANUAL, LATEST EDITION.

THE STRUCTURE HAS BEEN DESIGNED FOR :
THREE SECOND WIND GUST OF 140 MPH - BASED ON EXPOSURE B.

UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION.

THE 2021 INTERNATIONAL RESIDENTIAL CODE APPLIES TO ONE AND TWO-FAMILY DWELLINGS NOT MORE THAN THREE STORIES ABOVE GRADE PLANE, AND THEIR ACCESSORY STRUCTURES. UNLESS NOTED OTHERWISE, ALL REVIEW COMMENTS AND CITATIONS REFERENCE THE 2021 IRC, INCLUDING ALL RELEVANT SUBSECTIONS.



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

FRONT YARD AREA

FRONT YARD AREA (47%)	300 S.F.
PREMEABLE AREA	154 S.F.
CONC. FLAT WORK AREA	134 S.F.
PREMEABLE AREA % (53%)	

REAR YARD AREA

REAR YARD AREA	600 S.F.
CABANA AREA	160 S.F.
CABANA %	(26%)

APPROXIMATE SQ. FT.

LIVING AREA

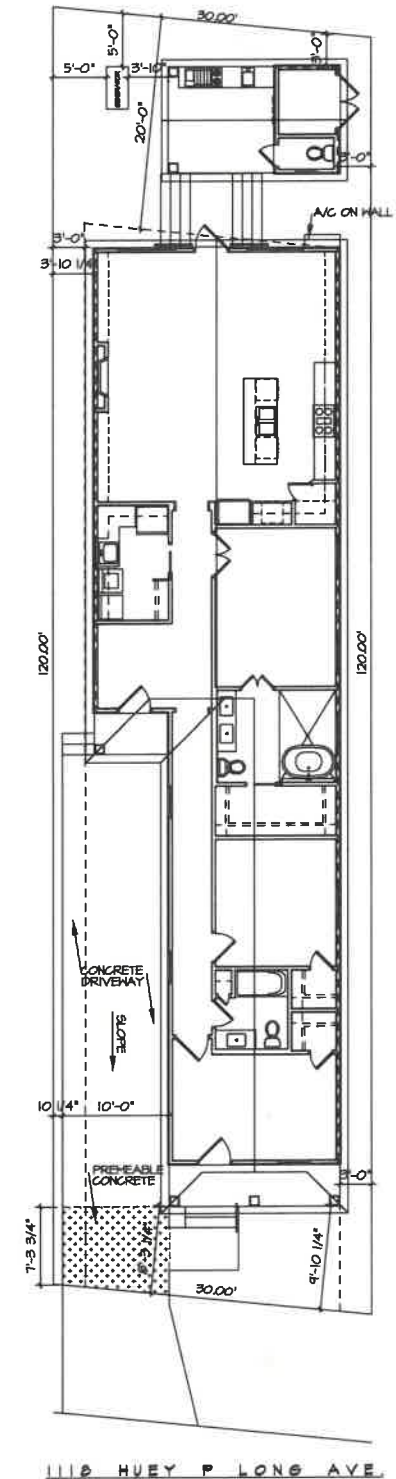
FIRST FLOOR	1107 S.F.
SUBTOTAL	1107 S.F.
PORCH	62 S.F.
SIDE PORCH	26 S.F.
CABANA	160 S.F.
GROSS	1455 S.F.



LOT #20
SQUARE #44
MECHANICKHAM SUBDIVISION
JEFFERSON PARISH, LA

SITE PLAN

SCALE : 1/8" = 1'-0"



4-28-2025

THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK. REG. NO. 43952

Attention to or deviation from the information shown on this sheet, without advance approval in writing from the Architect, may void Old Orleans Designs responsibility.
© 2025, Old Orleans Designs, Inc.

4-28-25

Old Orleans Designs
1795 W. Causeway Approach - Suite 200, Mandeville, LA 70471

Daigle Residence
1118 Huey P. Long Ave., Gretna, Jefferson Parish

A-1
B

Door Schedule

	size	description
1	3'0" x 8'0" x 1 3/4"	FULL GLASS WOOD DOOR & LITES
2	3'0" x 8'0" x 1 3/4"	3/4 GLASS WOOD DOOR
3	3'0" x 8'0" x 1 3/4"	HALF GLASS FIBERGLASS DOOR
4	1'0" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
5	2'0" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
6	2'4" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
7	2'8" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
8	3'0" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
9	3'0" x 8'0" x 1 3/8"	PAIR-6 PANEL MASONITE DOOR
10	4'0" x 8'0" x 1 3/8"	PAIR-6 PANEL MASONITE DOOR
11	2'8" x 8'0" x 1 3/8"	6 PANEL MASONITE POCKET DOOR
12	3'0" x 8'0" x	CASED OPENING
13	5'0" x 8'0" x 1 3/4"	PAIR-6 PANEL FIBERGLASS DOORS
14	2'4" x 8'0" x 1 3/4"	6 PANEL FIBERGLASS DOOR

Window Schedule

	dimensions				description
	sash opening	rough opening	head	width	
A	3'0" x 8'0"	8'0"			4/4 SINGLE HUNG
B	3'0" x 6'0"	8'0"			4/2 SINGLE HUNG
C	2'4" x 4'4"	8'0"			2/2 SINGLE HUNG
D	5'4" x 6'0"	8'0"	DBL		4/2 SINGLE HUNG
E	2'4" x 2'0"	8'0"			FIXED GLASS
F	3'0" x 5'0"	8'0"			2/2 SINGLE HUNG

WINDOW NOTES:

- ALL WINDOWS TO BE VINYL, DIVIDED LIGHT UNLESS NOTED OTHERWISE.
- ALL GLAZING IN HOT AREAS SHALL BE TEMPERED.
- WINDOWS INSTALLED IN BATHTUB ENCLOSURES LESS THAN 60" FROM THE FLOOR REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION R308.4.5 OF THE IRC 2021 ED.
- GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. SEC. R308.4.5 IRC 2021 ED.
- WINDOWS WITH 1 SQ. FT. OF PANE OR LARGER, LESS THAN 18 INCHES FROM THE FLOOR, WITH A WALKING SURFACE WITHIN 36 INCHES SHALL BE TEMPERED.

SAFETY GLAZING REQUIRED:

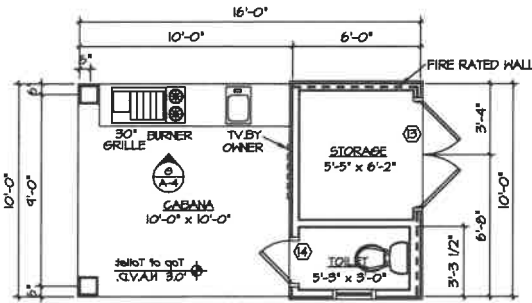
SAFETY GLAZING SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS AS REQUIRED BY IRC 2021 R308.4. TO INCLUDE, BUT, NOT LIMITED TO THE FOLLOWING LOCATIONS. SAFETY GLAZING TO BE PROVIDED IN SHWINGS AND FIXED DOORS, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD DOOR ASSEMBLIES. SAFETY GLAZING TO BE PROVIDED IN BATHROOM WINDOWS AND IN STAIRWAY WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING OR WALKING SURFACE AND WITHIN 60" HORIZONTALLY OF A TUB, SHOWER OR SPA. SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS, AND GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS THAT ARE IN WALLS ENCLONG STAIRWAY LANDINGS OR WITHIN 60 INCHES OF THE TOP OR BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE OR WITHIN 60" HORIZONTALLY OF THE BOTTOM OF THE STAIRS AT A LANDING.

FIREPLACE & HEARTH

FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL21. HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA.

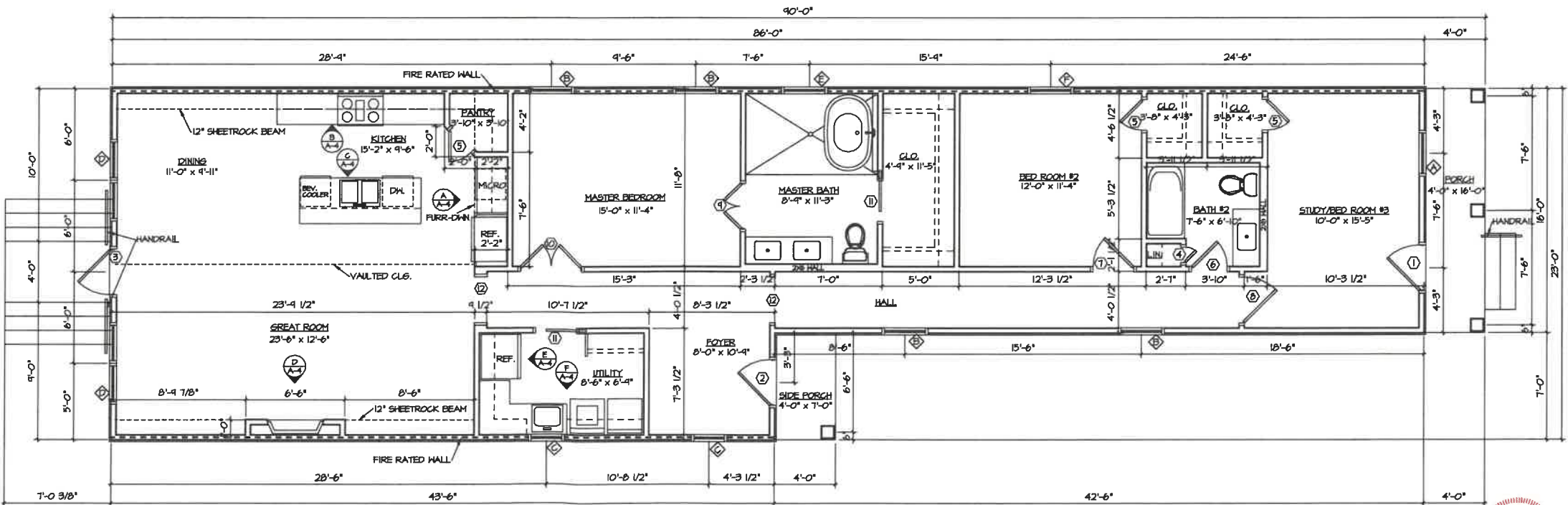
NOTES:

- EXTERIOR WALL STUDS TO BE 2 x 4'S AT 16" O.C., UNLESS OTHERWISE NOTED.
- INTERIOR WALL STUDS TO BE 2 x 4'S AT 16" O.C., UNLESS OTHERWISE NOTED.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY 1/2" GNB APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THEN 5/8" FIRE RATED SHVL. WHERE THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THEN 1/2" GNL. IRC SECTION R302.6.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS NOT LESS THEN 1 3/8" THICK OR HONEYCOMB CORE STEEL DOOR NOT LESS THEN 1 3/8" THICK, OR A 20 MINUTE RATED DOOR EQUIPPED WITH A SELF CLOSING DEVICE. IRC SECTION R302.5.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- ALL SLEEPING AREAS SHALL BE PROVIDED WITH AN APPROVED SMOKE ALARMS WIRED INTO THE BUILDING ELECTRICAL POWER SOURCE AND PROVIDED WITH A BATTERY BACKUP. IRC SECTION R314.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. IRC R315.
- CHEMICAL TERMITICIDE TREATMENT TO PROVIDE PROTECTION AGAINST SUBTERRANEAN TERMITES SHALL INCLUDE SOIL TREATMENT AND/OR FIELD APPLIED WOOD TREATMENT IN COMPLIANCE WITH IRC 2021 SECTION 310.



CABANA FLOOR PLAN

SCALE: 1/4" = 1'-0"

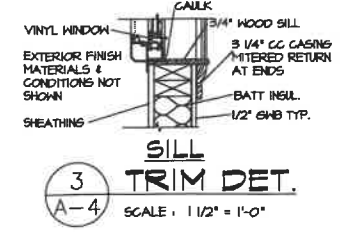
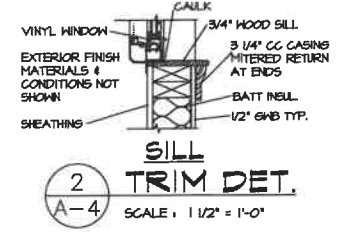
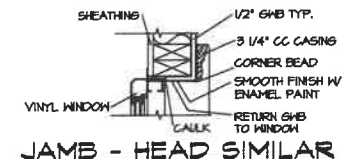
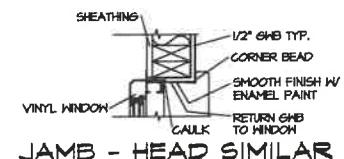
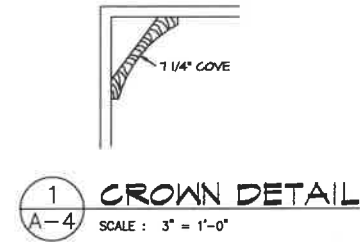
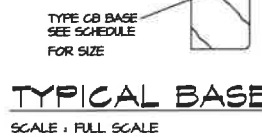
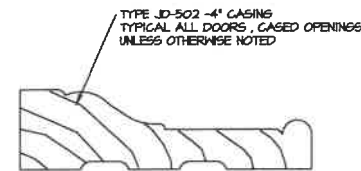
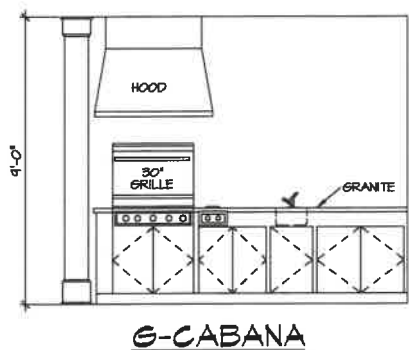
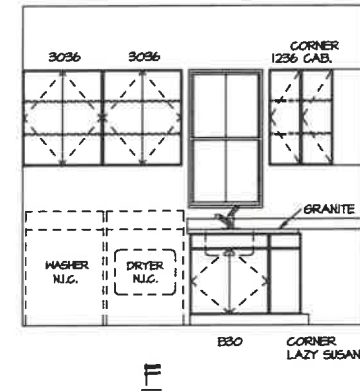
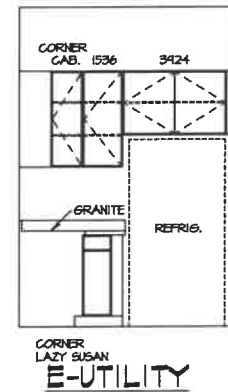
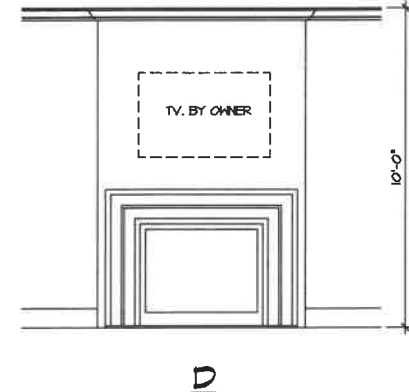
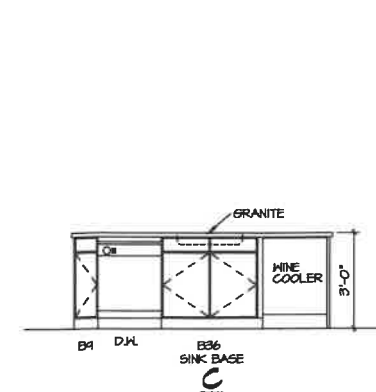
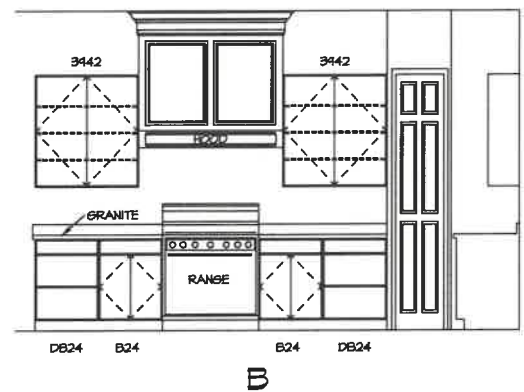
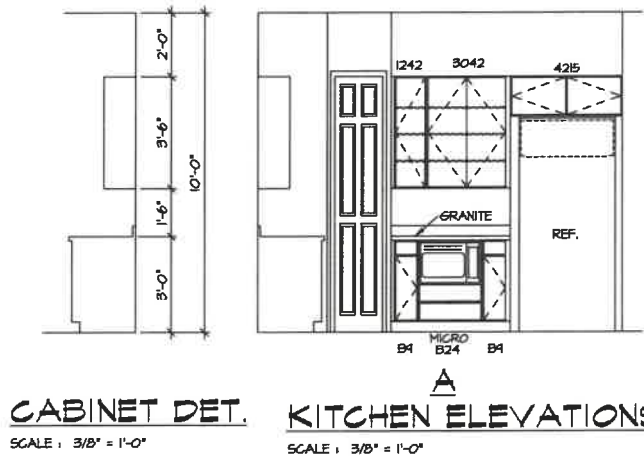


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

===== FIRE RATED WALL

4-28-2025
Alteration to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Olde Oriars Designs responsibility.
© 2025, Olde Oriars Designs, Inc.

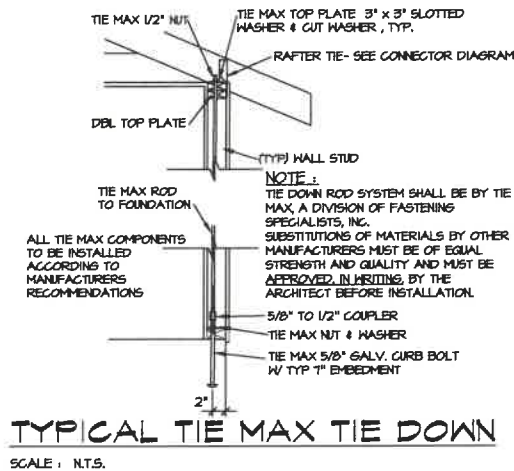


Finish Schedule							
room	floor	base	walls	ceiling	cell. ht.	window trim	remark
FOYER	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"	3/A-4	SEE DET. 1/A-4
HALL	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"	2/A-4	SEE DET. 1/A-4
KITCHEN	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"		SEE DET. 1/A-4
DINING RM	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"	3/A-4	SEE DET. 1/A-4
GREAT RM	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"	3/A-4	SEE DET. 1/A-4
M. BEDROOM	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"	3/A-4	SEE DET. 1/A-4
MST. BATH	CER. TILE	1" MDF	GYP.BD.	GYP.BD.	10'-0"	2/A-4	SEE DET. 1/A-4
M. CLOSETS	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"		
UTILITY RM	CER. TILE	1" MDF	GYP.BD.	GYP.BD.	10'-0"	2/A-4	
BEDROOM #2	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"	2/A-4	SEE DET. 1/A-4
BATH #2	CER. TILE	1" MDF	GYP.BD.	GYP.BD.	10'-0"		
STUDY/BEDRM	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"	3/A-4	SEE DET. 1/A-4
CLOSETS	WOOD	1" MDF	GYP.BD.	GYP.BD.	10'-0"		
PORCH	BRICK			VINYL BD.	10'-0"		
PATIO	CONC.			VINYL BD.	10'-0"		
CABANA	CONC.	5 1/4" WOOD	GYP.BD.	GYP.BD.	9'-0"		

- FINISH NOTES:**
- DRYHALL - WALLS AND CEILING TO BE TAPED AND FLOATED WITH A "LIGHT ORANGE PEEL" FINISH. WATERPROOF GYP. BD. TO BE USED AT DAMP LOCATIONS AND IN SHOWER AND TUB ENCLOSURES TO CEILING.
 - PANT - WALL AND CEILING PAINT TO BE TO BE FLAT LATEX. TRIM PAINT TO BE SEMI-GLOSS LATEX ENAMEL.



4-28-2025
Alteration to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Old Orleans Designs responsibility.
© 2025, Old Orleans Designs, Inc.

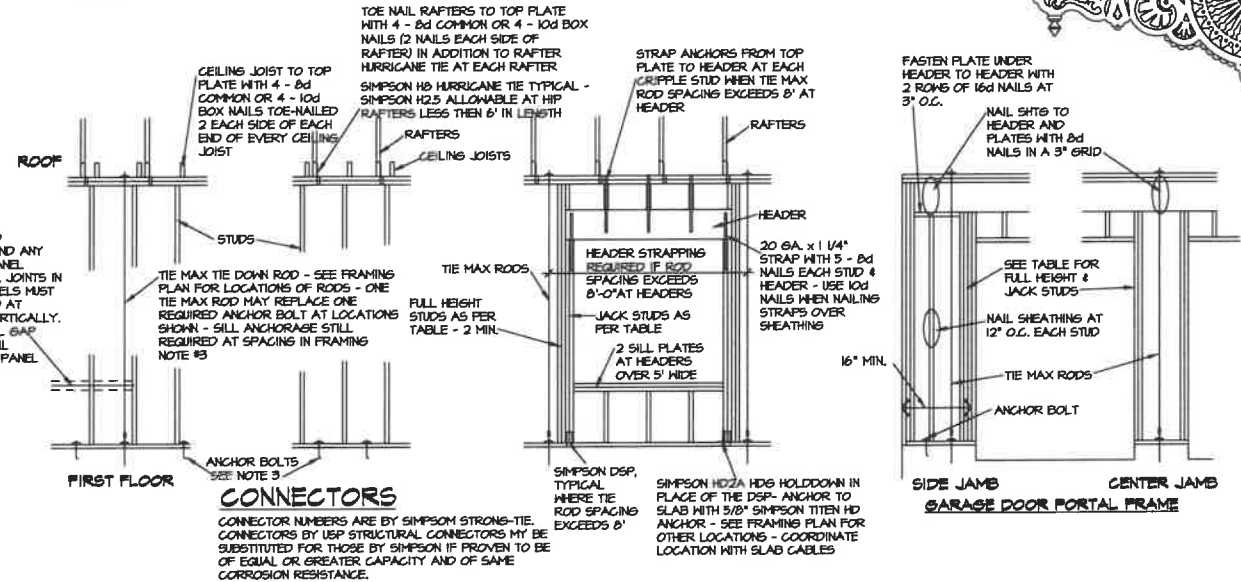


HOUSE WRAP / STUCCO WRAP
 AN ICC APPROVED HOUSE WRAP AND/OR STUCCO WRAP WATER RESISTANT BARRIER TO BE INSTALLED BEHIND THE EXTERIOR VENEER. STUCCO WRAP TO BE INSTALLED WITH THE DRAINAGE GROOVES VERTICAL. WRAP TO BE INSTALLED PLUMB. FASTEN TO SHEATHING WITH LARGE HEAD NAILS OR NAILS WITH LARGE PLASTIC WASHER HEADS. FASTENERS TO BE SPACED 6\"/>

TREATED WOOD
 TREATED WOOD IS REQUIRED IN THE FOLLOWING LOCATIONS:

1. ALL LUMBER BELOW THE BASE FLOOR ELEVATION.
2. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18\"/>

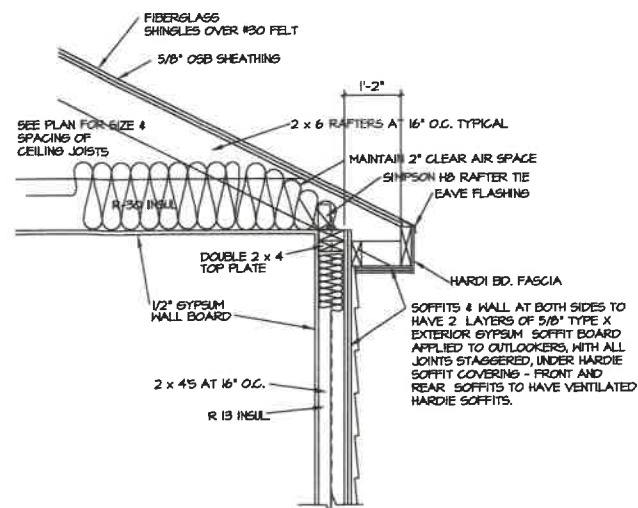
WOOD STRUCTURAL OR FRAMING MEMBERS SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH ANFA III FOR PROTECTION FROM DECAY.



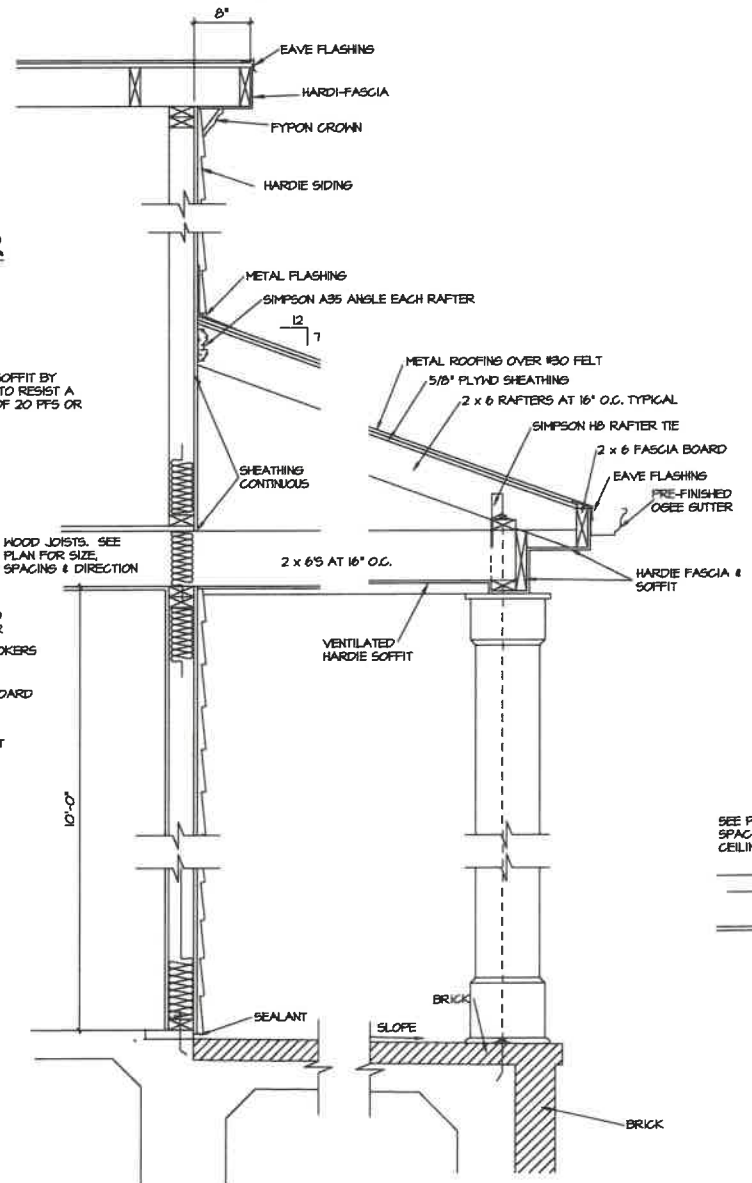
CONNECTORS
 CONNECTOR NUMBERS ARE BY SIMPSON STRONG-TIE. CONNECTORS BY USP STRUCTURAL CONNECTORS MAY BE SUBSTITUTED FOR THOSE BY SIMPSON IF PROVEN TO BE OF EQUAL OR GREATER CAPACITY AND OF SAME CORROSION RESISTANCE.

FRAMING NOTES:

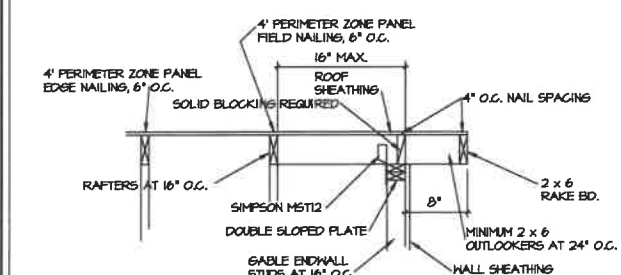
1. ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AS WELL AS THOSE REQUIRED BY FEMA. UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE ROOF.
2. LUMBER USED FOR JOISTS, RAFTERS & BEAMS SHALL BE #2 KD SOUTHERN YELLOW PINE. STUDS SHALL BE STUD GRADE OR STANDARD KD SOUTHERN YELLOW PINE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. ALL CONNECTORS, ANCHORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD TO BE OF GREATER CORROSION RESISTANCE THEN STANDARD GALVANIZED CONNECTORS AND FASTENERS. CORROSION RESISTANCE TO BE APPROPRIATE FOR THE TYPE OF PRESSURE TREATMENT OF THE LUMBER USED.
3. ANCHOR BOLTS TO SLAB SHALL BE A MINIMUM OF 5/8\"/>



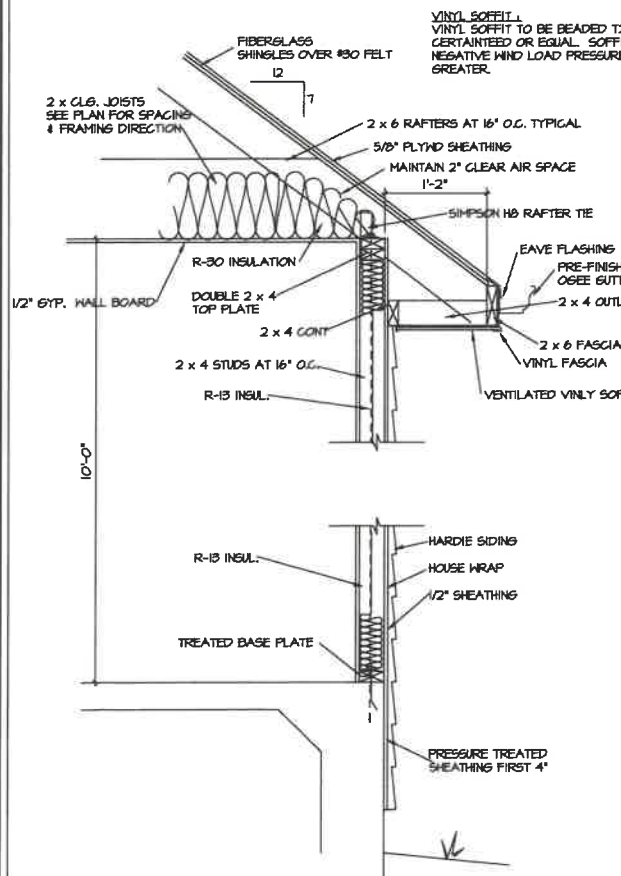
4 FIRE-RATED WALL & SOFFIT DETAIL
 SCALE: 1/4\"/>



2 FRONT PORCH
 SCALE: 1/4\"/>



3 RAKE OVERHANG OUTLOOKER
 SCALE: 3/4\"/>



1 WALL SECTION
 SCALE: 1/4\"/>

Alteration to or deviation from the information shown on this sheet, without advance approval in writing, from the Architect, may void Daigle Orleans Design's responsibility.
 © 2025, Daigle Orleans Design, Inc.

HEADER SCHEDULE

EXTERIOR WALLS		INTERIOR WALLS	
EXTERIOR WALLS MIN. HEADER SIZE	SPAN (CLEAR OPENING)	LOAD BEARING INTERIOR WALLS MIN. HEADER SIZE	SPAN (CLEAR OPENING)
2 - 2 x 4	4'-7"	2 - 2 x 4	4'-7"
2 - 2 x 6	5'-6"	2 - 2 x 6	5'-6"
2 - 2 x 8	6'-4"	2 - 2 x 8	6'-7"
2 - 2 x 10	6'-8"	2 - 2 x 10	8'-4"
2 - 2 x 12	7'-4"	2 - 2 x 12	9'-5"
3 - 2 x 8	7'-5"	3 - 2 x 8	8'-4"
3 - 2 x 10	8'-5"	3 - 2 x 10	10'-2"
3 - 2 x 12	8'-8"	3 - 2 x 12	11'-4"
3 1/2" x 9 1/2" PARALAM	10'-2"	3 1/2" x 9 1/2" PARALAM	12'-4"
3 1/2" x 11 1/8" PARALAM	11'-4"	3 1/2" x 11 1/8" PARALAM	15'-10"
3 1/2" x 14" PARALAM	12'-6"	3 1/2" x 14" PARALAM	14'-4"
3 1/2" x 16" PARALAM	15'-4"	3 1/2" x 16" PARALAM	15'-4"
3 1/2" x 18" PARALAM	18'-0"	3 1/2" x 18" PARALAM	18'-0"

ABOVE SIZES TO BE USED UNLESS OTHERWISE NOTED ON THE FRAMING PLAN.
BASED ON #2 KD SOUTHERN PINE - WOOD FRAME CONSTRUCTION MANUAL, 2001 EDITION
© 2007, Old Orleans Designs, Inc.

HEADER STUD SCHEDULE

NO. OF STUDS FOR EACH END OF HEADERS	HEADER SPAN (CLEAR OPENING)							
	2'-0"	4'-0"	6'-0"	8'-0"	10'-0"	12'-0"	14'-0"	16'-0"
FULL HEIGHTS STUDS	1	2	3	3	4	5	6	6
EXT. WALL - JACK STUDS Supporting Roof & Ceiling	1	1	2	2	3	3	4	4
EXT. WALL - JACK STUDS Supporting Roof, Ceiling & One Floor	1	2	2	3	4	4	5	5
INTERIOR BEARING WALL FULL HEIGHT STUDS Supporting One Floor	1	1	2	2	2	3	3	3
INTERIOR BEARING WALL JACK STUDS Supporting One Floor	1	1	2	2	3	3	4	4

ABOVE SIZES TO BE USED UNLESS OTHERWISE NOTED ON THE FRAMING PLAN.
STUD GRADE OR BETTER KD SOUTHERN PINE - WOOD FRAME CONSTRUCTION MANUAL
© 2008, Old Orleans Designs, Inc.

RAFTER SPANS

RAFTER SIZE AND SPACING	MAXIMUM UNSUPPORTED SPAN	
	CEILING NOT ATTACHED TO RAFTERS	CEILING ATTACHED TO RAFTERS
2 x 6 AT 16" O.C.	13'-0"	13'-0"
2 x 8 AT 16" O.C.	16'-10"	16'-10"

BASED ON #2 KD SOUTHERN PINE
20 PSF LIVE LOAD, 10 PSF DEAD LOAD
WOOD FRAME CONSTRUCTION MANUAL
© 2008, Old Orleans Designs, Inc.

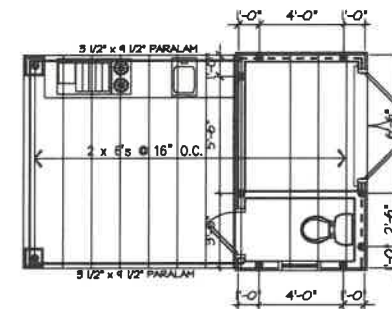
HIP & VALLEY BEAMS

BEAM SIZE	MAXIMUM UNSUPPORTED SPAN
1 - 2 x 6	8'-6"
2 - 2 x 6	11'-4"
2 - 2 x 8	14'-2"
2 - 2 x 10	17'-0"
3 - 2 x 12	19'-10"
4 - 2 x 12	22'-8"

BASED ON #2 KD SOUTHERN PINE
20 PSF LIVE LOAD, 10 PSF DEAD LOAD
WOOD FRAME CONSTRUCTION MANUAL
© 2008, Old Orleans Designs, Inc.

ENGINEERED WOOD JOIST NOTES:

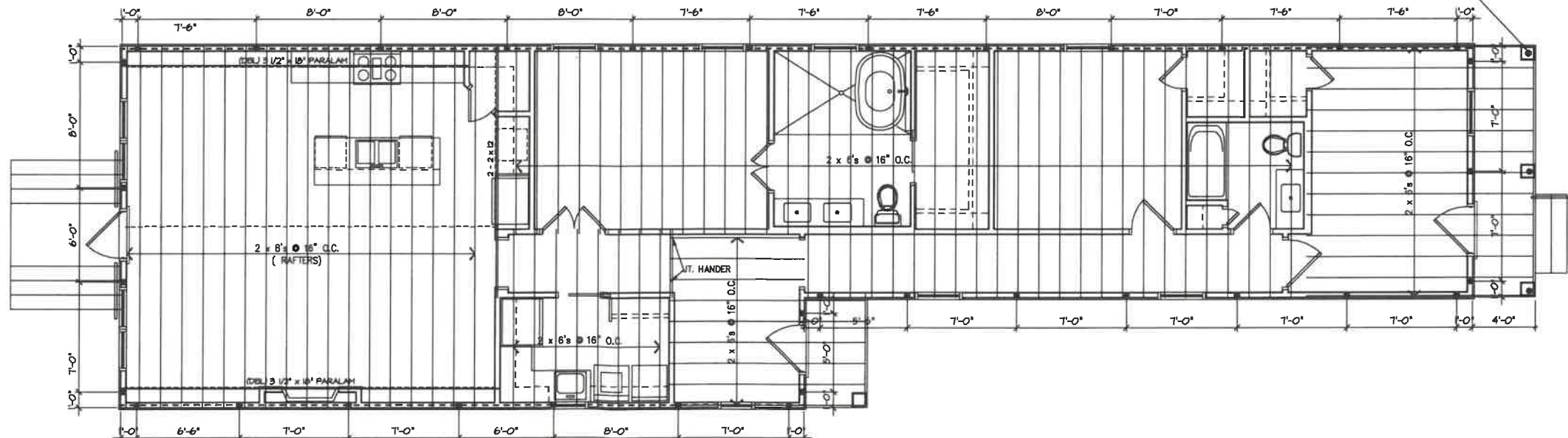
- ENGINEERED WOOD JOISTS TO BE MANUFACTURED WITH OPEN 2 x 4 TRUSS WEBS, LAMINATED LUMBER FLANGES & WATERPROOF, STRUCTURAL ADHESIVES. ENDS OF JOISTS TO BE TRIMABLE ORIENTED STRAND BOARD WEBS. JOISTS TO BE EQUAL TO TRIM JOISTS.
- TRUSS JOISTS TO BE INSTALLED ACCORDING TO MANUFACTURERS RECOMMENDATIONS. THIS INCLUDES ALL BRACING, BLOCKING, SHEATHING, HANGERS, RIM JOISTS, RIM BOARDS AND STRUT LINES.
- USE FRAMING ANCHORS AND HANGERS WHERE REQUIRED. NAIL ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- JOISTS MUST BE LATERALLY SUPPORTED AT CANTILEVERS AND END BEARINGS BY BLOCKING PANELS, HANGERS OR DIRECT ATTACHMENT TO A RIM BOARD OR RIM JOIST.
- HOLES IN WEBS ARE ALLOWED ACCORDING TO HOLE SIZE CHARTS AND END DISTANCES ALLOWED BY MANUFACTURER. DO NOT CUT OR NOTCH FLANGES.
- SLOPE CUT JOISTS ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- SUPPLIER TO VERIFY JOIST DEPTH AND ALLOWABLE SPANS WITH MANUFACTURER. LAYOUT DRAWINGS ARE TO BE FURNISHED BY SUPPLIER. JOIST LAYOUT DRAWINGS TO BE STAMPED BY AN ENGINEER REGISTERED IN LOUISIANA.



CABANA CEILING FRAMING

SCALE : 1/4" = 1'-0"

TIE MAX COLUMN TIE DOWN ALL COLUMNS:
INSTALL USING THE TIE MAX
RECOMMENDATIONS. SET TIE MAX 5/8" TM
HDG EDGE BOLT EMBED BEFORE POURING
CONCRETE. FASTEN TO THE TM 1/2"
ZINC ROD USING TM 5/8" HDG to 1/2"
ZINC COUPLER. RUN ROD THRU 1/2"
SPACE BETWEEN TOP OF BEAMS AND
FASTEN WITH 3/32X1/4" HDG TM WASHER
AND TM NUT.



FRIST FLOOR CEILING FRAMING

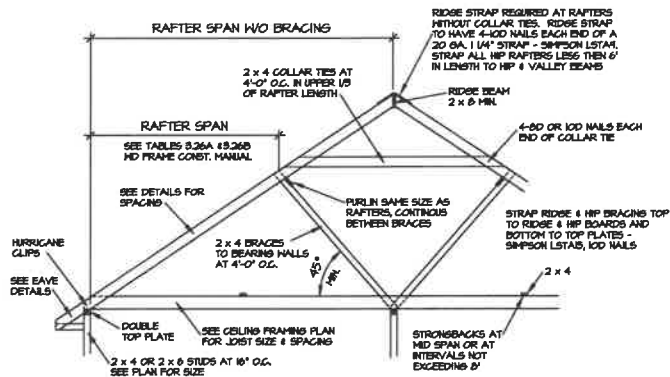
SCALE : 1/4" = 1'-0"

● TIE MAX ANCHOR



4-28-2025

Alteration to or deviation from the information shown on this sheet,
without advance approval, in writing, from the Architect, may void
Old Orleans Designs responsibility.
© 2025, Old Orleans Designs, Inc.



TYPICAL ROOF FRAMING

SCALE : N.T.S. © 2006, Old Orleans Designs, Inc.

ROOFING NOTES :

SEAL ALL ROOF SHEATHING JOINTS WITH 4" WIDE (MIN) SELF-ADHERING MODIFIED BITUMEN TAPE. SEAL AROUND ALL DECK PENETRATIONS WITH ROOF TAPE.

METAL DRIP EDGE REQUIRED AT EAVES AND RAKES.

UNDERLAYMENT, 2 LAYER OF 30# ROOFING FELT OR CODE APPROVED UNDERLAYMENT, TO BE INSTALLED WITH A MINIMUM OF 6" OVERLAP ALL AROUND. NAIL WITH CORROSION RESISTANT NAILS AT 6" O.C. ALONG THE EDGES (IRC05.9.3.2, IRC 2021 REQUIRES FASTENERS NOT FURTHER APART THEN 36") AND NAILS AT 12" O.C. IN THE FIELD. STAPLES ARE NOT ACCEPTABLE.

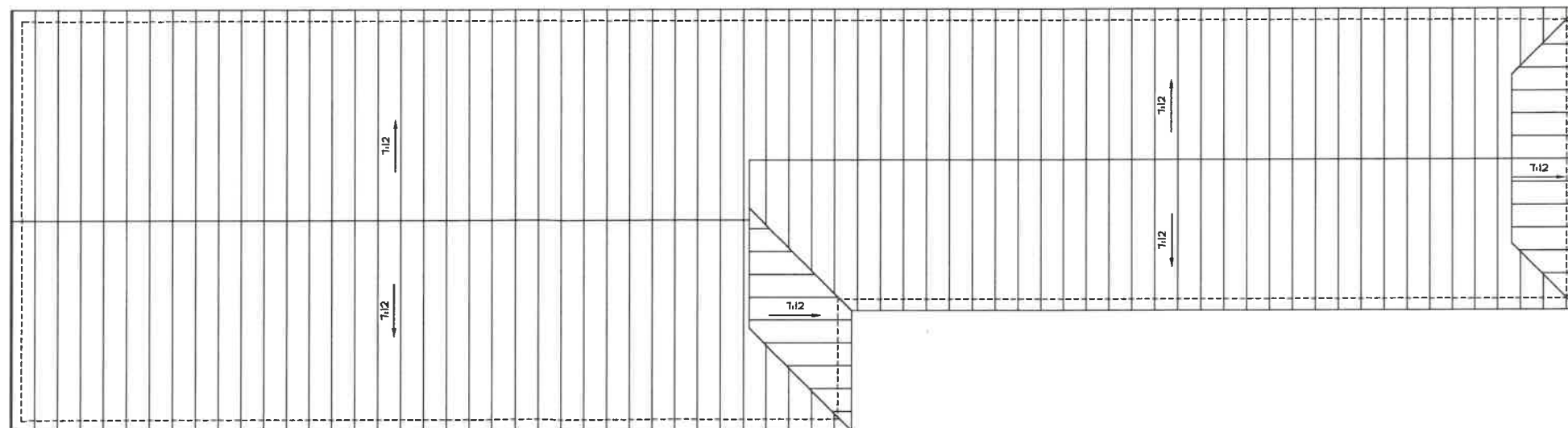
STARTER STRIP, WITH SELF-SEALING ADHESIVE, TO BE INSTALLED AT ALL EAVES AND AT RAKES, SAME NAIL SPACING AS SHINGLES OR 6" O.C. MAX.

SHINGLES TO BE TESTED AND APPROVED UNDER THE ASTM D8161 STANDARD, MODIFIED TO 110 MPH. SHINGLES TO BE INSTALLED ACCORDING TO MANUFACTURERS RECOMMENDATIONS FOR HIGH WIND. SHINGLES TO BE NAILED WITH CORROSION RESISTANT NAILS. SHINGLES ARE NOT ACCEPTABLE. NAILS TO BE DRIVEN PERPENDICULAR TO THE ROOF SURFACE AND THE NAIL HEAD TO BE FLUSH.

FLASHING NOTES:

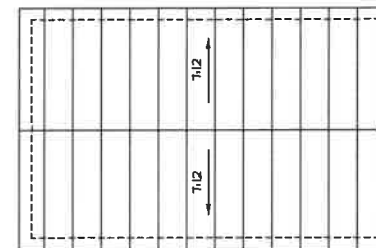
1. SHEET METAL : ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT, NOT LIMITED TO GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL CORINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.

2. FLASHING : APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALL TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS. 1. AT TOP AND PERIMETER OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF. 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO CORINGS. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL CORINGS AND SILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. 6. AT WALL AND ROOF INTERSECTIONS. 7. AT BUILT-IN GUTTERS.



ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"



CABANA ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"



4-28-2025

Alteration to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Old Orleans Designs responsibility.
© 2025, Old Orleans Designs, Inc.

4-28-25

Old Orleans Designs
1745 W. Causeway Approach - Suite 200, Mandeville, LA 70471

Daigle Residence
1118 Huey P. Long Ave., Gretna, Jefferson Parish

A-7
8

1. ALL ELECTRIC WORK TO BE DONE UNDER NEC 2020.

2. PROVIDE ELECTRICAL AND/OR GAS, AS REQUIRED, FOR HOT WATER HEATERS, POWER VENTS & HVAC IN ATTIC.

3. PROVIDE ELECTRICAL FOR HVAC CONDENSERS, VERIFY LOCATION.

4. ALL SLEEPING AREAS SHALL BE PROVIDED WITH AN APPROVED SMOKE ALARMS WIRED INTO THE BUILDING ELECTRICAL POWER SOURCE AND PROVIDED WITH A BATTERY BACKUP. IRC SECTION R314.

5. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

6. RECESSED FIXTURES - USE IC HOUSINGS IN INSULATED CEILINGS OR KEEP INSULATION A MINIMUM OF 3" FROM THE RECESSED HOUSING.

7. ALL BRANCH CIRCUITS SUPPLYING 125V, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.

8. ALL EXTERIOR RECEPTACLES, RECEPTACLES OVER COUNTERTOPS, IN BATHROOMS & IN GARAGES TO BE GFI PROTECTED.

9. ALL OUTLETS TO BE TAMPERPROOF.

10. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE REQUIRED FLOOD ELEVATION. IRC R322.

11. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, SYSTEMS ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOD ELEVATION PROVIDED THEY CONFORM TO THE PROVISIONS OF THE ELECTRICAL CODE FOR WET LOCATIONS AND THE PROVISIONS OF IRC R322.1.6.

MECHANICAL NOTES :

1. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL DUCT AND DRYER LOCATIONS, DRAINS, ETC. WITH ALL OTHER TRADES BEFORE FRAMING IS STARTED.

2. THE GENERAL CONTRACTOR SHALL REVIEW THE MECHANICAL SYSTEM FOR PLACEMENT OF UNITS AND DUCT RUNS, BEFORE INSTALLATION, AND SHALL PROVIDE REQUIRED FURR DOWNS AND CHASES AS PART OF THE CONTRACT.

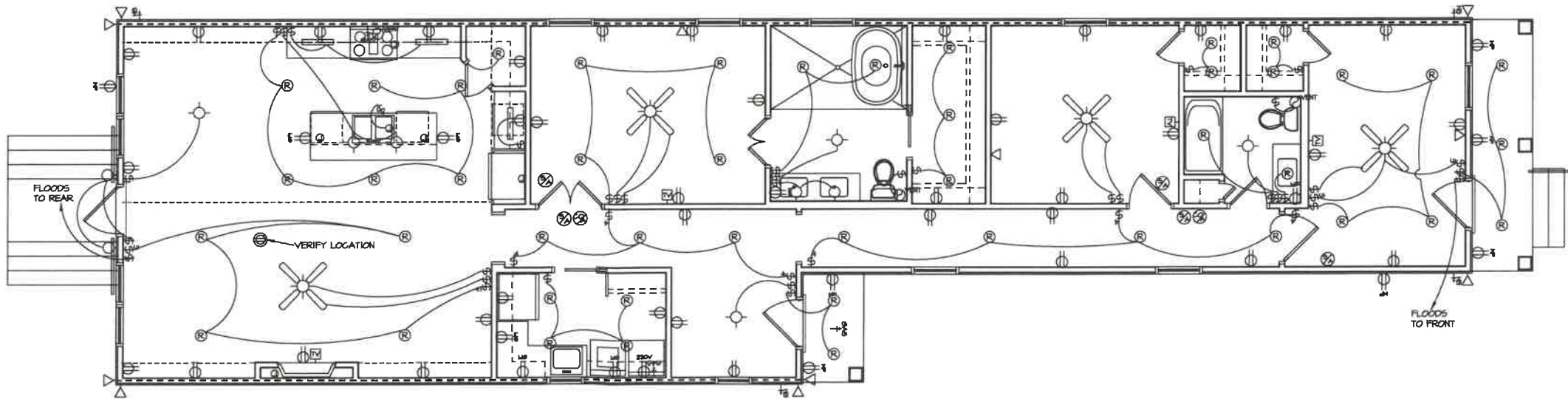
3. ARTIFICIAL LIGHT AND AN APPROVED MECHANICAL VENTILATION SYSTEM SHALL BE INSTALLED IN BATHROOMS, TOILET COMPARTMENTS AND SIMILAR ROOMS NOT PROVIDED WITH OPERABLE GLAZED AREAS. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THESE SPACES SHALL BE VENTED DIRECTLY TO THE OUTSIDE.

4. NON-HABITABLE ROOMS, SUCH AS WALK-IN CLOSETS AND PANTRY, SHALL RECEIVE VENTILATION FROM THE AIR HANDLING SYSTEM TO MEET THE REQUIREMENTS OF HABITABLE ROOMS.

5. SUPPLY AND RETURN DUCTS OR PORTIONS THEREOF LOCATED OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM OF R-6.

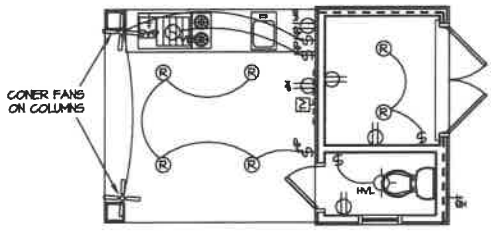
Electrical Legend

	CEILING MOUNTED FIXTURE		DUPLEX OUTLET
	RECESSED FIXTURE		FLOOR OUTLET
	PENDANT FIXTURE		QUADRAPLEX OUTLET
	RECESSED SPOTLIGHT		GROUND FAULT INTERRUPTER
	WALL MOUNTED FIXTURE		DUPLEX W/ USB PORT
	FLOOD LIGHT		WATERPROOF OUTLET
	PAIR - FLOOD LIGHTS		220 VOLT OUTLET
	TRACK LIGHT		SWITCHED OUTLET
	HEAT/VENT/LIGHT		SWITCH
	VENT/LIGHT		THREE WAY SWITCH
	CEILING FAN		FOUR WAY SWITCH
	CEILING FAN W/ LIGHT		DIMMER SWITCH
	ROPE LIGHTS		TIMER
	SURFACE FLUORESCENT OR LED		WATERPROOF SWITCH
	RECESSED FLUORESCENT OR LED		TELEPHONE JACK
	UNDERCOUNTER FLUORESCENT OR LED		FLOOR TELEPHONE JACK
	FLUORESCENT OR LED STRIP LIGHT		TELEVISION CABLE
	SMOKE ALARM		CAT 5 COMPUTER CABLE
	CARBON MONOXIDE ALARM		THERMOSTAT
	ELECTRICAL PANEL		JUNCTION BOX
	GAS CONNECTION		DOOR BELL
			HOSE BIB



FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"



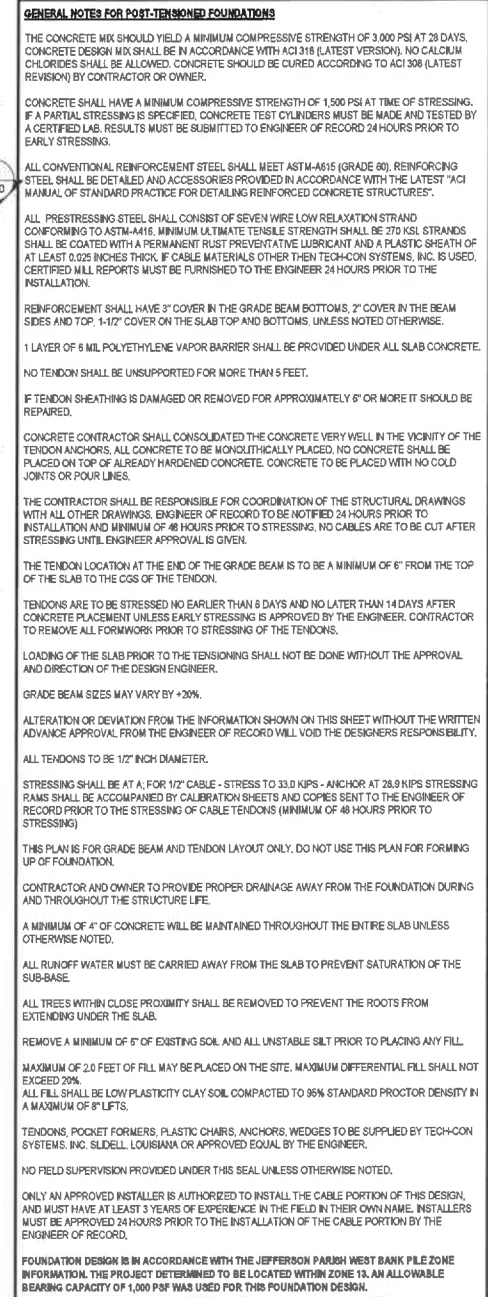
CABANA ELECTRICAL PLAN


SCALE : 1/4" = 1'-0"



4-28-2025

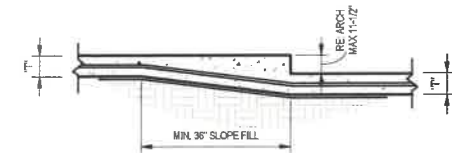
Alteration to or deviation from the information shown on this sheet, without advance approval in writing, from the Architect, may void Oide Orleans Designs responsibility.
© 2025, Oide Orleans Designs, Inc.



POST-TENSION FOUNDATION GRADE BEAM SCHEDULE				
MARK	GRADE BEAM WIDTH	GRADE BEAM DEPTH	NUMBER OF GRADE BEAM TENDONS	NOTES
PT-1	12"	24"	1	
PT-2	12"	36"	2	
PT-3	18"	36"	2	
<u>PLAN LEGEND</u>				
CONVENTIONALLY REINFORCED BEAM WITH 2#4S TOP AND BOTTOM				CRB
POST-TENSIONING TENDON				
#4 SLAB REINFORCEMENT @ 18" O.C. ONE-WAY AS SHOWN				
#4 BARS 4', 5', 10' @ 6" O.C. TYPICAL RE-ENTRANT CORNER REINFORCEMENT				
<u>NOTE:</u> ALL INTERIOR GRADE BEAMS TO BE PT-1, ALL EXTERIOR GRADE BEAMS TO BE PT-2 U.N.O.				

CONVENTIONAL GRADE BEAM SCHEDULE					
MARK	GRADE BEAM WIDTH	GRADE BEAM DEPTH	TOP REINFORCEMENT	BOTTOM REINFORCEMENT	STIRRUPS
GS-A	16"	24"	(2) #5 BARS	(2) #5 BARS	#3 @ 24" O.C.

ALL GRADE BEAMS TO BE GS-A UNLESS NOTED OTHERWISE



A cross-sectional diagram of a grade beam. The diagram shows a T-shaped concrete structure. The top horizontal part is labeled 'SLAB TENDONS'. Below the slab, there is a 'VAPOR BARRIER' and a layer of 'COMPACTED FILL'. The bottom part of the beam is labeled 'GRADE BEAM TENDON RE SCHEDULE'. Dimensions are indicated: 'DEPTH RE SCHEDULE' for the total height, 'WIDTH' for the base width, and 'd' for the effective depth from the top of the beam to the bottom reinforcement.

Figure 10 is a cross-sectional diagram of a grade beam. It shows the following components and dimensions:

- SLAB TENDONS:** Reinforcing bars at the top of the slab.
- RE ARCH MAX 11-1/2":** Reinforcing arch at the top of the beam.
- VAPOR BARRIER:** A layer below the compacted fill.
- COMPACTED FILL:** The material surrounding the beam.
- GRADE BEAM TENDON:** Reinforcing bar within the beam.
- RE SCHEDULE:** Reinforcing bar at the bottom of the beam.
- WIDTH:** The horizontal dimension of the beam.
- DEPTH:** The vertical dimension of the beam.
- f:** The depth of the slab.
- b:** The width of the beam.

A cross-sectional diagram of a reinforced concrete beam. The diagram shows a central rectangular section with a smaller rectangular section inside it. The outer section is labeled 'SLAB REINFORCEMENT PER PLAN' at the top and 'WIDTH' at the bottom. The inner section is labeled 'STRUTS PER SCHEDULE' at the top and 'REINFORCEMENT' at the bottom. The top surface is labeled 'REINFORCEMENT MAX. THICK.' and the bottom surface is labeled 'VAPOR BARRIER' and 'COMPACTED FILL'. The left side is labeled 'DEPTH' and 'RE SCHEDULE'. The right side is labeled 'RE SCHEDULE' and 'GRADE BEAM REINF. PER SCHEDULE'. Dimensions 'T' are indicated on the top and right sides.

8 INTERIOR CONV. GRADE BEAM AT DEPRESSION



1118 HUEY P. LONG AVE.
GRETNA, LA 70053

[illegible]

SEAL



DAIGLE RESIDENCE

P.T. FOUNDATION PLAN

Project number SE-25-414

Date 4.15.2025

Drawn by KD

Checked by	TM
------------	----

S1.0



Historic District Commission

Meeting: May 05, 2025

514-16 2nd Street
CD-2

Discussion Only

Applicant:
James Rolfe



1_N_Perspective_IMG_1407.JPG
October 25, 2024 at 12:53:40 PM



2_NW_Elevation_IMG_1408.JPG
October 25, 2024 at 12:53:49 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



3_W_Perspective_IMG_1409.JPG
October 25, 2024 at 12:54:05 PM

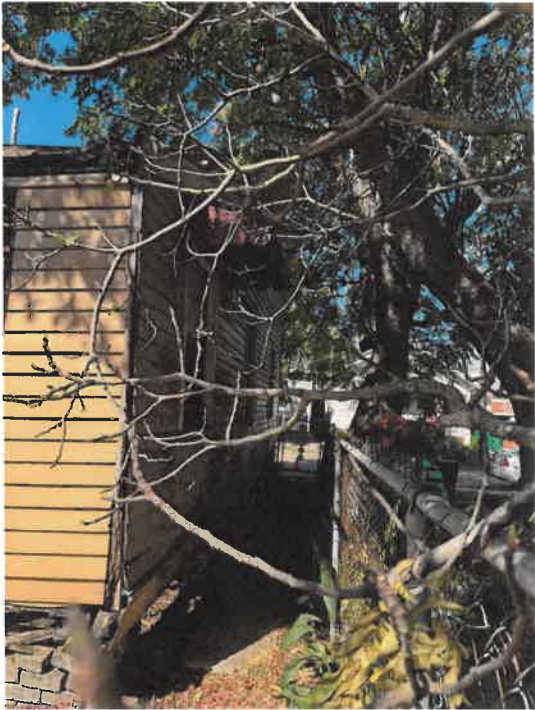


4_S_Perspective_IMG_1404.JPG
October 25, 2024 at 12:39:39 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



5_RearElev_IMG_1405.JPG
October 25, 2024 at 12:39:51 PM



6_E_Perspective_IMG_1406.JPG
October 25, 2024 at 12:40:09 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



7_Rm1_514side_IMG_1386.JPG
October 25, 2024 at 12:30:25 PM



8_Rm1_514side_IMG_1387.JPG
October 25, 2024 at 12:30:32 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



9_Hall_514side_IMG_1388.JPG
October 25, 2024 at 12:30:40 PM



10_Bathrm_514side_IMG_1390.JPG
October 25, 2024 at 12:31:01 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



11_Rm2_514side_IMG_1391.JPG
October 25, 2024 at 12:31:14 PM



12_Rm2_514side_IMG_1392.JPG
October 25, 2024 at 12:31:30 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



13_ShedAddition_514side_IMG_1393.JPG
October 25, 2024 at 12:31:42 PM



14_ShedAddition_IMG_1394.JPG
October 25, 2024 at 12:32:02 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



15_Rm1_516side_IMG_1395.JPG
October 25, 2024 at 12:37:39 PM



16_Rm1_516side_IMG_1396.JPG
October 25, 2024 at 12:37:48 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



17_Hall_516side_IMG_1397.JPG
October 25, 2024 at 12:37:58 PM



18_Bathrm_516side_IMG_1398.JPG
October 25, 2024 at 12:38:06 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



19_Rm2_516side_IMG_1400.JPG
October 25, 2024 at 12:38:26 PM



20_Rm2_516side_IMG_1401.JPG
October 25, 2024 at 12:38:35 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



21_ShedAddition_516side_IMG_1402.JPG
October 25, 2024 at 12:38:48 PM



22_ShedAddition_516side_IMG_1403.JPG
October 25, 2024 at 12:38:59 PM

Part1_Photos_514-16_2ndSt_Gretna_LA



High Level Stats	
Gross Building Are	880sf
Building Type	Duplex - Residential
Units	2
Unit Area	440sf
Total Area	880sf
Applicable Building Codes	International Residential Code, 2021 including Appendix J
Historic Codes	City of Gretna Historic Distric Design Guideliens updated March 2015

Sheet #	Sheet Name
A1	Cover Page
A2	Early Work Floor Plan
A3	Existing Conditions
A4	New Floor Plan
A5	Foundation & Masonry Plan
A6	North Elevation
A7	South Elevation
A8	Elevations E/W
A9	Alternate Stoop
A10	Axon Views
A11	Existing Windows & Doors
S1	Structural Design - TBD
M1	HVAC - TBD
P1	Plumbing - TBD
E1	Electrical - TBD

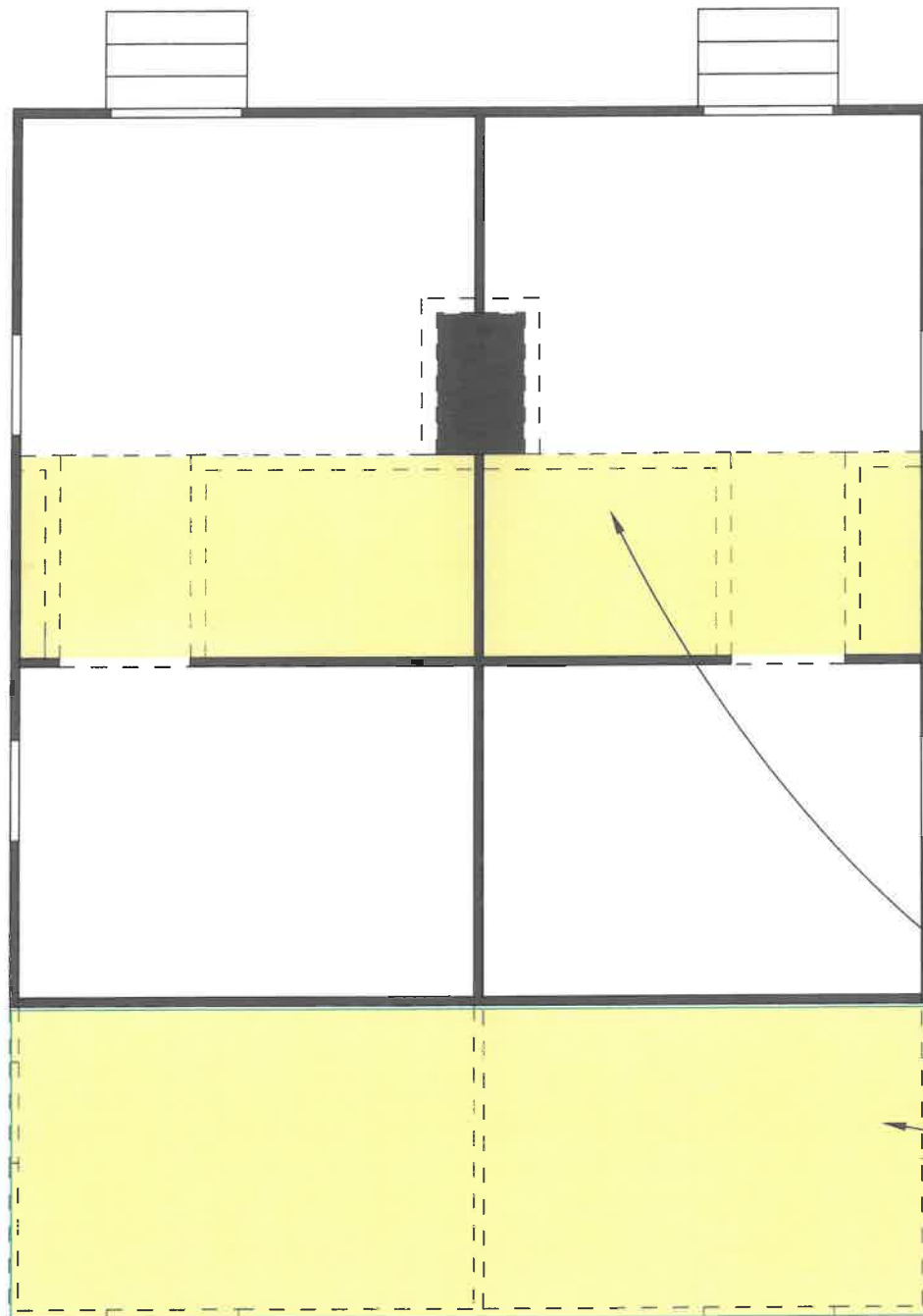


514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25
1	4/22/25

Cover
Page
A1



Early Work Floor Plan
3/16"=1'

General Early Work Notes:

- 1) Confirm all utilities have been cut, capped, and made safe prior to commencing Early Work activities, inclusive of all water, sewer, electricity, TV Cable, Phone, and gas utilities.
- 2) Temporary power provided from 210 Lafayette Street.
- 3) Remove & properly dispose of all interior contents (furniture, cabinets, debris, etc.).
- 4) Remove & dispose of all plumbing fixtures except claw foot tubs; salvage clawfoot tubs and place in backyard on wood donnage with tub feet and all other existing accessories.
- 5) Remove all carpet, pad, vinyl flooring and subfloor layers to reveal the structural floor boards. Execute flooring removal in a manner with minimal scraping to underlying boards.
- 6) Remove and dispose all mechanical, electrical, and plumbing systems complete including all conduit, piping, window units, exhaust fans, etc. Cap water as close to meter as possible without excavating. Cap sewer below floor structure. Demo all electrical panels, meter panel and weatherheads for electrical services in order to provide access for siding repairs.
- 7) Remove and dispose of all gypsum board and associated fasteners from walls and ceilings.
- 8) Remove carpet/pad and one layer of wood flooring to expose original floor boards.
- 9) Remove and dispose of existing shingle roofing and underlayments to expose existing roofing boards/sheathing.
- 10) Repair and/or replace all damaged or deteriorated roofing boards and sheathing.
- 11) Remove and salvage all exterior siding, fascia, trim, etc. to expose barge board framing members. Store salvaged materials on site and protect from weather and ground water.
- 12) Remove and dispose of stud-framed bathroom walls including infill framing within highlighted area. Maintain existing barge board walls and provide temporary shoring/bracing as required.
- 13) Remove two rooms at back of house complete within highlighted area including all exterior siding, framing, footings, and contents.

514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25

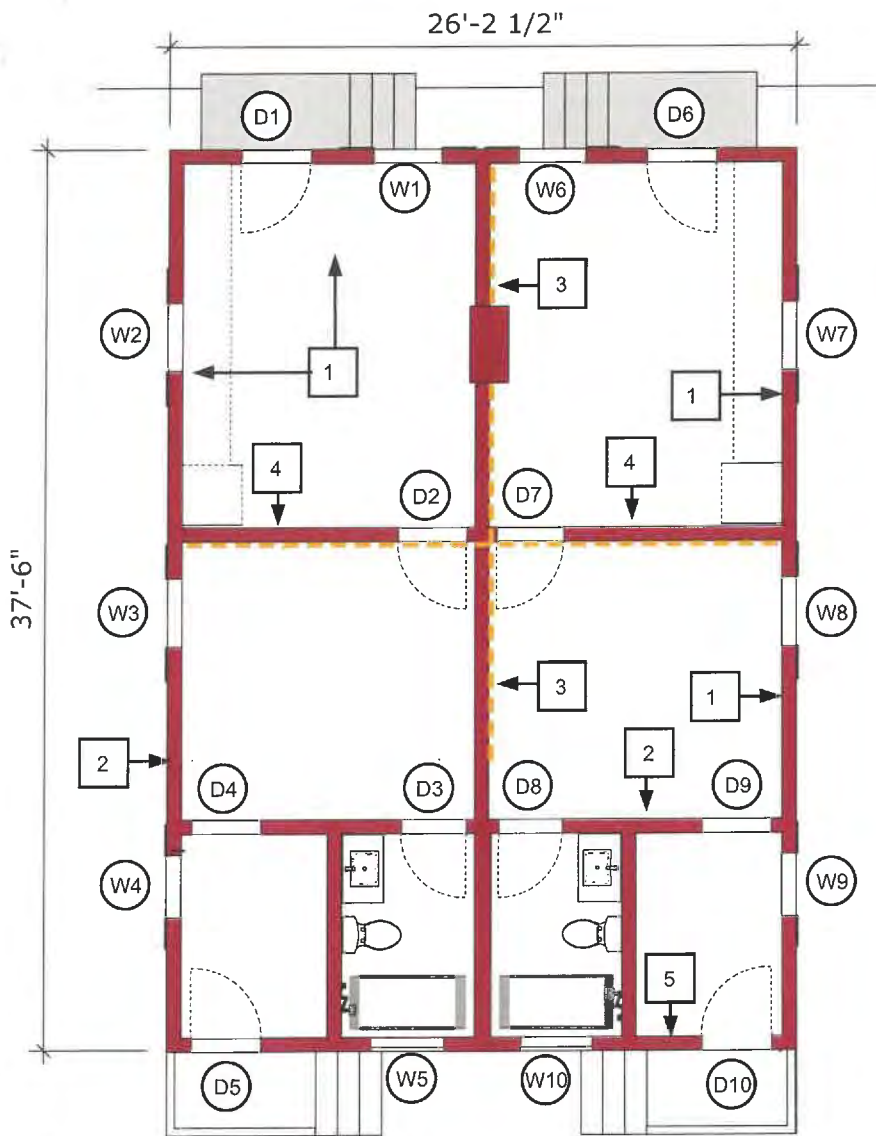
Early
Work
Floor Plan
A2



514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25



1) First Floor plan
1/8" = 1'

Wall Types

- 1) Exterior Wall Type - Barge Board clad with plywood at exterior surface and 2x4 furring at interior side of barge board.
- 2) Exterior Wall Type - New 2x6 framed wall clad with exterior plywood
- 3) Interior Barge Board Wall with 2x4 framing - 1 hr fire wall
- 4) Interior Barge Board Wall with 2x4 framing - non rated
- 5) Interior Wall Type - New 2x4 framed wall

Floor Plan General Notes:

- 1) Remove and replace all damaged and deteriorated framing in kind.
- 2) Provide new in-wall blocking as required for all wall hung cabinets & bathroom accessories
- 3) New interior sheetrock to be 1/2" type x throughout. Use water resistant green board on wet side of all bathroom and kitchen walls.
- 4) Provide all required corner beads, joint trim, and other sheetrock accessories required for a complete job.
- 5) Finish all sheetrock to a minimum of a level 4 finish.
- 6) Take care to protect all exposed barge board, particularly while taping/finishing sheetrock, painting, and similar activities.
- 7) Keep barge board exposed at one side of wall type 3; the side marked with a dashed orange line. Fill all voids in barge board greater than 1/4" with clear poplar or pine. Prime and paint all exposed barge board per approved color samples.
- 8) Insulate all walls with batt insulation; use rockwool at 1 hour rated party wall marked type 3. Minimum R value at Exterior Walls = R19
- 9) New and Refurbished windows require shop drawings.
- 10) All new window and doors sizes must be field verified prior to fabrication.

Window ^{WX} & Door ^{DX} Schedule

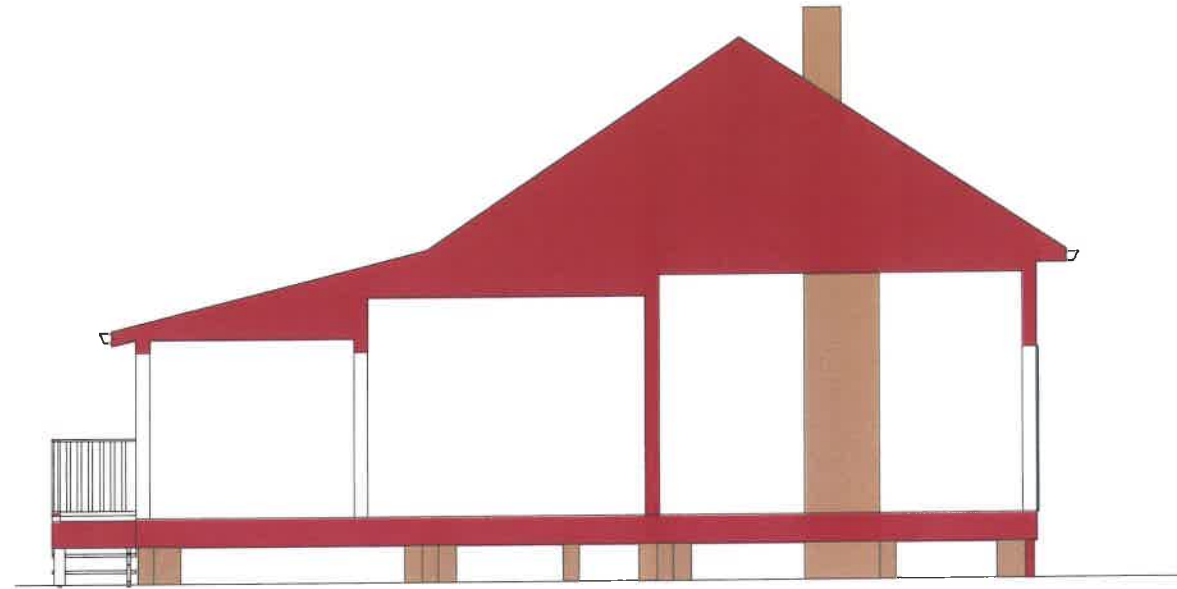
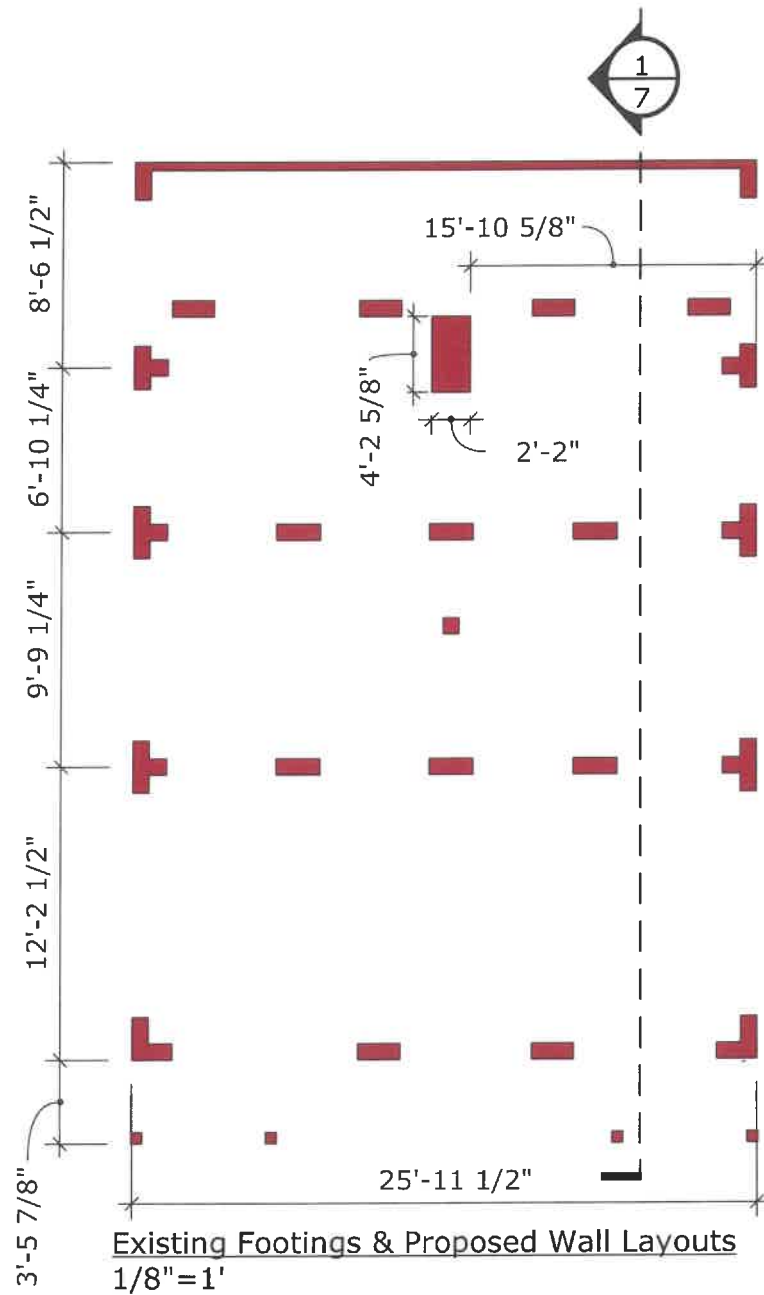
Tag	Size W	Size H	Type	Material	Note
W1	2'-10"	4'-11"	Existing	Wood	Refurbish Existing Dbl Hung Window
W2	2'-10"	4'-11"	New	Wood	6 over 6 replication window to replace modern aluminum replacement window
W3	2'-10"	4'-11"	New	Wood	Refurbish Existing Dbl Hung Window
W4	2'-10"	4'-11"	New	Wood	Refurbish Existing Dbl Hung Window
W5	3'-0"	1'-0"	New	Clad Wood	fixed window w/ 3 lites
W6	2'-10"	4'-11"	Existing	Wood	Refurbish Existing Dbl Hung Window
W7	2'-10"	4'-11"	Existing	Wood	Refurbish Existing Dbl Hung Window
W8	2'-10"	4'-11"	Existing	Wood	Refurbish Existing Dbl Hung Window
W9	2'-10"	4'-11"	New	Wood	6 over 6 replication window to replace modern aluminum replacement window
W10	3'-0"	1'-0"	New	Clad Wood	fixed window w/ 3 lites
D1	2'-10"	6'-10"	Existing	Wood	Refurbish existing exterior door
D2	2'-10"	6'-10"	Salvaged	Wood	Interior panel door
D3	2'-10"	6'-10"	New	Wood	Interior panel door
D4	2'-10"	6'-10"	New	Wood	Interior panel POCKET DOOR
D5	2'-10"	6'-10"	New	Wood	Exterior Door w/ Weather Stripping
D6	2'-10"	6'-10"	Existing	Wood	Refurbish existing exterior door
D7	2'-10"	6'-10"	Salvaged	Wood	Interior panel door
D8	2'-10"	6'-10"	New	Wood	Interior panel door
D9	2'-10"	6'-10"	New	Wood	Interior panel POCKET DOOR
D10	2'-10"	6'-10"	New	Wood	Exterior Door w/ Weather Stripping

514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision # Date
0 3/17/25

New Floor
Plan
A4



Section 1
1/8" = 1'

General Masonry & Foundation Notes:

- 1) Repair all existing brick piers, walls, and one chimney including re-pointing and replacing damaged brick in-kind.
- 2) Includes patching stucco band at front wall and prepping for paint.
- 3) Repoint existing interior fire places and chimneys where exposed to view in rooms and within attic.
All masonry repairs must utilize historically appropriate materials per National Parks Service standards.
- 4) Rebuild chimney through roof. Coordinate reglet step flashing with roofer.

514 & 516 2nd Street
Gretna, LA 70053

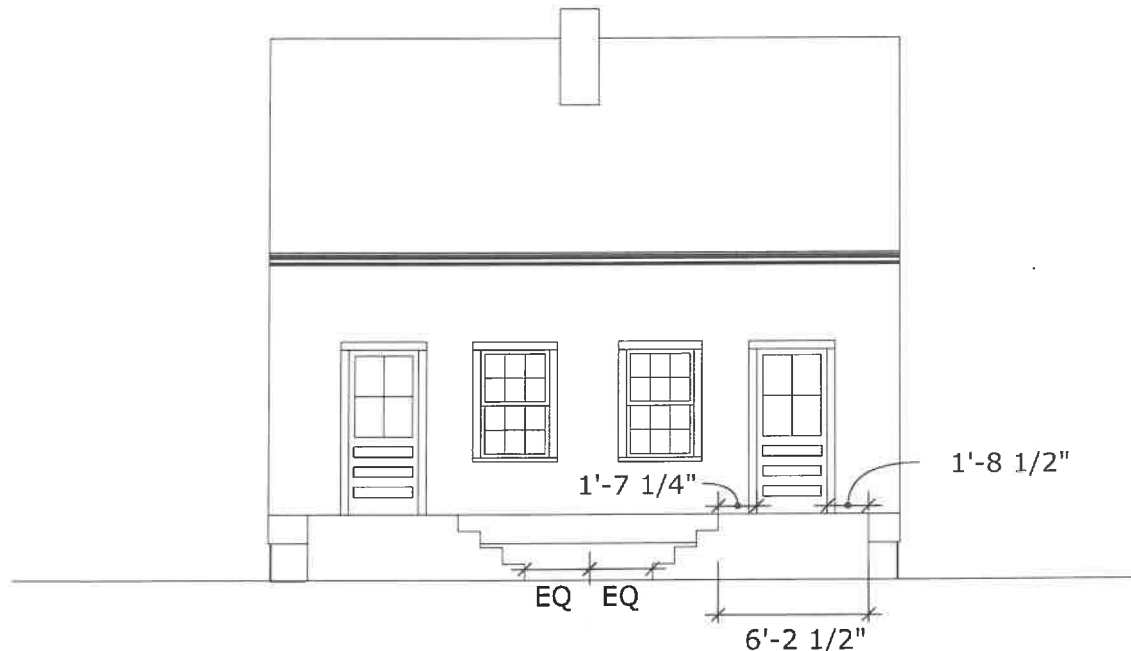
Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25

Foundation
& Masonry
Plan
A5



North Elevation - color & material patterns
1/8" = 1'



General Roofing notes:

- 1) Replace all deteriorated and damaged rafters and roof boards in-kind.
- 2) Use 5/8" plywood sheathing in lieu of roof boards in areas where a substantial amount of roof boards are deteriorated or damaged.
- 3) Install new 15 lb roofing felt within 18" of edge per manufacturer's instructions. Provide a r4" border with peel and stick Ice & Water Shield overlapping felt by 6".
- 4) Provide new 24ga kynar painted metal flashings including rake, roof edge, window head, and door head flashings.
- 5) Provide other misc. flashings required for a watertight roof installation.

General Siding Notes:

- 1) Apply AVB over exterior wall sheathing. Tape all joints and treat all penetrations per manufacturers recommendations. patch and repair all damaged AVB prior to installing new siding and trim.
- 2) Replace all siding, aprons, fascia, and other running and standing exterior trim in-kind using salvaged materials to greatest extent possible.
- 3) Match existing siding overlap dimension where salvaged siding is reinstalled. On facades receiving mostly new siding material, use matching profile and reveal with new cedar siding.
- 4) Back Prime all siding and trim and let cure 1 day before installing on house.
- 5) Provide new gutters and downspouts. Install simple cove molding tight to underside of gutters. Cove height to be sized to extend within 1/4" +/- of the bottom edge of the fascia.
- 6) Prime all siding and trim and provide two top coats with acrylic exterior paint.

514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25
1	4/22/25

North
Elevation
A6



South Elevation - color & material patterns

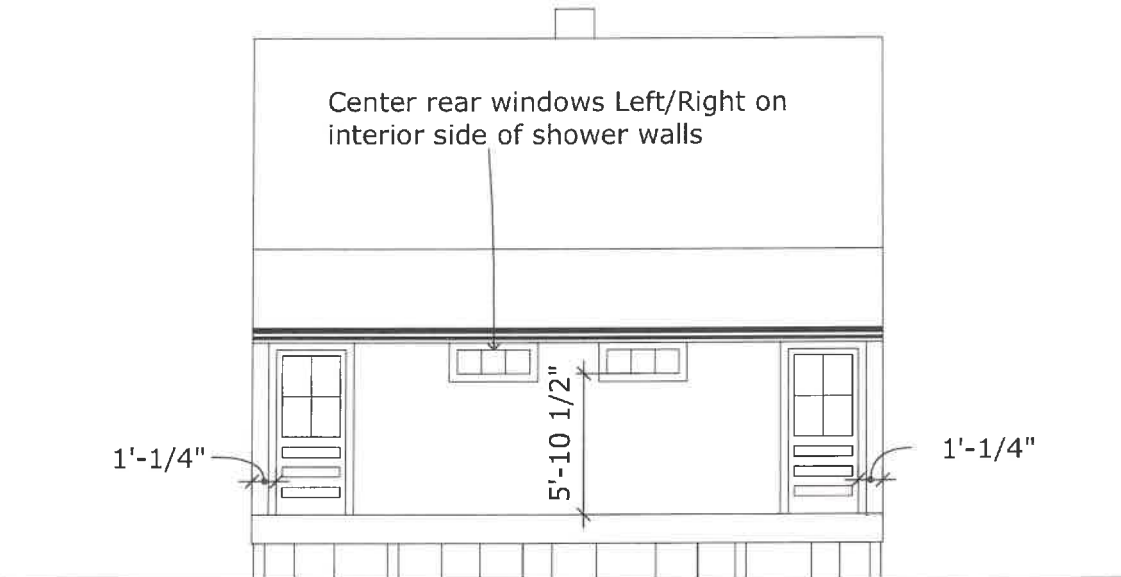
1/8" = 1'

General Roofing notes:

- 1) Replace all deteriorated and damaged rafters and roof boards in-kind.
- 2) Use 5/8" plywood sheathing in lieu of roof boards in areas where a substantial amount of roof boards are deteriorated or damaged.
- 3) Install new 15 lb roofing felt within 18" of edge per manufacturer's instructions. Provide a r4" border with peel and stick Ice & Water Shield overlapping felt by 6".
- 4) Provide new 24ga kynar painted metal flashings including rake, roof edge, window head, and door head flashings.
- 5) Provide other misc. flashings required for a watertight roof installation.

General Siding Notes:

- 1) Apply AVB over exterior wall sheathing. Tape all joints and treat all penetrations per manufacturers recommendations. patch and repair all damaged AVB prior to installing new siding and trim.
- 2) Replace all siding, aprons, fascia, and other running and standing exterior trim in-kind using salvaged materials to greatest extent possible.
- 3) Match existing siding overlap dimension where salvaged siding is reinstalled. On facades receiving mostly new siding material, use matching profile and reveal with new cedar siding.
- 4) Back Prime all siding and trim and let cure 1 day before installing on house.
- 5) Provide new gutters and downspouts. Install simple cove molding tight to underside of gutters. Cove height to be sized to extend within 1/4" +/- of the bottom edge of the fascia.
- 6) Prime all siding and trim and provide two top coats with acrylic exterior paint.



South Elevation

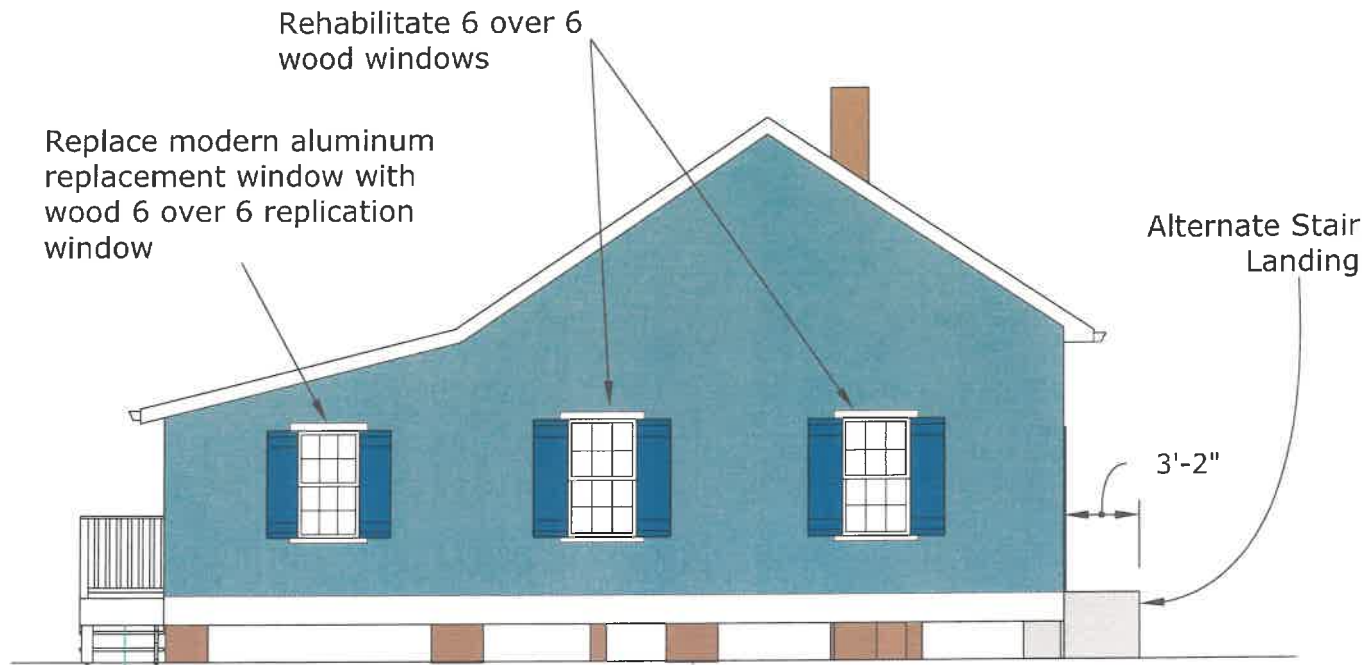
1/8" = 1'

514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25

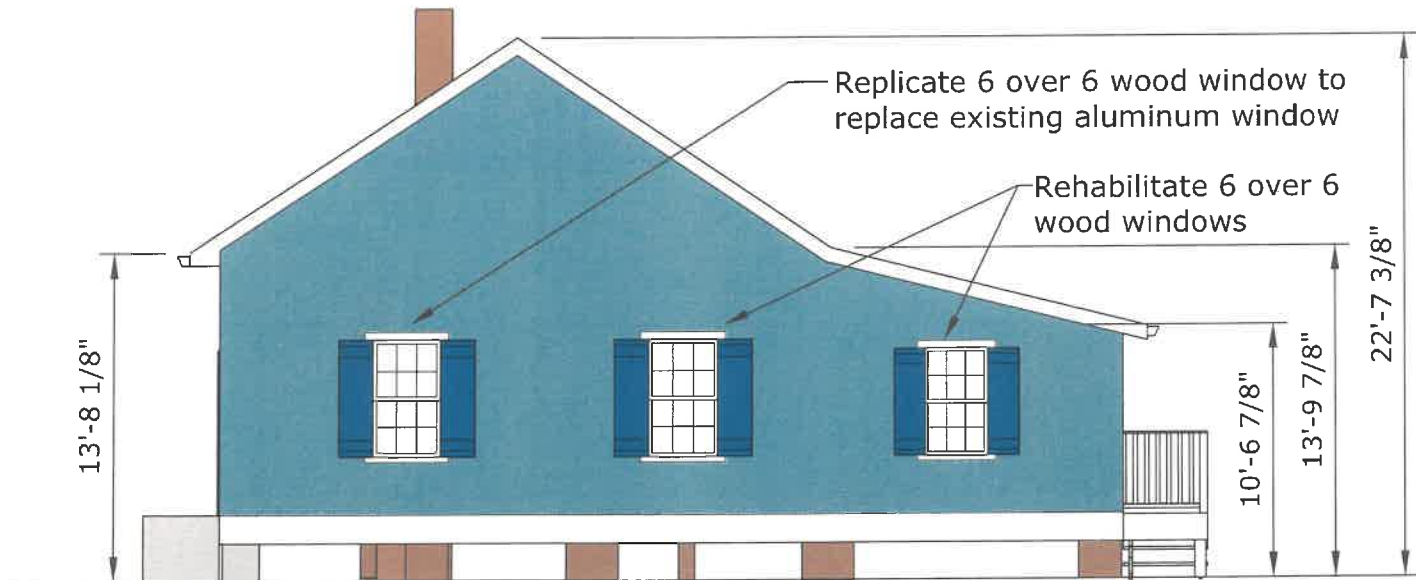
South
Elevation
A7



East Elevation
1/8" = 1'



Alternate Stair Landings - North Elevation
1/8" = 1'



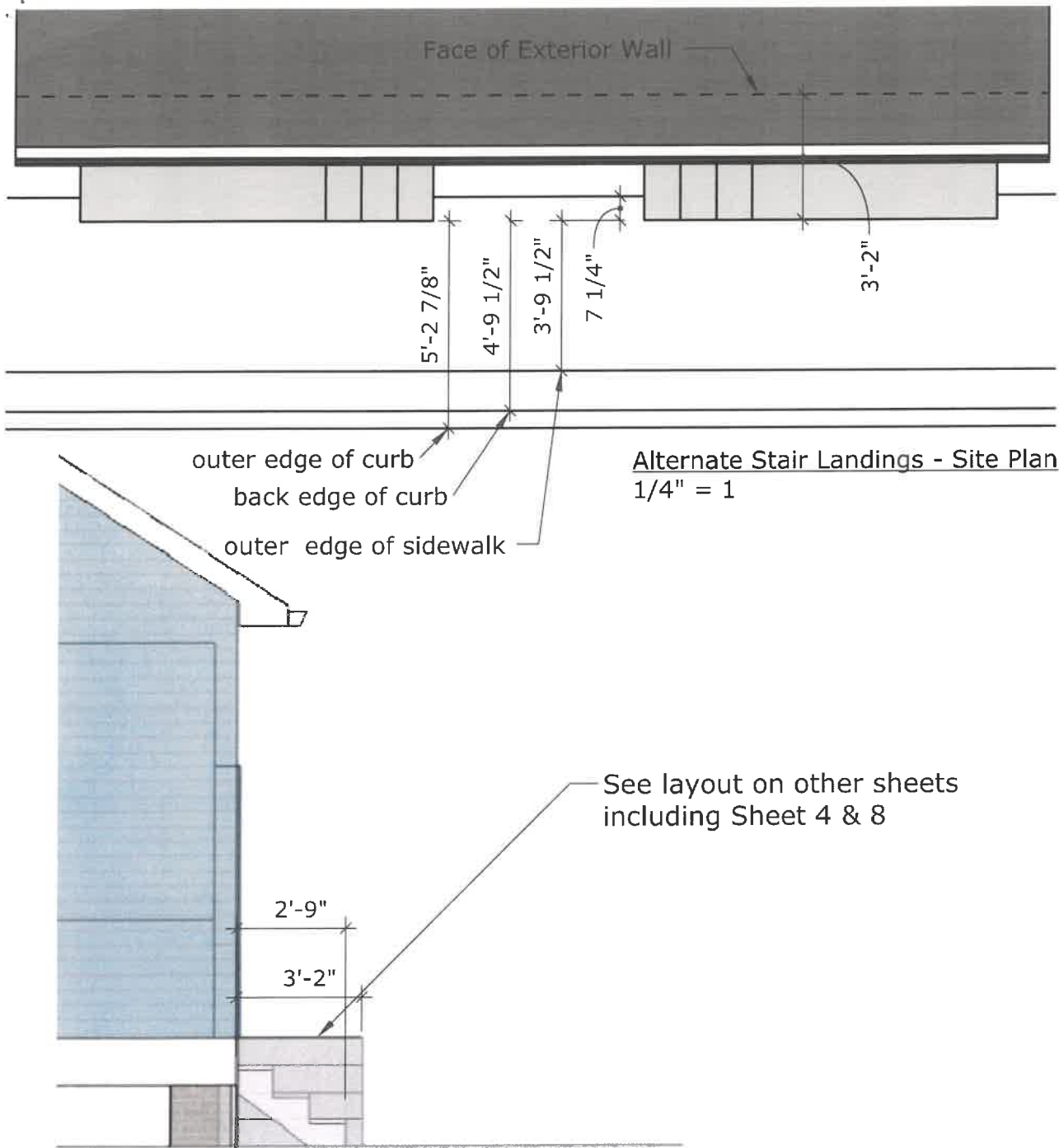
West Elevation
1/8" = 1'

514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25
1	4/22/25

Elevations
E/W
A8



Alternate Stair Landings - East Elevation

1/4" = 1'

In accordance with the Americans with Disabilities Act, if special assistance is needed, please contact the City Clerk's Office at (504) 227-7614, Page 98 of 100

Proposing new shallow masonry stoop with a simple metal railing oriented parallel to the sidewalk to create a safe landing for entry and emergency egress. The minimum width for such a landing is "not less than 36 inches measured in the direction of travel" per 2021 IRC Chapter 3 Section R311.3.



Inspiration for new Exit/Entry Landing and stairs



Existing Condition at 514 & 516 2nd Street

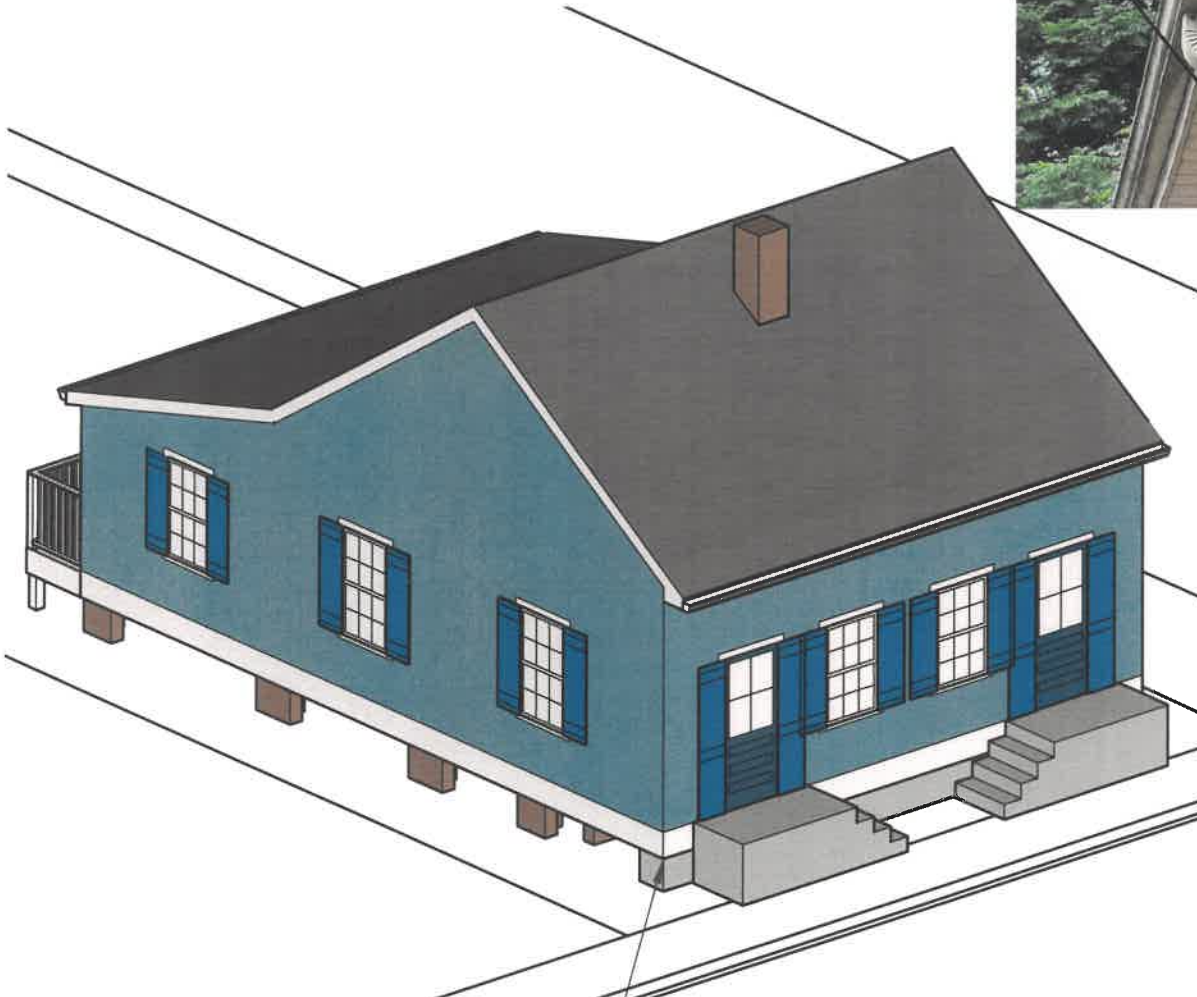
514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision # Date

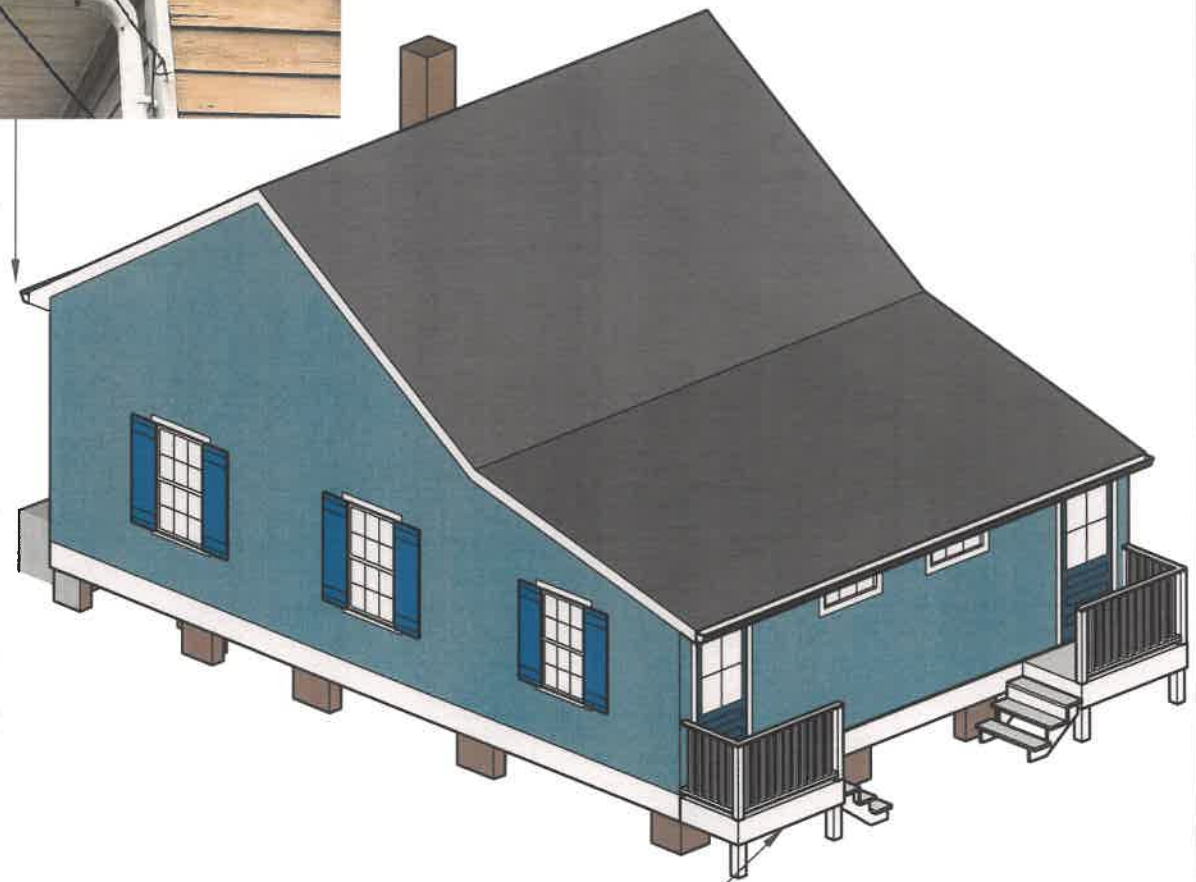
1 4/22/25

Alternate
Stoop
A9



Axon Front View
1/8"=1'

Tuckpoint front wall and connected piers where accessible
Patch stucco below existing grade for entire front wall wrapping
around three sides of the connected piers. Repair stucco with pins and
reinforcing mesh per the patch manufacturer's requirements.



Axon Rear View
1/8"=1'

New egress stair landings from KDAT lumber
Flash apron with building paper slip sheet
before mounting KDAT deck framing with clips
mounted through apron into rim beam.

514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
0	3/17/25
1	4/22/25

Axon Views
A10



D1



W1



W6



D6



W7



W3



W2



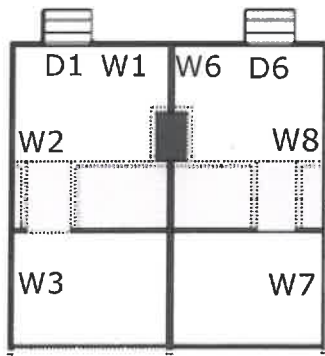
W1 Trim



W6 Trim



W7 Trim



514 & 516 2nd Street
Gretna, LA 70053

Tom Weathers
& Emily Harris
504-360-6243

Revision #	Date
1	4/22/25

Existing
Windows &
Doors
A11