

**THE CITY OF GRETNA  
HISTORIC DISTRICT COMMISSION  
MEETING**

**740 Second Street, Gretna, LA 70053  
Council Chamber, second floor**

**August 4, 2025 - 4:00 PM**

**AGENDA**

**AGENDA ITEM(S):**

**1. Call to Order/Roll Call**

**2. Oath of Office:**

(1) Historic District Commission Members:

Sandra Banks  
Zachary "Zack" Dieterich  
Burdell Muller

**3. CONSENT APPROVAL for Certificate of Appropriateness:**

(2) 504 First Street

Fence - Michael Ledet, Applicant (District 1)

(3) 836 Huey P. Long Avenue

Fence - Jacob Wolfe, Applicant (District 2)

(4) 628 Fourth Street

Window Decal - Bria Scott, Applicant (District 2)

(5) 501 Derbigny Street

Door and sidelights - Joseph "Joe" Marino, Applicant (District 2)

(6) 1114 Washington Street

Door and back windows - Nelson Clayton, Applicant (District 2)

**4. Properties with request for Certificate of Appropriateness:**

(1) 228 Amelia Street

Accessory Building - Eduardo Miller, Applicant (District 2)

(2) 216 Amelia Street

Addition - Ronald Orgeron, Jr., Applicant (District 2)

(3) 938 11th Street

Deviation from approved COA-25-001-Ronald Orgeron, Jr., Applicant (District 2)

- (4) 737 Lafayette Street  
Renovations - Jonathan Liberto, Applicant (District 2)
- (5) 237 Lafayette Street  
Front Door - Peter DiMartino, Applicant (District 2)
- (6) 439 Ocean Avenue  
Doors and siding. Preliminary Conference - Thang Le, Applicant (District 1)
- (7) 441 Ocean Avenue  
Doors and siding Preliminary Conference - Thang Le, Applicant (District 1)
- (8) 624 Magellan Street  
New Construction, Preliminary Conference - Brett Gross, Applicant (District 1)
- (9) 739 Fourth Street  
Trim Lights - Peter DeBroeck, Applicant (District 2)
- (10) 925 Madison Street  
Handrails, "Stop Work Order" - Zach Dietrich, Applicant (District 1)
- (11) 1024 Fourth Street  
Commercial Renovations - Paula Peer, Applicant (District 2)

**5. Other Matters:**

**6. Meeting Adjournment.**



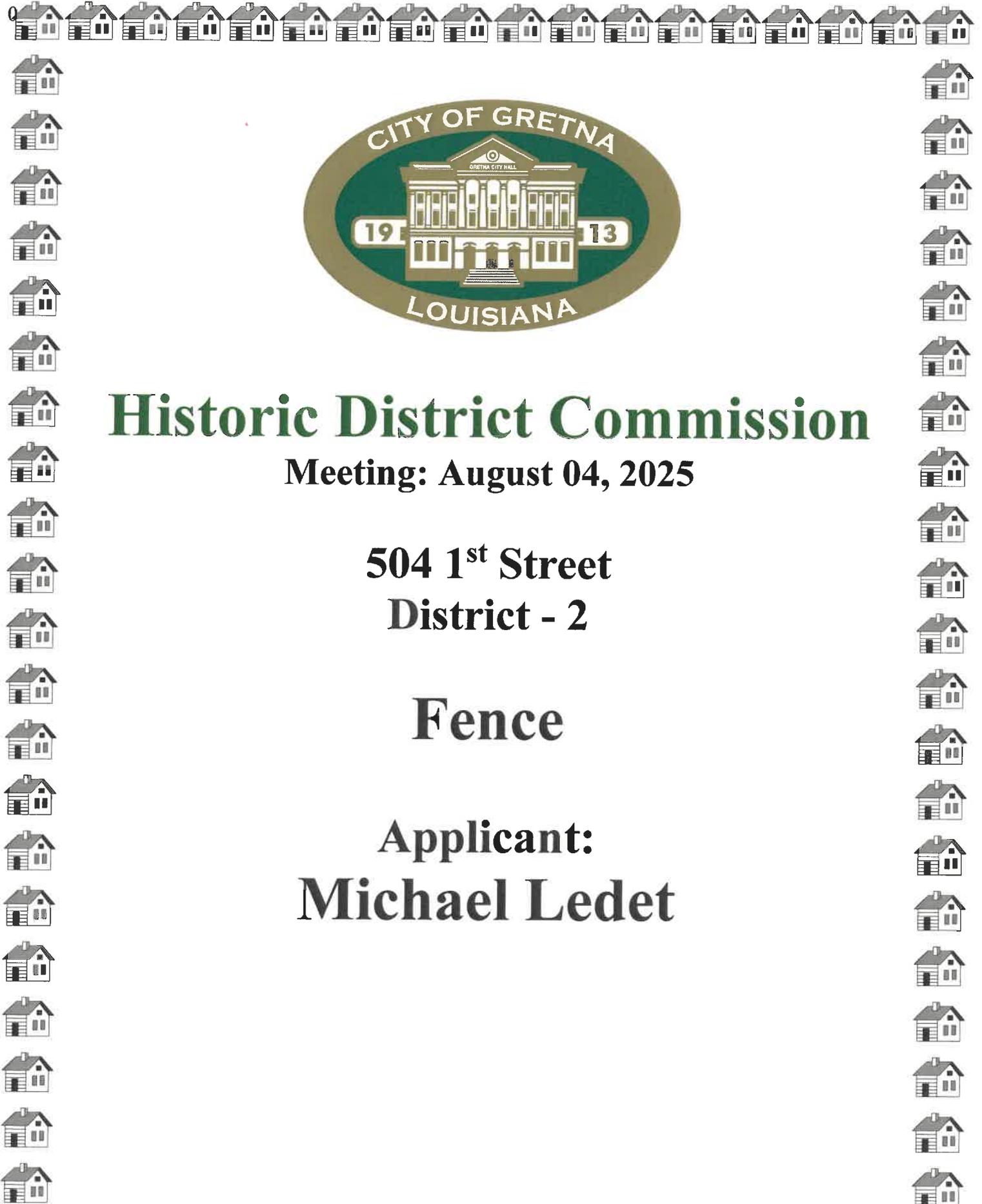
# Historic District Commission

Meeting: August 04, 2025

504 1<sup>st</sup> Street  
District - 2

Fence

Applicant:  
Michael Ledet



#8641



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham Gretna Historic District.
McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
Moving of a historic building
Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
New construction of a building or accessory building or structure, if subject to view from a public street
Change in existing walls and fences or construction of new walls and fences if along a public street
Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration - any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition - the complete, partial or constructive removal of a building from any site

Historic building - a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change - changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: Riverview Condominiums = 504 1st Street, Gretna, LA 70053  
Renovation: N/A \* Replacement of Damaged Vinyl Fence  
New Construction: N/A  
Demolition: N/A

Age of Structure: Approx 2013

**Building Type:**

Creole Cottage \_\_\_\_\_  
Shotgun \_\_\_\_\_  
Bungalow \_\_\_\_\_  
Other Condominium

**Building Style:**

Greek Revival \_\_\_\_\_  
Italianate \_\_\_\_\_  
New Orleans Bracketed \_\_\_\_\_  
Eastlake \_\_\_\_\_  
Colonial Revival \_\_\_\_\_  
Other \_\_\_\_\_

**Exterior materials proposed:**

Fence: Kiln Dried Treated Wood (stained)

Roof \_\_\_\_\_ Soffit \_\_\_\_\_  
Fascia \_\_\_\_\_ Siding \_\_\_\_\_  
Masonry \_\_\_\_\_ Porches \_\_\_\_\_  
Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_  
Style of windows: \_\_\_\_\_  
Type of exterior doors: \_\_\_\_\_  
Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space:      ft.      Side Space: 7 ft.  
Rear Space:      ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Michael Ledet Date: 7-14-25

Applicant's Name: Michael Ledet: HOA President

Applicant's Address: 504 First Street, Gretna, LA 70053 Unit #303

Phone No: ( ) / / Cell No: (504) 722-2563

**For Office Use Only:**

Application date: July 14, 2025

Substantive Change: Yes  No

Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

### Mayor

Belinda Cambre Constant

### Councilmembers

Wayne A. Rau

### Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

### Departments

#### Building

Danika E. Gorrondona

#### Citizens' Affairs

Rachael Stanley

#### City Clerk

Norma J. Cruz

#### City Development

Amelia Pellegrin

#### Code Enforcement

Angel L. Gonzales

#### Environmental Affairs

Madason Priore

#### Finance & Tax

Raylyn C. Stevens

#### Human Resources

Gwen Turner

#### Information Technology

Michael T. Wesley

#### Operations

Eric Stahl

#### Parks & Parkways

Amie L. Hebert

#### Public Utilities

Ron Johnson

I, Michael Ledet the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4<sup>th</sup> at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Michael Ledet

Signature of Applicant

HOA President

Michael Ledet

Name of Applicant (Please Print)

504 1<sup>st</sup> Street, Gretna LA #303

Applicant's Address

504 1<sup>st</sup> Street, Gretna, LA 70053

Address under HDC review

Date: July 14, 2025













ML

SQUARE 2, VILLAGE OF GRETNIA  
CITY OF GRETNIA  
JEFFERSON PARISH, LA

SECOND STREET (SIDE)

SQUARE 2 VILLAGE OF GRETNIA

SQUARE 4 VILLAGE OF MECHANIQUEAN

8157

LAFAYETTE AVENUE (SIDE)

STREET

LAVOISIER

8C

FIRST STREET

FEBRUARY 4, 2013  
SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS  
OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS C SURVEY.  
MADE AT THE REQUEST OF PAT HARDS

DUFRENE SURVEYING  
& ENGINEERING INC.

Professional Engineer  
No. 10000  
State of Louisiana

*[Handwritten Signature]*

STANDARD AS BASED ON THE LATEST EDITION OF THE SURVEYING CODE OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS C SURVEY. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE SURVEYING CODE OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS C SURVEY. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PREVIOUS SURVEYS OF THIS PROPERTY AND HAS FOUND THEM TO BE CORRECT AND COMPLETE. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE PREVIOUS SURVEYS OF THE ADJACENT PROPERTY AND HAS FOUND THEM TO BE CORRECT AND COMPLETE. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE PREVIOUS SURVEYS OF THE ADJACENT PROPERTY AND HAS FOUND THEM TO BE CORRECT AND COMPLETE.



SCALE: 1/4" = 1'-0"



# Historic District Commission

Meeting: August 04, 2025

836 Huey P Long Avenue  
District - 2

Fence

Applicant:  
Jacob Wolfe



8677

**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 836 Huey P Long Ave

Renovation: \_\_\_\_\_

New Construction: Fence Application Demolition: \_\_\_\_\_

Age of Structure: 1920

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow  \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

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Applicant's Signature: [Signature] Date: 7-23-25

Applicant's Name: Jacob Wolfe

Applicant's Address: Office - 143 Lapalco Blvd Gretna 70056

Phone No: (504) 393-2445 Cell No: (504) 810-6190

**For Office Use Only:**

Application date: 7-23-25

Substantive Change: Yes  No

Inventory Number: 2109

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: 08/04/2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

### Mayor

Belinda Cambre Constant

### Council Members

- Wayne A. Rau  
*Councilman-at-Large*
- Milton L. Crosby  
*District One*
- Michael Hinyub  
*District Two*
- Mark K. Miller  
*District Three*
- Jackie J. Berthelot  
*District Four*

### Departments

#### Building and Regulatory

- Danika Gorrondona
- Planning and Zoning
- Azalea M. Roussell

#### City Clerk

Norma J. Cruz

#### Finance & Tax Departments

Raylyn C. Stevens

#### Human Resources

Gwen Turner

#### Public Utilities

Michael J. Baudoin

#### Public Works

Daniel Lasyone

#### Parks and Recreation

Amie H. Hebert

#### Information Technology

Michael Wesley

I, Jacob Wolfe the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on 8.4.25 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Jacob Wolfe  
Signature of Applicant

Jacob Wolfe - Agent for John Alano  
NAME OF APPLICANT (PLEASE PRINT)

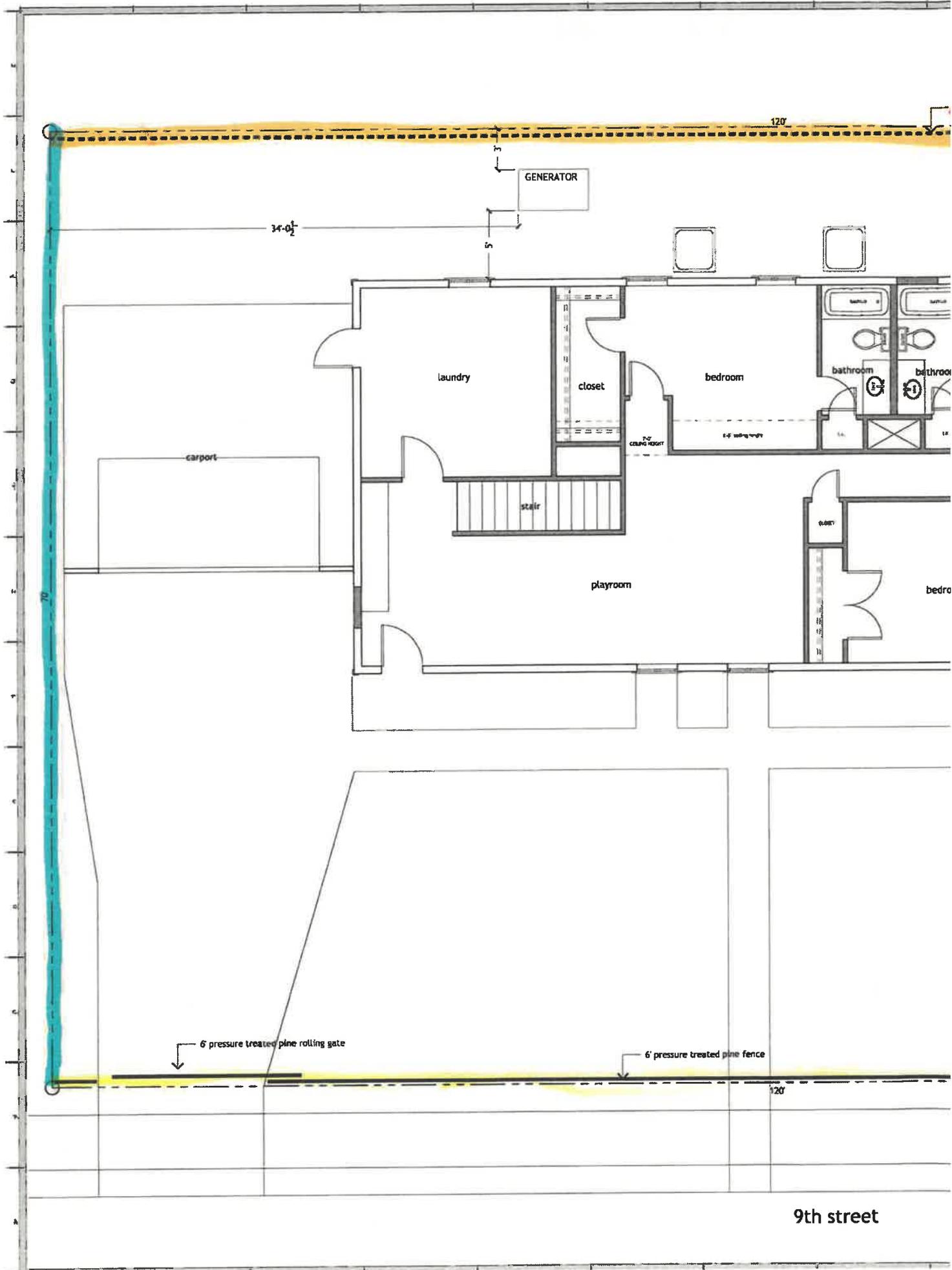
143 Lapala Blvd Gretna LA 70053  
Applicant's address

836 Huey P Long  
Actual address of the property for review

Date: 7-23-25

Fence will be stained - not green 836 Hwy + Long





9th street

CITY OF GRETNA  
HISTORIC DISTRICT COMMISSION  
CERTIFICATE OF APPROPRIATENESS

836 Huey P. Long  
PROPERTY ADDRESS

Robert Wolfe  
NAME OF APPLICANT

Work Approved: Removal of portion of wrought  
iron fence along 9th Street and  
Construct 6' wooden privacy fence  
Installation of historic <sup>iron</sup> fence along right side  
property line front yard. Wooden fence to be  
pulled off corners of house 6" - 1' on each side.

  
Signature of HDC Chairperson  
  
Signature of Applicant

12/2/2024  
Date  
2/26/25  
Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

**NOT VALID UNLESS POSTED ON SITE**

Please address all questions to:  
Gretna Department of Inspections  
740 2nd Street, Room 111, Gretna, LA, 70053  
(504) 363-1563 - [www.gretnala.com](http://www.gretnala.com)

**COA-24-119**





# Historic District Commission

Meeting: December 2, 2024

## 836 Huey P Long Avenue

(District 2)

**For: Demolition of wrought iron fence**

**Replace with wood fence**

**Preliminary conference 11/4/24**

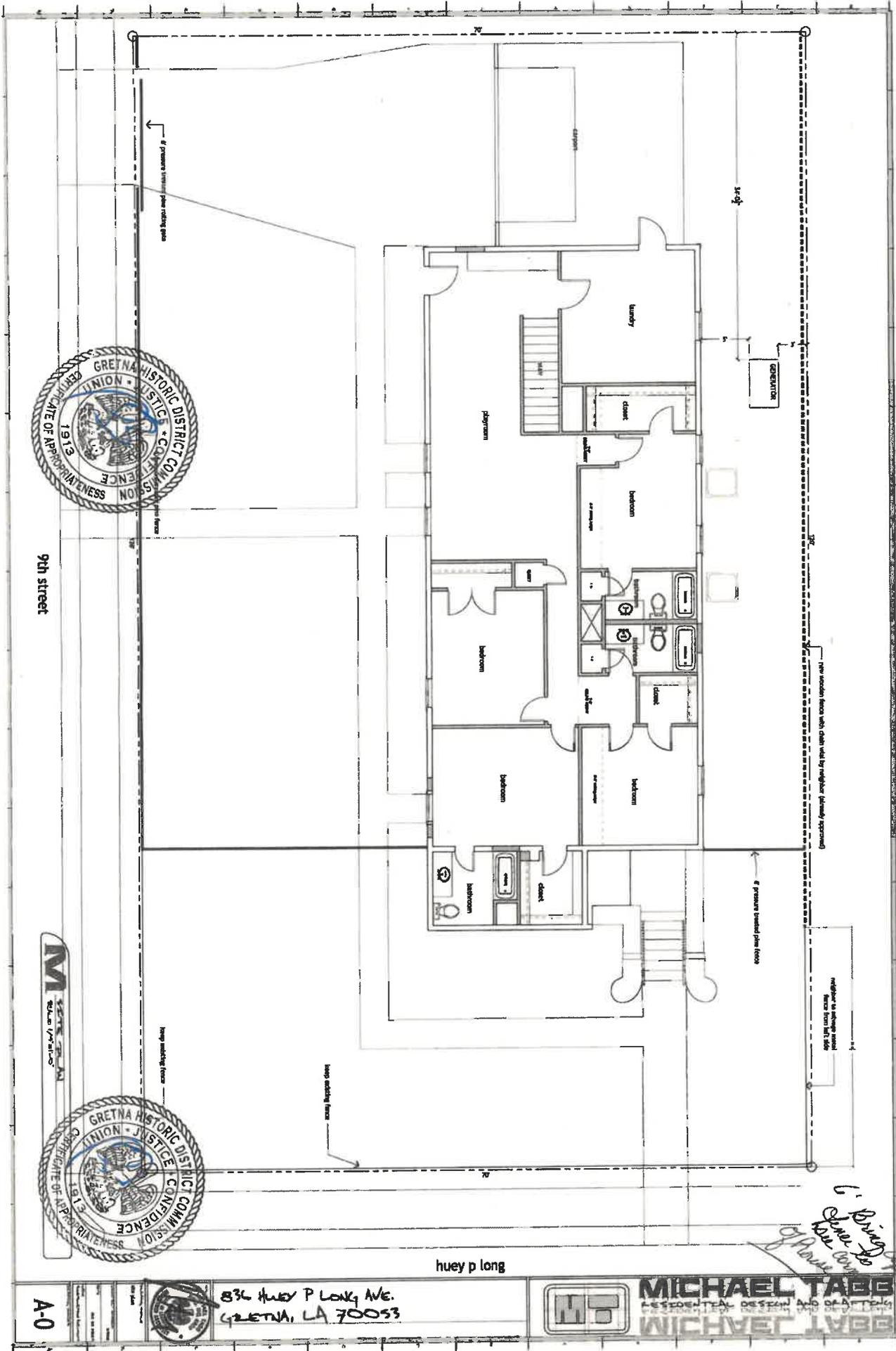
**Applicant:**  
**Robert Wolfe**

*ZD*  
*PD*  
*6-D*  
*JH-Exe*

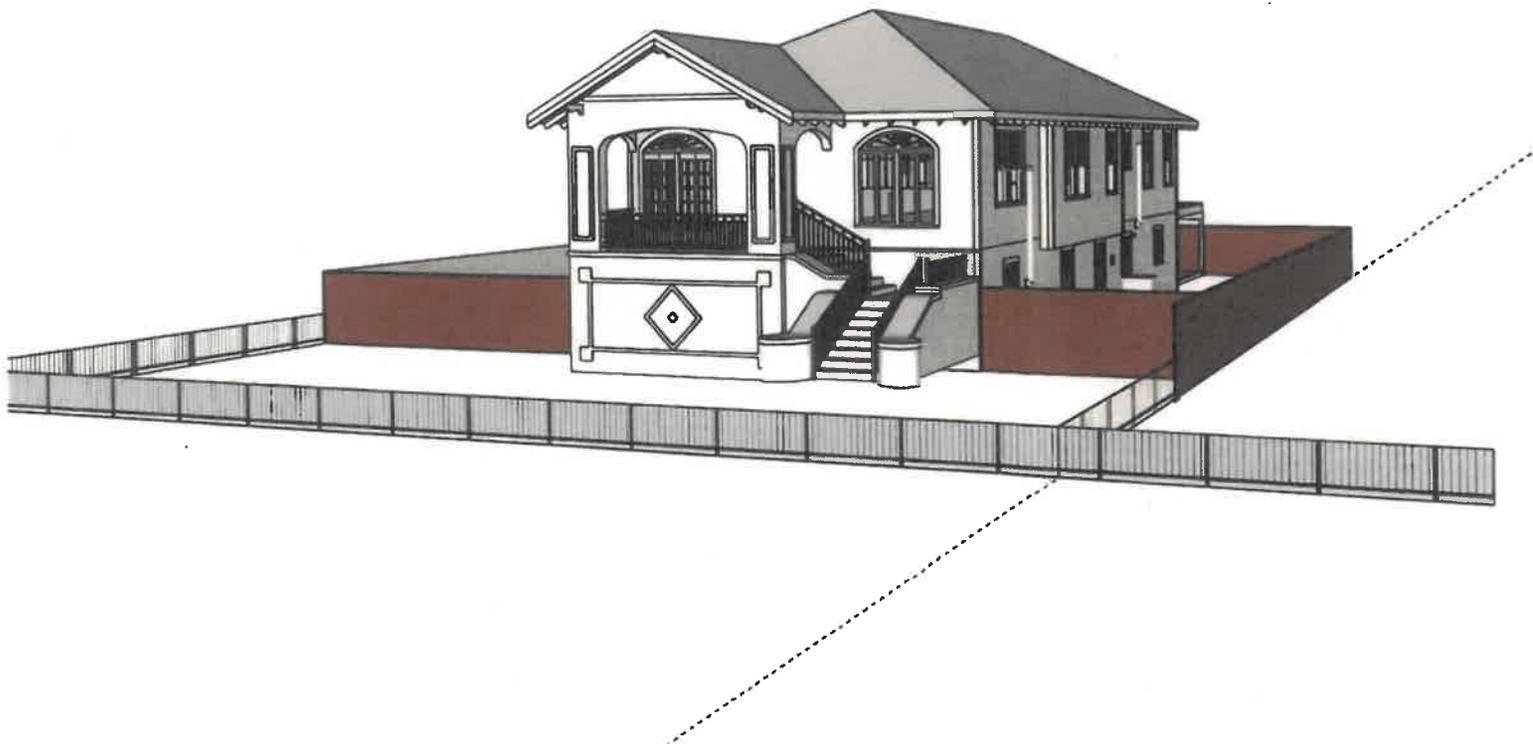


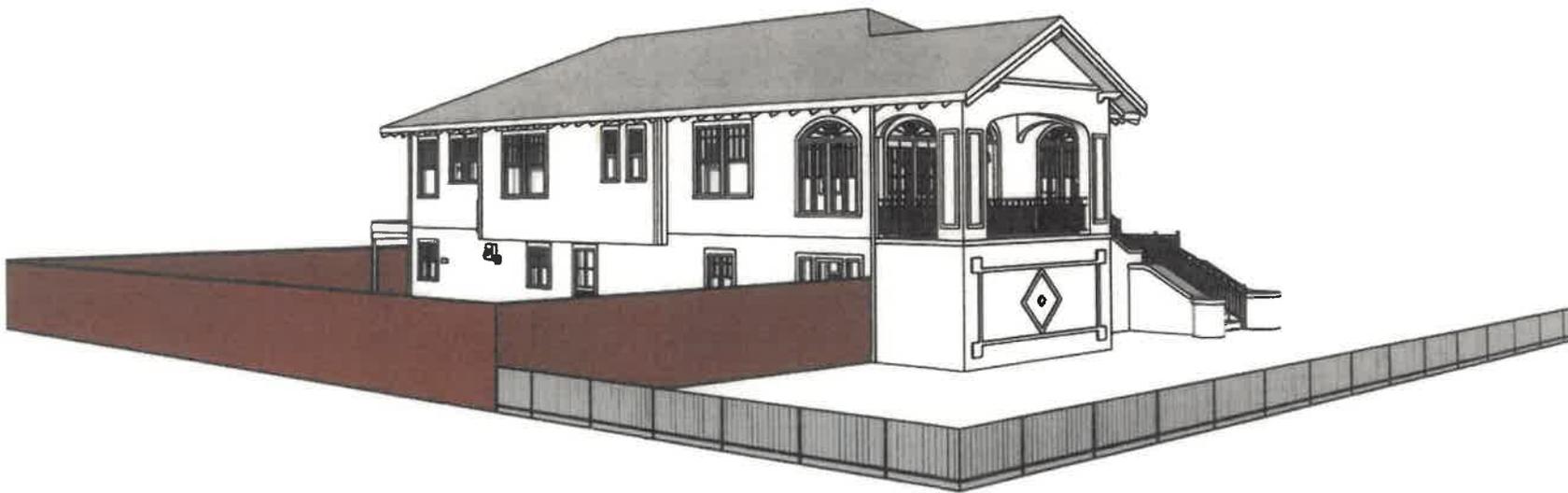
*wooden fence to be pulled back of corner of house*













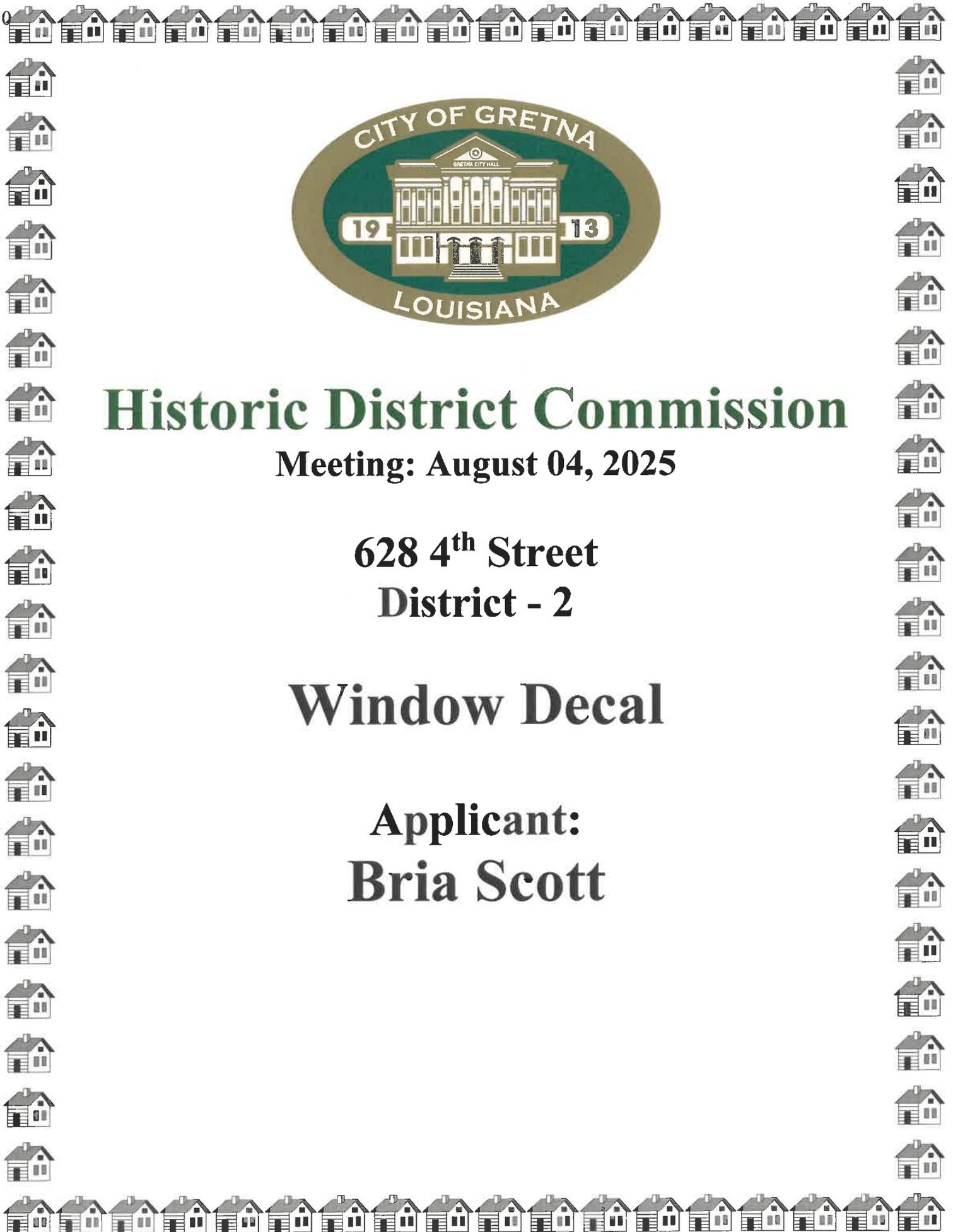
# Historic District Commission

Meeting: August 04, 2025

628 4<sup>th</sup> Street  
District - 2

Window Decal

Applicant:  
Bria Scott





Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: C28 4th St. Metairie, LA. 70053

Renovation: Window Decal

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other  \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

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Applicant's Signature: [Signature] Date: 7/22/2025

Applicant's Name: Bria Scott

Applicant's Address: 917 Palfrey St. Gretna, LA. 70053

Phone No: ( ) \_\_\_\_\_ Cell No: (504) 982-1553

**For Office Use Only:**

Application date: July 22, 2025

Substantive Change: Yes  No  Inventory Number: 414

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

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# City of Gretna

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P. O. Box 404

Gretna, Louisiana 70054-0404

**Mayor**

Belinda Cambre Constant

**Councilmembers**

Wayne A. Rau

**Councilman-at-Large**

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

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**Citizens' Affairs**

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**Public Utilities**

Ron Johnson

I, Bria Scott the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4, 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Bria Scott

Name of Applicant (Please Print)

917 Palfrey St. Gretna, LA. 70053

Applicant's Address

628 4th St. Gretna, LA. 70053

Address under HDC review

Date: 7/22/2025

Google Maps

625 4th St



Image capture: Nov 2024 © 2025 Google





Poised Pooch



GROOMING STUDIO

GRETNA, LA



30in x 40in





Signage

628

5ft x 85inch



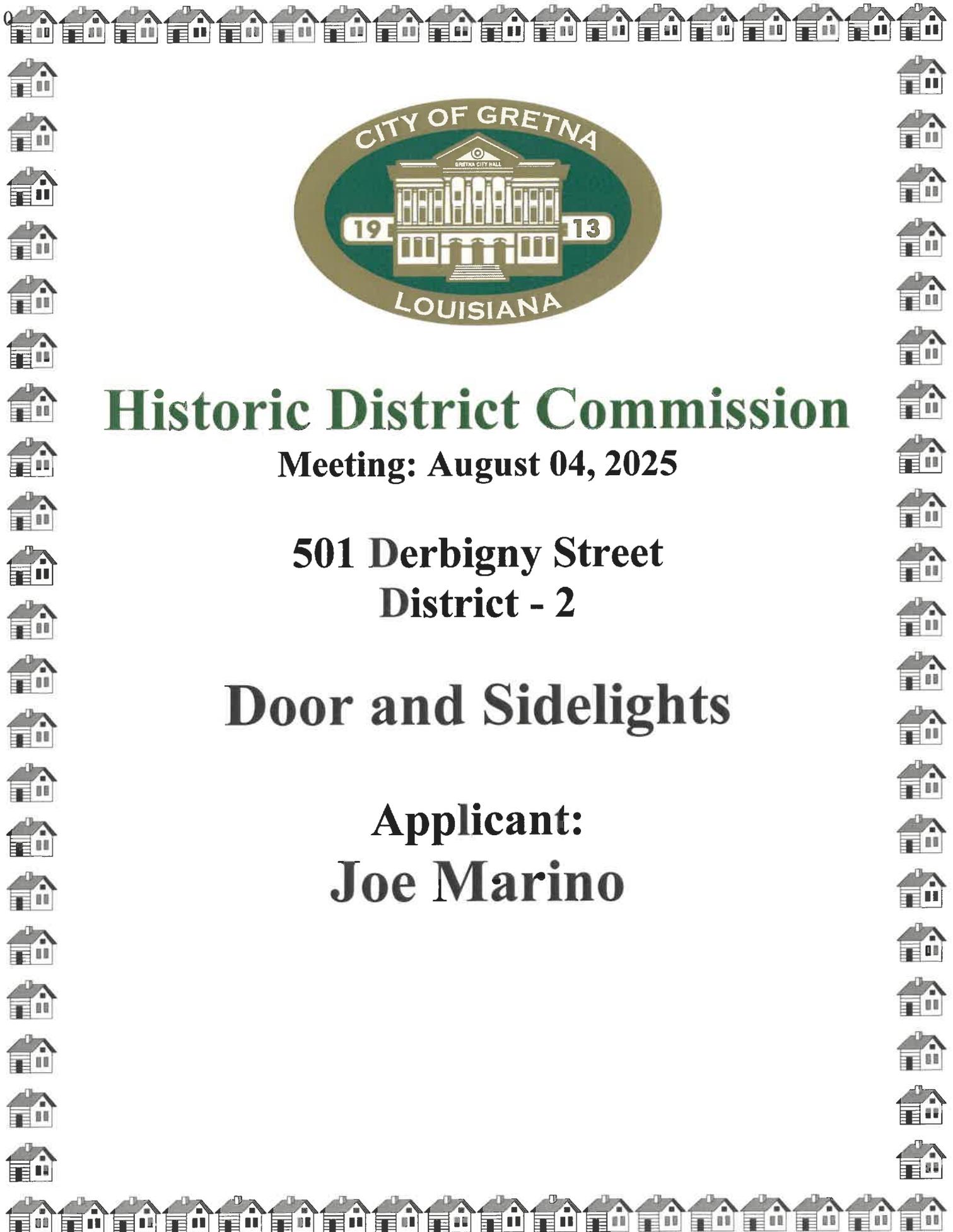
# Historic District Commission

Meeting: August 04, 2025

501 Derbigny Street  
District - 2

Door and Sidelights

Applicant:  
Joe Marino





# Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

#8670

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 501 Derbigny St Gretna

Renovation: Replace door & sidelights

New Construction: \_\_\_\_\_ Demolition: \_\_\_\_\_

Age of Structure: 1950

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other  \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other  \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: Fiberglass with 1/2 glass

Describe any ornamental woodwork: \_\_\_\_\_

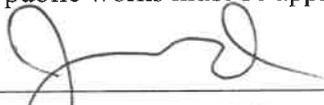
**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 07/23/25  
Applicant's Name: Joe Marino on behalf of Byron Bordeau  
Applicant's Address: 200 Amelia St Gretna  
Phone No: 504 362-0666 Cell No: ( )

**For Office Use Only:**

Application date: July 23, 2025  
Substantive Change: Yes  No  Inventory Number: 138  
Contributing Element to Gretna National Register Historic District: Yes  No   
Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

**Mayor**

Belinda Cambre Constant

**Council Members**

- Wayne A. Rau
- Councilman-at-Large*
- Milton L. Crosby
- District One*
- Michael Hinyub
- District Two*
- Mark K. Miller
- District Three*
- Jackie J. Berthelot
- District Four*

**Departments**

**Building and Regulatory**

Danika Gorrondona

**Planning and Zoning**

Azalea M. Rousell

**City Clerk**

Norma J. Cruz

**Finance & Tax Departments**

Raylyn C. Stevens

**Human Resources**

Gwen Turner

**Public Utilities**

Michael J. Baudoin

**Public Works**

Daniel Lasyone

**Parks and Recreation**

Amie H. Hebert

**Information Technology**

Michael Wesley

I, Joe Manno the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4 2025 @ 4:00 p.m., 740 2<sup>nd</sup> Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Joe Manno

NAME OF APPLICANT (PLEASE PRINT)

200 Amelia St Gretna

Applicant's address

501 Derbigny St. Gretna LA

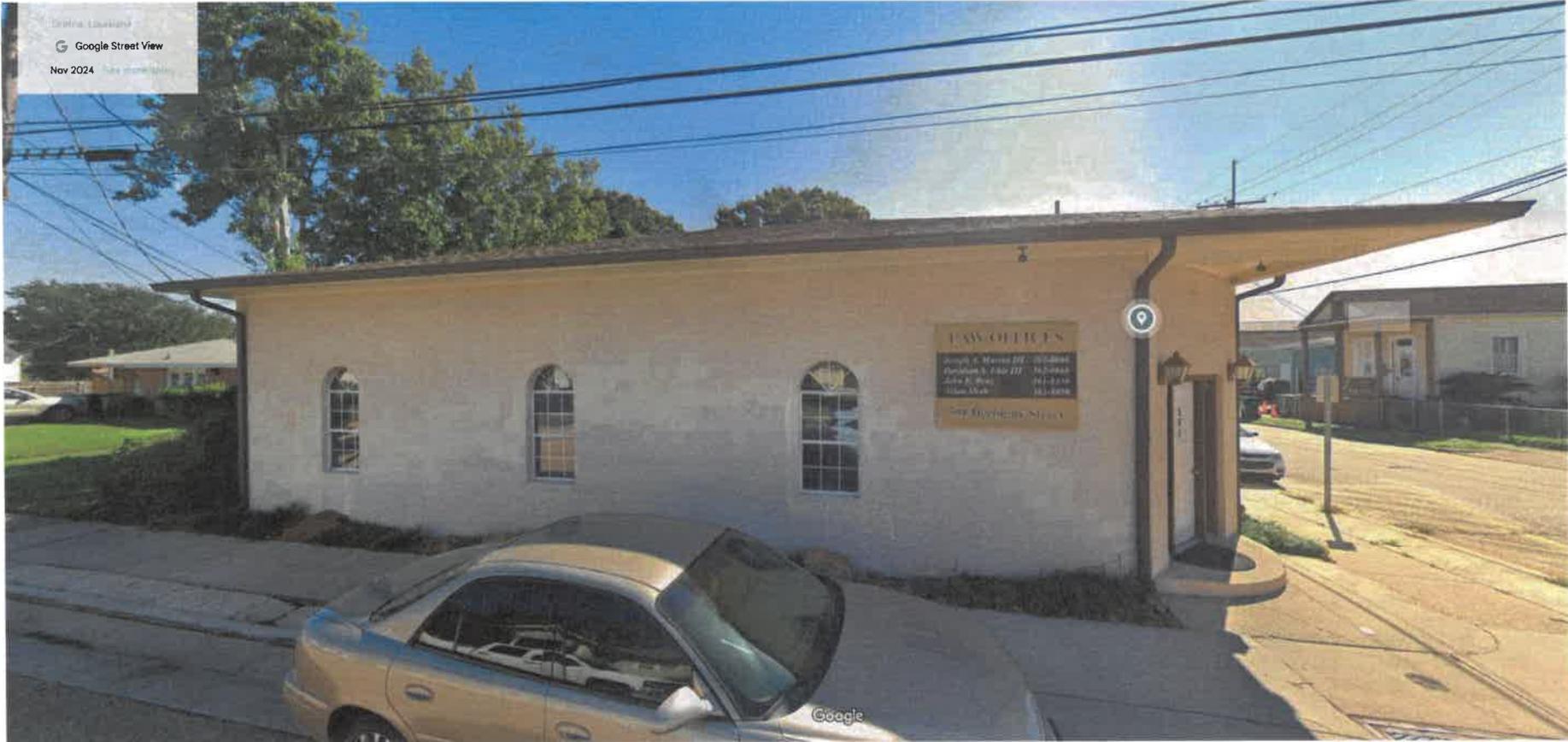
Actual address of the property for review

Date: 07/23/25



Google Maps

999 5th St



© 2025 Google  
 Google Street View  
 Nov 2024

Image capture: Nov 2024 © 2025 Google





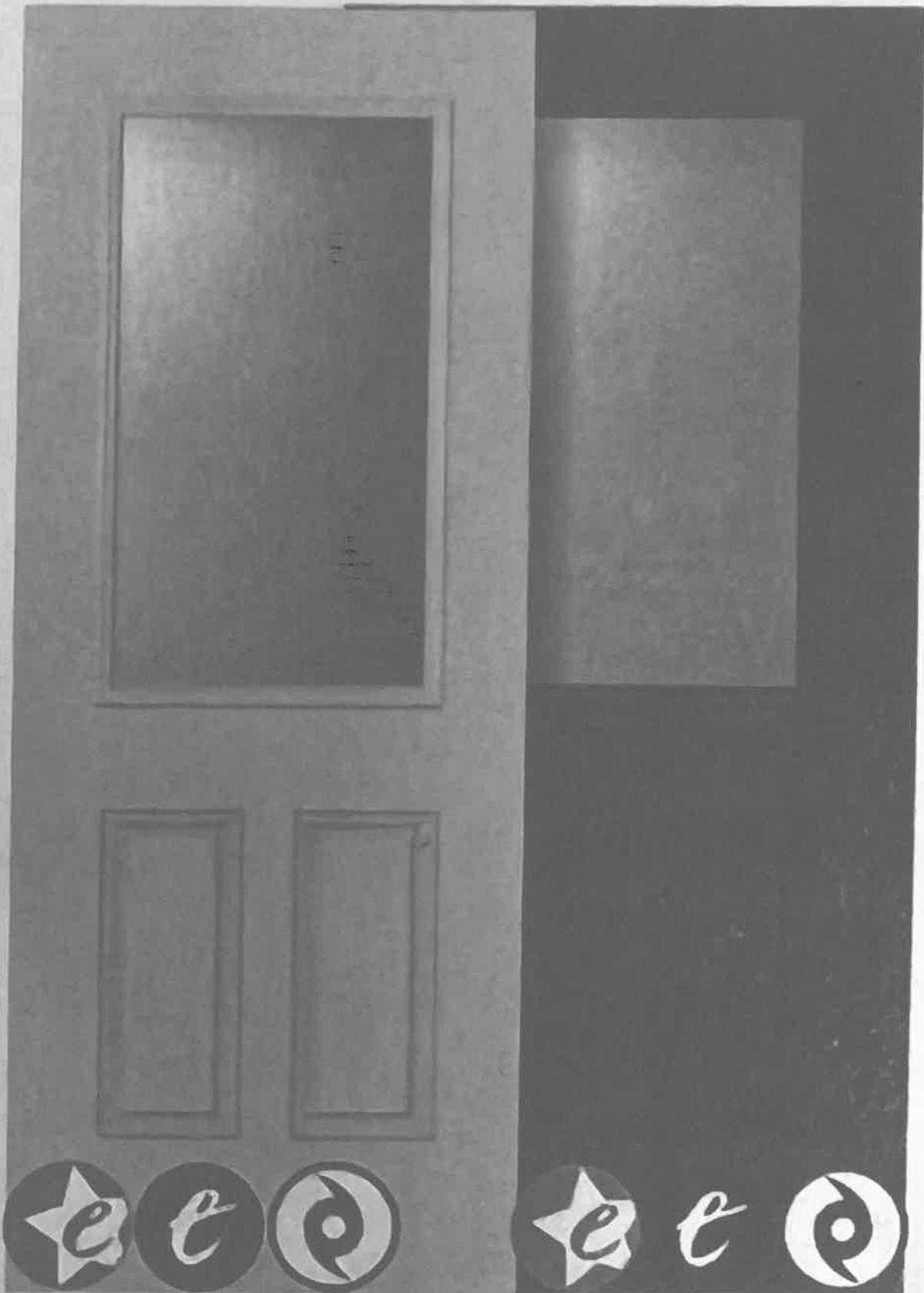
Door  
and sidelights  
will be fiberglass.

← Same size  
sidelights  
as existing

↑  
Same size  
door as  
existing  
35 x 79

Replacing existing door and  
sidelights with same style  
and size. Only difference  
is addition of  $\frac{1}{2}$  of glass on door.

FRONT  
DOOR  
→  
STYLE



672-CL

684-CL

# Sidelights

Sidelights →

Matching  
door  
moulding



400-CL  
6x36

692-CL  
8x36

EXISTING  
FRONT  
DOOR  
(Metal)



1/2 Glass  
SIDE LIGHTS



Joseph A. Martino III 362-8886  
 Deborah S. EMB III 362-8886  
 John E. Berg 362-8230  
 Kelly 362-8886

MARTINO & PAUL

501



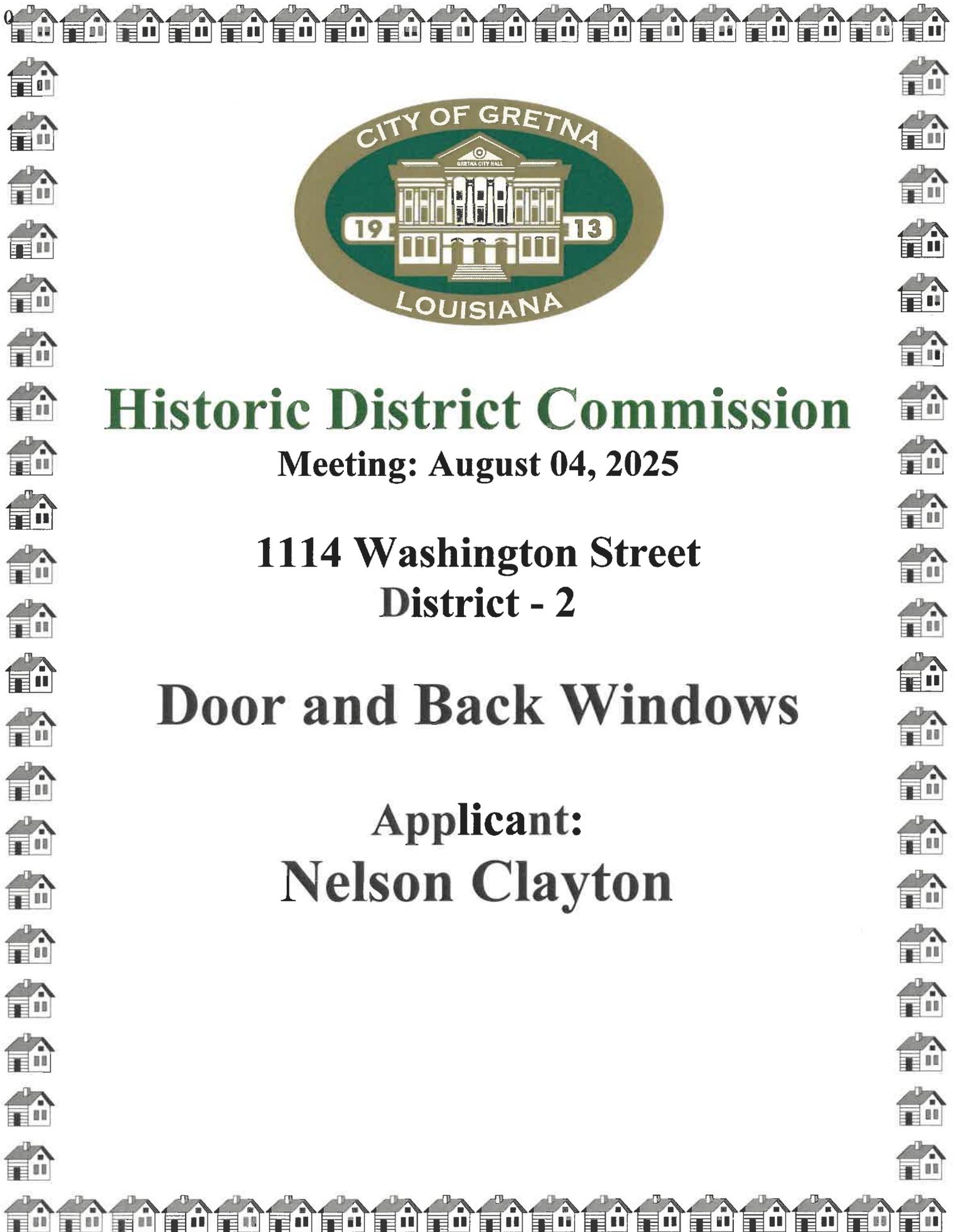
# Historic District Commission

Meeting: August 04, 2025

1114 Washington Street  
District - 2

Door and Back Windows

Applicant:  
Nelson Clayton





Historic District Commission
Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

7568

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham - Gretna Historic District.
McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

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Moving of a historic building
Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
New construction of a building or accessory building or structure, if subject to view from a public street
Change in existing walls and fences or construction of new walls and fences if along a public street
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Demolition - the complete, partial or constructive removal of a building from any site

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Substantive change - changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1114 Washington St., Gretna, LA 70053

Renovation: X

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 19 15

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun X

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed X

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: Rear windows to be Showcase S-300 vinyl black/white with 7/8" sdl bars for addition

Type of exterior doors: Side front door constructed to match original front door.

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: Existing ft. Side Space: Existing ft.

Rear Space: 10-15 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 07/10/2025

Applicant's Name: Edwin Nelson Clayton II for Nelson Clayton Homes, LLC

Applicant's Address: 30 Coquille Rd., Belle Chasse, LA 70037

Phone No: (504) 433-5659 Cell No: (504) 606-4177

**For Office Use Only:**

Application date: 07/10/25

Substantive Change: Yes  No

Inventory Number: 26-02295

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: 08/04/2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

**Mayor**

Belinda Cambre Constant

**Council Members**

Wayne A. Rau

*Councilman-at-Large*

Milton L. Crosby  
*District One*

Michael Hinyub  
*District Two*

Mark K. Miller  
*District Three*

Jackie J. Berthelot  
*District Four*

**Departments**

***Building and Regulatory***

*Danika Gorrondona*

***Planning and Zoning***

*Azalea M. Roussell*

***City Clerk***

*Norma J. Cruz*

***Finance & Tax Departments***

*Raylyn C. Stevens*

***Human Resources***

*Gwen Turner*

***Public Utilities***

*Michael J. Baudoin*

***Public Works***

*Daniel Lasyone*

***Parks and Recreation***

*Amie H. Hebert*

***Information Technology***

*Michael Wesley*

I, Edwin Nelson Clayton, II the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4, 2025 4:00 p.m., 740 2<sup>nd</sup> Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

**Signature of Applicant**

Edwin Nelson Clayton, II

**NAME OF APPLICANT (PLEASE PRINT)**

30 Coquille Rd., Belle Chasse, LA 70037

**Applicant's address**

1114 Washington Ave., Gretna, LA 70053

**Actual address of the property for review**

Date: 09/10/25

Original FRONT DOOR









# Historic District Commission

Meeting: August 04, 2025

228 Amelia St  
District - 2

Accessory Building

Applicant:  
Eduardo Miller

#8609



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

[X] Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham - Gretna Historic District.

[ ] McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 228 AMELIA ST. GREENG. 70053

Renovation: \_\_\_\_\_  
New Construction: 1 CAR GARAGE Demolition: \_\_\_\_\_

Age of Structure: 1890

**Building Type:**

Creole Cottage \_\_\_\_\_  
Shotgun \_\_\_\_\_  
Bungalow \_\_\_\_\_  
Other GARAGE  
HIP ROOF FRONT TO MATCH HOUSE.

**Building Style:**

Greek Revival \_\_\_\_\_  
Italianate \_\_\_\_\_  
New Orleans Bracketed \_\_\_\_\_  
Eastlake  \_\_\_\_\_  
Colonial Revival \_\_\_\_\_  
Other \_\_\_\_\_

**Exterior materials proposed:**

Roof Composite Shingles Soffit Vinyl  
Fascia METAL COVERED Siding Fiber Cement  
Masonry \_\_\_\_\_ Porches \_\_\_\_\_  
Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: Vinyl COVERED CASEMENT 2 WINDOWS

Type of exterior doors: GARAGE DOOR, Single Side door

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.  
Rear Space: \_\_\_\_\_ ft. 15' wide X 22' Long

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Eddie Miller Date: 6/10/25  
Applicant's Name: Eddie Miller  
Applicant's Address: 228 AMELIA ST. GRETTA 7053  
Phone No: ( ) \_\_\_\_\_ Cell No: 508 519-4501

**For Office Use Only:**

Application date: June 26 2025  
Inventory Number: 594

Substantive Change: Yes  No

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

### Mayor

Belinda Cambre Constant

### Councilmembers

Wayne A. Rau

### Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

### Departments

#### Building

Danika E. Gorrondona

#### Citizens' Affairs

Rachael Stanley

#### City Clerk

Norma J. Cruz

#### City Development

Amelia Pellegrin

#### Code Enforcement

Angel L. Gonzales

#### Environmental Affairs

Madason Priore

#### Finance & Tax

Raylyn C. Stevens

#### Human Resources

Gwen Turner

#### Information Technology

Michael T. Wesley

#### Operations

Eric Stahl

#### Parks & Parkways

Amie L. Hebert

#### Public Utilities

Ron Johnson

I, Eddie Miller the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Eddie Miller

Signature of Applicant

Eddie Miller

Name of Applicant (Please Print)

228 AMELIA ST.

Applicant's Address

228 AMELIA ST.

Address under HDC review

Date: 6/10/25

228 Amelia St



Google

Image capture: Nov 2024 © 2025 Google

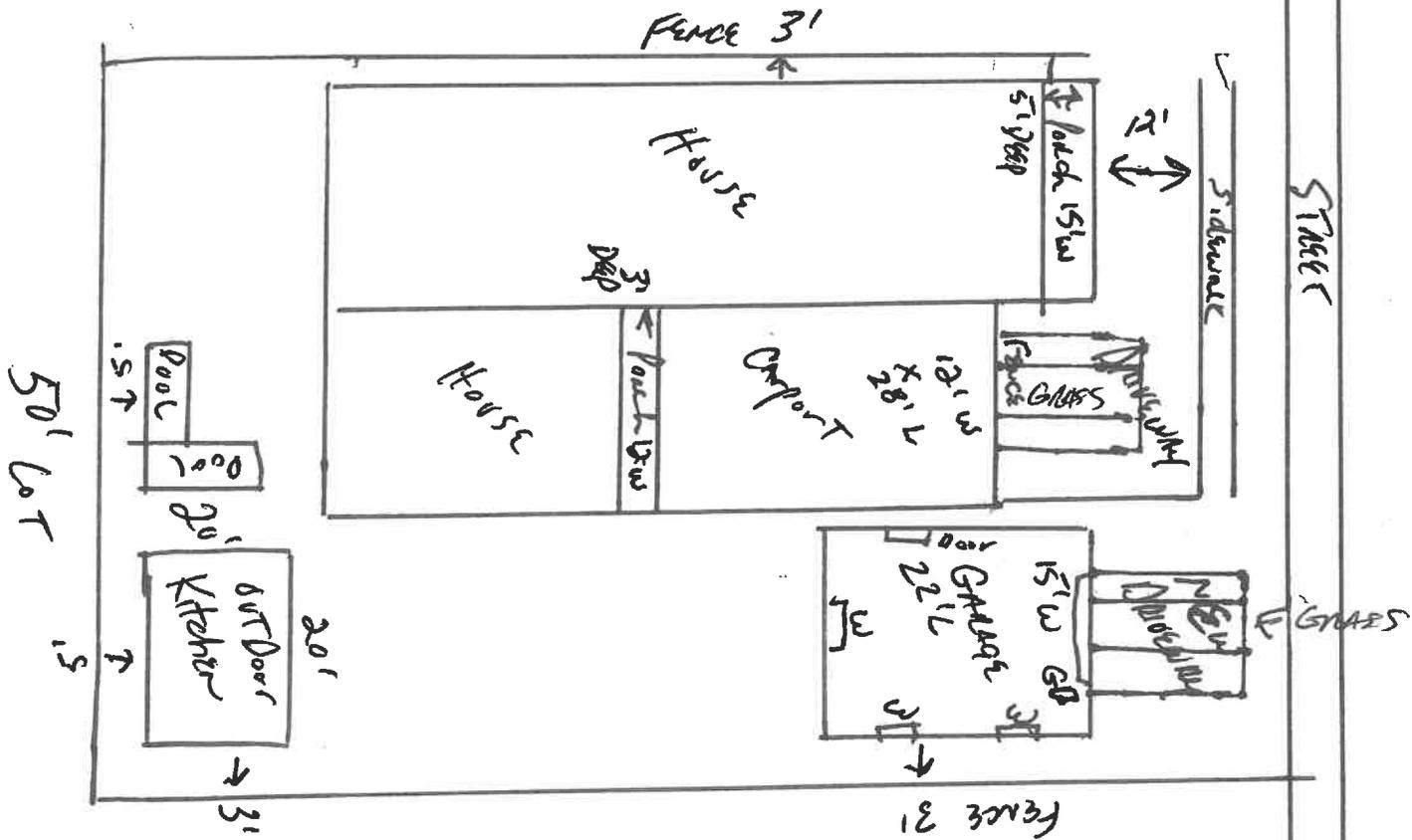






Attn: ~~Mike~~ Wittingub @ Costat Living - INC. Com.  
Wittingub

From: Eddie Miller  
228 Amelia St.  
Oakland, Ca 94612  
504-579-4501

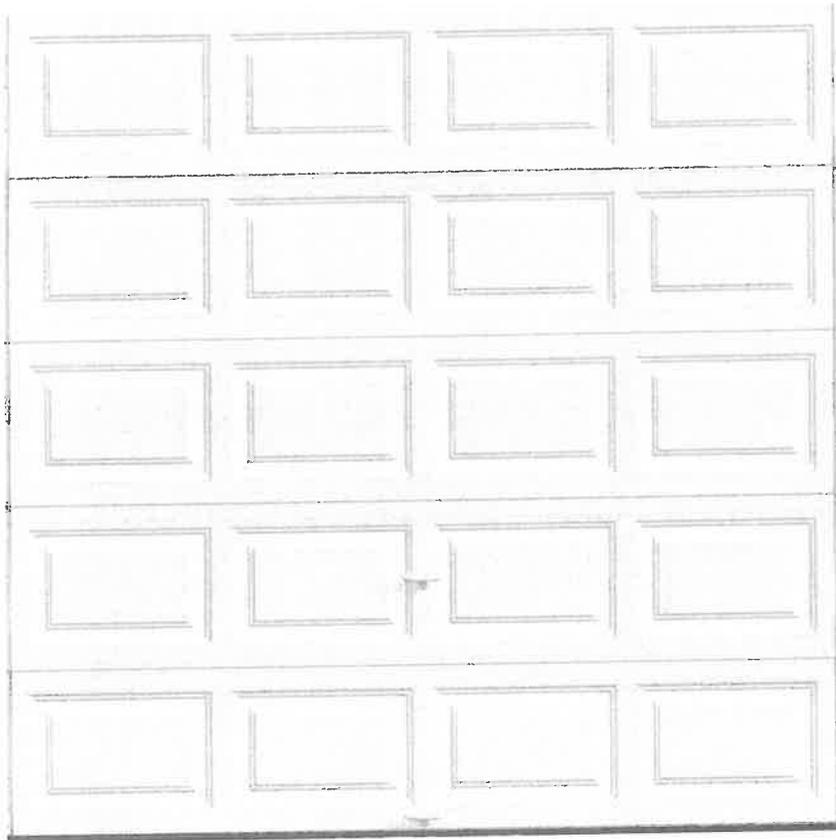


Eddie Miller @ Cox.net.

1 CAR  
GARAGE  
Detached.



15' wide 22' Long  
9' Soffit  
2 windows  
1 Side door



Classic Steel Short Panel 8 ft x 8 ft  
Insulated 18.4 R-Value White  
Garage Door without Windows

by Clopay

Related Videos & 360° View



Product Images

Tap and Hold to Zoom

*Garage Door  
8' x 8'*

Feedback

... / Exterior Doors / Front Doors / Steel Doors / Steel Doors Without Glass

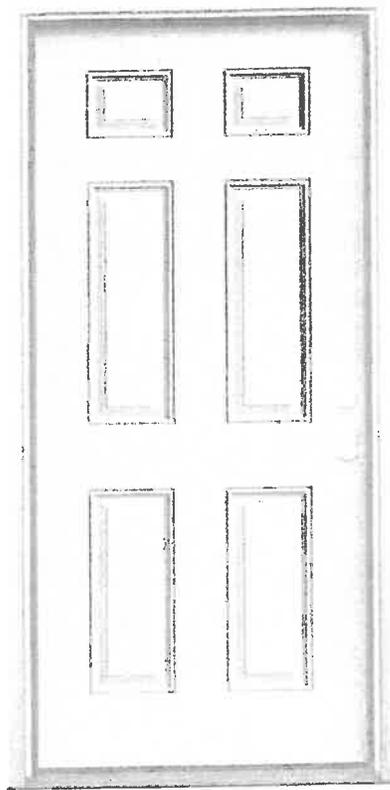
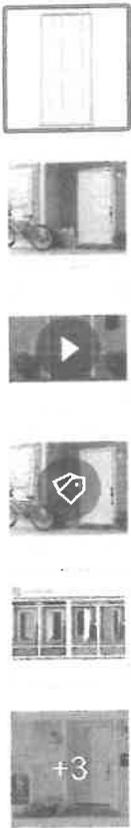
Internet # 100087243 Model # 27112 Store SKU # 826290

627

Masonite  
36 in. x 80 in. Premium 6-Panel Left Hand Inswing Primed Steel Prehung Front Exterior Door with Brickmold

★★★★★ (297) Questions & Answers (90)

Feedback



3' Side Door

Share Print

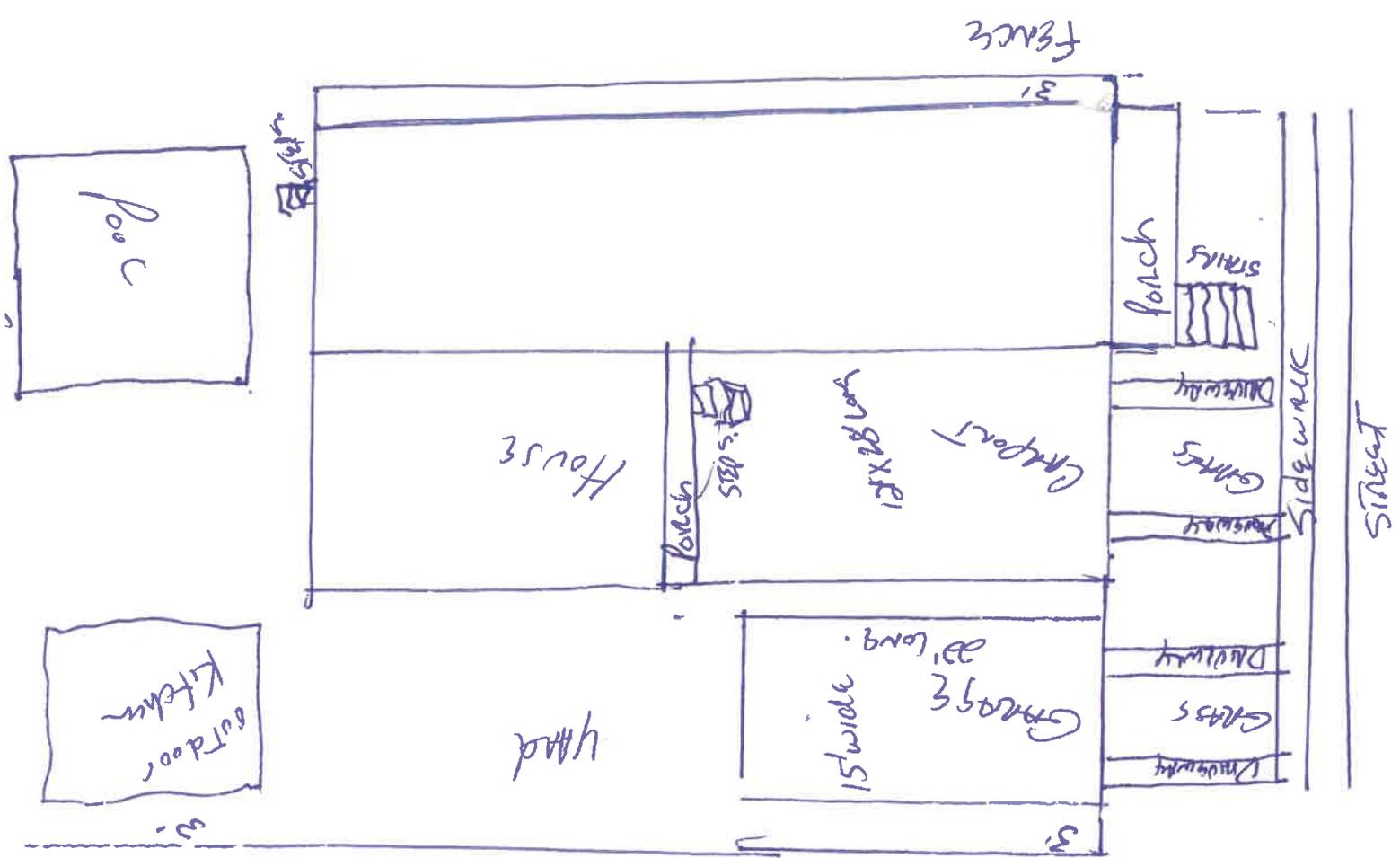
\$264<sup>00</sup>

Pay \$239.00 after \$25 OFF your total qualifying purchase upon opening a new card. Apply for a Home Depot Consumer Card

- Elegant wood appearance with the durability of steel
- Baked-on primer offers a smooth, ready-to-paint surface
- Energy-saving core delivers superior insulation properties
- [View More Details](#)



2 windows Single hung Casement Vinyl



Eddie Miller  
 228 Amelia  
 304-579-4507  
 Ed Miller 606 connect  
 1 CAR GARAGE  
 9ft high



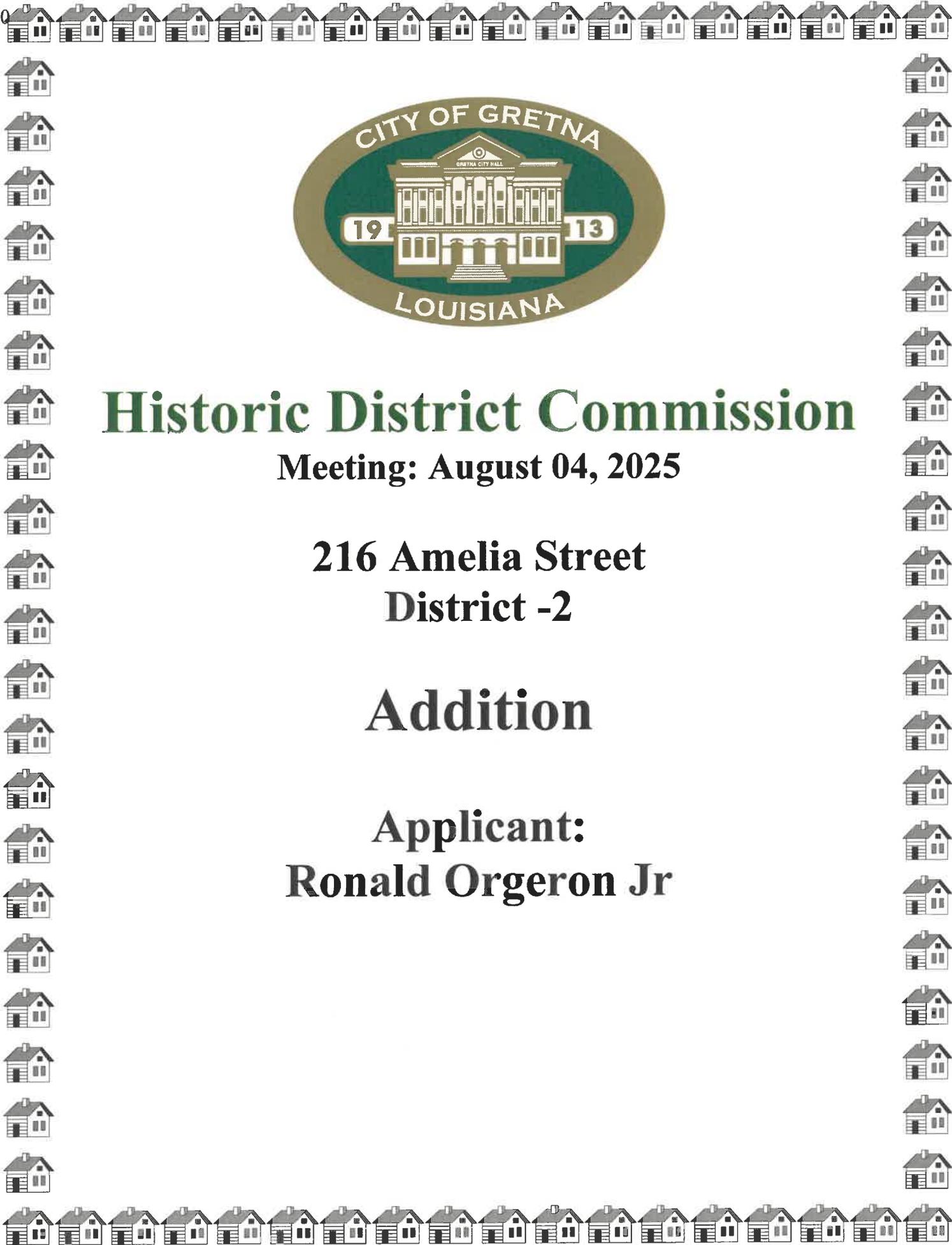
# Historic District Commission

Meeting: August 04, 2025

216 Amelia Street  
District -2

**Addition**

Applicant:  
**Ronald Orgeron Jr**





Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

[X] Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham - Gretna Historic District.

[ ] McDonoghville Historic District - area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
Moving of a historic building
Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
New construction of a building or accessory building or structure, if subject to view from a public street
Change in existing walls and fences or construction of new walls and fences if along a public street
Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration - any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction - the erection of any on site improvements on any parcel of ground

Demolition - the complete, partial or constructive removal of a building from any site

Historic building - a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance - work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change - changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 216 Amelia St Gretna

Renovation:  New Construction: \_\_\_\_\_ Demolition: \_\_\_\_\_

Age of Structure: 1920

**Building Type:**

Creole Cottage \_\_\_\_\_  
Shotgun  \_\_\_\_\_  
Bungalow  \_\_\_\_\_  
Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_  
Italianate \_\_\_\_\_  
New Orleans Bracketed \_\_\_\_\_  
Eastlake \_\_\_\_\_  
Colonial Revival \_\_\_\_\_  
Other \_\_\_\_\_

**Exterior materials proposed:**

Roof Asphalt Soffit Hardie  
Fascia Hardie Siding Hardie  
Masonry \_\_\_\_\_ Porches \_\_\_\_\_  
Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: 6/6

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: 16.6 ft. Side Space: 70.5 ft.  
Rear Space: 27.7 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Rud P. Oigeron Jr* Date: 7/28/2025

Applicant's Name: Ronald "Pat" Oigeron Jr

Applicant's Address: 315 Huey P. Long Ave

Phone No: (504) 382 3615 Cell No: (504) 382 3615

**For Office Use Only:**

Application date: June 28, 2025

Substantive Change: Yes  No  Inventory Number: 597

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

**Mayor**

Belinda Cambre Constant

**Councilmembers**

Wayne A. Rou

**Councilman-at-Large**

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

**Departments**

**Building**

Danika E. Gorrondona

**Citizens' Affairs**

Rachael Stanley

**City Clerk**

Norma J. Cruz

**City Development**

Amelia Pellegrin

**Code Enforcement**

Angel L. Gonzales

**Environmental Affairs**

Madason Priore

**Finance & Tax**

Raylyn C. Stevens

**Human Resources**

Gwen Turner

**Information Technology**

Michael T. Wesley

**Operations**

Eric Stahl

**Parks & Parkways**

Amie L. Hebert

**Public Utilities**

Ron Johnson

I, Ronald P. Orgeron Jr the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on 8/4/2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

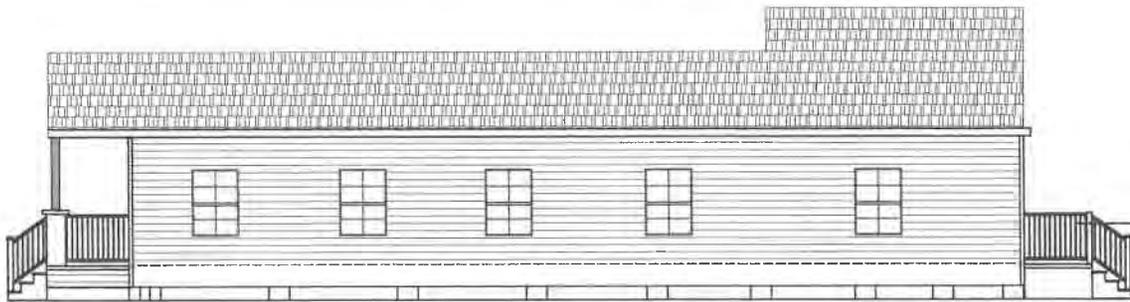
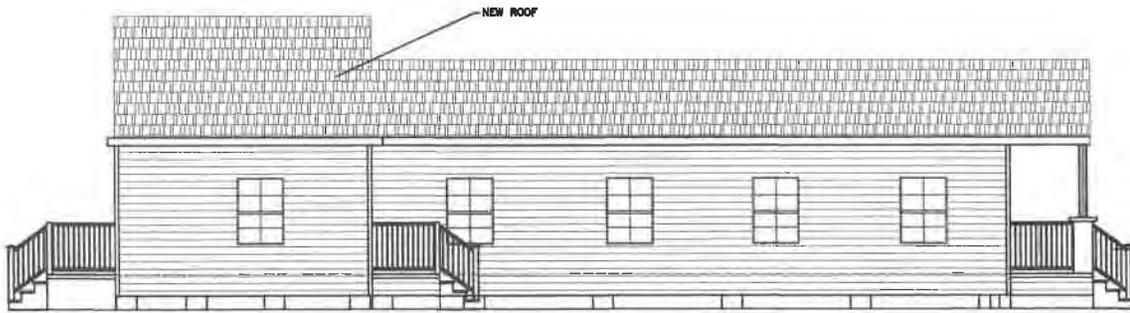
[Handwritten Signature]  
Signature of Applicant

Ronald P. Orgeron Jr  
Name of Applicant (Please Print)

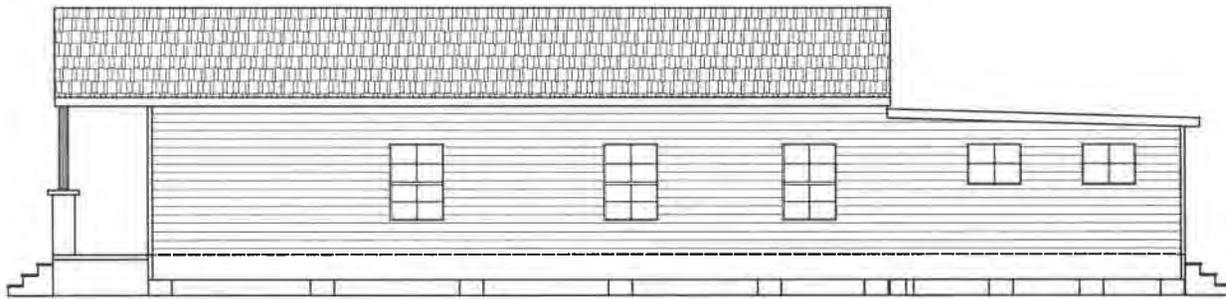
315 Huey P. Long Ave  
Applicant's Address

216 Amelia St  
Address under HDC review

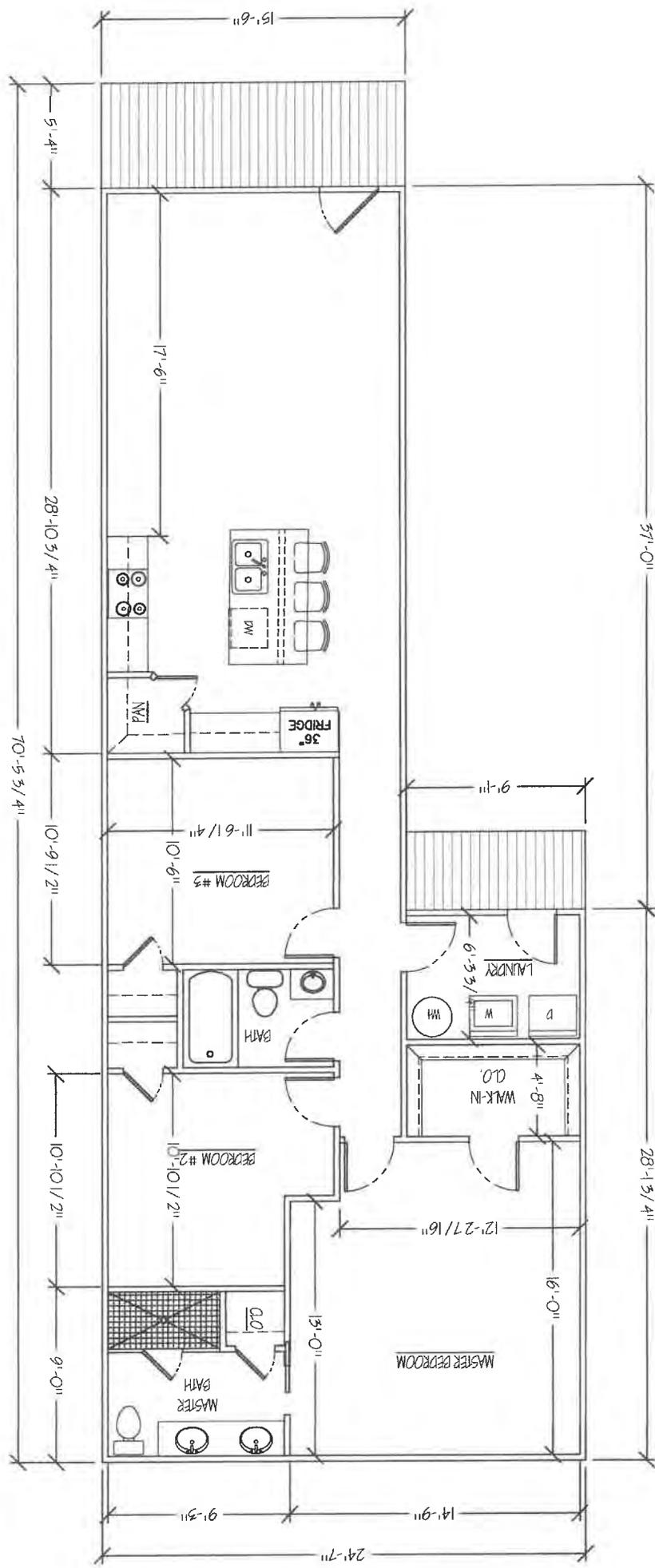
Date: 7/28/2025



PROPOSED



EXISTING





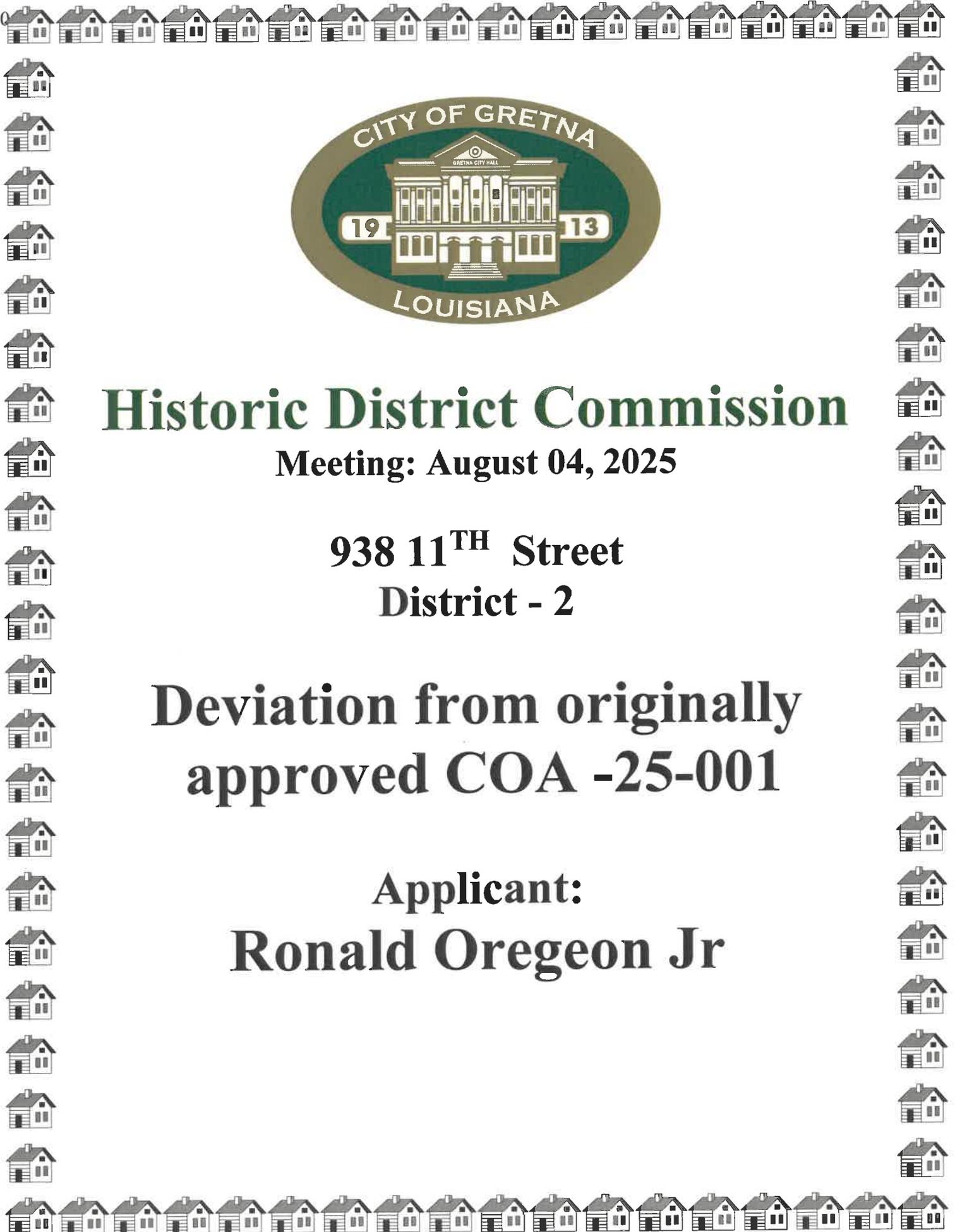
# Historic District Commission

Meeting: August 04, 2025

938 11<sup>TH</sup> Street  
District - 2

Deviation from originally  
approved COA -25-001

Applicant:  
Ronald Oregeon Jr





Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 938 11<sup>th</sup> ST

Renovation: \_\_\_\_\_  
New Construction: X Demolition: \_\_\_\_\_

Age of Structure: NEW

**Building Type:**

Creole Cottage \_\_\_\_\_  
Shotgun \_\_\_\_\_  
Bungalow \_\_\_\_\_  
Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_  
Italianate \_\_\_\_\_  
New Orleans Bracketed \_\_\_\_\_  
Eastlake \_\_\_\_\_  
Colonial Revival \_\_\_\_\_  
Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_  
Fascia \_\_\_\_\_ Siding \_\_\_\_\_  
Masonry \_\_\_\_\_ Porches NEW  
Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: 2/2

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: SHUTTERS ON FRONT TO include front door

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.  
Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

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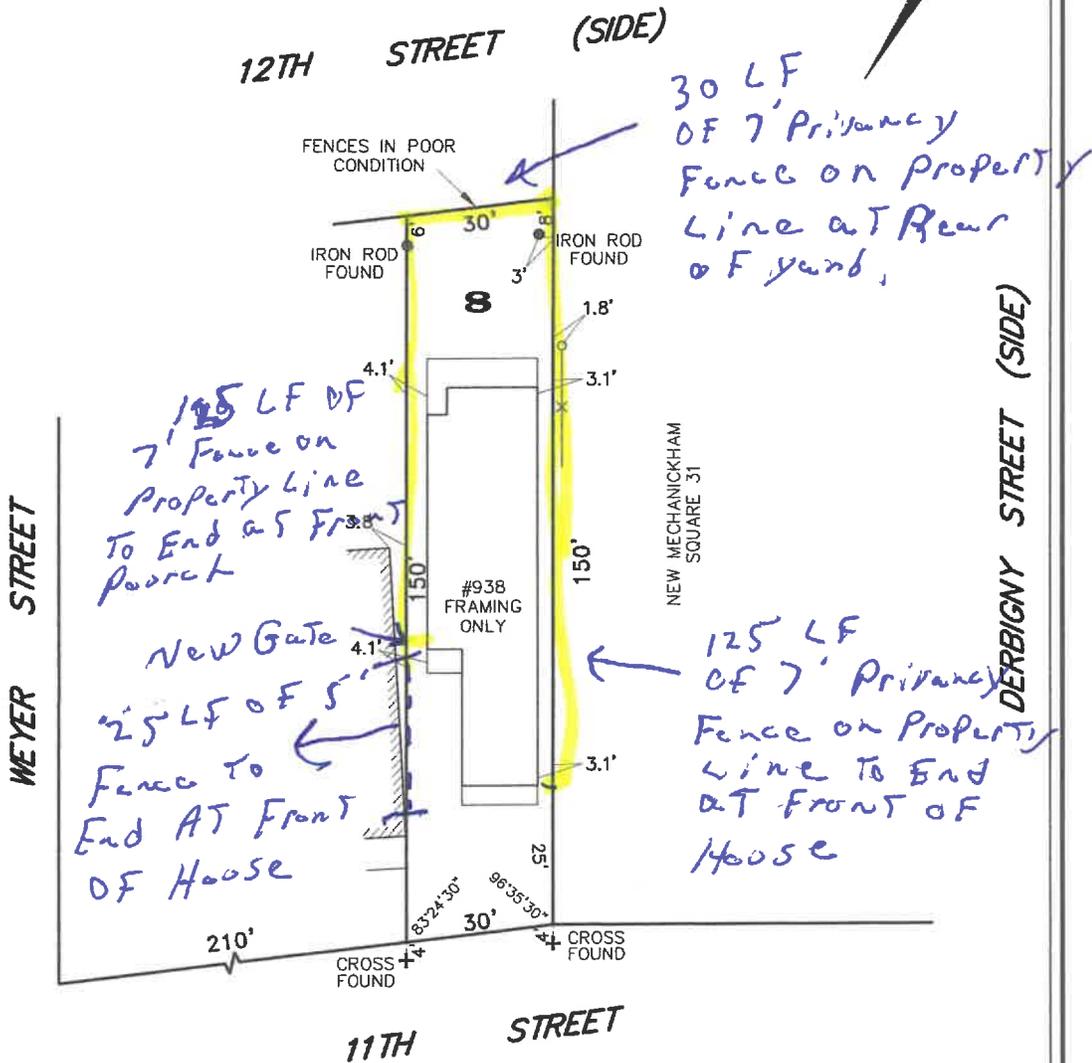
Applicant's Signature: *Paul R. Orgeron* Date: 7/28/2025  
Applicant's Name: Renald "Pat" Orgeron Jr  
Applicant's Address: 315 Huey P. Long Ave Gretna LA 70053  
Phone No: ( ) \_\_\_\_\_ Cell No: (504)-382-3615

**For Office Use Only:** Application date: 7-28-25  
Substantive Change: Yes  No  Inventory Number: N/A  
Contributing Element to Gretna National Register Historic District: Yes  No   
Historic District Commission meeting date: August 4, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**BOUNDARY SURVEY OF  
LOT 8  
SQUARE 43  
MECHANICKHAM  
JEFFERSON PARISH, LA**



**NOTE:**  
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

**GENERAL NOTES**

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1  
REFERENCE PLAN #1: A PLAN OF SURVEY BY GILBERT & KELLY SURVEYORS DATED JULY 9, 1960

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

**ELEVATION NOTES**

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 2/2/18  
BASE FLOOD ELEVATION: N/A  
FLOOD ZONE: X  
COMMUNITY PANEL: 2205IC 0220 F



THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:XXI, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

MADE AT THE REQUEST OF BARON CONSTRUCTION CO.  
REVISED TO SHOW IMPROVEMENTS APRIL 11, 2025

BY:   
RICHMOND W. KREBS, PLS, LLC. #4836

**R.W. KREBS**  
**PROFESSIONAL LAND SURVEYING, LLC**  
**RICHMOND W. KREBS, SR., PLS**  
3445 N. CAUSEWAY BLVD, SUITE 201  
METAIRIE, LA. 70002  
PHONE: (504) 889-0616  
FAX: (504) 889-0918  
E-MAIL: info@rwwkrebs.com  
WEB: www.rwwkrebs.com

DATE: OCTOBER 8, 2024	DRAWN BY: JSN
SCALE: 1" = 30'	CHECKED BY: NDK
JOB #: 241388, 250483	



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

### Mayor

Belinda Cambre Constant

### Councilmembers

Wayne A. Rau

### Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

### Departments

#### Building

Danika E. Gorrondona

#### Citizens' Affairs

Rachael Stanley

#### City Clerk

Norma J. Cruz

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Amelia Pellegrin

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Angel L. Gonzales

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#### Finance & Tax

Raylyn C. Stevens

#### Human Resources

Gwen Turner

#### Information Technology

Michael T. Wesley

#### Operations

Eric Stahl

#### Parks & Parkways

Amie L. Hebert

#### Public Utilities

Ron Johnson

I, Ronald P. Orgeron Jr the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on 8/4/2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Ronald P. Orgeron Jr  
Signature of Applicant

Ronald P. Orgeron Jr  
Name of Applicant (Please Print)

315 Huey P. Long Ave  
Applicant's Address

\_\_\_\_\_  
Address under HDC review

Date: \_\_\_\_\_

DRAWN BY: LK/TM      CHECKED BY: PAT/O      APPROVED BY: FL

REV. 1

Note:  
FINISHED FLOOR HEIGHT TO BE 3'-0" ABOVE THE CENTERLINE OF THE STREET OR BASE FLOOD ELEVATION PLUS ONE FOOT OF FREEBOARD, WHICHEVER IS HIGHEST.

DATE:	11/22/24
REVISION NOTES:	ISSUED FOR CLIENT REVIEW ADDED BRICK PORCH

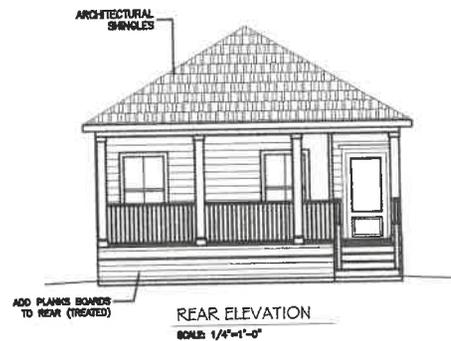
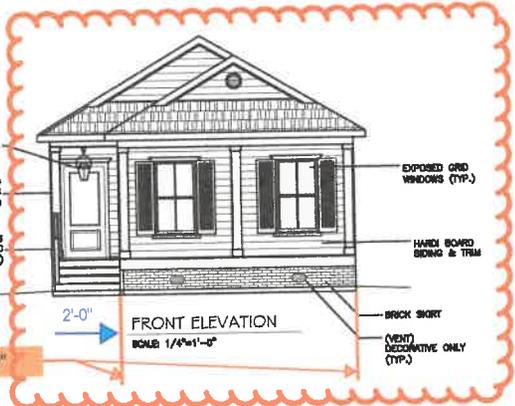
KERNER'S  
DRAFTING & DESIGN  
LARRY KERNER  
(504) 638-0888  
LARRY@KERNERDRAFTING.COM

Proposed Residence Drawn For:  
PAT ORGERON  
BARON CONSTRUCTION  
938 J 11th STREET  
GRETN, LA 70053

PROJECT No:	JOHN 3:16-31
DATE:	11/2024
SCALE:	1/4"=1'-0"
SHEET:	7 OF 8



REVISED 3/13/25



CITY OF GRETNA  
HISTORIC DISTRICT COMMISSION  
CERTIFICATE OF APPROPRIATENESS

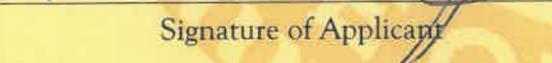
938 11th Street

PROPERTY ADDRESS

Ronald Orgeron Jr.

NAME OF APPLICANT

Work Approved: Approval For new Construction  
Single Family residence. Approved as  
Submitted. Brick skirting to be behind  
face of wall.

  
Signature of HDC Chairperson  
  
Signature of Applicant

1/2/25

Date

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

**NOT VALID UNLESS POSTED ON SITE**

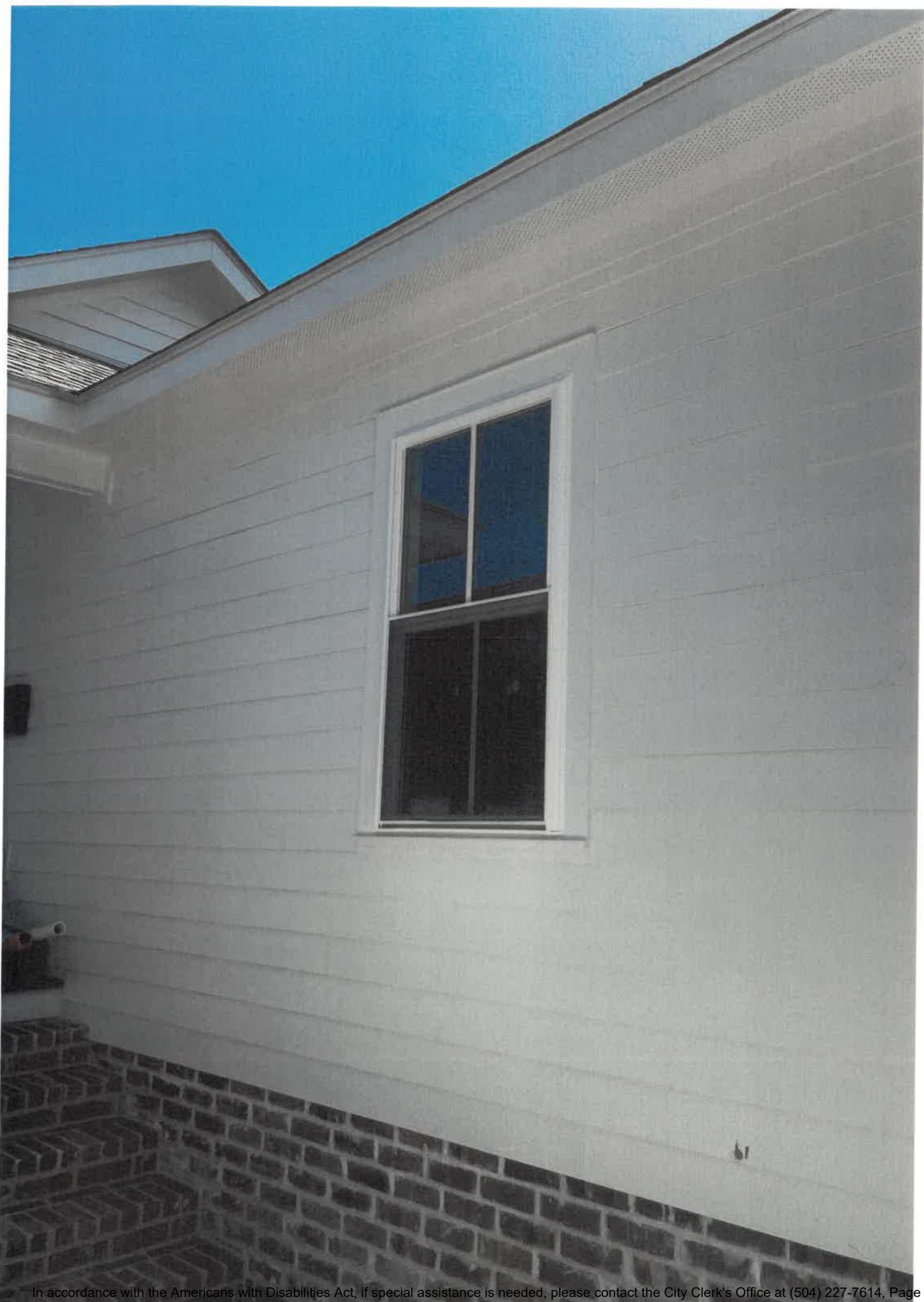
Please address all questions to:  
Gretna Department of Inspections  
740 2nd Street, Room 111, Gretna, LA, 70053  
(504) 363-1563 - [www.gretnala.com](http://www.gretnala.com)



**COA-25-001**







Note:  
FINISHED FLOOR HEIGHT TO BE 3'-0" ABOVE THE CENTERLINE OF THE STREET OR BASE FLOOD ELEVATION PLUS ONE FOOT OF FREEBOARD, WHICHEVER IS HIGHEST.

DATE:	11/15/24
REVISION NOTES:	ISSUED FOR CLIENT REVIEW

KERNER'S  
DRAFTING & DESIGN  
LAFAYETTE, LA 70087  
(504) 838-0069  
LARRY@KERNERDRAFTING.COM

Proposed Residence Drawn For:  
PAT ORGERON  
BARON CONSTRUCTION  
938 11th STREET  
GRETNA, LA 70053

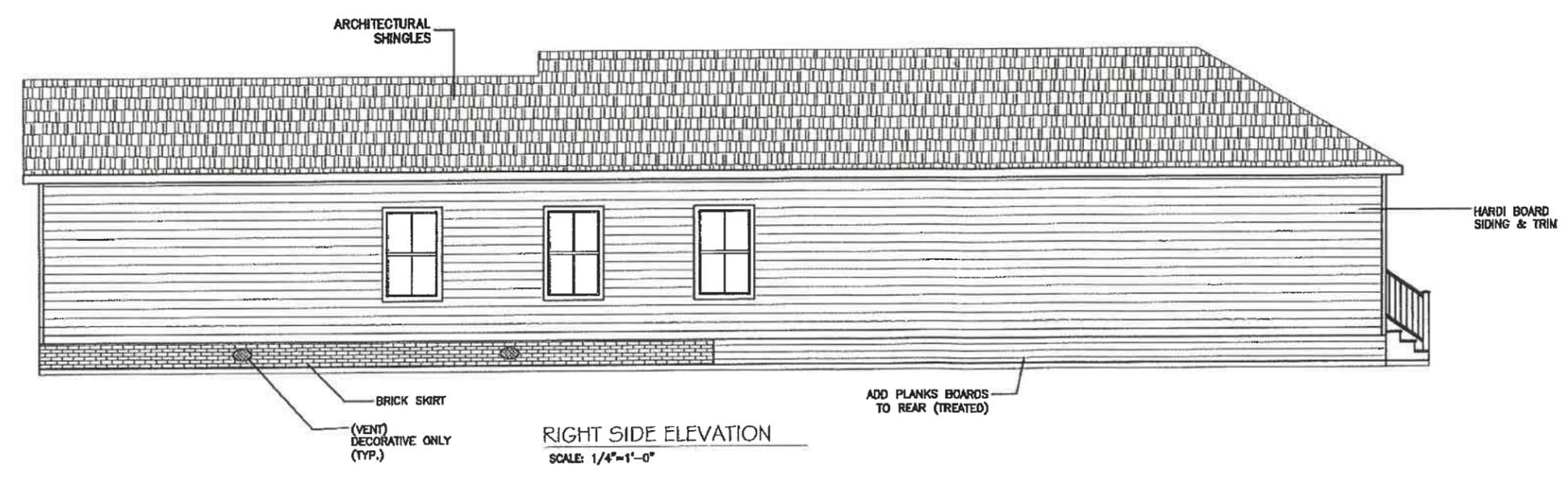
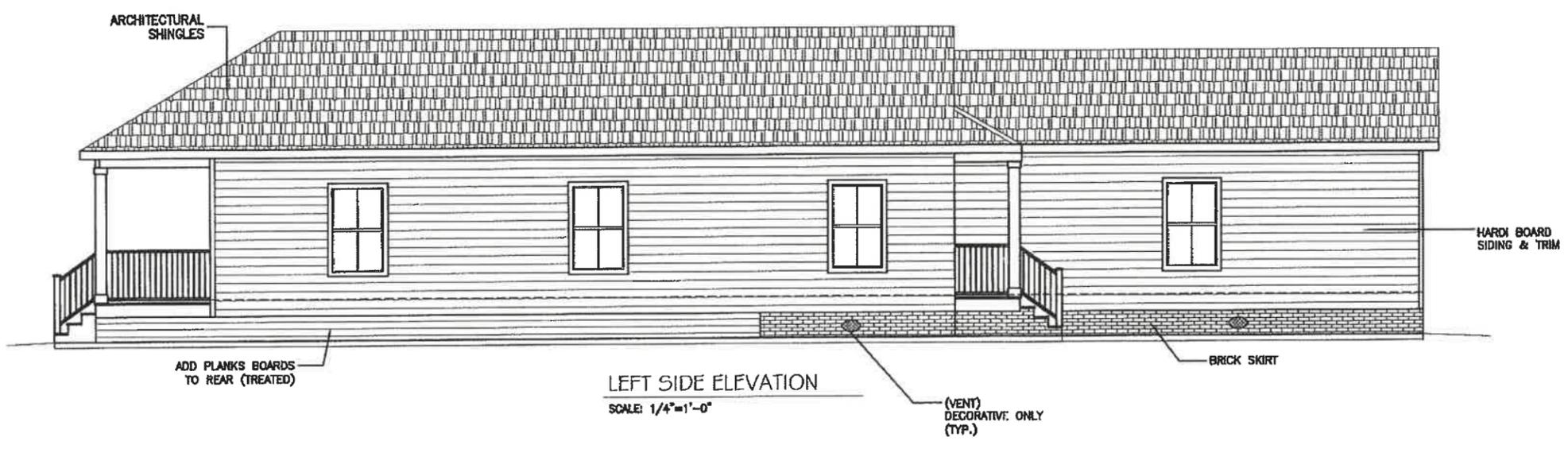
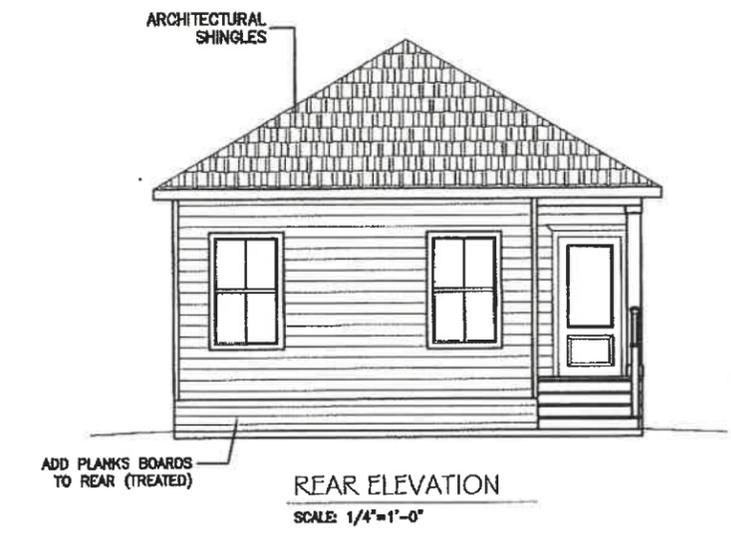
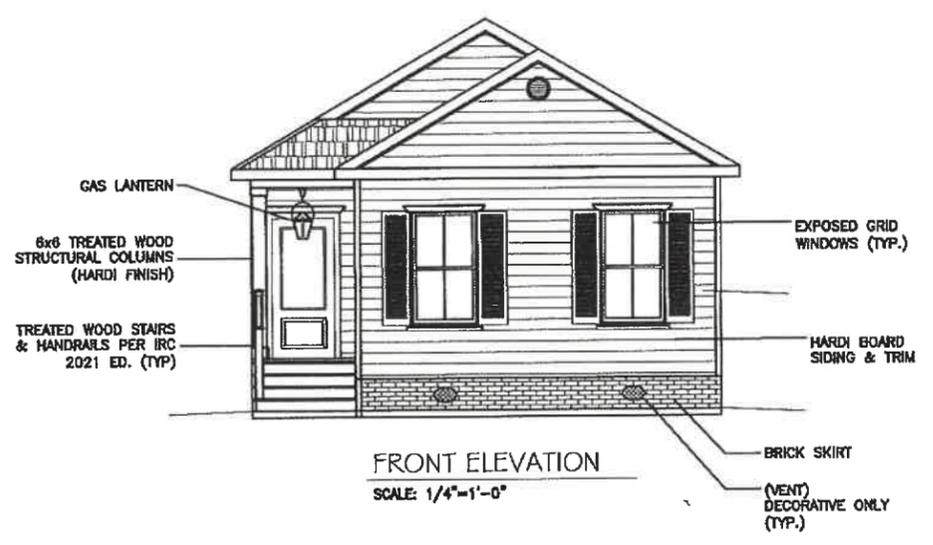
PROJECT No.  
JOHN 3:16-31

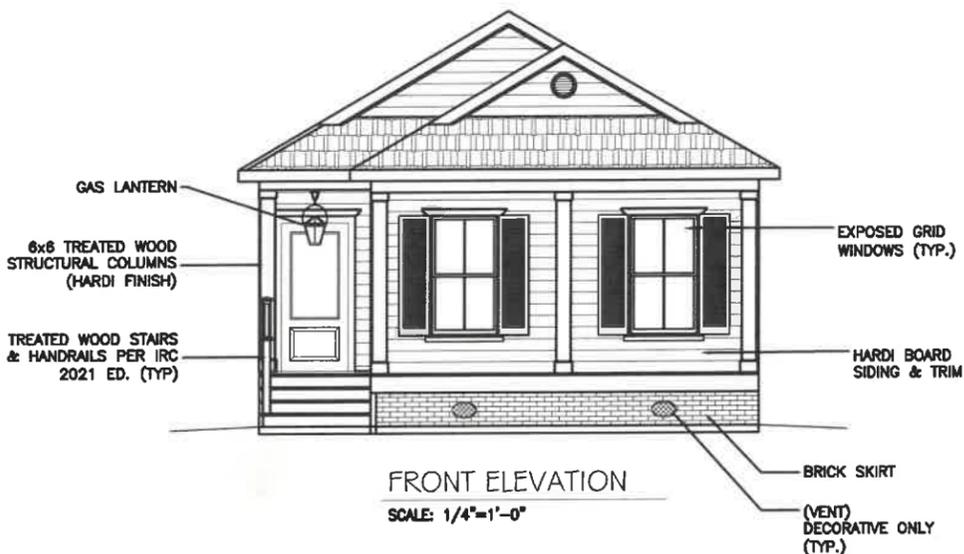
DATE:  
11/2024

SCALE:  
1/4"=1'-0"

SHEET:  
7 OF 8

ELEVATIONS

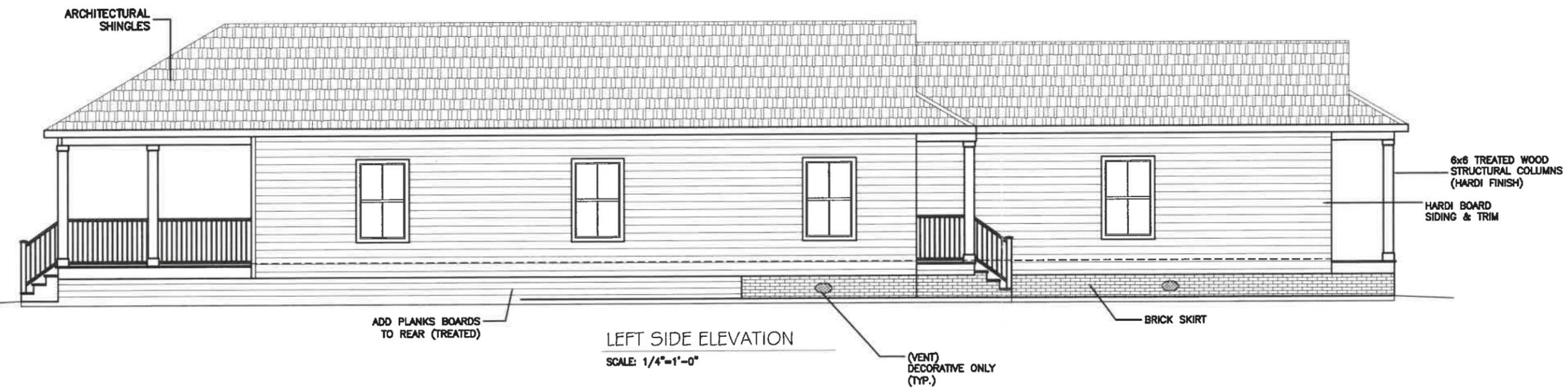




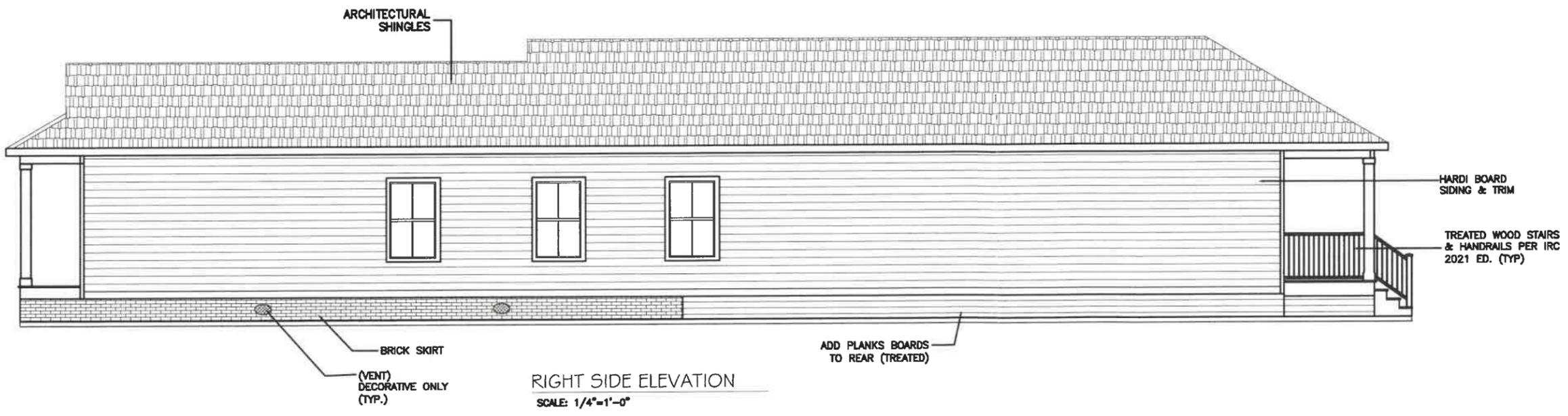
FRONT ELEVATION  
SCALE: 1/4"=1'-0"



REAR ELEVATION  
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

Note:  
FINISHED FLOOR HEIGHT TO BE 3'-0" ABOVE THE CENTERLINE OF THE STREET OR BASE FLOOD ELEVATION PLUS ONE FOOT OF FREEBOARD, WHICHEVER IS HIGHEST.

REVISION NOTES:	DATE:
ISSUED FOR CLIENT REVIEW	11/15/24
ADDED BACK PORCH	11/23/24

KERNER'S  
DRAFTING & DESIGN  
LAFITTE, LA 70067  
(504) 638-0069

Proposed Residence Drawn For:  
PAT ORGERON  
BARON CONSTRUCTION  
938 11th STREET  
GRFTNA LA 70053



PROJECT No  
JOHN 3:16-31

DATE:  
11/2024

SCALE:  
1/4"=1'-0"

SHEET:  
7 OF 8

ELEVATIONS



# Historic District Commission

Meeting: August 04, 2025

**737 Lafayette Street  
District -2**

## Renovations

**Applicant:  
Jonathan Liberto**



## Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

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**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 737 Lafayette Str

Renovation:

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: N/A

**Building Type:**

Creole Cottage

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake

Colonial Revival \_\_\_\_\_

Other

**Exterior materials proposed:**

Roof Shingles / extend to back Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding Hardy Board

Masonry Porch - Chicago style Porches Keep same or remove rails  
white wash

Balconies \_\_\_\_\_ Handrails Keep same or remove

Type of exterior lighting fixtures: Gas lanterns - hanging or side of door

Style of windows: Double hung tall for front

Type of exterior doors: Double

Describe any ornamental woodwork: Half core in gable - replace w/ Hardy board

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Handwritten Signature] Date: 7/28/25

Applicant's Name: JONATHAN LIBERTO

Applicant's Address: 737 LAFAYETTE ST. GRETTNA, LA 70053

Phone No: ( ) \_\_\_\_\_ Cell No: (504) 339-7012

**For Office Use Only:**

Application date: 7-28-25

Substantive Change: Yes  No  Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

### Mayor

Belinda Cambre Constant

### Council Members

- Wayne A. Rau  
Councilman-at-Large
- Milton L. Crosby  
District One
- Michael Hinyub  
District Two
- Mark K. Miller  
District Three
- Jackie J. Berthelot  
District Four

### Departments

#### Building and Regulatory

Danika Gorrondona

#### Planning and Zoning

Azalea M. Roussell

#### City Clerk

Norma J. Cruz

#### Finance & Tax Departments

Raylyn C. Stevens

#### Human Resources

Gwen Turner

#### Public Utilities

Michael J. Baudoin

#### Public Works

Daniel Lasyone

#### Parks and Recreation

Amie H. Hebert

#### Information Technology

Michael Wesley

I, JONATHAN LIBERTO the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4, 2025 4:00 p.m., 740 2<sup>nd</sup> Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

JONATHAN LIBERTO

NAME OF APPLICANT (PLEASE PRINT)

49 Smithway Dr. Gretna, LA 70053

Applicant's address

737 LAFAYETTE ST. GRETNA, LA 70053

Actual address of the property for review

Date: 7/28/25

Current Front of 737 Lafayette Street



Option 1 Hardy Board to match other siding



Option 2 Restore or replace scallop shingles



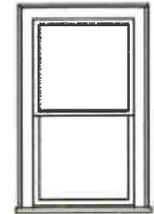
Current Side



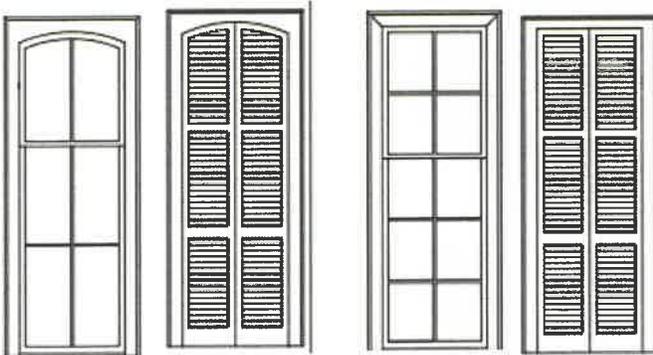
Hardy board and side windows



Double door options  
Light wood with glass pane double panel



Windows for Front



Overall summary of changes similar to photo below. Adding brick to porch, removing rails, replacing windows with double hung windows with shutters



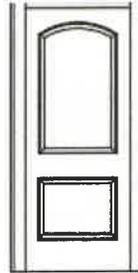
Extend rear roof over existing addition



Current Rear



Reduce to a single rear door with no windows. Add steps similar to front design.





# Historic District Commission

Meeting: August 04, 2025

237 Lafayette Street  
District -2

Front Door

Applicant:  
Peter DiMartino



#7841

## Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
  
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 237 CAYENNE ST.

Renovation: FRONT DOOR

New Construction: \_\_\_\_\_ Demolition: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_  
Shotgun \_\_\_\_\_  
Bungalow \_\_\_\_\_  
Other  \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_  
Italianate \_\_\_\_\_  
New Orleans Bracketed \_\_\_\_\_  
Eastlake \_\_\_\_\_  
Colonial Revival \_\_\_\_\_  
Other  \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_  
Fascia \_\_\_\_\_ Siding \_\_\_\_\_  
Masonry \_\_\_\_\_ Porches \_\_\_\_\_  
Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.  
Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Peter S. Di Martino* Date: 7-28-2025

Applicant's Name: PETER S. DI MARTINO

Applicant's Address: 824 LESLOW DR GRETTVA LA. 70056

Phone No: (504) 392-1150 Cell No: (504) 915-2947

**For Office Use Only:**

Application date: 7-28-25

Substantive Change: Yes  No

Inventory Number: 587

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

**Mayor**

Belinda Cambre Constant

**Councilmembers**

Wayne A. Rau

**Councilman-at-Large**

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

**Departments**

**Building**

Danika E. Gorrondona

**Citizens' Affairs**

Rachael Stanley

**City Clerk**

Norma J. Cruz

**City Development**

Amelia Pellegrin

**Code Enforcement**

Angel L. Gonzales

**Environmental Affairs**

Madason Priore

**Finance & Tax**

Raylyn C. Stevens

**Human Resources**

Gwen Turner

**Information Technology**

Michael T. Wesley

**Operations**

Eric Stahl

**Parks & Parkways**

Amie L. Hebert

**Public Utilities**

Ron Johnson

I, PETER S. DI MARTINO the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on \_\_\_\_\_ at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Peter S. Di Martino

Signature of Applicant

PETER S. DI MARTINO

Name of Applicant (Please Print)

237 LA FAYETTE ST

Applicant's Address

Address under HDC review

Date: 7-28-2025

Gretna, Louisiana

Google Street View

Mar 2022

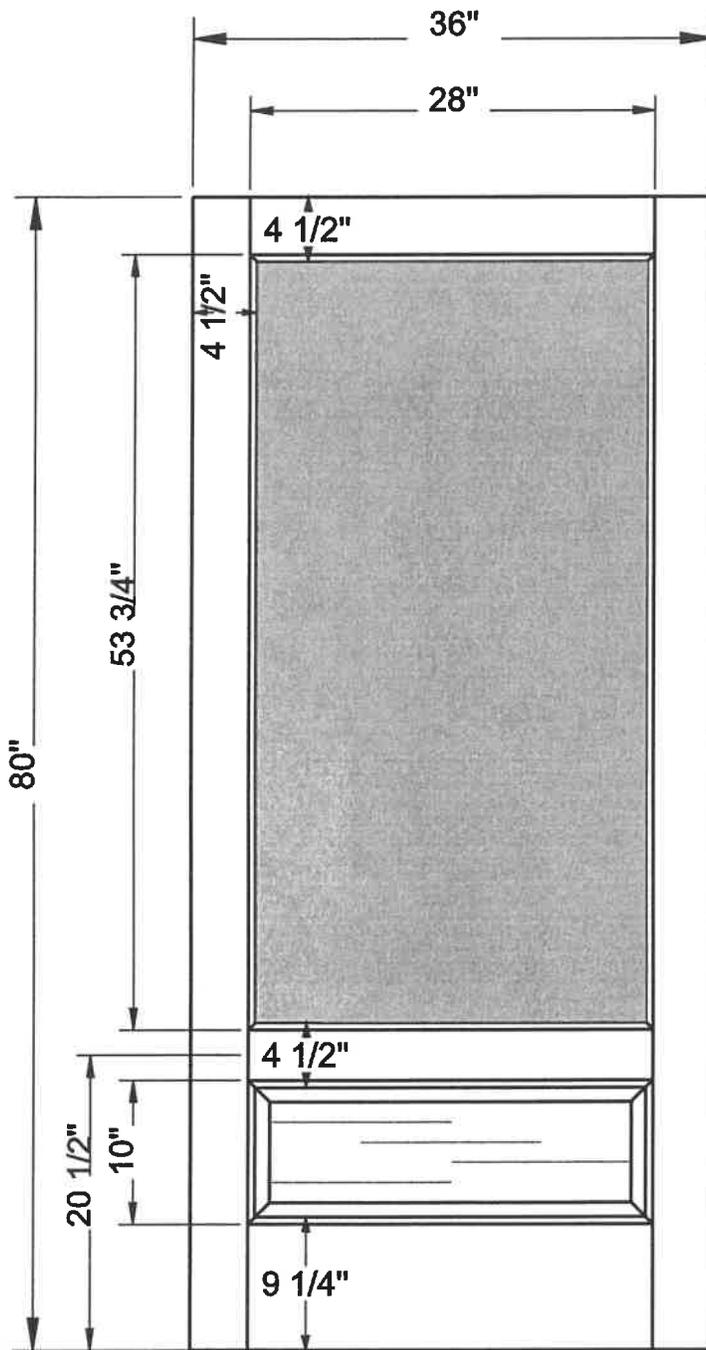


Image capture: Mar 2022 © 2025 Google

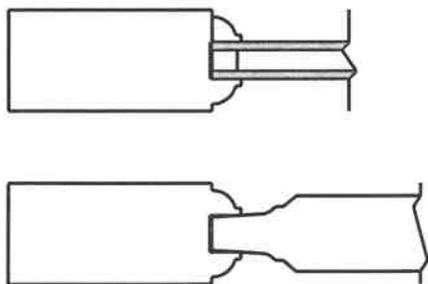




# ROGUE VALLEY Door



- Interior View -







# Historic District Commission

Meeting: August 04, 2025

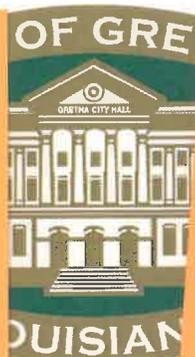
439 Ocean Avenue  
District -1

## Doors & Siding Preliminary Conference

Applicant:  
Thang LE



Keep my note



Met w/ owner 7.8.25 discussed peels stick was not likely to be approved & to provide options for all changes

Meeting: June 30, 2025

P.C. 20/ JRC 1111 5-0

439 Ocean Avenue

(District 1)

For: Doors and siding

Stop work order

Repair existing sawed

Windows one over one

Door 4

Notes Zaverz Humzmbel. ~~THAN~~

Applicant: Thang Le



Gretna, Louisiana

Google Street View

Nov 2024

Close



Google

Image capture: Nov 2024 © 2025 Google

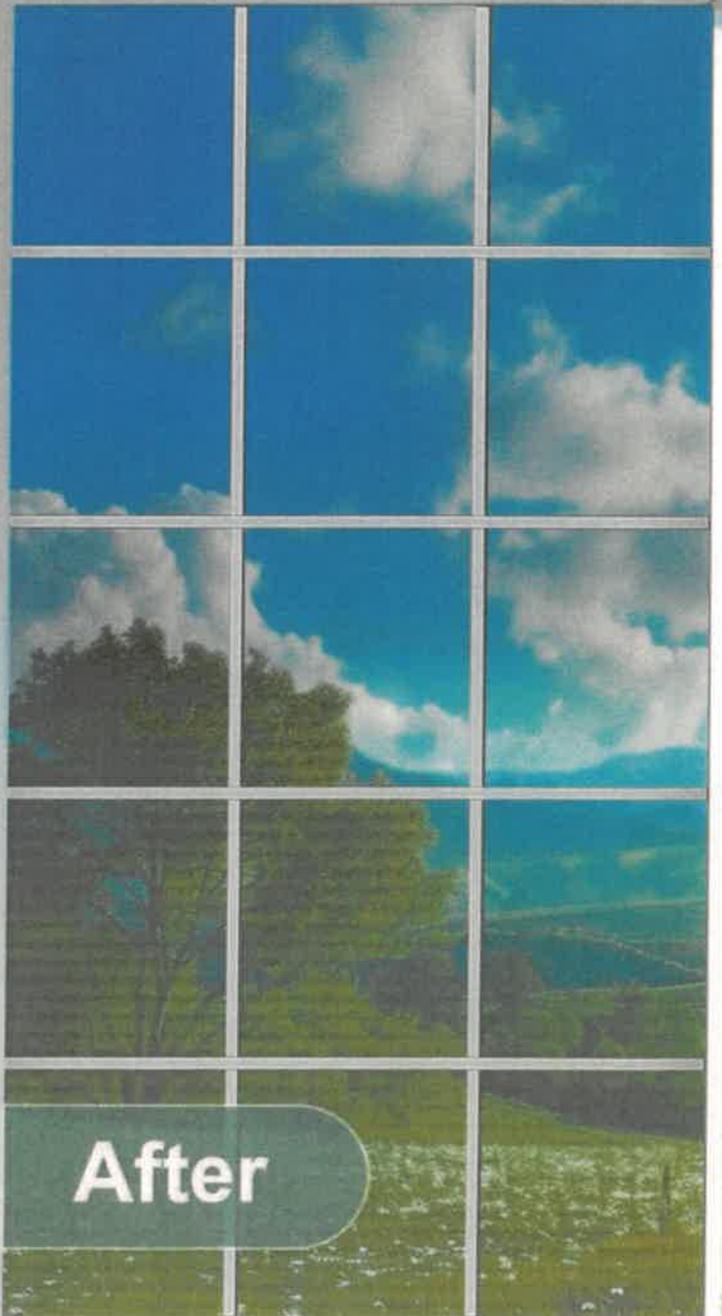


0.5 inch

# DECORATE YOUR WINDOWS



Before



After

***Window Grille Plug-in Grid Kit to meet your various window decoration needs***



***Keep the adhered object clean***



**Windows can be cleaned normally after using the product.**

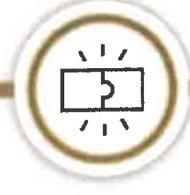
# Key Features



**Premium  
Quality**



**Minimal  
Design**



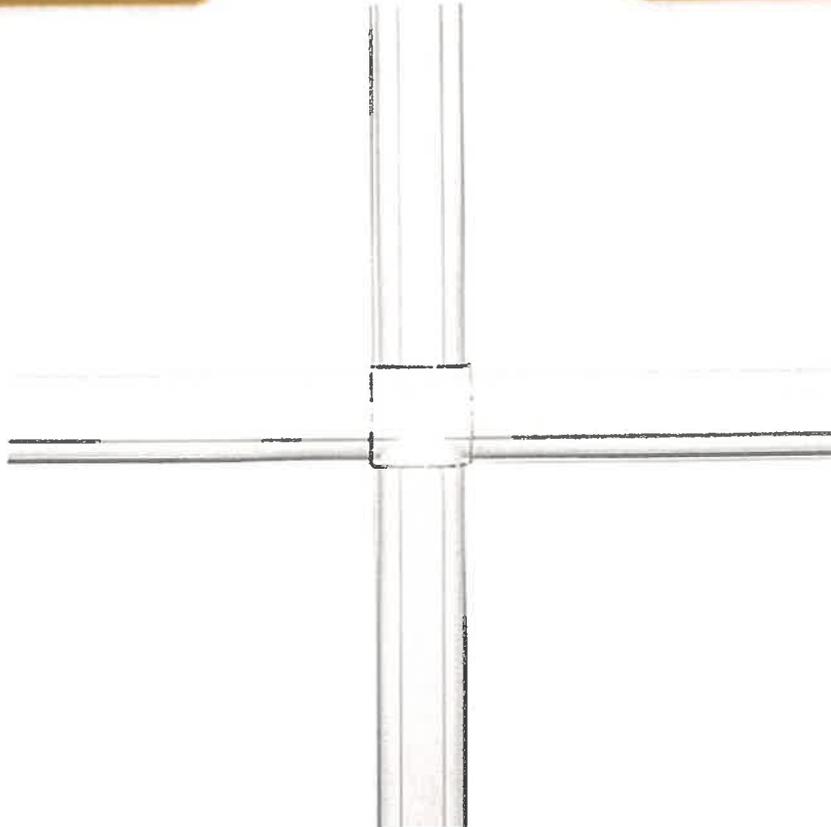
**Sturdy  
Fit**



**Smooth  
Finish**

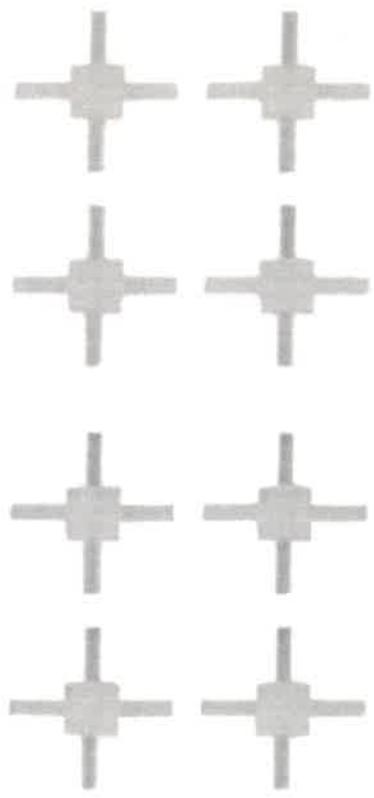
Material : Plastic

Finish : White

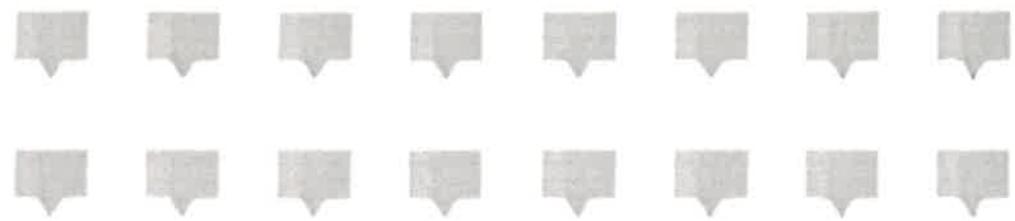
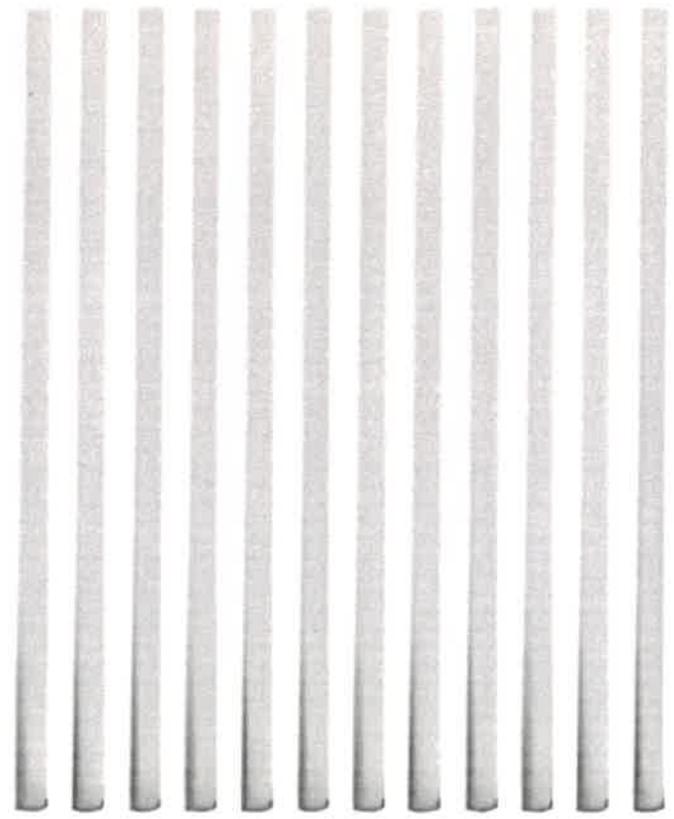


Package Includes

8x  
X Connectors



12x  
24"(610 mm) Profile Bars



16x  
Fasteners



Before



After



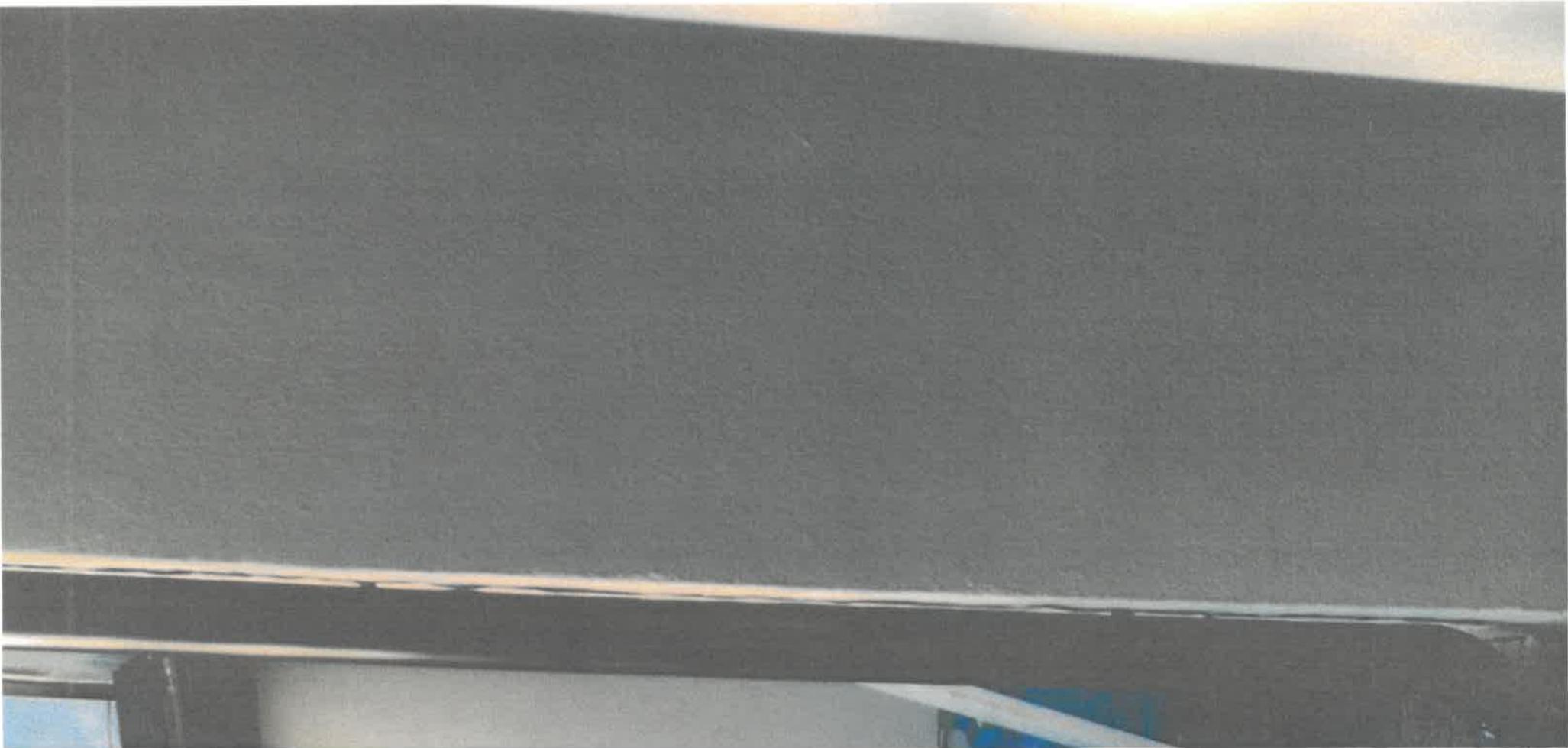




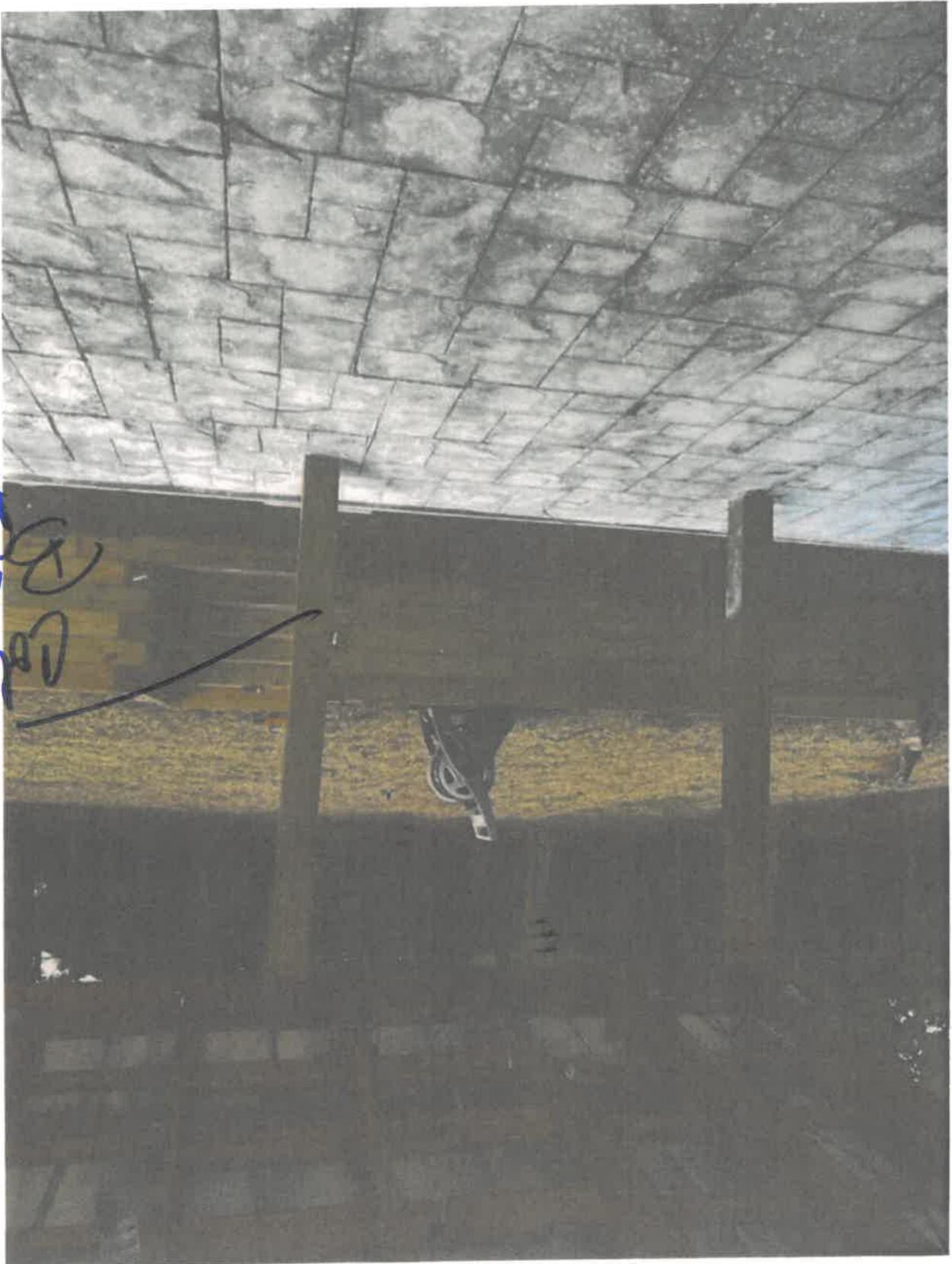
Crop



*Columns*



Back  
Back  
Columns



< Back



Pinch to Zoom



Home



Shop



Thang



Store Mode



Cart



# Historic District Commission

Meeting: August 04, 2025

441 Ocean Avenue  
District -1

## Doors & Siding Preliminary Conference

Applicant:  
Thang LE



# Historic District Commission

Meeting: June 30, 2025

*P.C.  
20/1/22*

*11115-0*

## 441 Ocean Avenue

(District 1)

**For: Doors and siding**

**Stop work order**

*rather — Repair existing siding  
OK  
~~Renovate~~*

*Door*

*1/2 Panel*

*1/2 Glass 1/2 Panel*

**Applicant:**

**Thang Le**

*11111*

*Notes window  
lower 6 windows  
should be w/SDL*

Gretna, Louisiana  
Google Street View  
Nov 2024 [See more dates](#)

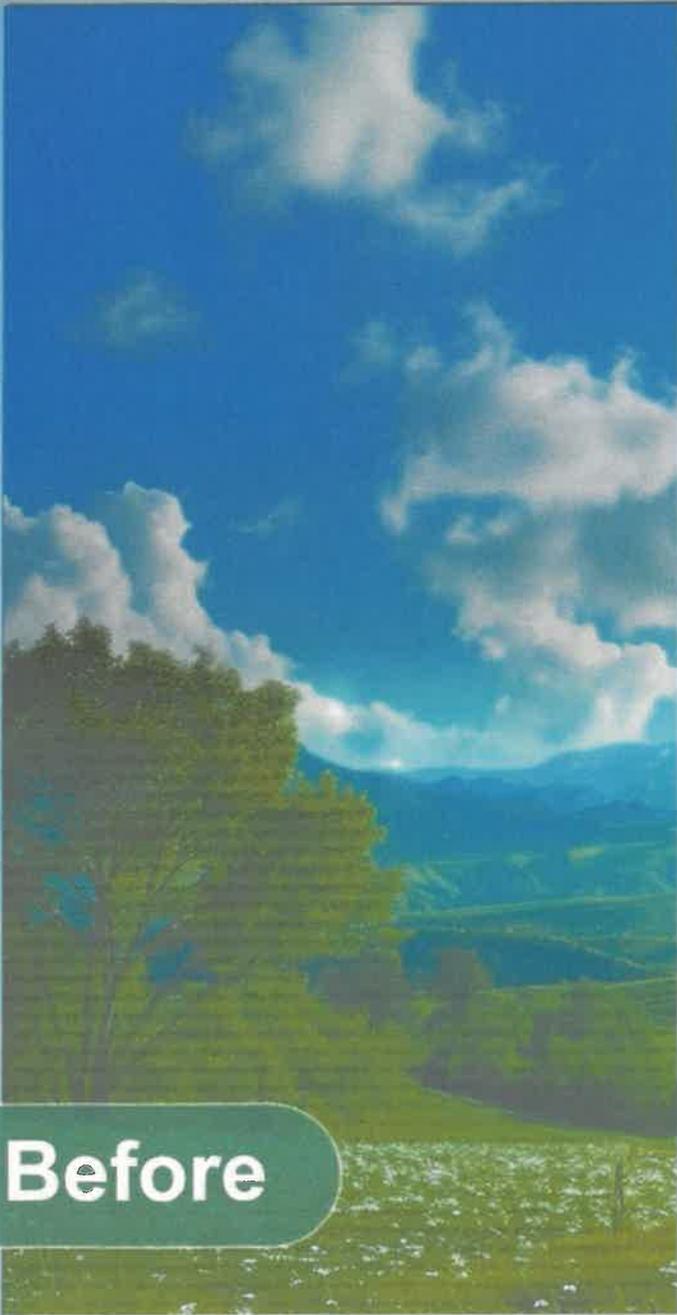


Image capture: Nov 2024 © 2025 Google

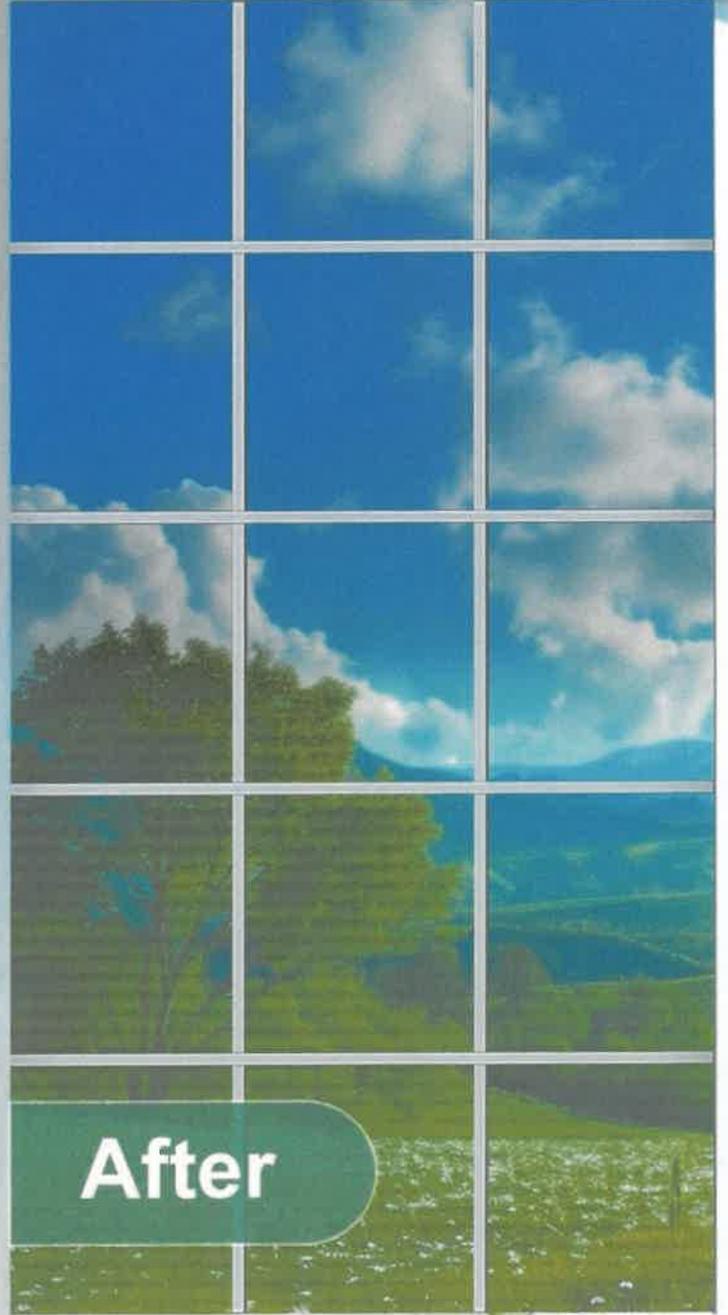


0.5 inch

# DECORATE YOUR WINDOWS



**Before**



**After**

***Window Grille Plug-in Grid Kit to meet your various window decoration needs***



# ***Keep the adhered object clean***



**Windows can be cleaned normally after using the product**

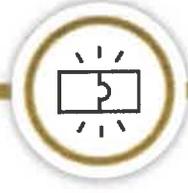
# Key Features



**Premium  
Quality**



**Minimal  
Design**



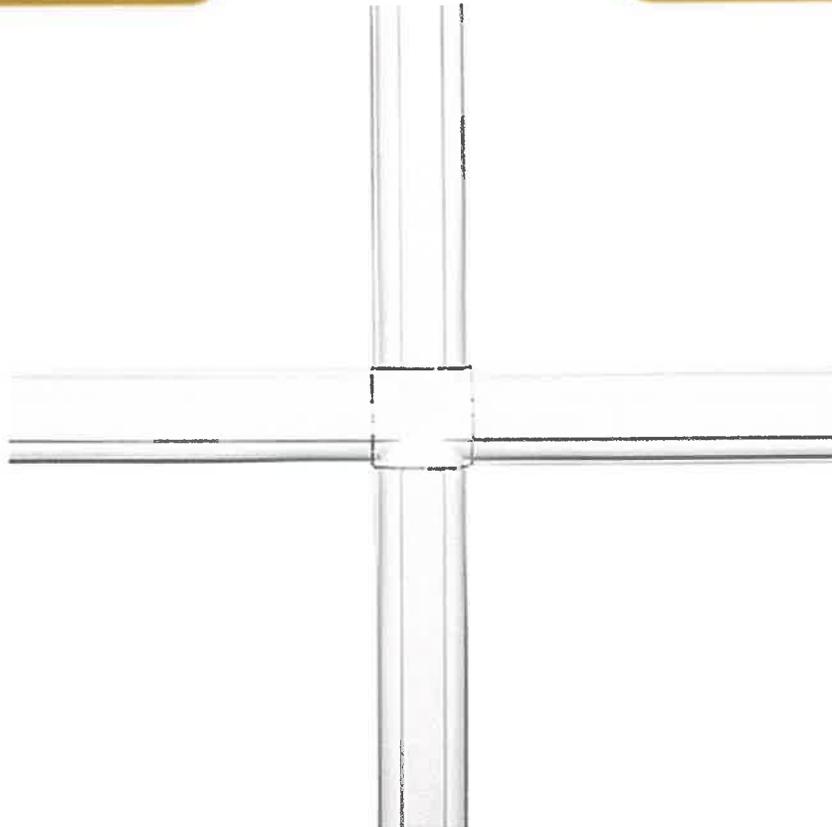
**Sturdy  
Fit**



**Smooth  
Finish**

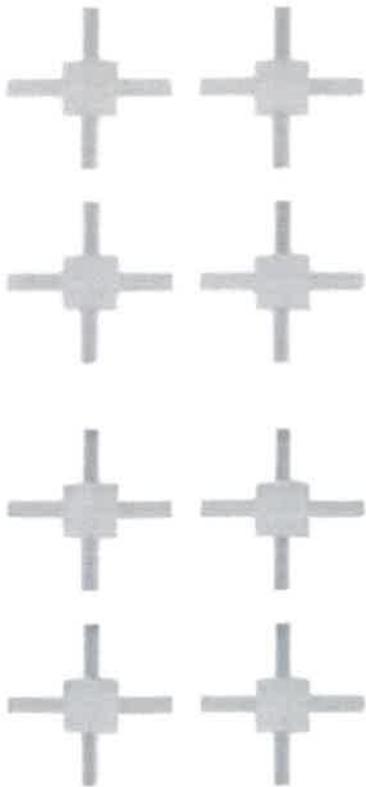
**Material : Plastic**

**Finish : White**

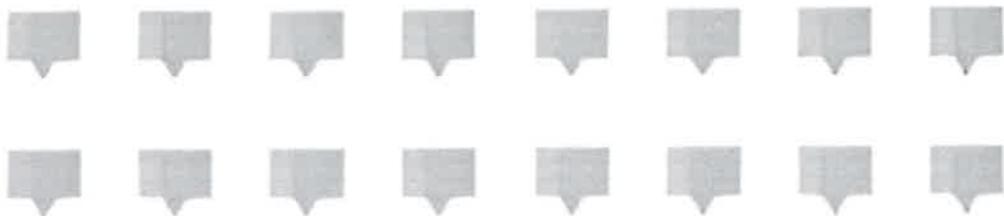
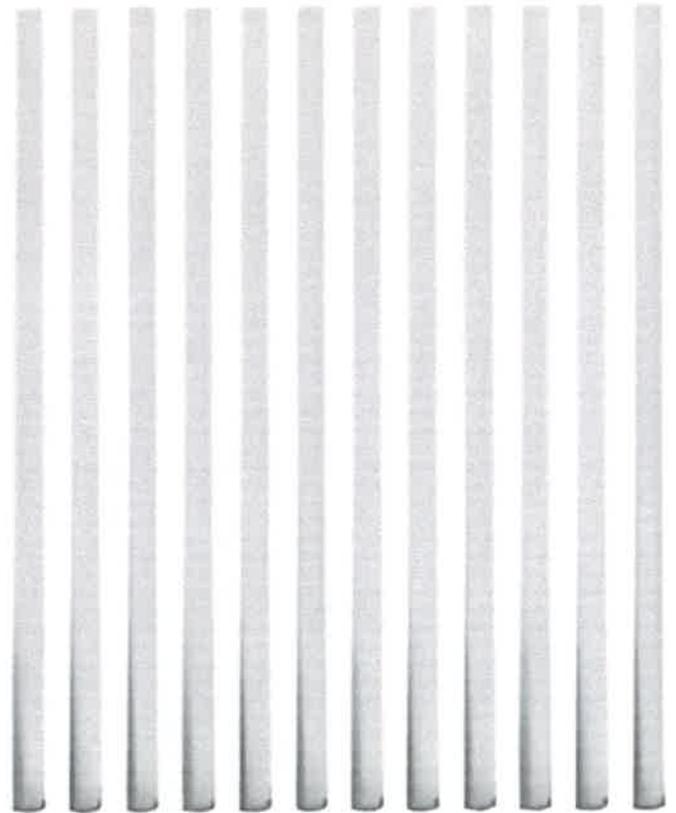


# Package Includes

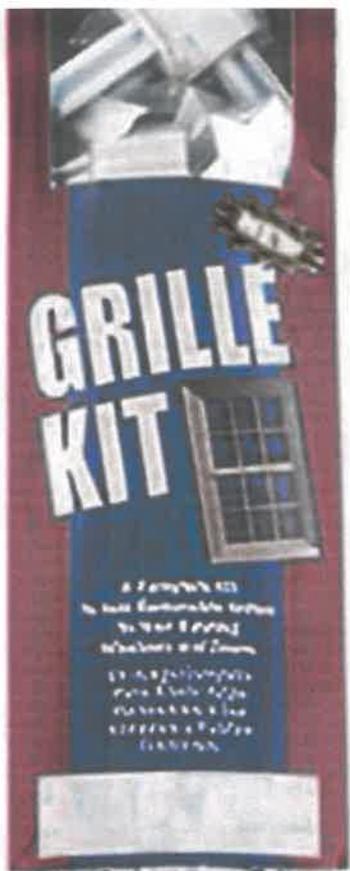
8x  
X Connectors



12x  
24"(610 mm) Profile Bars



16x  
Fasteners

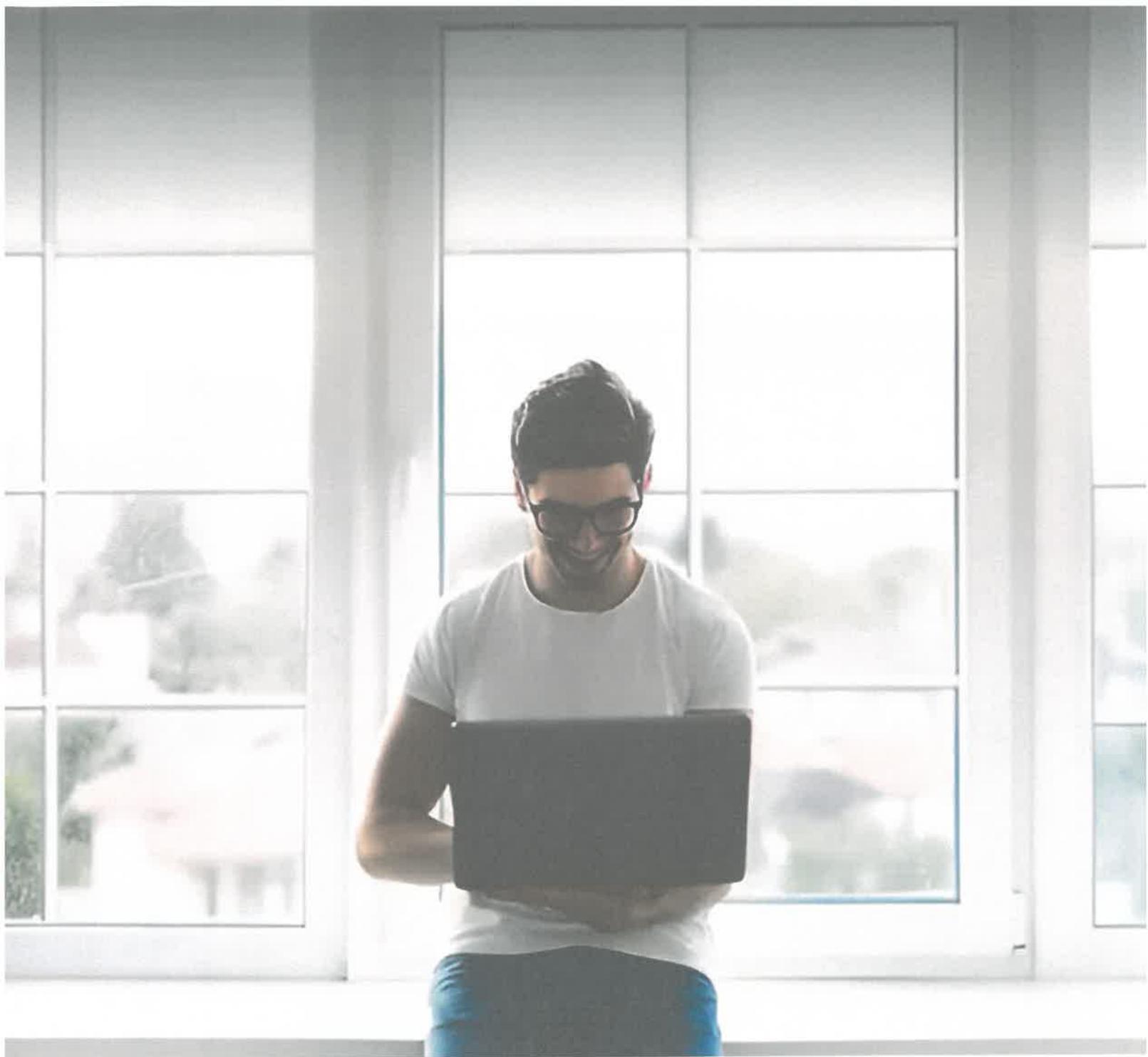


Before



After



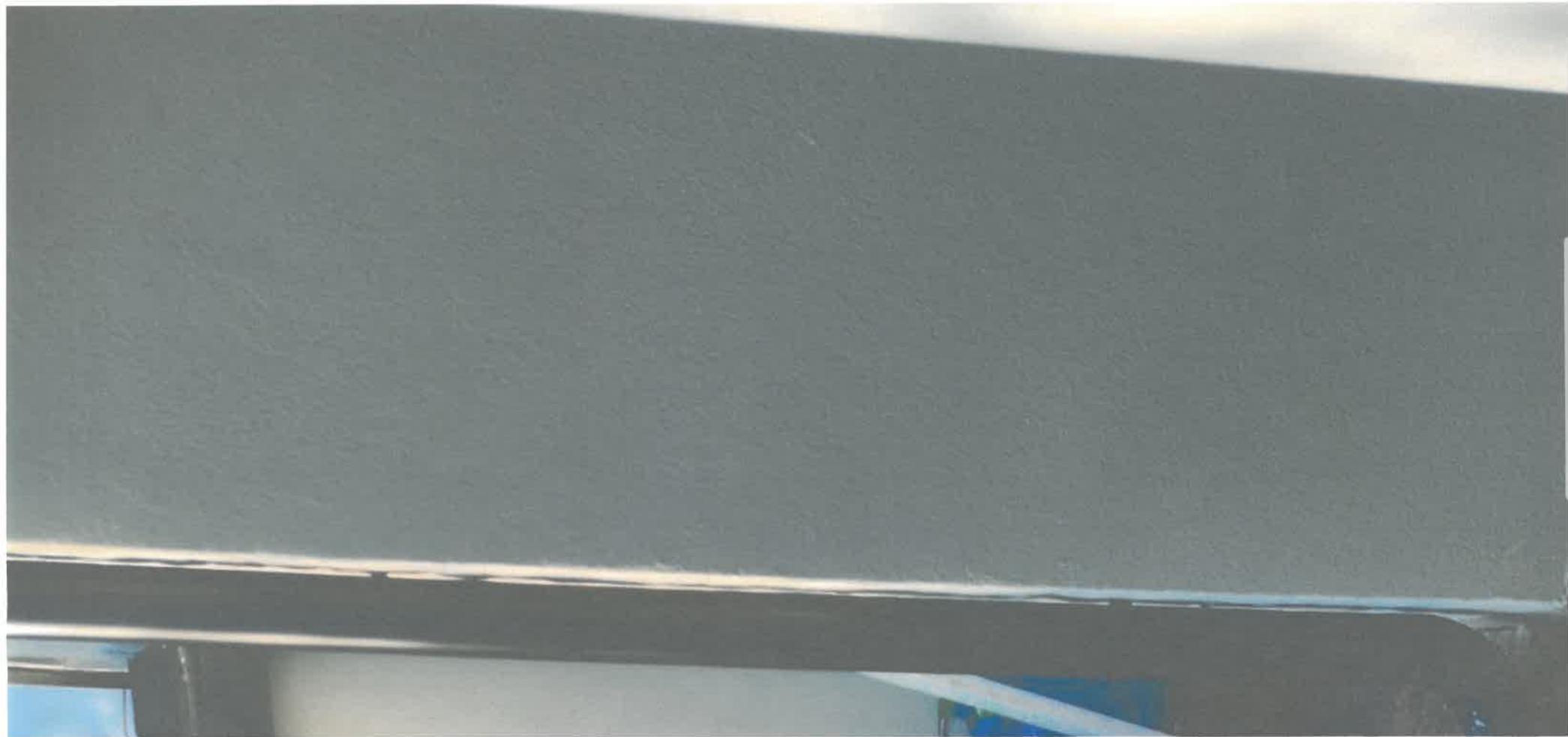


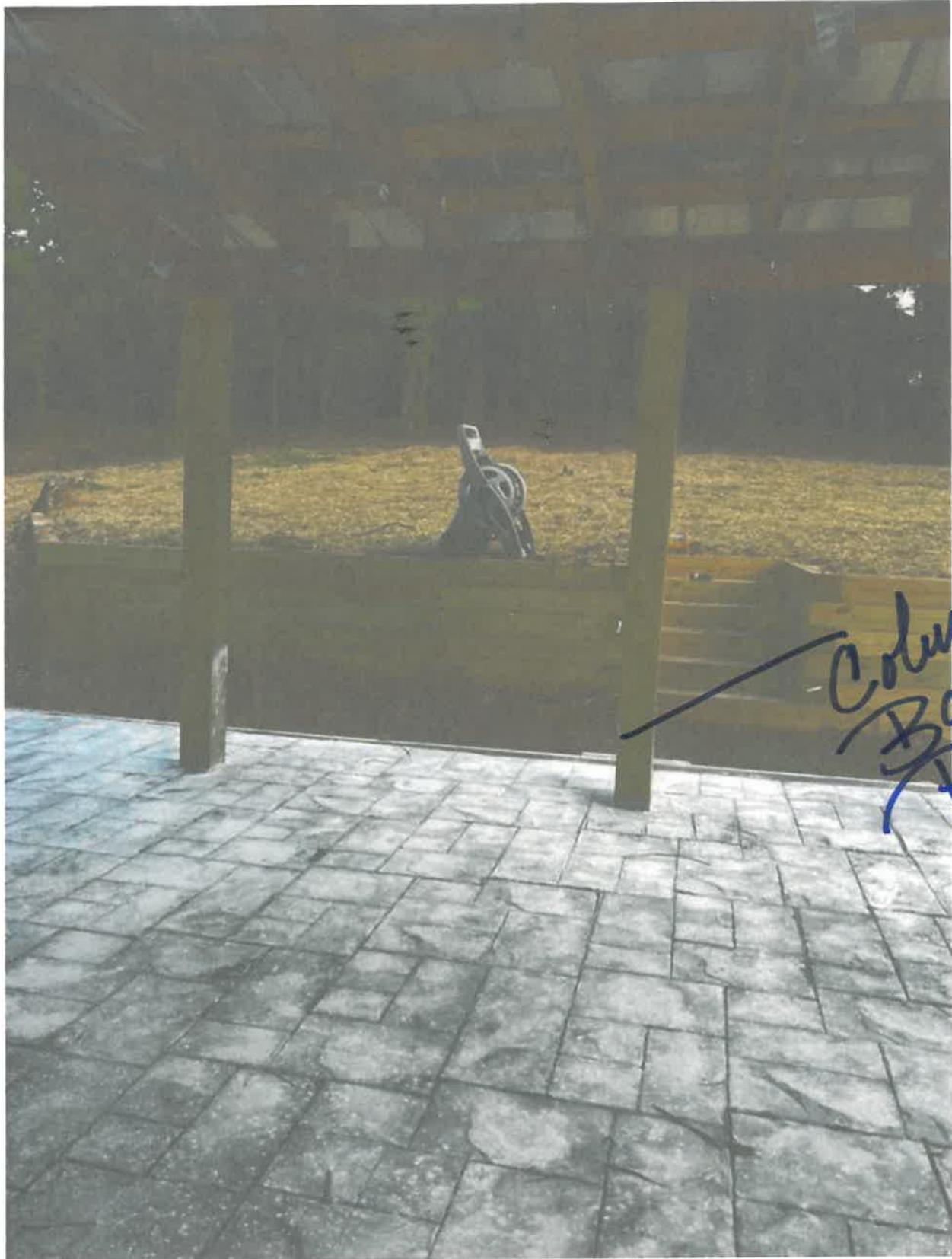


Crop



Columns







Back



Pinch to Zoom



Home



Shop



Thang



Store Mode



Cart



# Historic District Commission

Meeting: August 04, 2025

624 Magellan Street  
District - 1

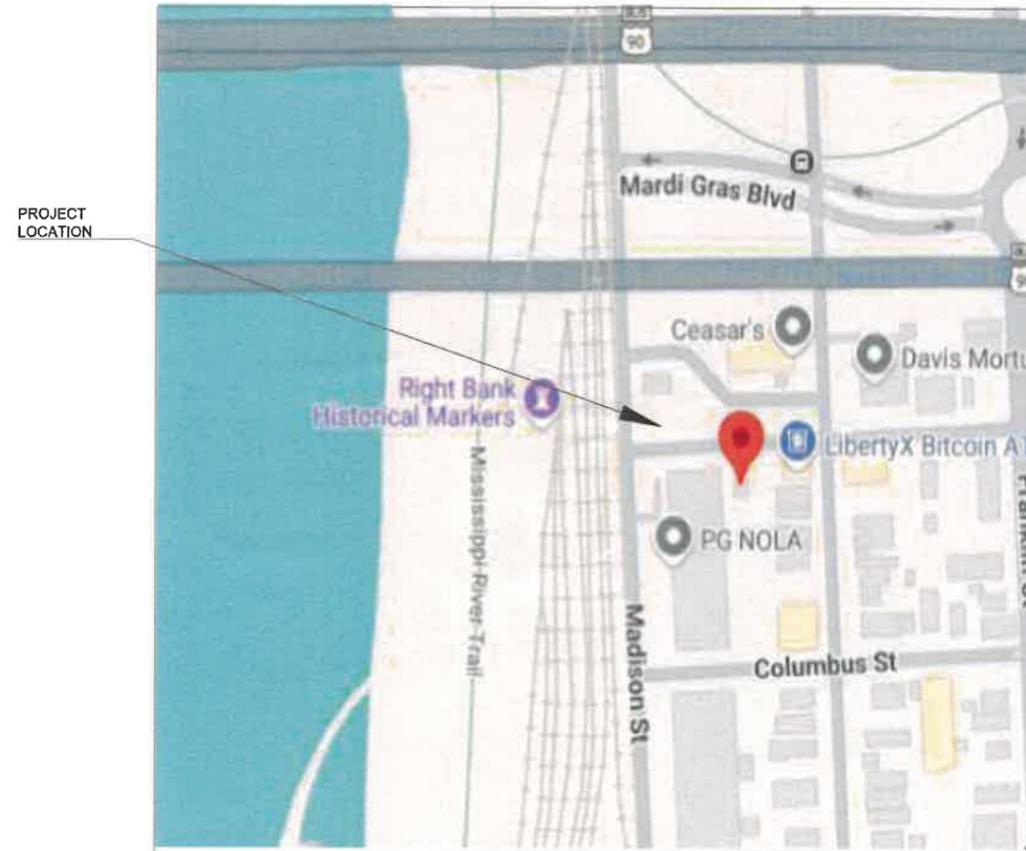
## New Construction Preliminary Conference

Applicant:  
Brett Gross

# LEGACY INDUSTRIES

## RESTORE LOUISIANA

624 Magellan Street, Gretna,  
Louisiana 70053





LINE TABLE		
#	BEARING	DISTANCE
L1	N 86° 12' 47" E	42.40'



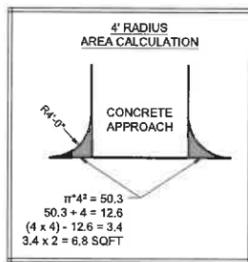
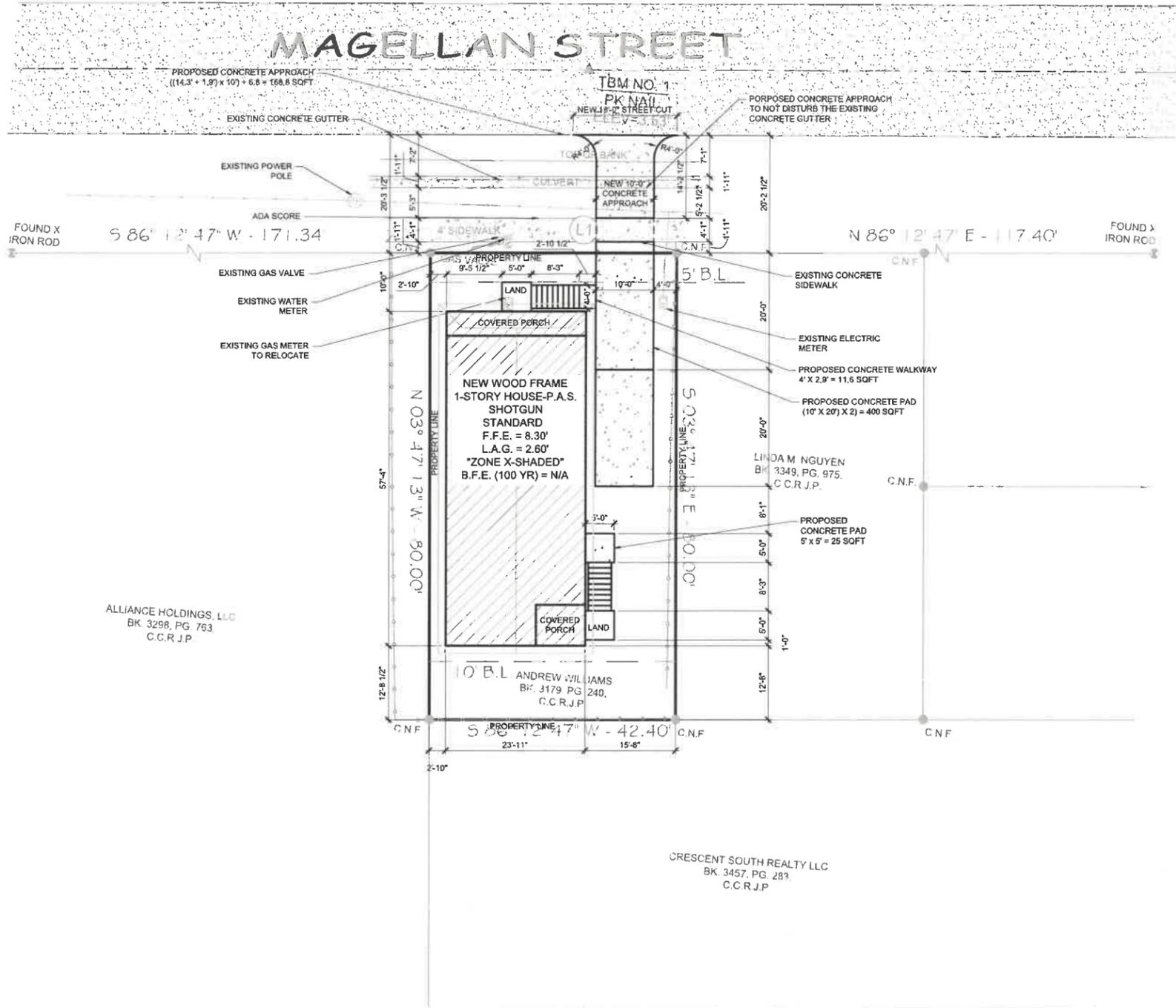
LEGEND	
⊗	GAS METER(GM)
⊗	GAS VALVE(OV)
⊗	FIRE HYDRANT(FH)
⊗	WATER METER(WM)
⊗	WATER VALVE(WV)
⊗	GRATE INLET(O)
⊗	SANITARY MANHOLE(SA.M.H.)
⊗	STORM MANHOLE(S.M.H.)
⊗	PRESSURE VALVE(PV)
⊗	LIGHT POLE(LP)
⊗	WATER WELL(WW)
⊗	TRAFFIC SIGNAL POLE(TSP)
⊗	CLEAN OUT(CO)
⊗	BURIED CABLE MARKER(BCM)
⊗	POWER POLE(PP)
⊗	UTILITY POLE(UP)
⊗	SERVICE POLE(SP)
⊗	ELECTRIC BOX(EB)
⊗	ELECTRIC METER(EM)
⊗	ELECTRIC METER(EM)
⊗	ELECTRIC SHUTOFF
⊗	KNOX BOX
⊗	CONCRETE
⊗	GRAVEL
⊗	WOOD FENCE
⊗	CHAIN-LINK
⊗	IRON FENCE
⊗	PIPELINE
⊗	BUILDING LINE
⊗	EASEMENT LINE
⊗	OVERHEAD POWER
⊗	EXISTING TREE
⊗	PROPOSED TREE
⊗	HIGH BANK

B.F.E. - BASE FLOOD ELEVATION (100 YEAR)  
 D.F.E. - DESIGNATED FLOOD ELEVATION (500 YEAR)  
 F.F.E. - FINISHED FLOOR ELEVATION  
 P.A.S. - PILING AND STRINGER  
 S.O.G. - SLAB ON GRADE  
 H.A.G. - HIGHEST ADJACENT GRADE  
 L.A.G. - LOWEST ADJACENT GRADE

**NOTES**

1. THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM 2'-0" ABOVE B.F.E.
2. THE FINISHED GRADE AT HOUSE FOUNDATION SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AND SHALL START A MINIMUM OF 6" BELOW FINISHED FLOOR OF SLAB OR MINIMUM 6" BELOW PIER FOOTINGS FOR ELEVATED FLOOR.
3. GRADING BELOW ELEVATED FLOOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM HOUSE FOOTPRINT AND PREVENT POOLING UNDER HOUSE.
4. NO BUILD LINES OR EASEMENTS SHOWN ON PLAT BEYOND THE R.O.W.
5. FINISHED CONSTRUCTION GRADING PATTERN SHALL CONVEY WATER RUN-OFF AWAY FROM ADJACENT PROPERTIES.
6. WETLAND AREA TO REMAIN UNDISTURBED DURING CONSTRUCTION.

**LEGAL DESCRIPTION:**  
 BEING A TRACT OF LAND, IN GRETN, JEFFERSON PARISH, LOUISIANA, DESCRIBED IN A DEED RECORDED IN BOOK 3179, PAGE 240, CLERK OF COURT'S RECORDS OF JEFFERSON PARISH, LOUISIANA.



PROPOSED CONCRETE	
PARKING PAD	400 SQFT
APPROACH	168.8 SQFT
CONCRETE PAD	25 SQFT
WALKWAY	11.6 SQFT
<b>TOTAL</b>	<b>605.4 SQFT</b>

IMPERVIOUS SQUARE FOOTAGE	
PROPOSED SQUARE FOOTAGE	
LOT AREA	3,392 SQFT
PROPOSED 1ST FLOOR	1,280 SQFT
FRONT PORCH	160 SQFT
PARKING PAD	400 SQFT
CONCRETE PAD	25 SQFT
WALKWAY	11.6 SQFT
<b>TOTAL COVERED</b>	<b>1,876.6 SQFT</b>
APPROXIMATE LAND TABULATION	
LOT AREA	3,392 SQFT
TOTAL COVERED AREA	1,876.6 SQFT
IMPERVIOUS PERCENTAGE	55.32 %

Revisions:		
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0	04/28/2025	ISSUED FOR CONSTRUCTION

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**COBALT**  
 ENGINEERING AND INSPECTIONS, LLC  
 phone: 409-354-5925 email: info@cobalt-engineering.com

CLIENT:  
 LEGACY CONSTRUCTION  
 PROJECT LOCATION OR ADDRESS:  
 624 MAGELLAN STREET  
 GRETN, LOUISIANA 70053

**SITE PLAN**

DRAWN BY:	G.T.	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	3/32" = 1'-0"
DATE:	04/28/2025		23-0019-SG2-PAS-C-1.00

LINE TABLE		
#	BEARING	DISTANCE
L1	N 86° 12' 47" E	42.40'



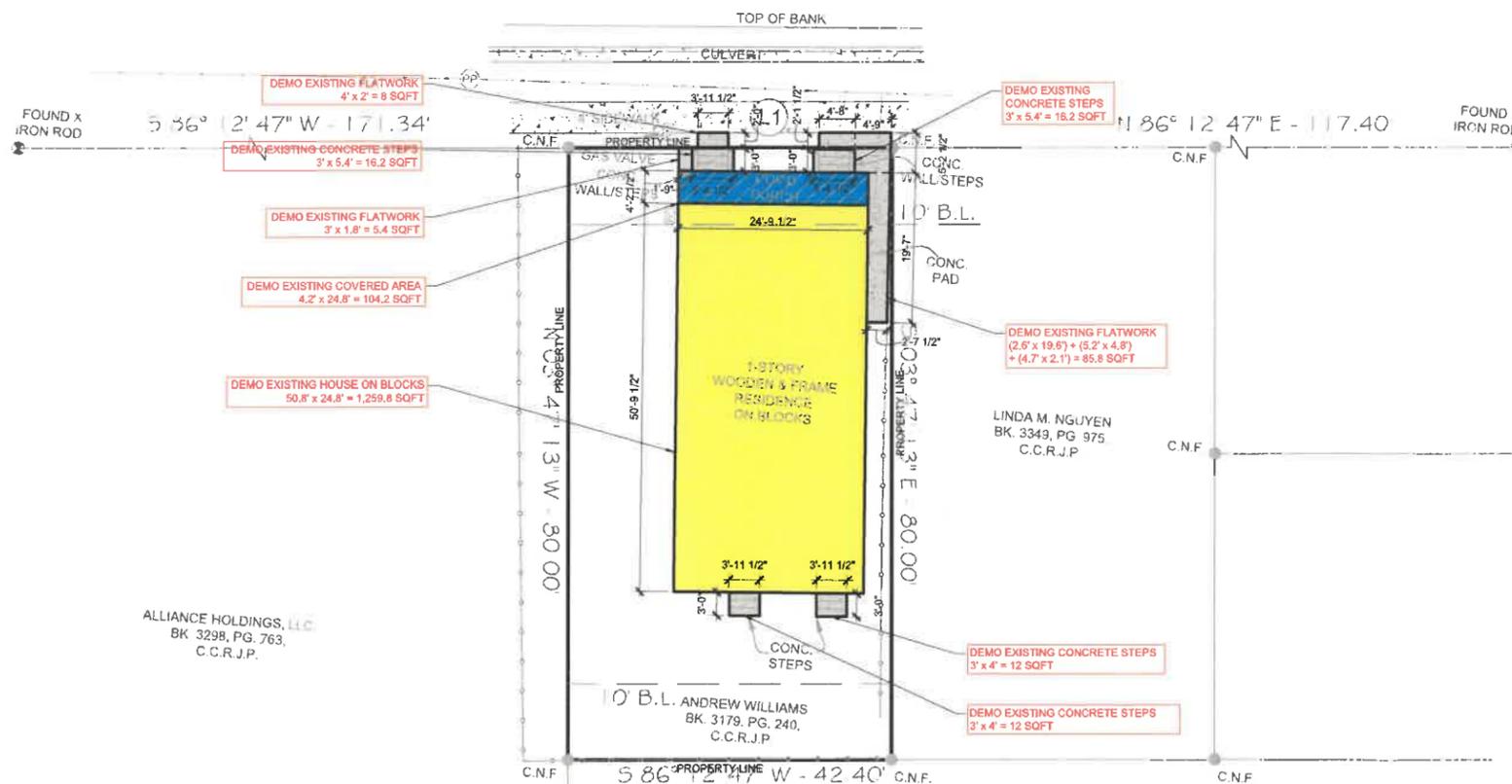
LEGAL DESCRIPTION:  
BEING A TRACT OF LAND, IN GRETNA, JEFFERSON PARISH, LOUISIANA, DESCRIBED IN A DEED RECORDED IN BOOK 3179, PAGE 240, CLERK OF COURT'S RECORDS OF JEFFERSON PARISH, LOUISIANA.

**LEGEND**

- BUILDING
- CONCRETE
- COVERED AREA
- TREE
- BRICK
- WOOD
- ASPHALT
- ITEM TO DEMO
- ITEM TO REMAIN

**MAGELLAN STREET**

TBM NO. 1  
PK NAIL  
ELEV=3.53'



DEMO TABULATIONS	
EXISTING 1ST FLOOR	1,259.8 SQFT
CONCRETE STEPS	56.4 SQFT
CONCRETE PAD	99.2 SQFT
COVERED AREA	104.2 SQFT
TOTAL COVERED	1,519.6 SQFT

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CLIENT:  
LEGACY CONSTRUCTION  
PROJECT LOCATION OR ADDRESS:  
624 MAGELLAN STREET  
GRETN, LOUISIANA 70053

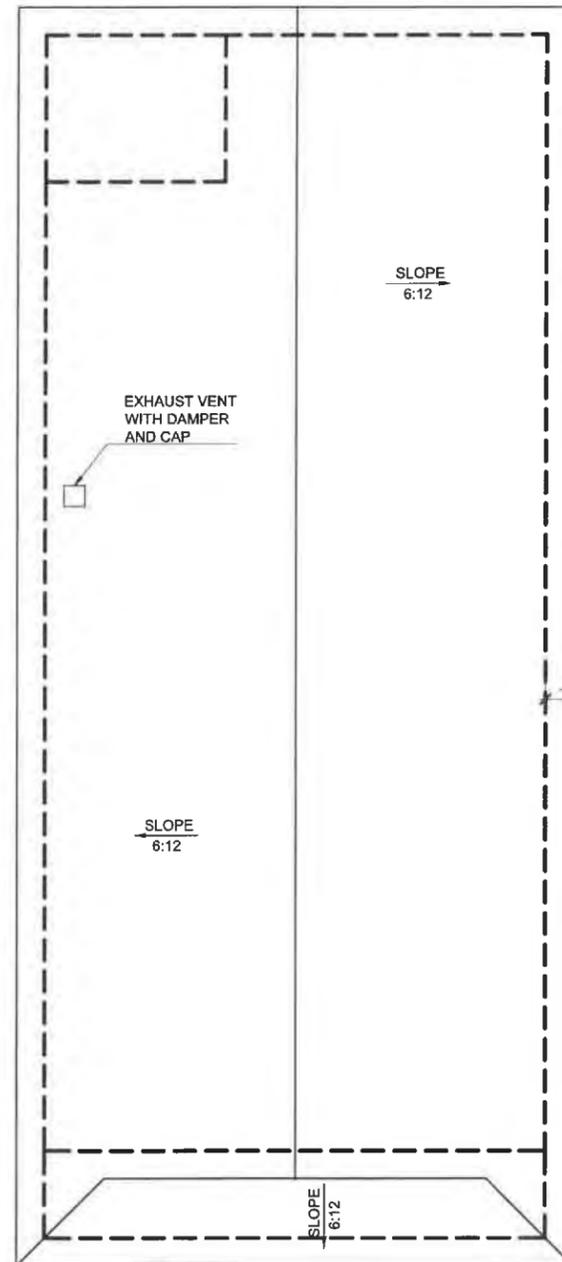
**DEMO PLAN**

DRAWN BY:	G.T.	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	3/32" = 1'-0"
DATE:	04/28/2025		23-0019-SG2-PAS- C-3.00

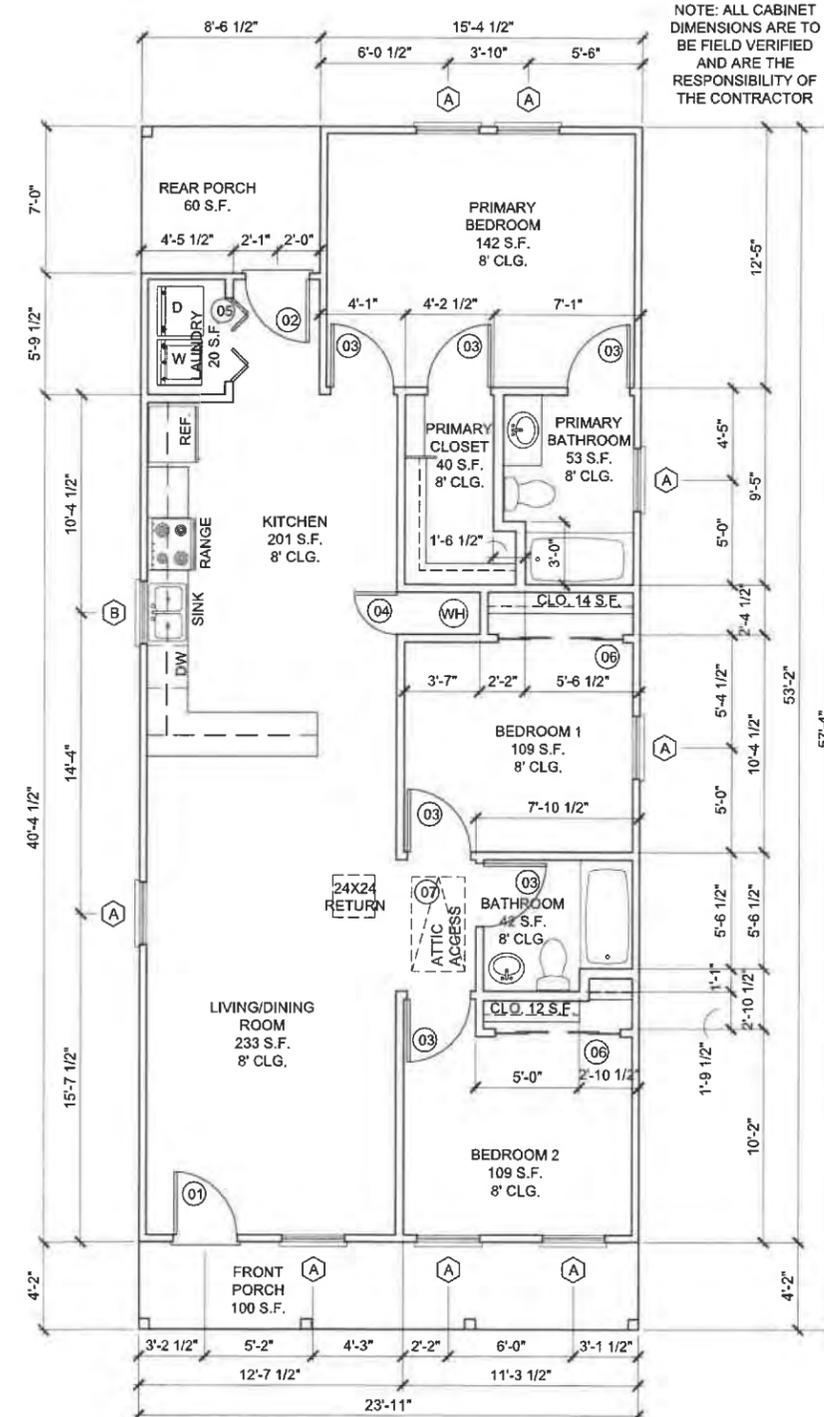
DOOR SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
01	1	3'-0" X 6'-8"	EXTERIOR WITH PEEPHOLE
02	1	3'-0" X 6'-8"	EXTERIOR
03	6	3'-0" X 6'-8"	INTERIOR
04	1	2'-0" X 6'-8"	INTERIOR
05	1	4'-0" X 6'-8"	BI-FOLD
06	2	6'-0" X 6'-8"	CLOSET DOORS
07	1	30" X 54" ATTIC ACCESS	350 POUND LADDER RATING

WINDOW SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
A	8	3'-4" X 5'-0"	DOUBLE HUNG
B	1	3'-0 X 3'-0"	DOUBLE HUNG

SQUARE FOOTAGE CALCULATIONS		
LOCATION	SQUARE FOOTAGE	REMARKS
FLOOR PLAN	1,211 S.F.	
FRONT PORCH	100 S.F.	
REAR PORCH	60 S.F.	



01 ROOF PLAN (STANDARD)



02 FLOOR PLAN (STANDARD)

- SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP AND STAIRS
- SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
- ROOF OVERHANG TO BE A 12" MINIMUM WHEN USING SIDING AND 16" MINIMUM WHEN USING BRICK. (DIMENSIONS ARE OF ROUGH FRAMING)
- WINDOWS USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 S.F. WITH A MINIMUM HEIGHT OF 24" AND A MINIMUM WIDTH OF 20" PER THE INTERNATIONAL RESIDENTIAL CODE.
- PLAIN HALF-ROUND 6" WIDE AND 4" DIAMETER DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED. OR STANDARD K-STYLE 6" WIDE AND 4"X5" DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED.
- ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
- SMART VENT (1540-510) FLOOD VENTS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN AN "A" FLOOD ZONE.
- FEMA APPROVED BREAKAWAY WALLS OR LOUVERS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN A "V" FLOOD ZONE.
- ALL MATERIALS BELOW BFE AND/OR DFE SHALL BE FLOOD RESISTANT MATERIAL INCLUDING, BUT NOT LIMITED TO TREATED FRAMING MATERIAL. SEE FEMA TECHNICAL BULLETIN 2, FLOOD DAMAGE RESISTANT MATERIALS REQUIREMENTS (2008).
- RAIN DIVERTER STRIP IS REQUIRED OVER A/C UNIT AND ENTRANCES.
- ATTIC ACCESS TO HAVE A PULL DOWN STAIRWAY WITH A MINIMUM WIDTH OF 22".
- BUILDER SHALL EXERCISE JUDGEMENT IN PLACEMENT OF EXTERNAL LIGHTING FOR RAMP CONNECTED TO A SINGLE SWITCH LOCATED AT EITHER THE FRONT OR THE BACK DOOR.
- WATER HEATER TO BE LOCATED IN ATTIC.

Revisions:	
#	DATE
0	04/28/2025
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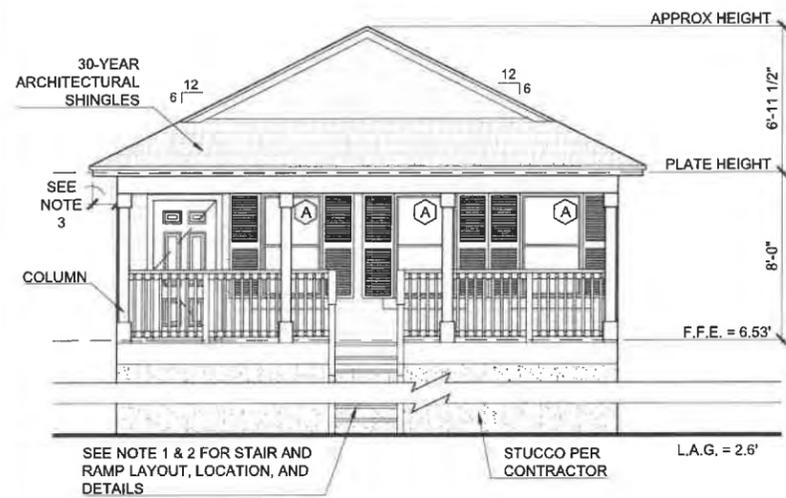
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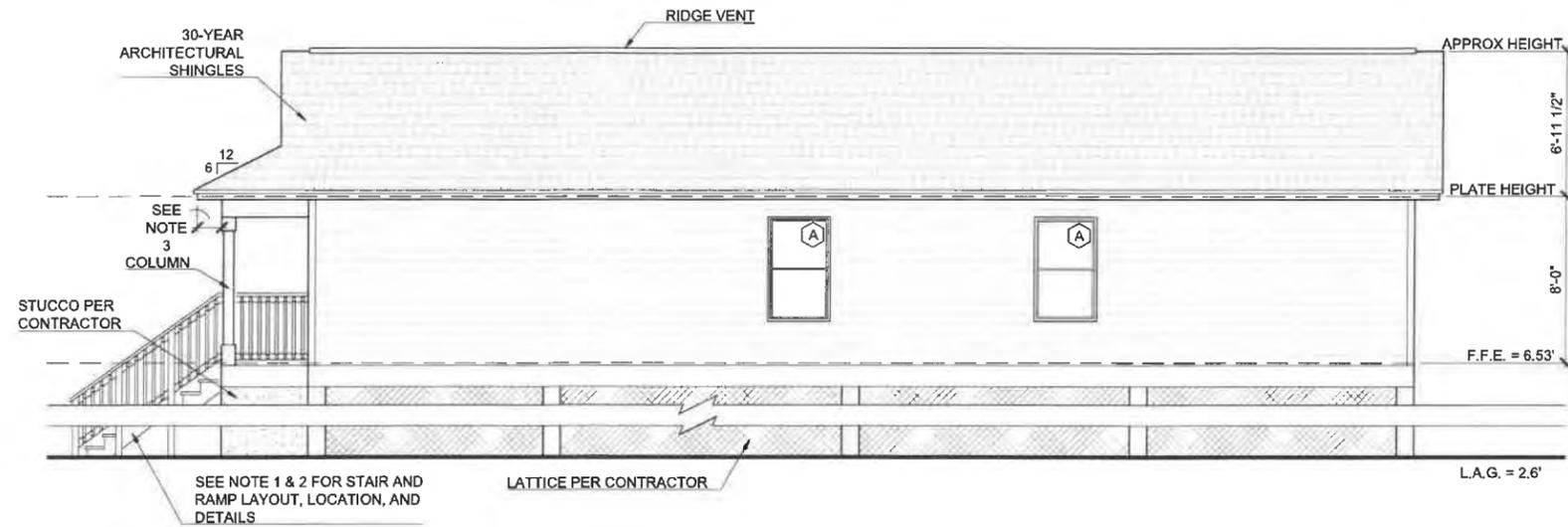
CLIENT:  
LEGACY CONSTRUCTION  
PROJECT LOCATION OR ADDRESS:  
624 MAGELLAN STREET  
GRETN, LOUISIANA 70053

SHOTGUN 2  
FLOOR PLAN - ROOF PLAN  
(STANDARD)

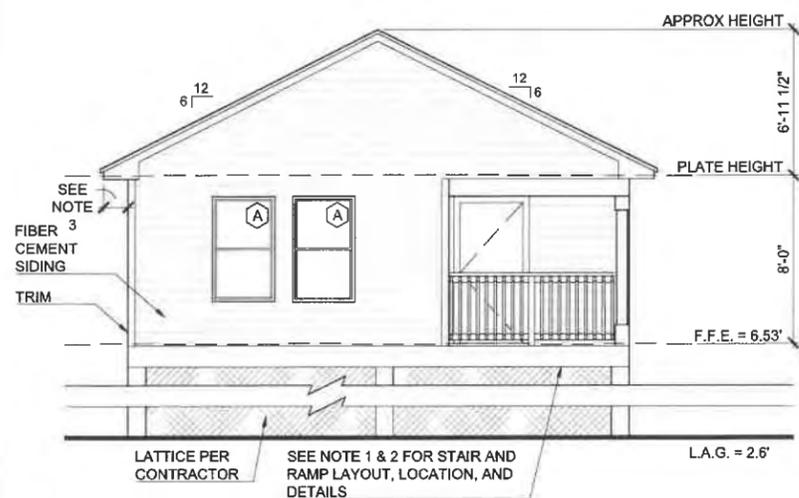
DRAWN BY:	DAS	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	1/4" = 1'-0"
DATE:	04/28/2025		



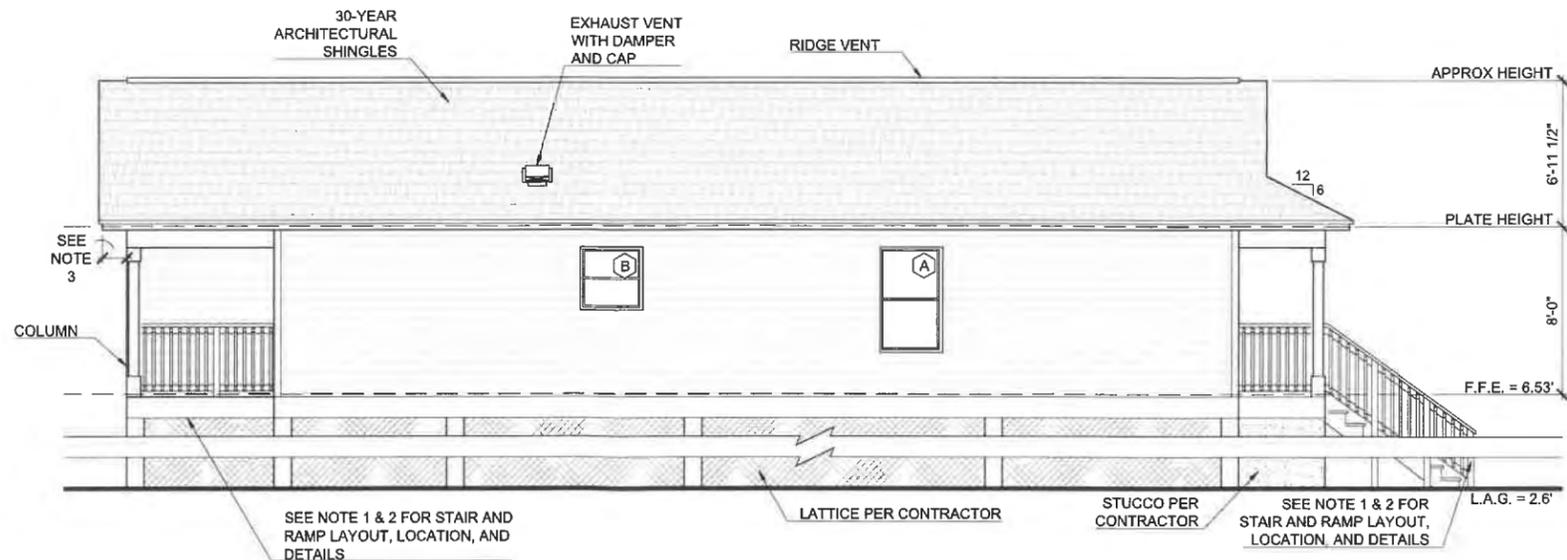
01 FRONT ELEVATION (STANDARD)



02 RIGHT ELEVATION (STANDARD)



03 REAR ELEVATION (STANDARD)



04 LEFT ELEVATION (STANDARD)

NOTES

1. SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP AND STAIRS
2. SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
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13. WATER HEATER TO BE LOCATED IN ATTIC.

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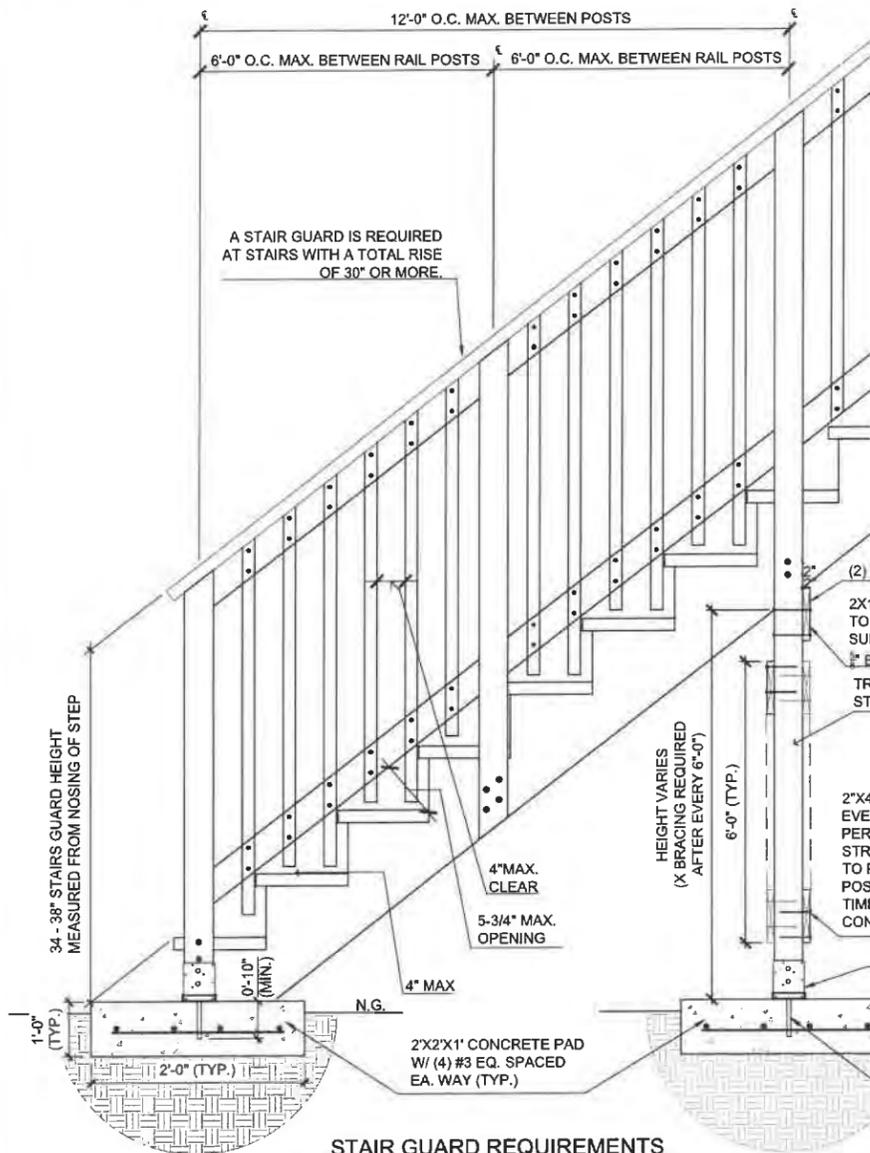


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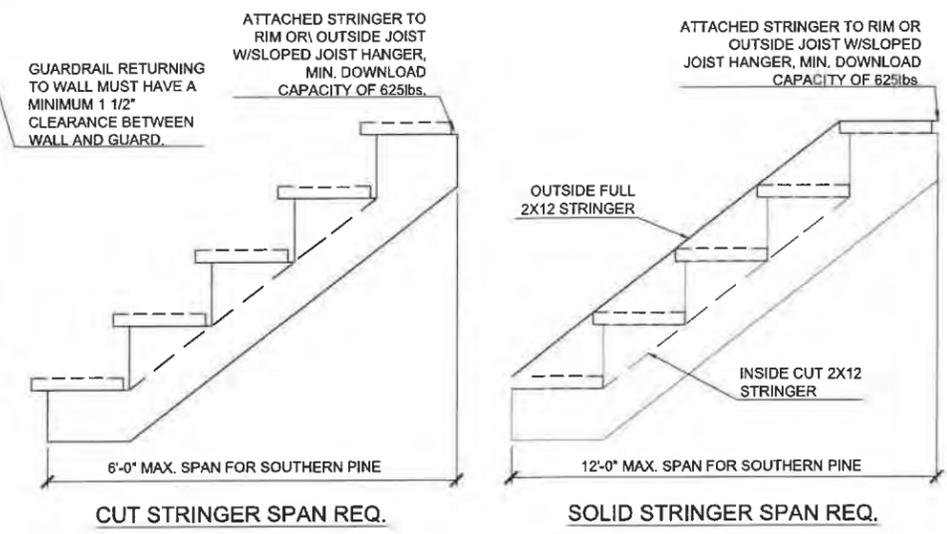
LEGACY CONSTRUCTION  
PROJECT LOCATION OR ADDRESS:  
624 MAGELLAN STREET  
GRETN, LOUISIANA 70053

SHOTGUN 2  
EXTERIOR ELEVATIONS  
(STANDARD)

DRAWN BY:	DAS	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	1/4" = 1'-0"
DATE:	04/28/2025		23-0019-SG2-PAS- A-2.00

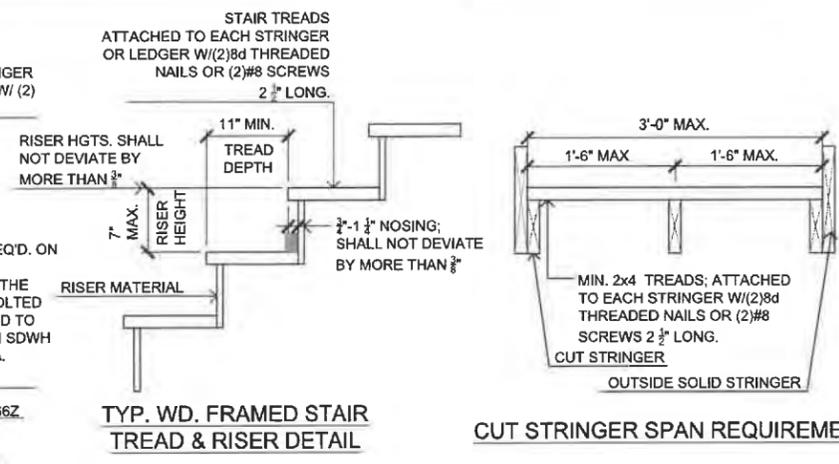


STAIR GUARD REQUIREMENTS



CUT STRINGER SPAN REQ.

SOLID STRINGER SPAN REQ.

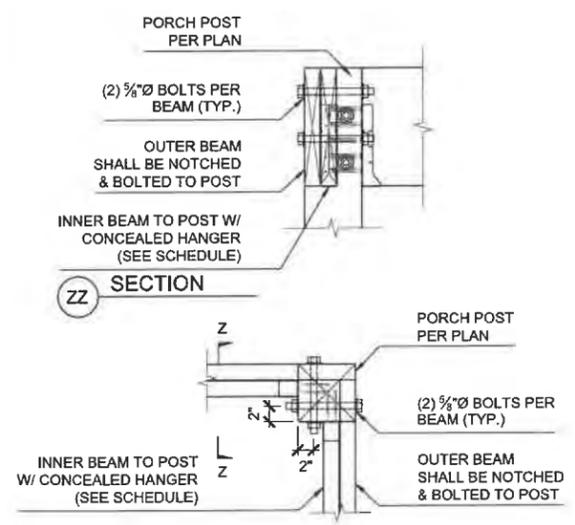
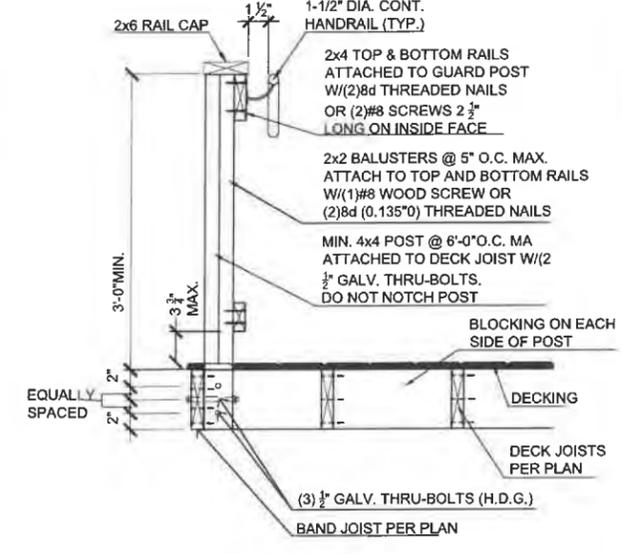


TYP. WD. FRAMED STAIR TREAD & RISER DETAIL

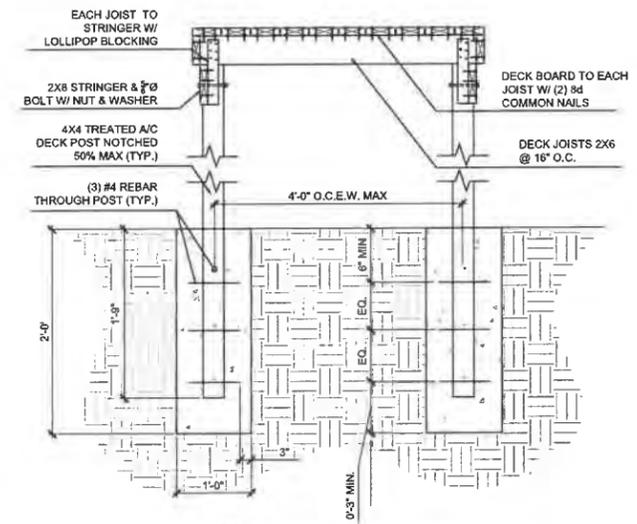
CUT STRINGER SPAN REQUIREMENT

NOTE: FASTEN BLOCKING TOGETHER WITH (12) 8d COMMON NAILS (0.131"x2-1/2")

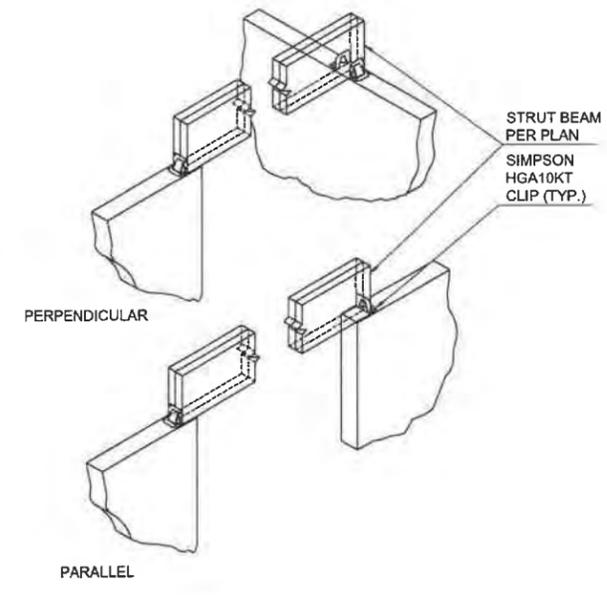
02 TYPICAL DECK RAIL INSTALLATION DETAIL



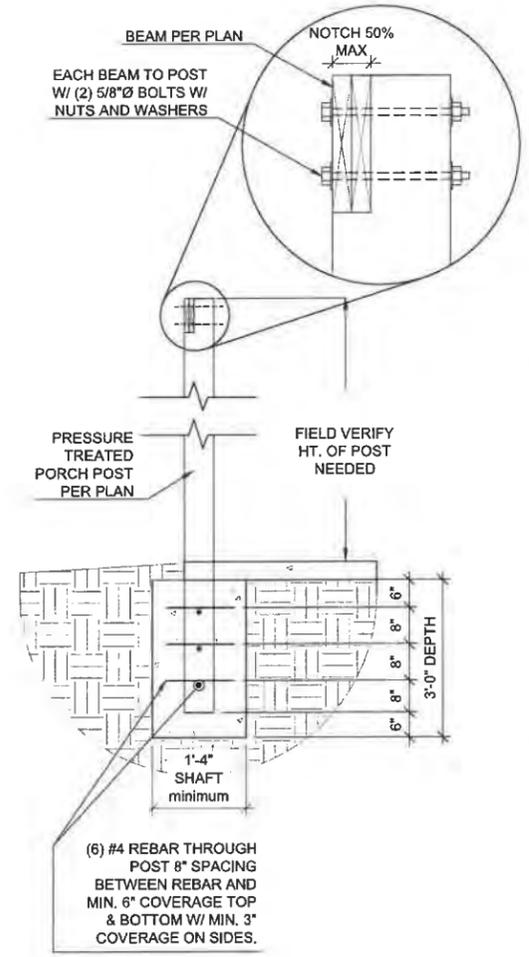
03 CORNER POST DETAIL



04 A/C DECK W/ 4X4 POSTS



05 DRAG STRUT DETAIL



06 TYPICAL POST EMBEDMENT DETAIL

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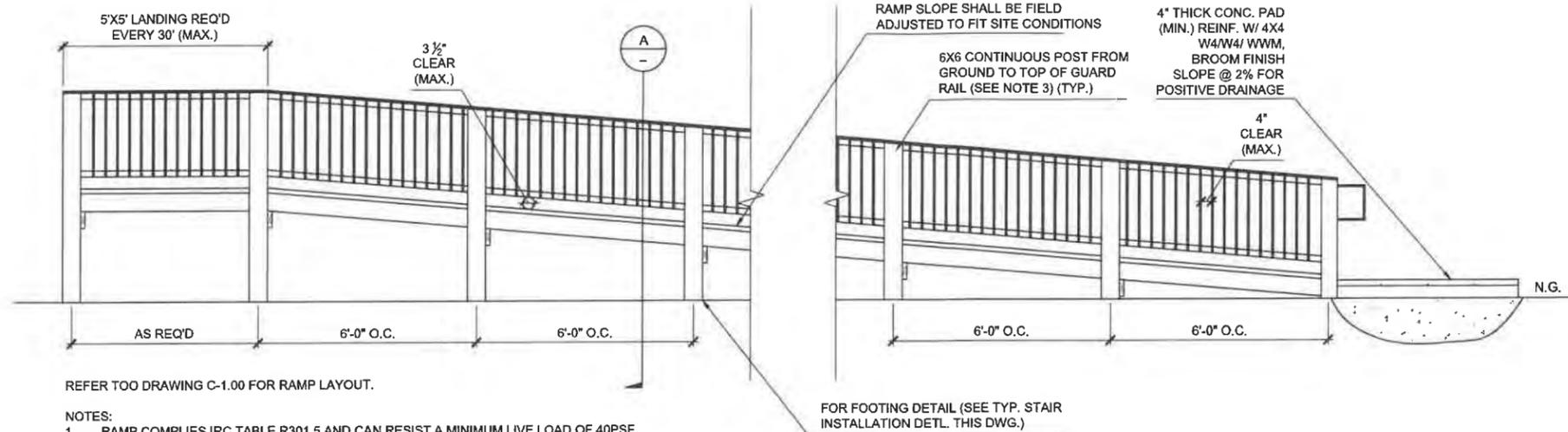
NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

phone: 479-534-5925 email: info@cobalt-engineering.com

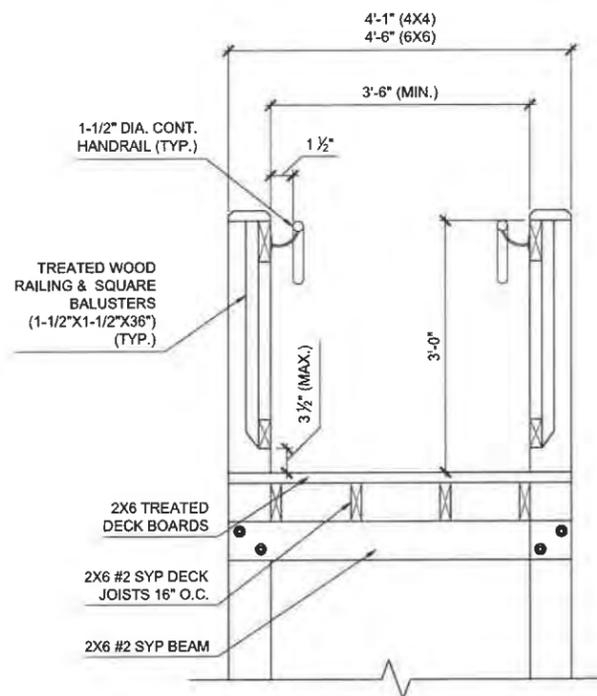
CLIENT:  
LEGACY CONSTRUCTION  
PROJECT LOCATION OR ADDRESS:  
624 MAGELLAN STREET  
GRETN, LOUISIANA 70053

SHOTGUN 2  
STANDARD DETAIL 4

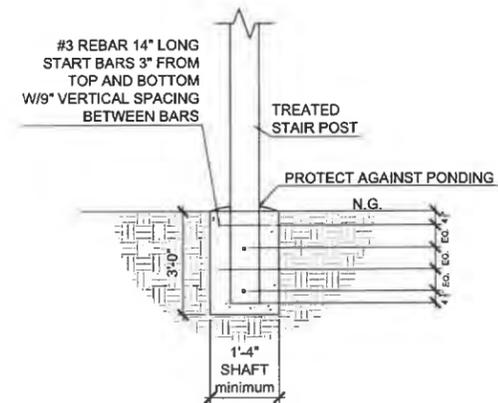
DRAWN BY:	AW	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	N.T.S.
DATE:	04/28/2025	23-0019-SG2-PAS-	SD-4.00



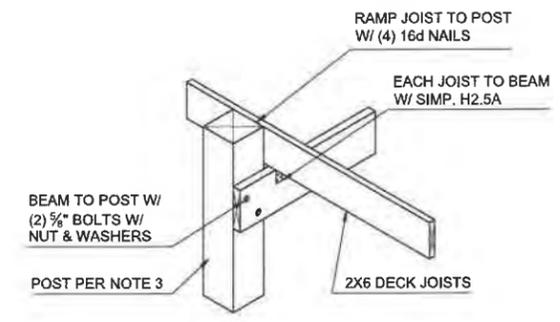
**RAMP ELEVATION**  
N.T.S.



**A SECTION**  
N.T.S.



**FOOTING DETAIL**  
N.T.S.



**STRINGER & FLOOR JOIST DETAIL**  
N.T.S.

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LEGACY CONSTRUCTION

PROJECT LOCATION OR ADDRESS:  
624 MAGELLAN STREET  
GRETNA, LOUISIANA 70053

**SHOTGUN2  
RAMP DETAILS**

DRAWN BY:	AW	CHECKED BY:	GCH
PROJECT #:	23-0019-169	SCALE:	1/4" = 1'-0"
DATE:	04/28/2025	23-0019-SG2-PAS-	SD-11.00



# Historic District Commission

Meeting: June 30, 2025

624 Magellan Street  
DISTRICT - 1

## New Construction

Applicant:

**Brett Gross**

*27/10  
P.C.  
7/11/15-0*

① *SHOTGUN FLOOR PLAN  
3 BED 2 BATH*

④ *FRONT  
PORCH  
ENCLOSED  
- masonry  
- cmu block  
w/ skinned  
work*

② *SETBACK FROM STREET*

③ *3'-0" ABOVE CL OF STREET*



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

8581

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 624 Magellan Street, Gretna, LA. 70053

Renovation: \_\_\_\_\_

New Construction: New Single Family

Demolition: \_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other See plan set attached.

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other See plan set attached.

**Exterior materials proposed:**

Roof Shingle

Soffit Vinyl

Fascia Vinyl

Siding Vinyl

Masonry \_\_\_\_\_

Porches Wood

Balconies \_\_\_\_\_

Handrails Wood

Type of exterior lighting fixtures: Sconce

Style of windows: Double Hung

Type of exterior doors: 6 Panel

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: FFE=8.3' ft.

Side Space: FFE=8.3' ft.

Rear Space: FFE=8.3' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Brett Gross Date: 6/16/2025

Applicant's Name: Brett Gross

Applicant's Address: 119 Causeway Boulevard, Jefferson, LA. 70121

Phone No: ( 225)362-7607 Cell No: ( )

**For Office Use Only:**

Application date: 6-23-2025

Substantive Change: Yes  No

Inventory Number: NA

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: June 30, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

**Mayor**

*Belinda Cambre Constant*

**Councilmembers**

*Wayne A. Rau*

**Councilman-at-Large**

*Rudy S. Smith*

**District One**

*Michael A. Hinyub*

**District Two**

*Mark K. Miller*

**District Three**

*Jackie J. Berthelot*

**District Four**

**Departments**

**Building**

*Danika E. Gorrondona*

**Citizens' Affairs**

*Rachael Stanley*

**City Clerk**

*Norma J. Cruz*

**City Development**

*Amelia Pellegrin*

**Code Enforcement**

*Angel L. Gonzales*

**Environmental Affairs**

*Madason Prlore*

**Finance & Tax**

*Raylyn C. Stevens*

**Human Resources**

*Gwen Turner*

**Information Technology**

*Michael T. Wesley*

**Operations**

*Eric Stahl*

**Parks & Parkways**

*Amie L. Hebert*

**Public Utilities**

*Ron Johnson*

I, Brett Gross the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on June 30, 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

*Brett Gross*

Signature of Applicant

Brett Gross

Name of Applicant (Please Print)

119 Causeway Boulevard, Jefferson, LA. 70121

Applicant's Address

624 Magellan Street, Gretna, LA. 70053

Address under HDC review

Date: 6/16/2025



# Historic District Commission

Meeting: August 04, 2025

739 4<sup>th</sup> Street  
District - 2

Trim Lights

Applicant:  
Peter DeBroeck

#8671



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 739 FOURTH ST.

Renovation: ADD TRIM LIGHTING -  
New Construction: \_\_\_\_\_  
Demolition: \_\_\_\_\_

Age of Structure: 120 YRS

**Building Type:**

Creole Cottage \_\_\_\_\_  
Shotgun \_\_\_\_\_  
Bungalow \_\_\_\_\_  
Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_  
Italianate \_\_\_\_\_  
New Orleans Bracketed \_\_\_\_\_  
Eastlake \_\_\_\_\_  
Colonial Revival \_\_\_\_\_  
Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_  
Fascia \_\_\_\_\_ Siding \_\_\_\_\_  
Masonry \_\_\_\_\_ Porches \_\_\_\_\_  
Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: TRIM LIGHTING - <sup>TO BE</sup> ADDED - 115 VOLTS  
Style of windows: \_\_\_\_\_ LOW VOLTAGE PERMANENT LIGHTING

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: APPROX 40 ft. Side Space: \_\_\_\_\_ ft.  
Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Handwritten Signature] Date: 6-24-25

Applicant's Name: H. PETER DEBROECK, Jr / GRETNA FARMERS MKT.

Applicant's Address: 739 FOURTH ST.

Phone No: ( ) \_\_\_\_\_ Cell No: ( ) 504.905-1142

**For Office Use Only:**

Application date: June 24 2025

Substantive Change: Yes  No  Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

**Mayor**

**Belinda Cambre Constant**

**Councilmembers**

Wayne A. Rau

**Councilman-at-Large**

Rudy S. Smith

District One

Michael A. Hlnyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

**Departments**

**Building**

Donika E. Gorrondona

**Citizens' Affairs**

Rachael Stanley

**City Clerk**

Norma J. Cruz

**City Development**

Amelia Pellegrin

**Code Enforcement**

Angel L. Gonzales

**Environmental Affairs**

Madason Priore

**Finance & Tax**

Raylyn C. Stevens

**Human Resources**

Gwen Turner

**Information Technology**

Michael T. Wesley

**Operations**

Eric Stahl

**Parks & Parkways**

Amle L. Hebert

**Public Utilities**

Ron Johnson

I, H. PETER DEBROECK, Jr the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

H. PETER DEBROECK

GRETTNA FARMERS MARKET

Name of Applicant (Please Print)

739 FOURTH ST.

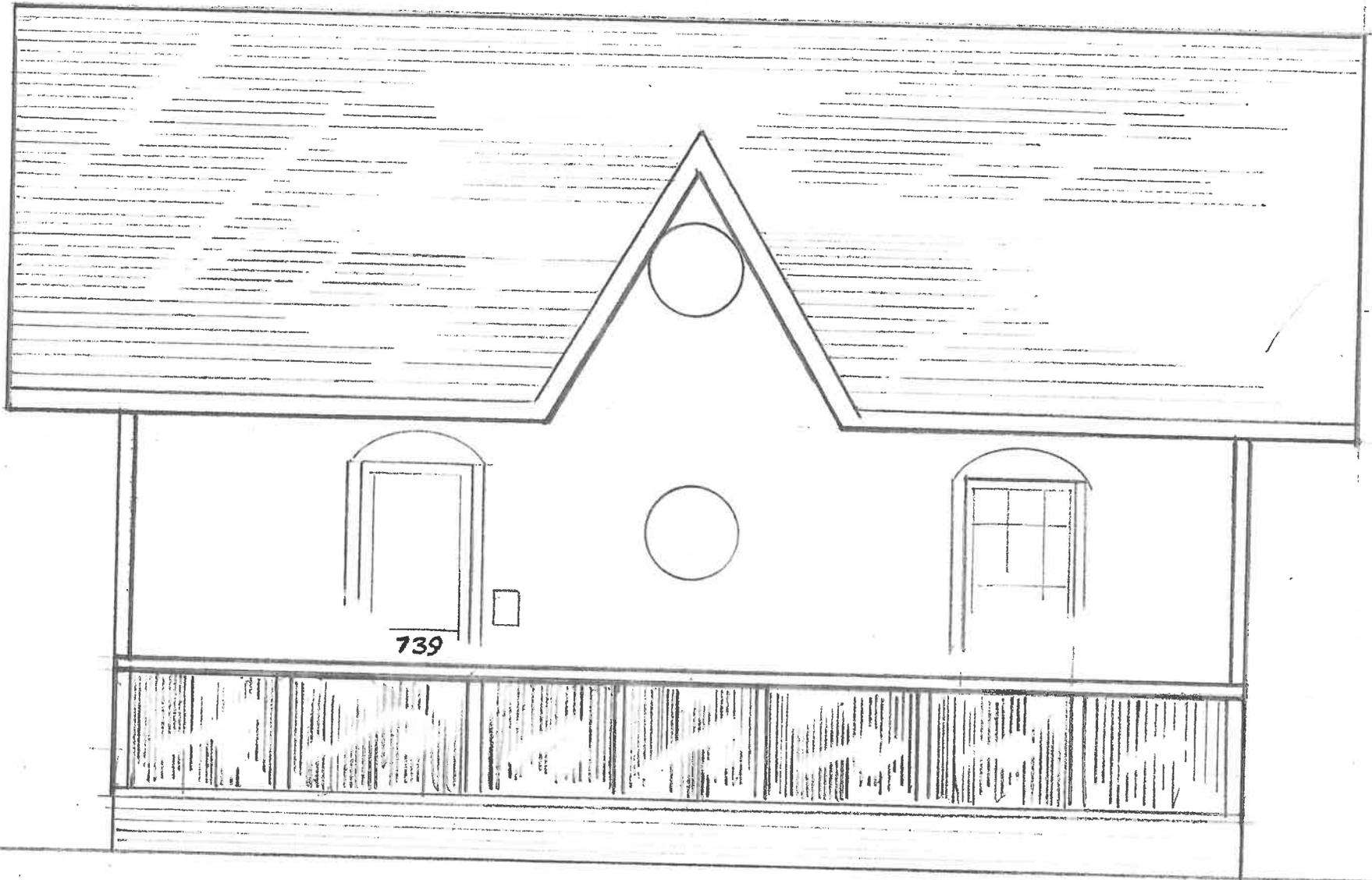
Applicant's Address

739 FOURTH ST

Address under HDC review

Date: 6-24-25

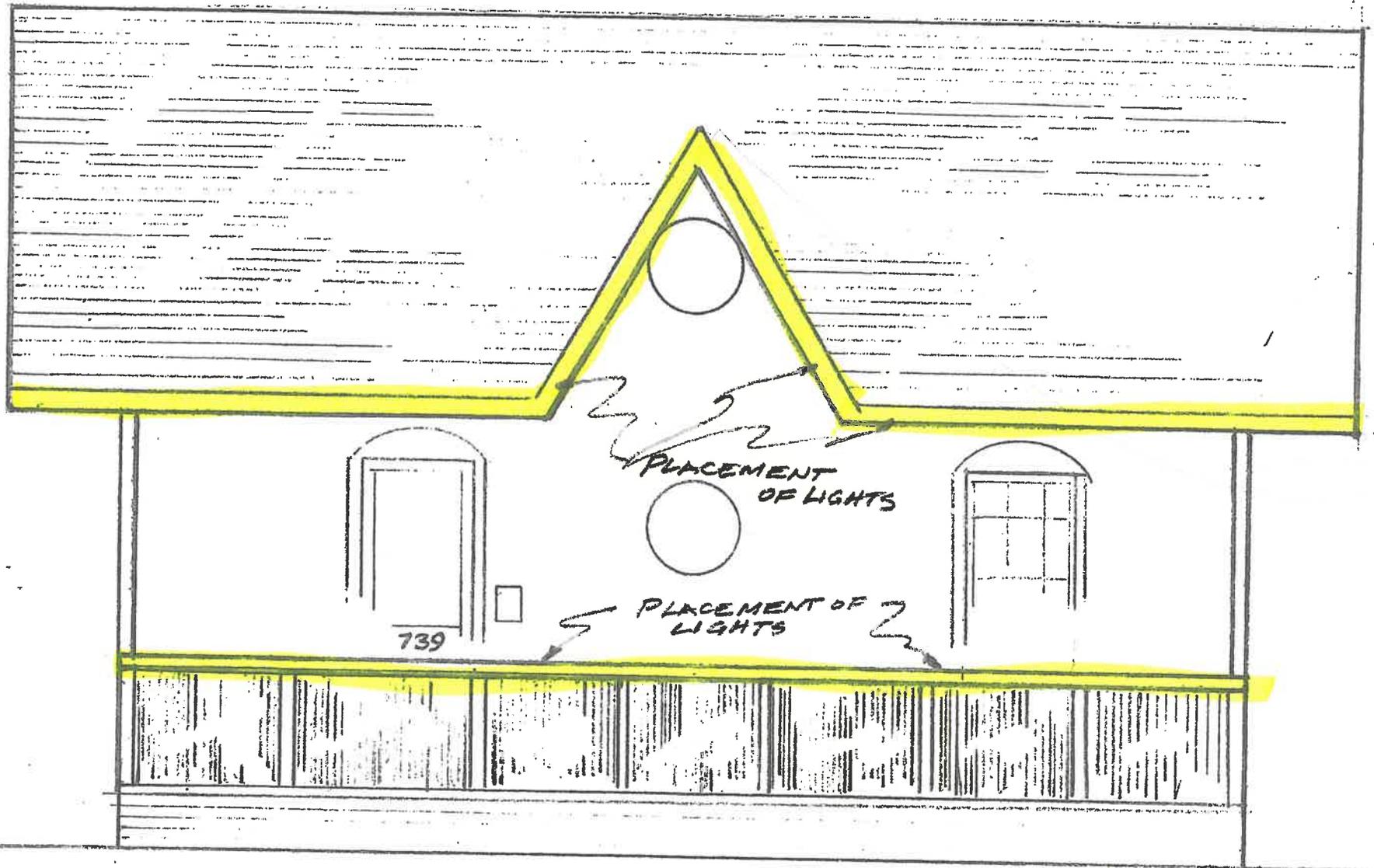




*GRETNA FARMERS MARKET OFFICE  
OLD TRAIN DEPOT  
739 4<sup>th</sup> STREET*

*NOT TO SCALE  
HPDjr*

Installation of trim lighting on GRETNA DEPOT on front eaves & on top banister of front railing. The spacing on the lights 9".



GRETNA FARMERS MARKET OFFICE  
OLD TRAIN DEPOT  
739 4<sup>th</sup> STREET

NOT TO SCALE  
HPDjr



# Historic District Commission

Meeting: August 04, 2025

925 Madison Street  
District -1

## Handrails Stop Work Order

(tenant installed without owners permission)

Applicant:  
Zach Dietrich

#8689



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

**Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

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- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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- Change in existing walls and fences or construction of new walls and fences if along a public street
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**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 925 Madwa n Street

Renovation: Iron Stair rail

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 90

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun  \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other Craftsman

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails Iron

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] For Eileen Farley Date: 7/20/25

Applicant's Name: Eileen Farley

Applicant's Address: 925 Madison Street

Phone No: ( ) \_\_\_\_\_ Cell No: ( ) 504-430-0164

**For Office Use Only:**

Application date: June 28, 2025

Substantive Change: Yes  No

Inventory Number: 26-01983

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

### Mayor

Belinda Cambre Constant

### Council Members

- Wayne A. Rau  
*Councilman-at-Large*
- Milton L. Crosby  
*District One*
- Michael Hinyub  
*District Two*
- Mark K. Miller  
*District Three*
- Jackie J. Berthelot  
*District Four*

### Departments

- Building and Regulatory**  
Danika Gorrondona
- Planning and Zoning**  
Azalea M. Roussell
- City Clerk**  
Norma J. Cruz
- Finance & Tax Departments**  
Raylyn C. Stevens
- Human Resources**  
Gwen Turner
- Public Utilities**  
Michael J. Baudoin
- Public Works**  
Daniel Lasyone
- Parks and Recreation**  
Amie H. Hebert
- Information Technology**  
Michael Wesley

I, Z. Dietrich the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on 8/5/25 4:00 p.m., 740 2<sup>nd</sup> Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements:

[Signature]  
Signature of Applicant

Z Dietrich for Eileen Forley  
NAME OF APPLICANT (PLEASE PRINT)

925 madison Street  
Applicant's address

925 Madison Street  
Actual address of the property for review

Date: 7/27/25





Sent from my iPad

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.

**Maria Caulking**

**From:** Nevelyn Goff  
**Sent:** Wednesday, July 16, 2025 2:55 PM  
**To:** CodeEnforcement; BuildingAndInspections; Nevelyn Goff  
**Cc:** Belinda Constant  
**Subject:** 925 Madison STOP WORK

Handrail installation by front steps, no permit or HDC

**SCOPE & VALUE SHEET**

Historic District Commission  
Application for Certificate of Appropriateness

**City of Gretna**  
Historic District Commission  
Planning and Zoning Commission  
Council Monthly Meeting

So you got a STOP WORK ORDER? Now what?

**STOP WORK ORDER**  
CITY OF GRETTNA CODE OF ORDINANCE 10.58  
APPLY ONLINE AT [MDCGOVERNMENTONLINE.ORG](http://MDCGOVERNMENTONLINE.ORG)

ADDRESS: 925 MADISON WORK PERFORMED:

RESIDENTIAL

BUILDING

INTERIOR

EXTERIOR

SHED

CARPORT

ELECTRICAL

HVAC

PLUMBING

FENCING

WINDOWS

CONCRETE

SIGNAGE

WORK PERFORMED: METAL HANDRAIL FRONT STEPS

PLEASE CONTACT BUILDING OFFICE WITHIN THREE BUSINESS DAYS TO COMPLY WITH THIS ORDER  
504-363-1563

PLEASE CONTACT THE BUILDING DEPT. TO GET THE PERMIT FOR THE HANDRAIL THANKS!

**BUILDING DEPARTMENT**  
504-363-1563

POSTED ON STRUCTURE  
DATE: 7/16/25

GIVEN IN PERSON TO  
INSPECTOR: N/G

application.







# Historic District Commission

Meeting: August 04, 2025

1024 4<sup>th</sup> Street

District - 2

## Commercial Renovations

Applicant:

Paula Peer





Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- Mechanickham Historic District - area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. The Gretna National Register Historic District is included within the Mechanickham - Gretna Historic District.
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Substantive change - changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: **1024 4th Street, Gretna, LA 70053**

Renovation: **X**  
New Construction: **N/A**  
Demolition: **N/A**

Age of Structure: **circa 1950 with post-1987 additions**

**Building Type:**

Creole Cottage \_\_\_\_\_  
Shotgun \_\_\_\_\_  
Bungalow \_\_\_\_\_  
Other **X - non-historic Commercial**

**Building Style:**

Greek Revival \_\_\_\_\_  
Italianate \_\_\_\_\_  
New Orleans Bracketed \_\_\_\_\_  
Eastlake \_\_\_\_\_  
Colonial Revival \_\_\_\_\_  
Other **X - late 20th century vernacular/no style**

**Exterior materials proposed:**

Roof **EXISTING TO REMAIN**  
Fascia **N/A**  
Masonry **N/A**  
Balconies **N/A**  
Soffit **SEE DRAWINGS: PARAPET - metal cladding to match existing (r- / m- profile panel)**  
Siding **SECONDARY FACADE MATERIAL - fiber cement panel**  
Porches **N/A**  
Handrails **N/A**  
STOREFRONT BULKHEAD - brake metal

Type of exterior lighting fixtures: **Wall Sconces & Down Lights (under covered porch(es) & balconies)**

Style of windows: **Steel Replica Fixed Openings (Aluminum Alloy)**

Type of exterior doors: **Historic Steel Replica Openings (Aluminum Alloy)**

Describe any ornamental woodwork: **NONE**

**Elevations:**

Front Space: **EXISTING** ft. Side Space: **EXISTING** ft.  
Rear Space: **EXISTING** ft. **ALTERATION IS OF FRONT FACADE ONLY; NO ADDITIONAL INTERIOR OR EXTERIOR SCOPE**

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *PM Peer* Date: 7/28/2025

Applicant's Name: PAULA PEER

Applicant's Address: Trapolin Peer Architects, 850 Tchoupitoulas St., New Orleans, LA 70130

Phone No: (504) 523-2772 Cell No: (504) 416-2535

**For Office Use Only:**

Application date: *June 28 2025*

Substantive Change: Yes  No

Inventory Number: *N/A*

Contributing Element to Gretna National Register Historic District: Yes  No

Historic District Commission meeting date: *August 4 2025 @ 4:00*

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

### Mayor

Belinda Cambre Constant

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- Wayne A. Rau  
*Councilman-at-Large*
- Milton L. Crosby  
*District One*
- Michael Hinyub  
*District Two*
- Mark K. Miller  
*District Three*
- Jackie J. Berthelot  
*District Four*

### Departments

#### **Building and Regulatory**

- Danika Gorrondona
- Planning and Zoning**
- Azalea M. Roussell

#### **City Clerk**

Norma J. Cruz

#### **Finance & Tax Departments**

Raylyn C. Stevens

#### **Human Resources**

Gwen Turner

#### **Public Utilities**

Michael J. Baudoin

#### **Public Works**

Daniel Lasyone

#### **Parks and Recreation**

Amie H. Hebert

#### **Information Technology**

Michael Wesley

I, PAULA PEER the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on Monday, August 4, 2025 4:00 p.m., 740 2<sup>nd</sup> Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

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Signature of Applicant

PAULA PEER

NAME OF APPLICANT (PLEASE PRINT)

**Trapolin Peer Architects, 850 Tchoupitoulas St., New Orleans, LA 70130**

Applicant's address

**1024 4th St., Gretna, LA 70053**

Actual address of the property for review

Date: 7/28/2025



**JEFFERSON FURNITURE**  
**FAÇADE ALTERATION**  
 1024 4TH STREET, GRETN, LA 70053

OWNER  
**JEFFERSON PARISH**  
 200 DERBIGNY STREET # 3300  
 GRETN, LA 70053

ARCHITECT  
**TRAPOLIN-PEER ARCHITECTS**  
 850 TCHOUPTOULAS STREET  
 NEW ORLEANS, LA 70130

CONTRACTOR

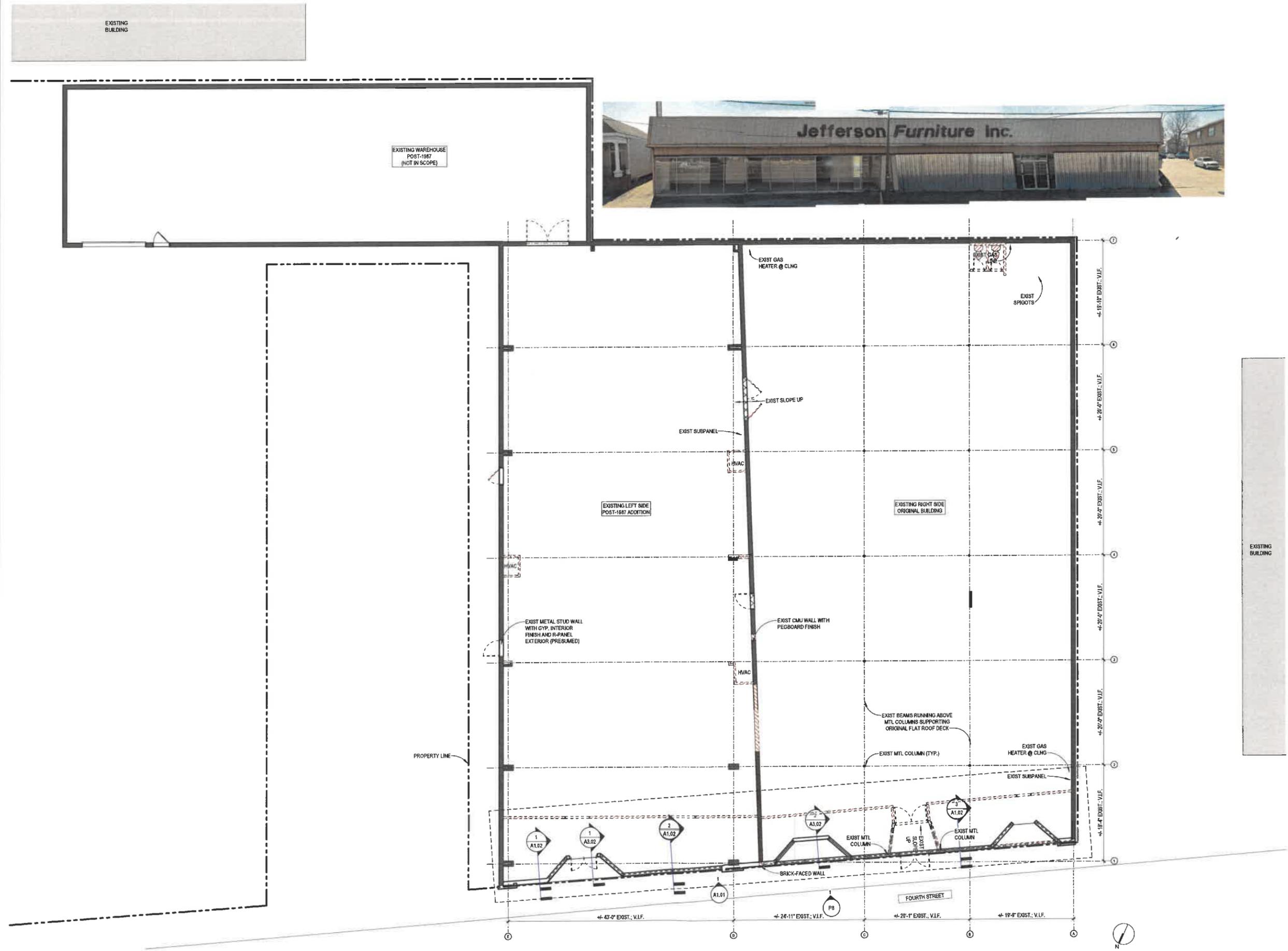
**NOT FOR CONSTRUCTION**

REVISION #	DESCRIPTION	DATE

© TRAPOLIN-PEER ARCHITECTS, APC  
 PROJECT NUMBER  
 CN22182-04  
 ISSUE DATE  
 JULY 28, 2025

**EXISTING CONDITIONS**

**A0.04**



1 LEVEL 01 - EXISTING SITE  
 A0.04 SCALE: 1/8" = 1'-0"

JEFFERSON FURNITURE  
FAÇADE ALTERATION  
1024 4TH STREET, GRETNA, LA 70053

OWNER  
JEFFERSON PARISH  
200 DERBIGNY STREET # 3300  
GRETNA, LA 70053

ARCHITECT  
TRAPOLIN-PEER ARCHITECTS  
850 TCHOUPTOULAS STREET  
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR  
CONSTRUCTION

REVISION #	DESCRIPTION	DATE

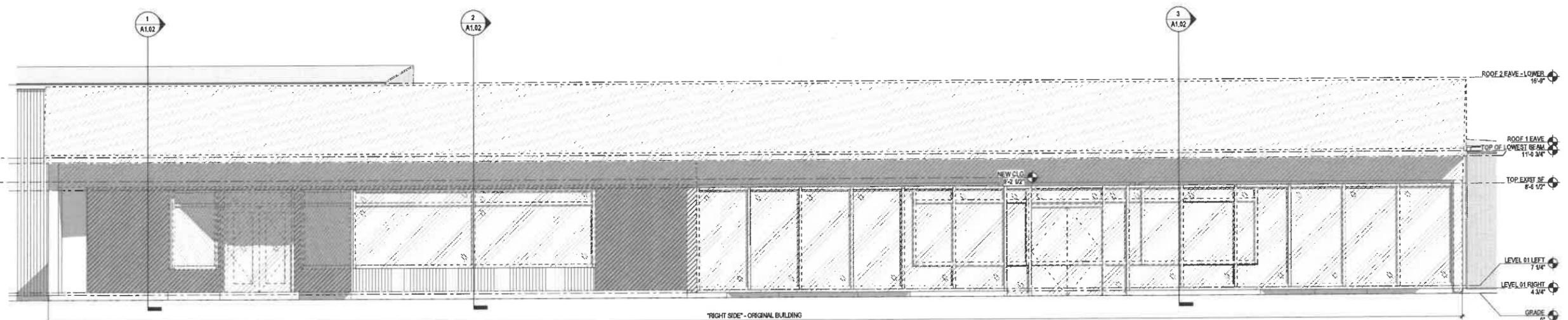
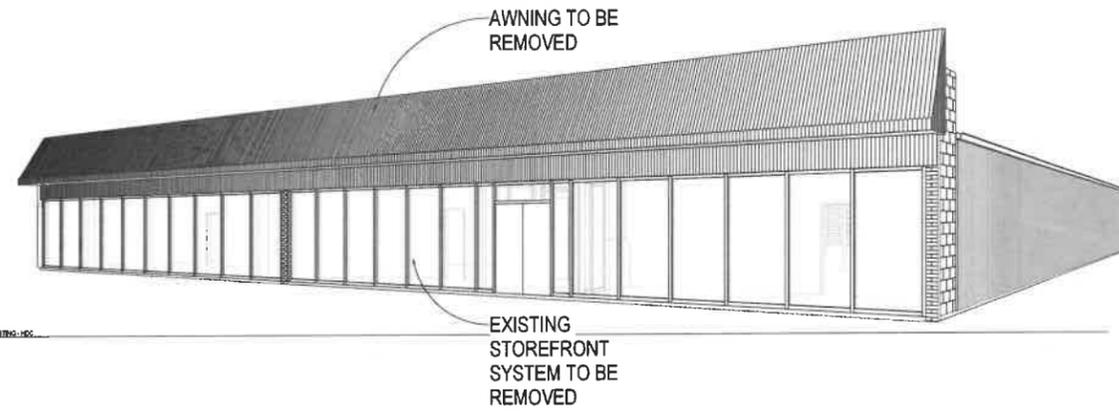
© TRAPOLIN-PEER ARCHITECTS, APC  
PROJECT NUMBER  
CN22182-04  
ISSUE DATE  
JULY 28, 2025

DEMOLITION  
PLAN

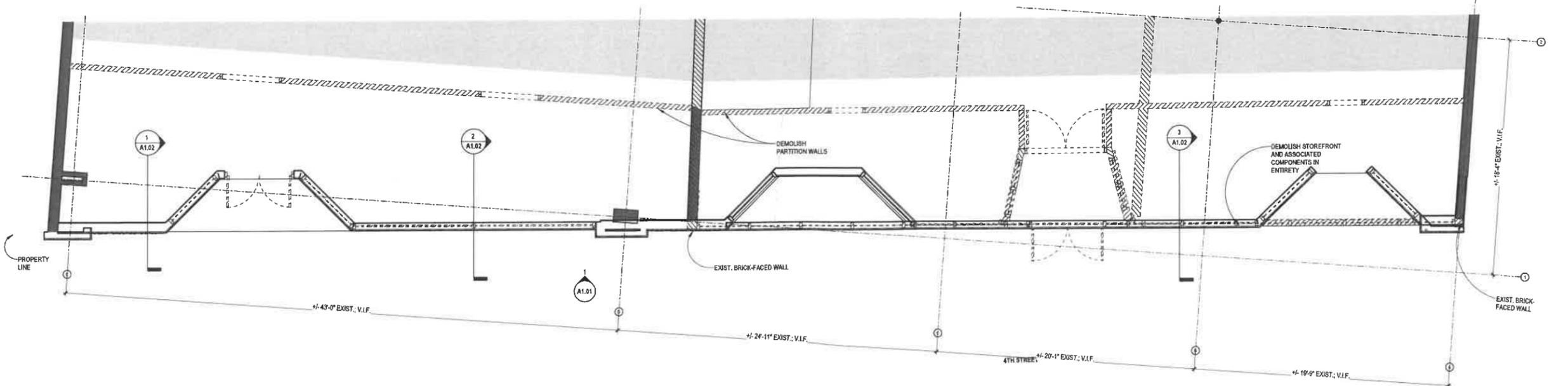
A1.01

DEMO LEGEND

- DEMOLISH ELEMENT
- EXISTING TO REMAIN
- AREA NOT IN SCOPE



1 FRONT ELEVATION - DEMOLITION  
SCALE: 1/4" = 1'-0"



2 LEVEL 01 - DEMOLITION - FRONT FAÇADE  
SCALE: 1/4" = 1'-0"

OWNER  
JEFFERSON PARISH  
200 DERBIGNY STREET # 3300  
GRETNA, LA 70053

ARCHITECT  
TRAPOLIN-PEER ARCHITECTS  
850 TCHOUPITOUSAS STREET  
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR  
CONSTRUCTION

REVISION # DESCRIPTION DATE

© TRAPOLIN-PEER ARCHITECTS, APC  
PROJECT NUMBER  
CN22182 04  
ISSUE DATE  
JULY 26, 2025

BUILDING PLAN -  
LEVEL 01

A2.01

KEYNOTES - CONSTRUCTION	
TAG	DESCRIPTION

LEGEND - CONSTRUCTION	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	MILLWORK
	RATED ASSEMBLY - 1 HR
	RATED ASSEMBLY - 2 HR

- SHEET NOTES - CONSTRUCTION
- DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
  - G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD. IF ANY ± DIMENSIONS VARY MORE THAN 2", NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
  - DIMENSIONS TO NEW CONSTRUCTION ARE MEASURED TO THE FACE OF STUD OR BRICK UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE MEASURED TO FACE OF EXISTING FINISH SURFACE.
  - ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS, AND AGENCIES.
  - ALL NEW DOOR AND WALKWAY OPENINGS' JAMBS TO BE OFFSET FROM ADJACENT WALL SURFACE 6" U.O.N.
  - PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION.
  - VERIFY LOCATIONS OF ALL REQUIRED ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
  - ALL EXISTING COLUMNS ARE TO REMAIN. PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION.
  - WALL ALIGNMENTS SHOWN TAKE PRECEDENCE OVER DIMENSIONS.
  - PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORY AND CABINET LOCATIONS.
  - SEE INTERIOR ELEVATIONS FOR ALIGNMENT OF SHOWER FAUCETS, VANITY SINK FAUCETS, AND TOILETS TO TILE FINISH.
  - COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.

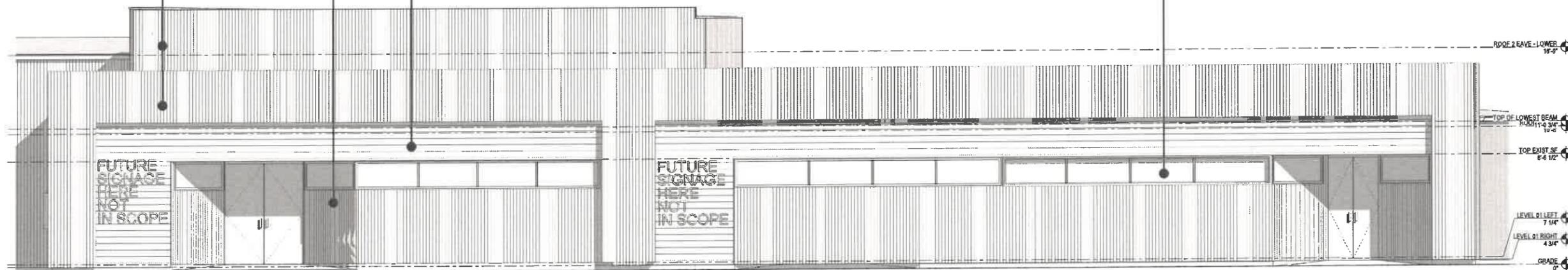
METAL CLADDING  
MATCH PANEL PROFILE WITH EXISTING



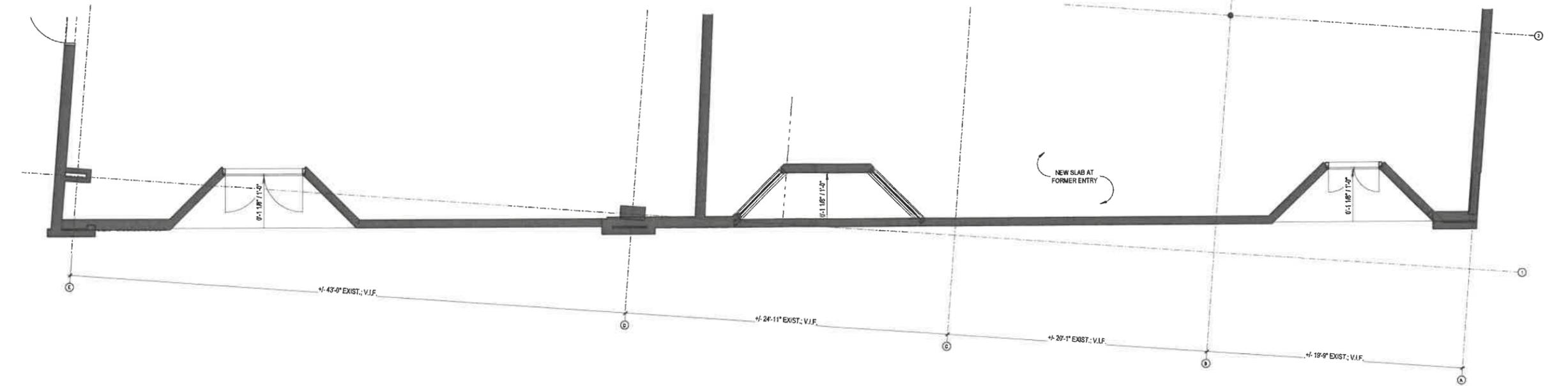
SURROUND AND SOFFIT CLADDING  
CEMENTITIOUS COMPOSITE



STOREFRONT SYSTEM  
BLACK METAL/STEEL REPLICA



2 BLDG ELEVATION - FRONT - NEW CONSTRUCTION (PARALLEL TO FACE)  
A2.01 SCALE: 1/4" = 1'-0"



1 LEVEL 01 - NEW CONSTRUCTION - FRONT FAÇADE ENLARGED PLAN  
A2.01 SCALE: 1/4" = 1'-0"

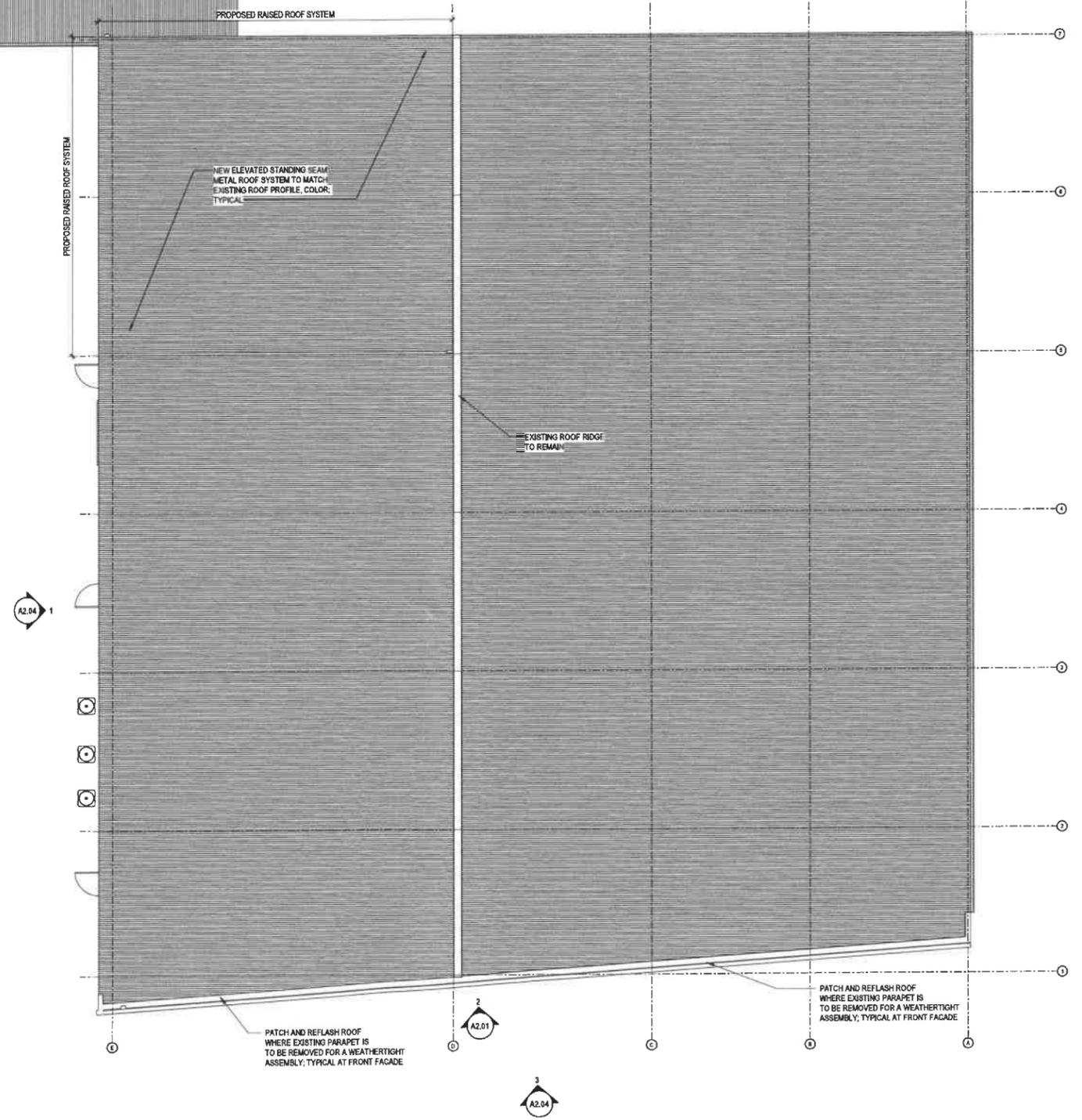
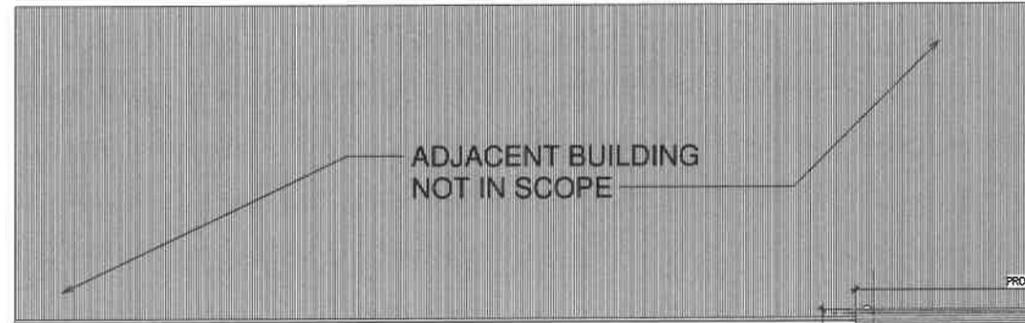
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KEYNOTES - CONSTRUCTION	
TAG	DESCRIPTION

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	EXISTING WALL TO BE DEMOLISHED
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**JEFFERSON FURNITURE  
FAÇADE ALTERATION**  
1024 4TH STREET, GRETNA, LA 70053

OWNER  
**JEFFERSON PARISH**  
200 DERBIGNY STREET # 3300  
GRETNA, LA 70053

ARCHITECT  
**TRAPOLIN-PEER ARCHITECTS**  
850 TCHOUPITOUAS STREET  
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR CONSTRUCTION

REVISION #	DESCRIPTION	DATE
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PROJECT NUMBER  
CN22182-04  
ISSUE DATE  
JULY 28, 2025

ROOF PLAN

A2.02

JEFFERSON FURNITURE FAÇADE ALTERATION 1024 4TH STREET, GRETN, LA 70053

OWNER: JEFFERSON PARISH 200 DERBIGNY STREET # 3300 GRETN, LA 70053

ARCHITECT: TRAPOLIN-PEER ARCHITECTS 850 TCHOUPITOUAS STREET NEW ORLEANS, LA 70130

CONTRACTOR:

NOT FOR CONSTRUCTION

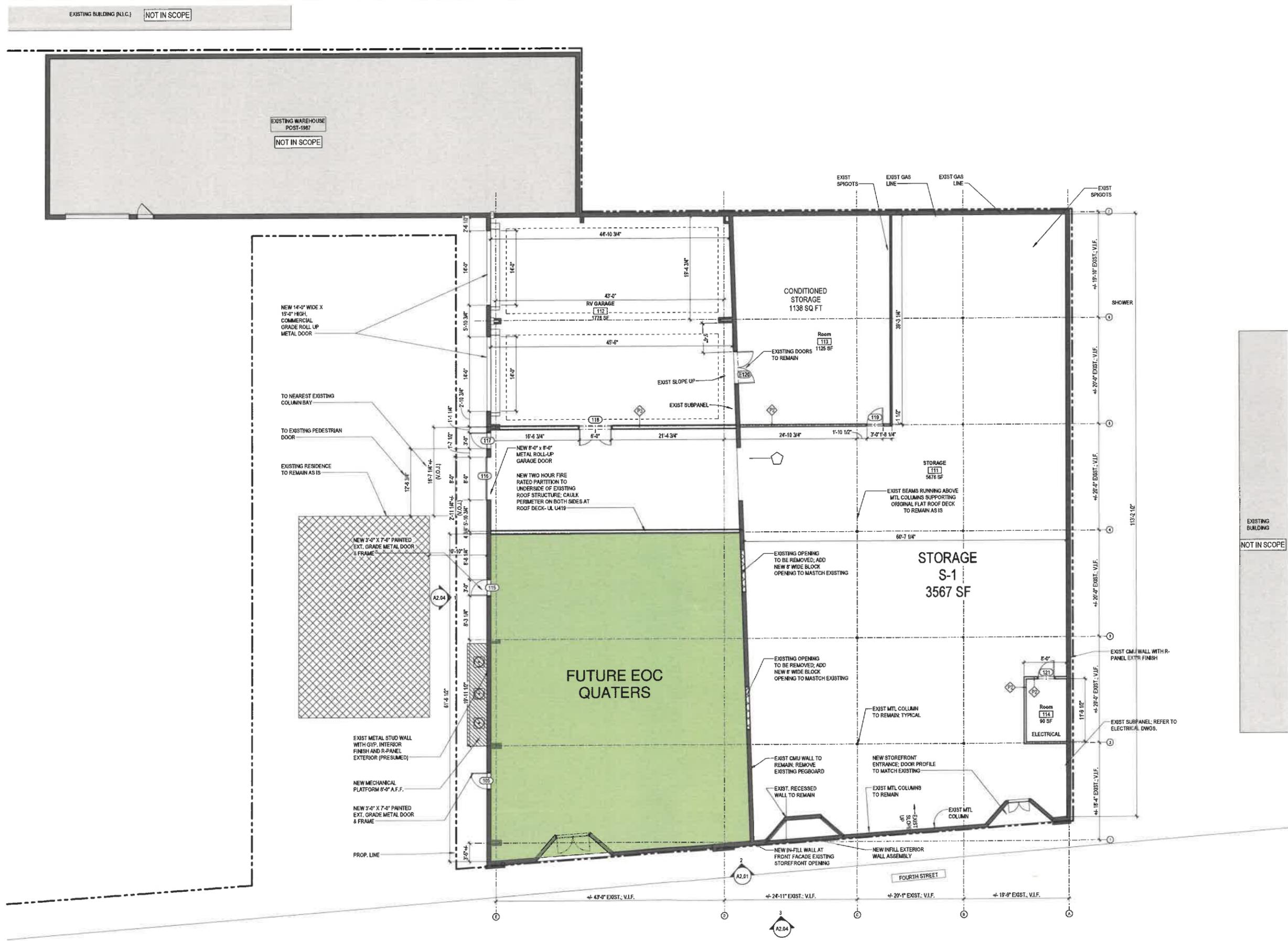
REVISION #	DESCRIPTION	DATE

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PROJECT NUMBER: CN22182\_04  
ISSUE DATE: JULY 28, 2025

PROPOSED FLOOR PLAN

A2.03

C:\Users\jpe\OneDrive\Documents\PROJECTS\JEFFERSON FURNITURE FAÇADE ALTERATION\DWG\A2.03\_20250728.dwg - Jefferson Furniture, L.L.U., L.L.U., PRINTS, APPROVAL, L.T.M.



1 LEVEL 01 - PROPOSED - MARCH 2024  
A2.03 SCALE: 1/8" = 1'-0"

**JEFFERSON FURNITURE  
FAÇADE ALTERATION**  
1024 4TH STREET, GRETNA, LA 70053

OWNER  
**JEFFERSON PARISH**  
200 DERBIGNY STREET # 3300  
GRETNA, LA 70053

ARCHITECT  
**TRAPOLIN-PEER ARCHITECTS**  
850 TCHOUPILOUS STREET  
NEW ORLEANS, LA 70130

CONTRACTOR

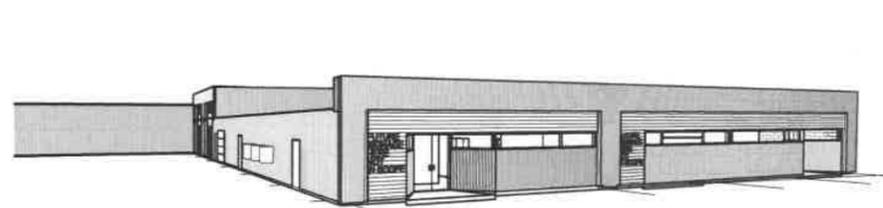
**NOT FOR  
CONSTRUCTION**

REVISION #	DESCRIPTION	DATE

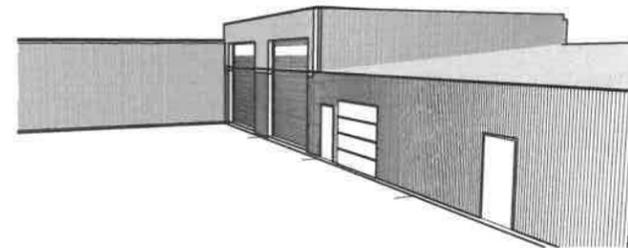
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SCOPE

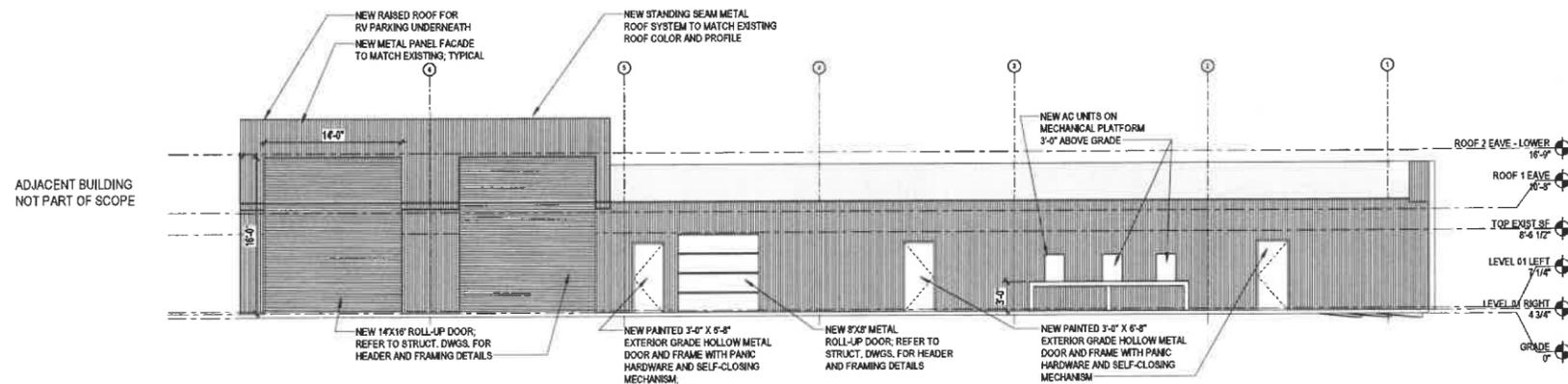
**A2.04**



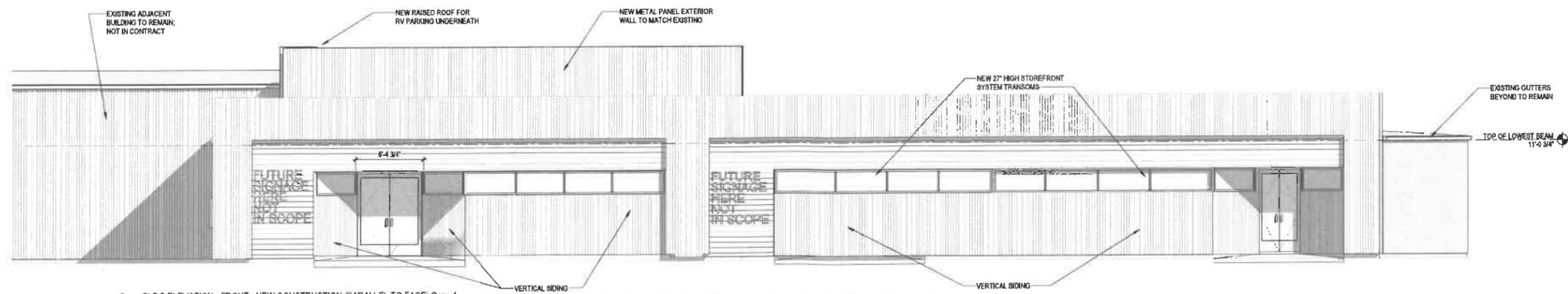
4 3D View 3  
A2.04 SCALE:



2 3D View 1  
A2.04 SCALE:



1 Elevation 1 - a  
A2.04 SCALE: 1/8" = 1'-0"



3 BLDG ELEVATION - FRONT - NEW CONSTRUCTION (PARALLEL TO FACE) Copy 1  
A2.04 SCALE: 3/16" = 1'-0"