

**THE CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
MEETING**

**740 Second Street, Gretna, LA 70053
Council Chamber, second floor**

August 4, 2025 - 4:00 PM

AGENDA

AGENDA ITEM(S):

1. Call to Order/Roll Call

2. Oath of Office:

(1) Historic District Commission Members:

Sandra Banks
Zachary "Zack" Dieterich
Burdell Muller

3. CONSENT APPROVAL for Certificate of Appropriateness:

(2) 504 First Street

Fence - Michael Ledet, Applicant (District 1)

(3) 836 Huey P. Long Avenue

Fence - Jacob Wolfe, Applicant (District 2)

(4) 628 Fourth Street

Window Decal - Bria Scott, Applicant (District 2)

(5) 501 Derbigny Street

Door and sidelights - Joseph "Joe" Marino, Applicant (District 2)

(6) 1114 Washington Street

Door and back windows - Nelson Clayton, Applicant (District 2)

4. Properties with request for Certificate of Appropriateness:

(1) 228 Amelia Street

Accessory Building - Eduardo Miller, Applicant (District 2)

(2) 216 Amelia Street

Addition - Ronald Orgeron, Jr., Applicant (District 2)

(3) 938 11th Street

Deviation from approved COA-25-001-Ronald Orgeron, Jr., Applicant (District 2)

- (4) 737 Lafayette Street
Renovations - Jonathan Liberto, Applicant (District 2)
- (5) 237 Lafayette Street
Front Door - Peter DiMartino, Applicant (District 2)
- (6) 439 Ocean Avenue
Doors and siding, Preliminary Conference - Thang Le, Applicant (District 1)
- (7) 441 Ocean Avenue
Doors and siding Preliminary Conference - Thang Le, Applicant (District 1)
- (8) 624 Magellan Street
New Construction, Preliminary Conference - Brett Gross, Applicant (District 1)
- (9) 739 Fourth Street
Trim Lights - Peter DeBroeck, Applicant (District 2)
- (10) 925 Madison Street
Handrails, "Stop Work Order" - Zach Dietrich, Applicant (District 1)
- (11) 1024 Fourth Street
Commercial Renovations - Paula Peer, Applicant (District 2)

5. Other Matters:

6. Meeting Adjournment.



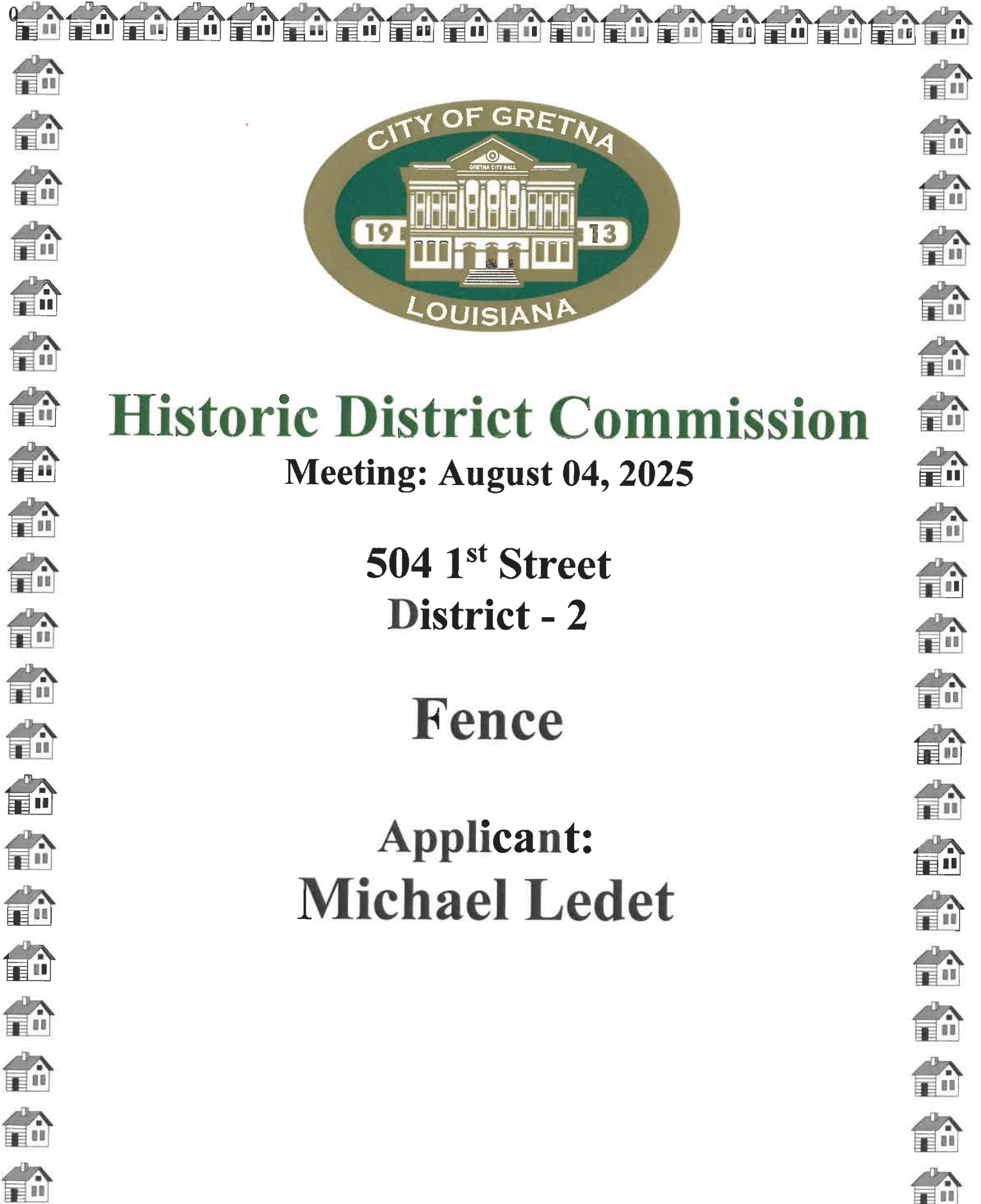
Historic District Commission

Meeting: August 04, 2025

504 1st Street
District - 2

Fence

Applicant:
Michael Ledet





Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: Riverview Condominiums - 504 1st Street, Gretna, LA 70053
Renovation: N/A * Replacement of Damaged Vinyl Fence
New Construction: N/A
Demolition: N/A

Age of Structure: Approx 2013

Building Type:

Creole Cottage _____
Shotgun _____
Bungalow _____
Other Condominium

Building Style:

Greek Revival _____
Italianate _____
New Orleans Bracketed _____
Eastlake _____
Colonial Revival _____
Other _____

Exterior materials proposed:

Fence: Kiln Dried Treated Wood (stained)

Roof _____ Soffit _____
Fascia _____ Siding _____
Masonry _____ Porches _____
Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: / / ft. Side Space: 7 ft.
Rear Space: / / ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Michael Ledet Date: 7-14-25
Applicant's
Name: Michael Ledet: HOA President
Applicant's
Address: 504 First Street, Gretna, LA 70053 Unit #303
Phone No: () / / Cell No: (504) 722-2563

For Office Use Only:

Application date: July 14, 2025
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Michael Ledet the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
application for historic district appropriateness will be reviewed on
August 4th at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
for the applied property is expected to attend the meeting. If unable to attend, review
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness
issued by the Historic District Commission does not guarantee approval of the
Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.

Michael Ledet

Signature of Applicant

HOA President

Michael Ledet

Name of Applicant (Please Print)

504 1st Street, Gretna LA #303

Applicant's Address

504 1st Street, Gretna, LA 70053

Address under HDC review

Date: July 14, 2025













ML

SQUARE 2, VILLAGE OF GREINA
CITY OF GREINA
JEFFERSON PARISH, LA

SECOND STREET (SIDE)

SQUARE 2
VILLAGE OF GREINA

SQUARE 4
VILLAGE OF MECHANICAN

LAFAYETTE AVENUE (SIDE)

STREET

LAVOISIER

8C

FIRST STREET

FEBRUARY 4, 2013
SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS
OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS C SURVEY.
MADE AT THE REQUEST OF PAT HARDIS

DUFFRENE SURVEYING
& ENGINEERING INC.



STANDARD: THIS MAP IS TO BE USED FOR THE PURPOSE OF THE SURVEY ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE SURVEYOR HAS NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, THE LOSS OF ANY PROPERTY OR THE LOSS OF ANY BUSINESS, ARISING OUT OF THE USE OF THIS MAP. THE SURVEYOR HAS NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, THE LOSS OF ANY PROPERTY OR THE LOSS OF ANY BUSINESS, ARISING OUT OF THE USE OF THIS MAP.

DATE: 02/04/2013

BY: [Signature]

FOR: [Signature]



Historic District Commission

Meeting: August 04, 2025

836 Huey P Long Avenue
District - 2

Fence

Applicant:
Jacob Wolfe



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 836 Huey P Long Ave

Renovation: _____
New Construction: Fence Application Demolition: _____

Age of Structure: 1920

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow ✓

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's

Signature: _____

Date: _____

Applicant's

Name: _____

Applicant's

Address: _____

Phone No: _____

Cell No: _____

For Office Use Only:

Application date: _____

Substantive Change: Yes ☐

No ☒

Inventory Number: _____

Contributing Element to Gretna National Register Historic District: Yes ☐

No ☒

Historic District Commission meeting date: _____

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

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Building and Regulatory
Danika Gorrondona
Planning and Zoning
Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Jacob Wolfe the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 8.4.25 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Jacob Wolfe
Signature of Applicant

Jacob Wolfe - Agent for John Alano
NAME OF APPLICANT (PLEASE PRINT)

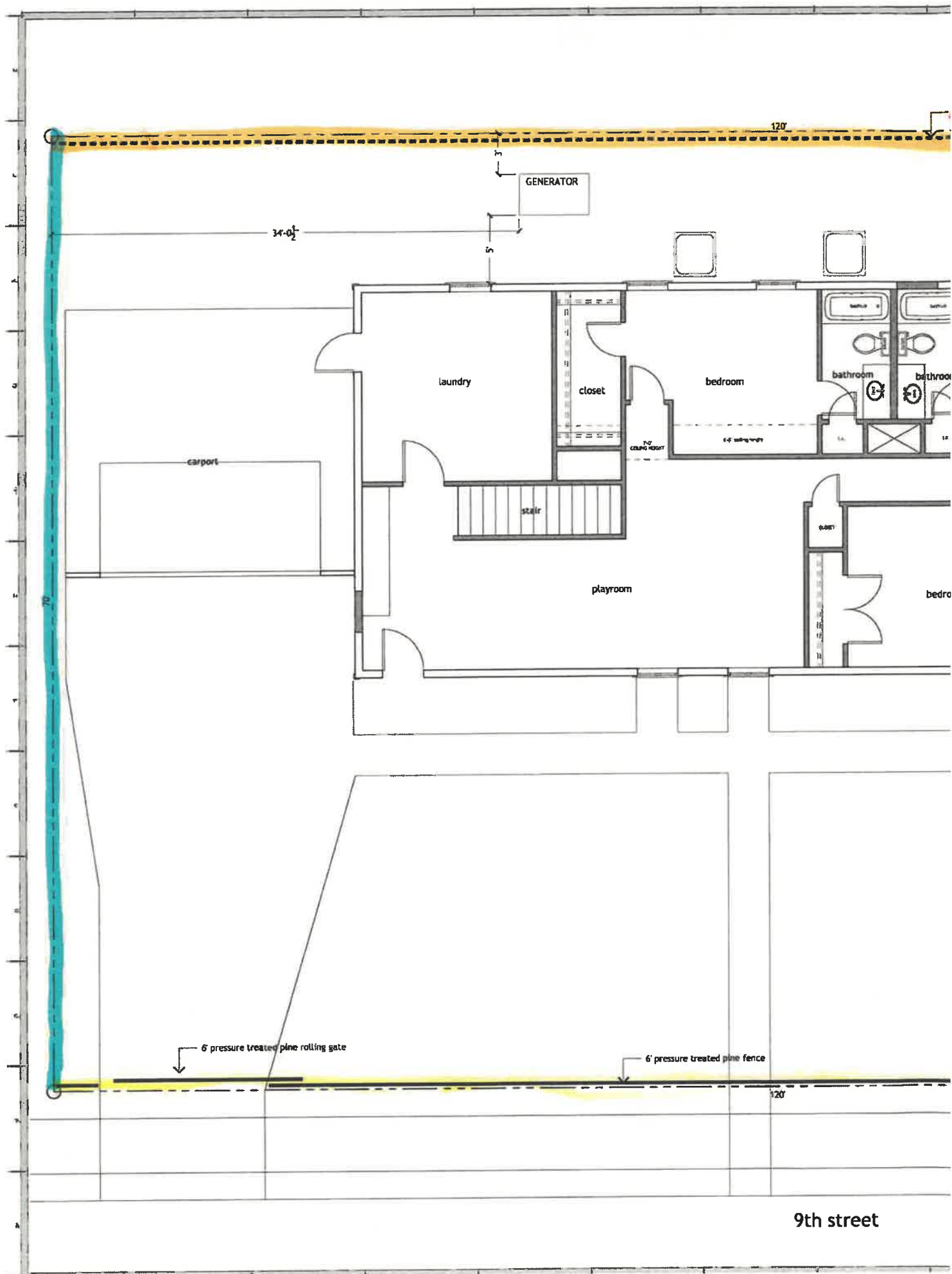
143 Lapala Blvd Gretna LA 70053
Applicant's address

836 Huey P Long
Actual address of the property for review

Date: 7-23-25

fence ^{will} stained - not green 836 Hwy + Long





**CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

836 Huey P. Long

PROPERTY ADDRESS

Robert Wolfe

NAME OF APPLICANT

Work Approved: Removal of portion of wrought
iron fence along 9th Street and
Construct 6' wooden privacy fence.
Installation of historic ^{iron} fence along right side
property line front yard. Wooden fence to be
pulled off corners of house 6" - 1' on each side.

Signature of HDC Chairperson

Signature of Applicant

12/2/2024

Date

2/26/25

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

NOT VALID UNLESS POSTED ON SITE

**Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com**

COA-24-119



Historic District Commission

Meeting: December 2, 2024

836 Huey P Long Avenue

(District 2)

For: Demolition of wrought iron fence

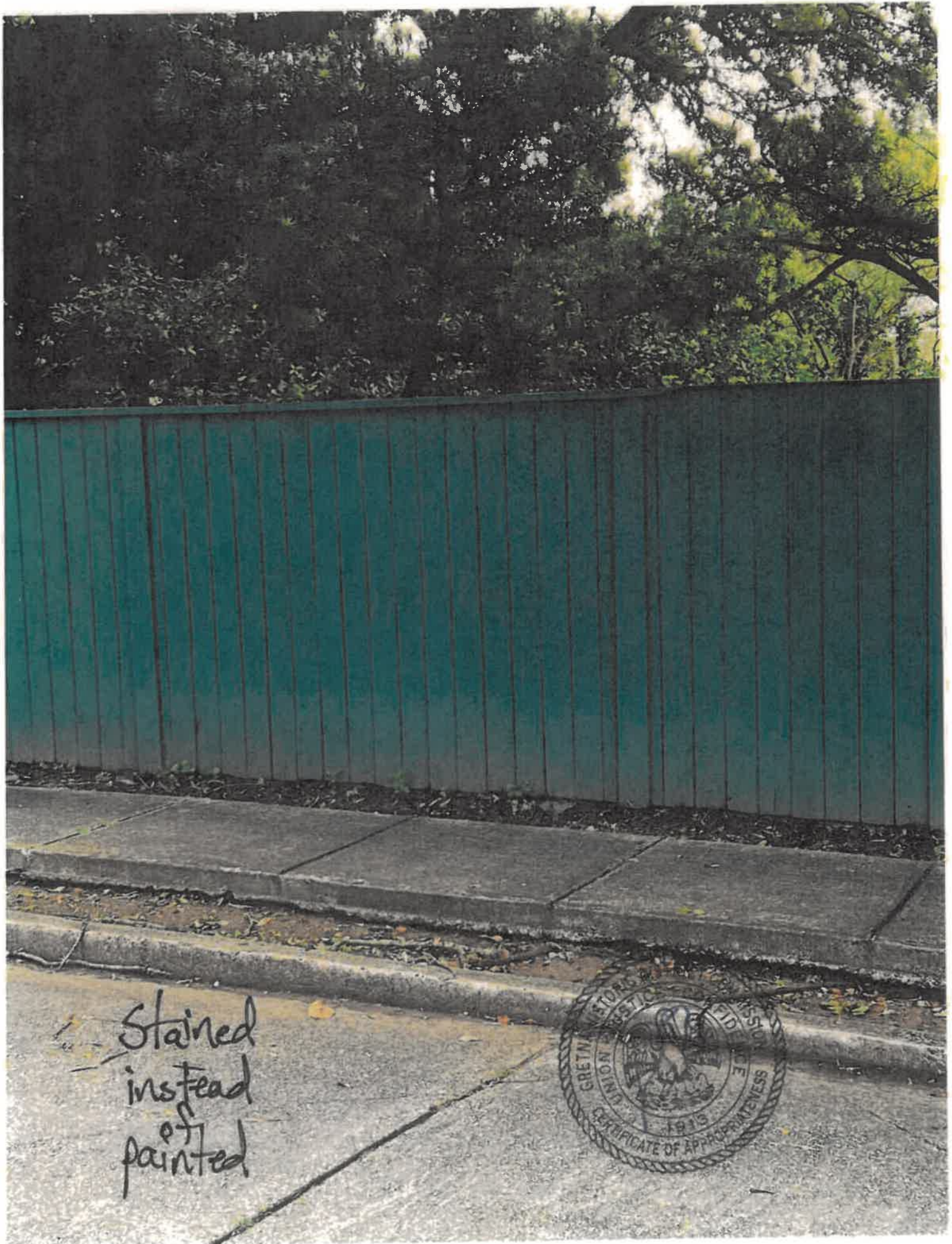
Replace with wood fence

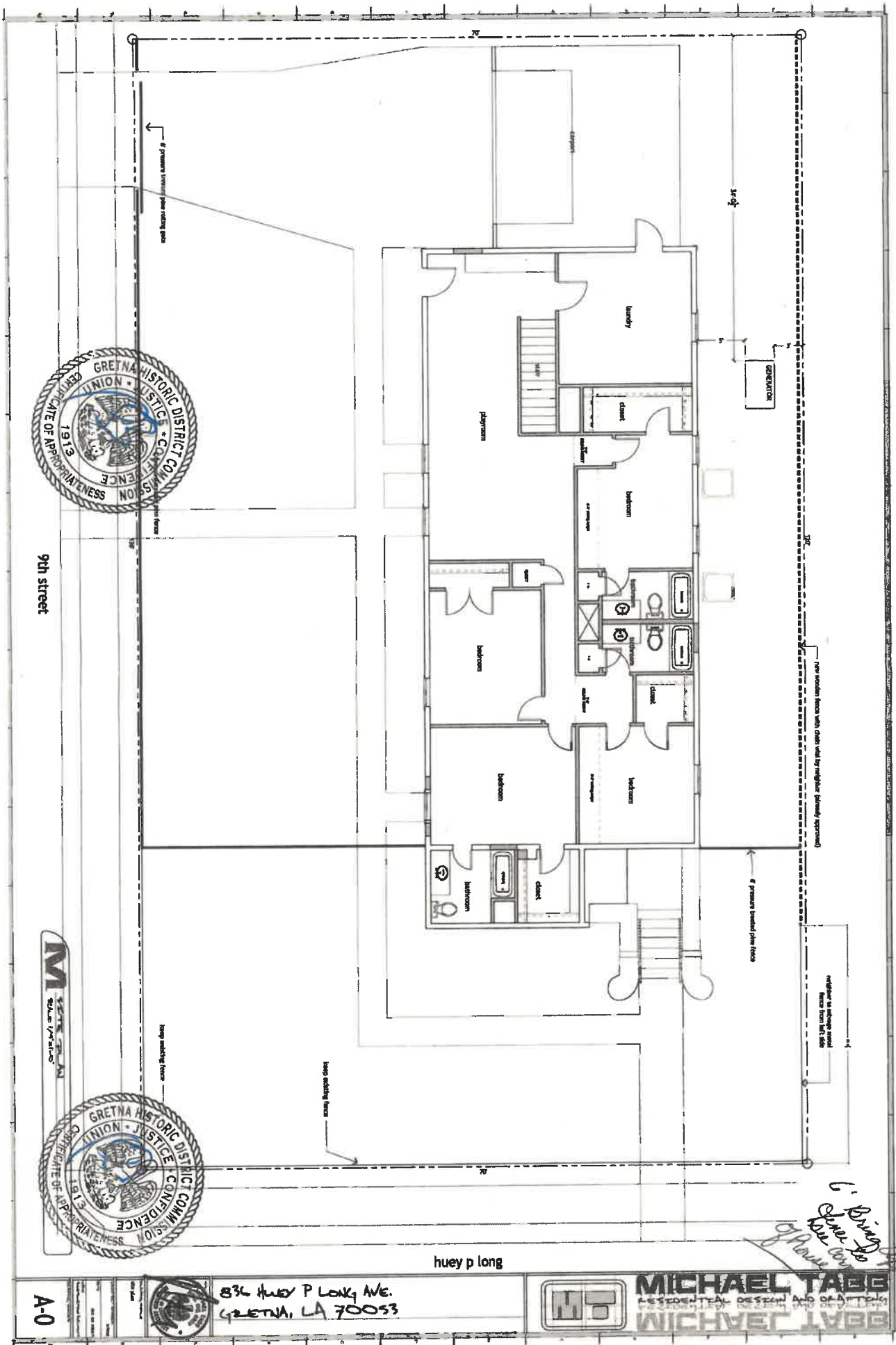
Preliminary conference 11/4/24

Applicant:
Robert Wolfe

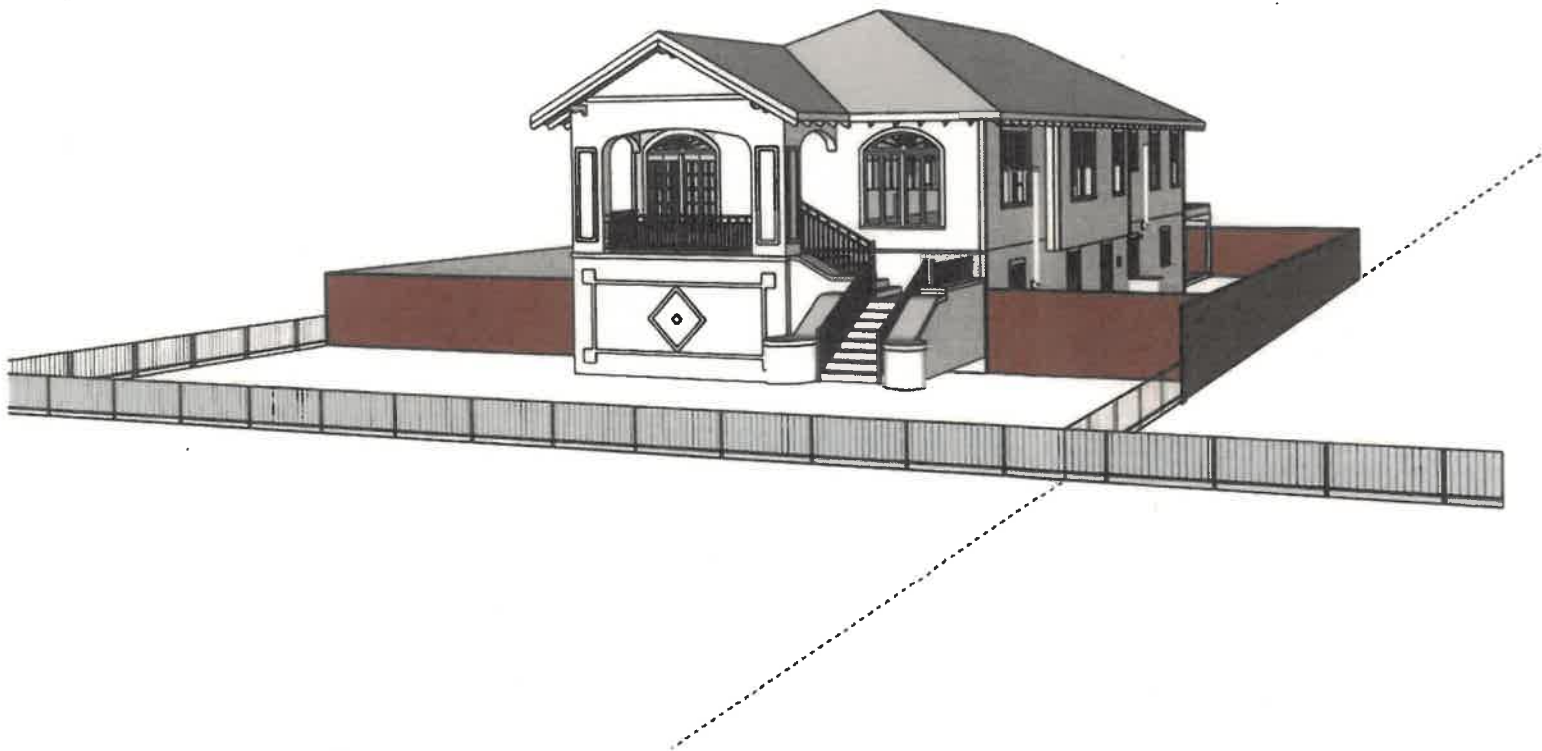


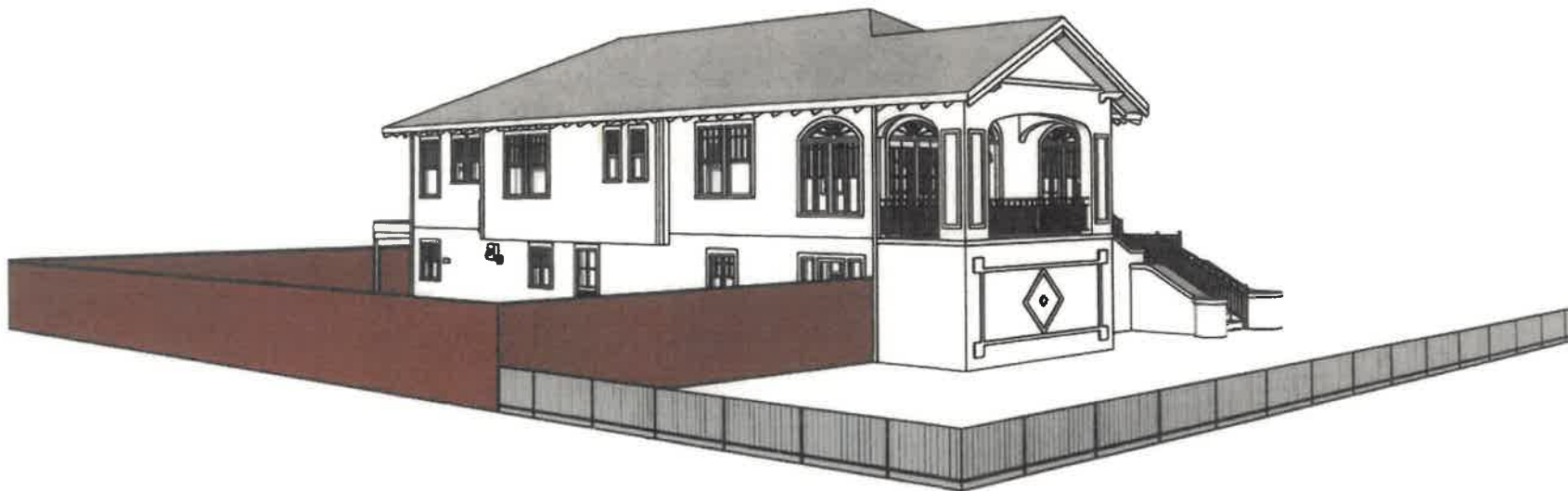
wooden fence to be pulled back of corner of house













Historic District Commission

Meeting: August 04, 2025

628 4th Street
District - 2

Window Decal

Applicant:
Bria Scott



Historic District Commission
Application for Certificate of Appropriateness
 Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: C28 4th St. Metairie, LA. 70053

Renovation: Window Decal

New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other ☒ _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

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Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

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Applicant's Signature: [Signature] Date: 7/22/2025

Applicant's Name: Bria Scott

Applicant's Address: 917 Palfrey St. Gretna, LA. 70053

Phone No: () Cell No: (504) 982-1553

For Office Use Only:

Application date: July 22, 2025
Inventory Number: 414

Substantive Change: Yes ☐ No ☒

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: August 4, 2025 @ 4:00

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740 Second Street (70053)

P. O. Box 404

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Mayor

Belinda Cambre Constant

Councilmembers

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Ron Johnson

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Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Bria Scott

Name of Applicant (Please Print)

917 Palfrey St. Gretna, LA. 70053

Applicant's Address

628 4th St. Gretna, LA. 70053

Address under HDC review

Date:

7/22/2025

625 4th St

Google Maps



Image capture: Nov 2024 © 2025 Google





Poised Pooch



GROOMING STUDIO

GRETNNA, LA



30in x 40in







Historic District Commission

Meeting: August 04, 2025

501 Derbigny Street
District - 2

Door and Sidelights

Applicant:
Joe Marino



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

#8670

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Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 501 Derbigny St Gretna

Renovation: Replace door & sidelights

New Construction: _____ Demolition: _____

Age of Structure: 1950

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other ☒ _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other ☒ _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: Fiberglass with 1/2 glass

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: _____

Date: 07/23/25

Applicant's
Name: _____

Joe Marino on behalf of Byron Bordeau

Applicant's
Address: _____

200 Amelia St Gretna

Phone No: _____

504 362-0666

Cell No: () _____

For Office Use Only:

Application date: _____

July 23, 2025

Substantive Change: Yes ☐

No ☒

Inventory Number: _____

138

Contributing Element to Gretna National Register Historic District: Yes ☐

No ☒

Historic District Commission meeting date: _____

August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): _____



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building and Regulatory

Danika Gorrondona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

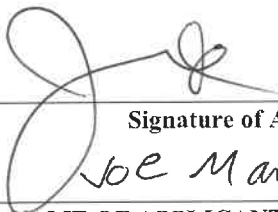
Information Technology

Michael Wesley

I, Joe Manno the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on August 4 2025 @ 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.


Signature of Applicant

NAME OF APPLICANT (PLEASE PRINT)

Joe Manno
200 Amelia St Gretna

Applicant's address

501 Derbigny St. Gretna LA

Actual address of the property for review

Date: 07/23/25

501 Derbigny St



Image capture: Nov 2024 © 2025 Google



Google Maps

999 5th St

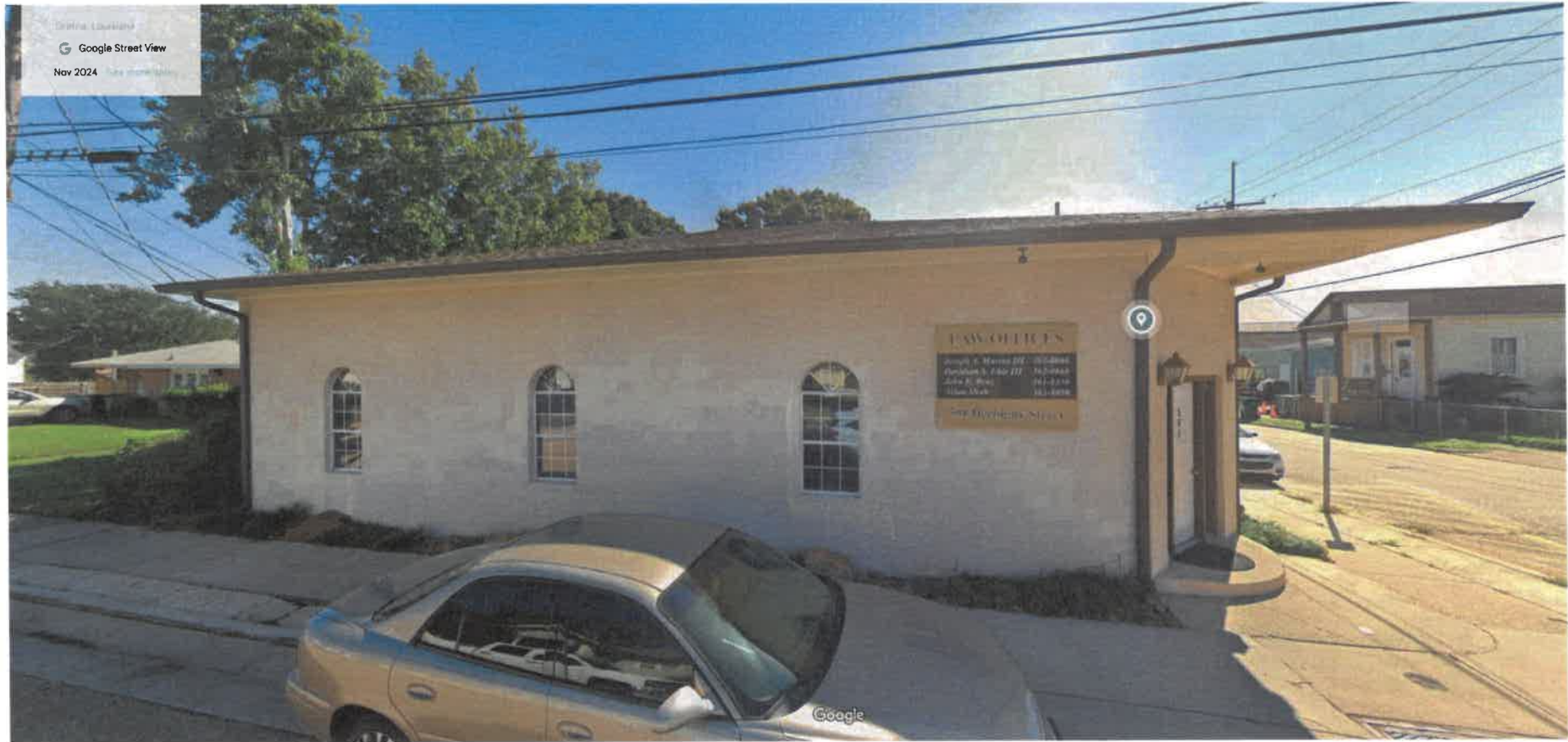
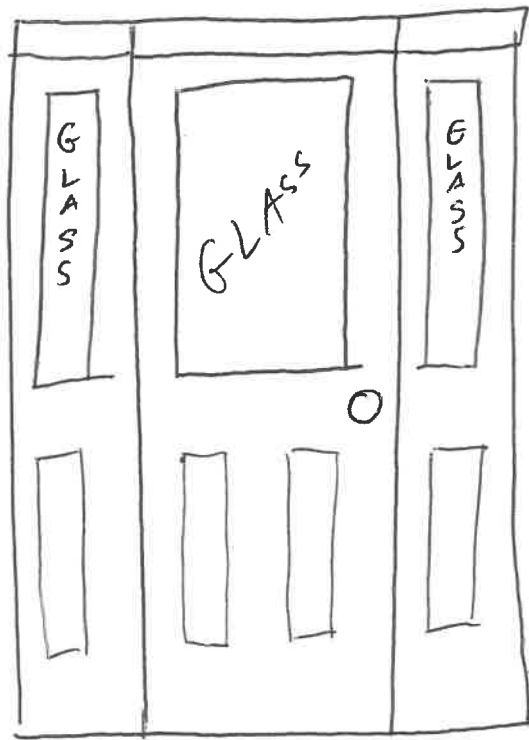


Image capture: Nov 2024 © 2025 Google





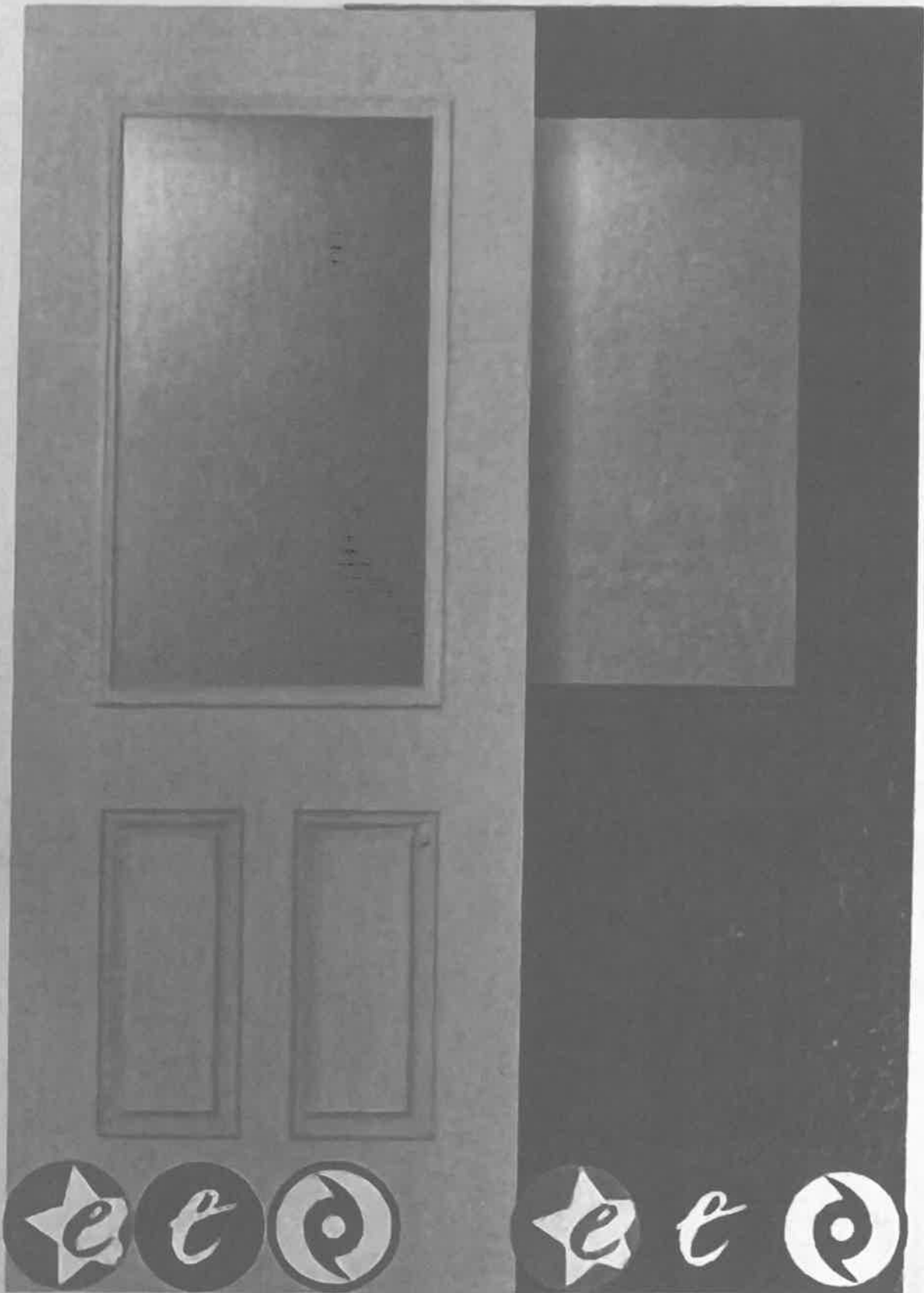
Door
and sidelights
will be fiberglass.

← Same size
sidelights
as existing

↑
Same size
door as
existing
35 x 79

Replacing existing door and
sidelights with same style
and size. Only difference
is addition of $\frac{1}{2}$ of glass on door.

FRONT
DOOR
→
STYLE A



672-CL

684-CL

Sidelights

Sidelights



Matching
door
moulding



400-CL
6x36

692-CL
8x36

EXISTING
FRONT
DOOR
(metal)

5
0
1

1/2 Glass
Side Light





Historic District Commission

Meeting: August 04, 2025

1114 Washington Street
District - 2

Door and Back Windows

Applicant:
Nelson Clayton



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1114 Washington St., Gretna, LA 70053

Renovation: X

New Construction: _____

Demolition: _____

Age of Structure: 1915

Building Type:

Creole Cottage _____

Shotgun X

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed X

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: Rear windows to be Showcase S-300 vinyl black/white with 7/8" sdl bars for addition

Type of exterior doors: Side front door constructed to match original front door.

Describe any ornamental woodwork: _____

Elevations:

Front Space: Existing ft. Side Space: Existing ft.

Rear Space: 10-15 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Edwin Nelson Clayton II Date: 07/10/2025

Applicant's
Name: Edwin Nelson Clayton II for Nelson Clayton Homes, LLC

Applicant's
Address: 30 Coquille Rd., Belle Chasse, LA 70037

Phone No: (504) 433-5659 Cell No: (504) 606-4177

For Office Use Only:

Application date: 07/10/25
Substantive Change: Yes ☐ No ☒ Inventory Number: 26-02295
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: 08/04/2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau

Councilman-at-Large

Milton L. Crosby

District One

Michael Hinyub

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City Clerk

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Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Edwin Nelson Clayton, II the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on August 4, 2025 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

Edwin Nelson Clayton, II

NAME OF APPLICANT (PLEASE PRINT)

30 Coquille Rd., Belle Chasse, LA 70037

Applicant's address

1114 Washington Ave., Gretna, LA 70053

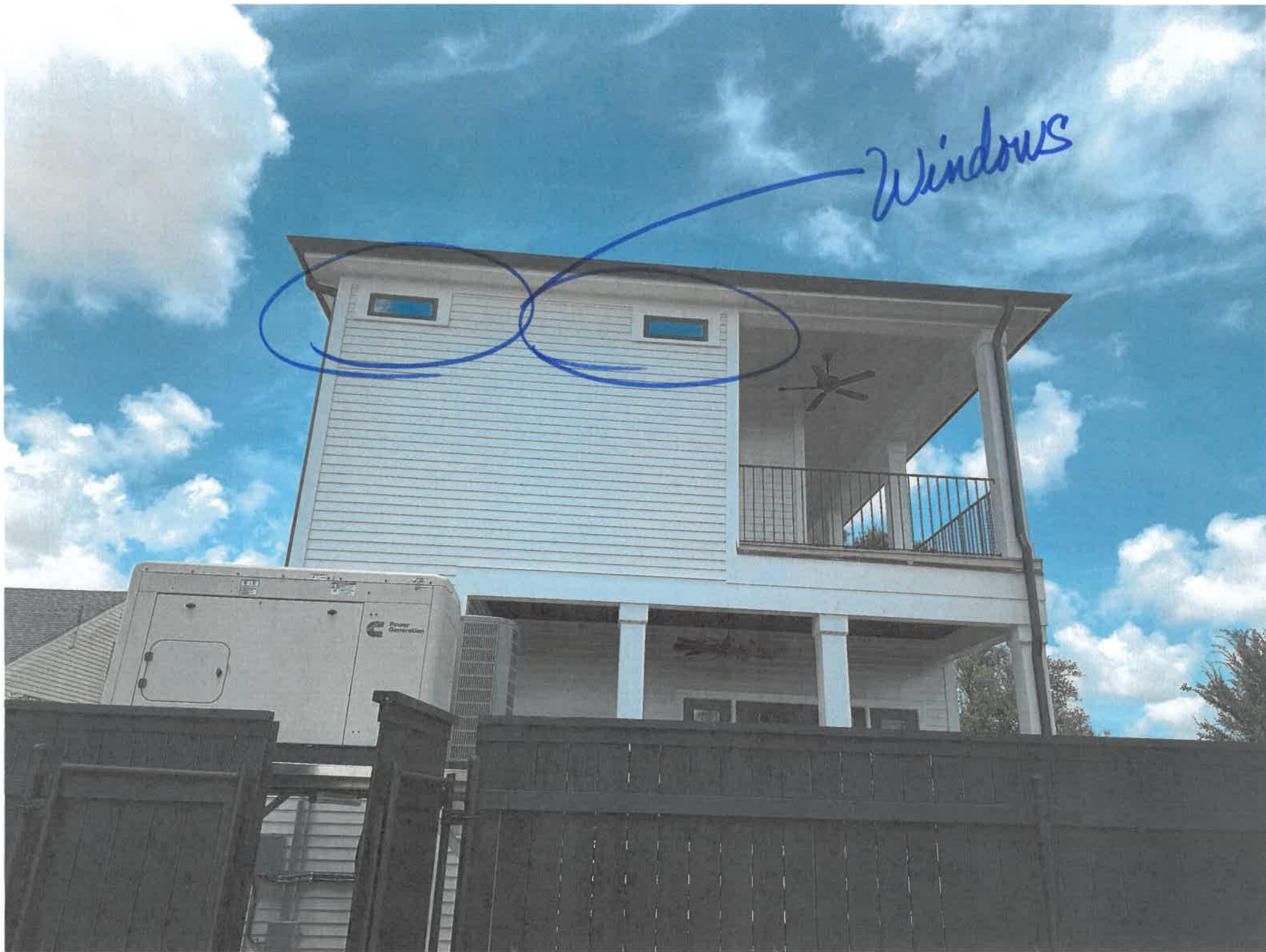
Actual address of the property for review

Date: 09/10/25

Original FRONT DOOR









Historic District Commission

Meeting: August 04, 2025

228 Amelia St
District - 2

Accessory Building

Applicant:
Eduardo Miller



Historic District Commission Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 228 AMELIA ST. GREENG. 70053

Renovation: _____
New Construction: 1 CAR GARAGE
Demolition: _____

Age of Structure: 1890

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other GARAGE

HIP ROOF FRONT TO MATCH HOUSE

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake ☒

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof Composite Shingles Soffit Vinyl

Fascia METAL COVERED Siding Fiber Cement

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: Vinyl 6 over 6 CASEMENT 2 windows

Type of exterior doors: GARAGE DOOR, Single Side door

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft. 15' wide X 22' Long

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's

Signature: Eddie Miller

Date: 6/10/25

Applicant's

Name: Eddie Miller

Applicant's

Address: 228 AMELIA ST. GRETNA 1053

Phone No: ()

Cell No: 508 519-4501

For Office Use Only:

Application date: June 26 2025

Substantive Change: Yes ☐ No ☐

Inventory Number: 594

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☐

Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Eddie Miller the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
application for historic district appropriateness will be reviewed on
August 4 2025 at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
for the applied property is expected to attend the meeting. If unable to attend, review
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness
issued by the Historic District Commission does not guarantee approval of the
Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.

Eddie Miller
Signature of Applicant

Eddie Miller
Name of Applicant (Please Print)

228 AMELIA ST.
Applicant's Address

228 AMELIA ST.
Address under HDC review

Date: 6/10/25

Google Maps

233 Amelia St



Image capture: Nov 2024 © 2025 Google



Google Maps

224 Amelia St

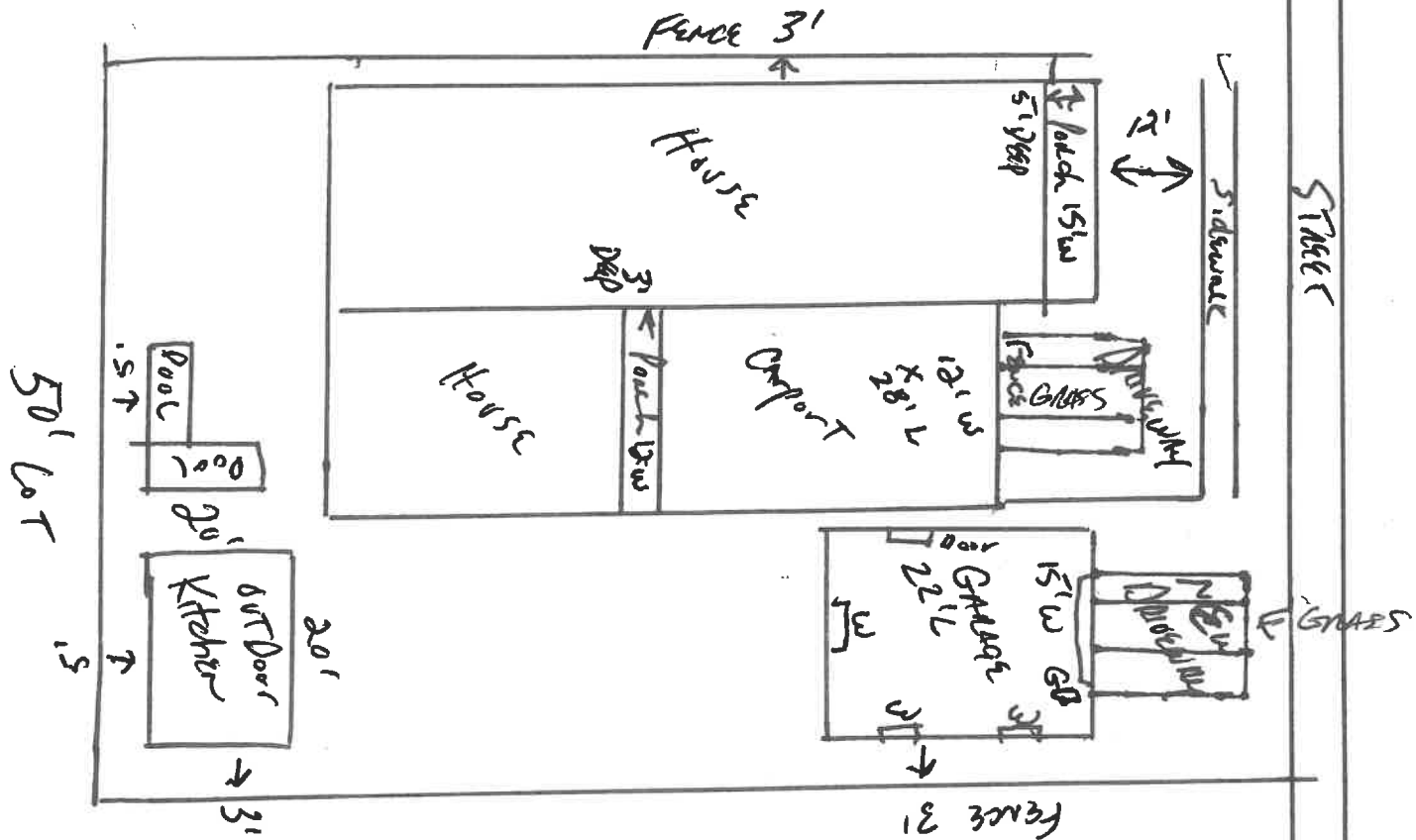


Image capture: Nov 2024 © 2025 Google



Attn: ~~Mike~~ ~~Wittingub~~ @ Cost At Linx - INC. Cam.
Wittingub

From: Eddie Miller
228 Amelia St.
Oakland, CA 94612
504-579-4501

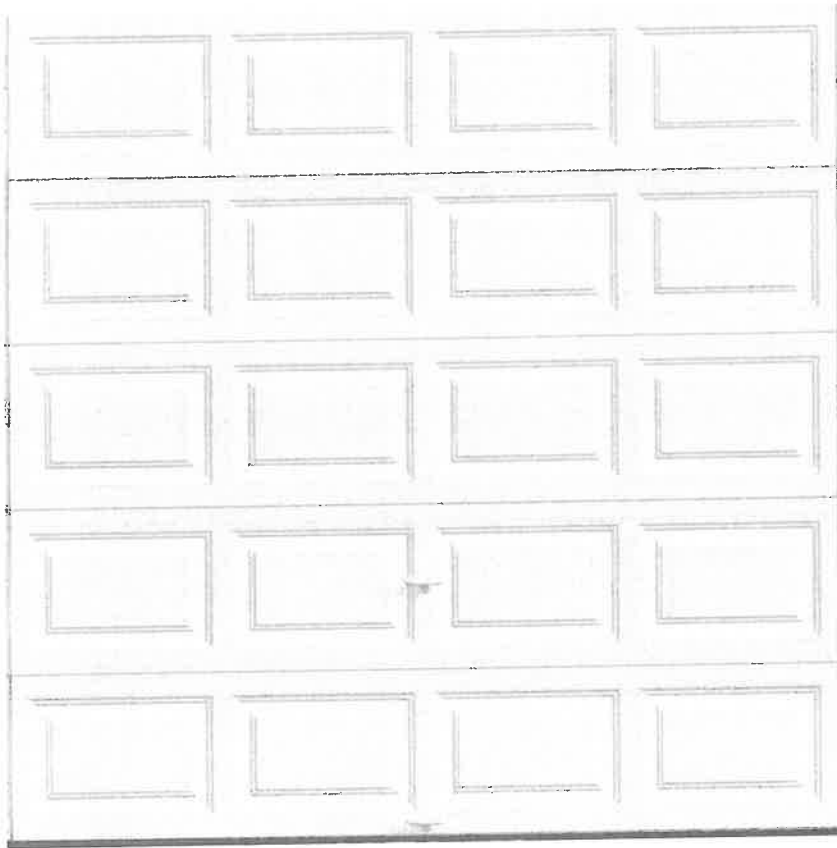


Eddie Miller @ Cox.net.

1 CAR
GARAGE
Detached.



15' wide 22' Long
9' height
2 windows
1 side door



Tap and Hold to Zoom

*Garage Door
8' x 8'*

Classic Steel Short Panel 8 ft x 8 ft
Insulated 18.4 R-Value White
Garage Door without Windows

by Clopay

Related Videos & 360° View



Product Images





Gretna 10PM

70053

What can we hel...



Gretna 10PM

70053

Shop All Services

DIY

Ed

... / [Exterior Doors](#) / [Front Doors](#) / [Steel Doors](#) / [Steel Doors Without Glass](#)

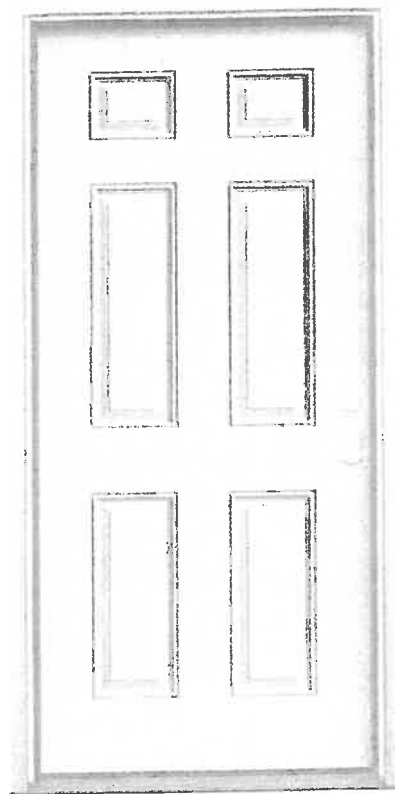
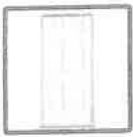
Internet # 100087243 Model # 27112 Store SKU # 826290

627

Masonite

36 in. x 80 in. Premium 6-Panel Left Hand Inswing Primed Steel Prehung Front Exterior Door with Brickmold

★★★★★ (297) Questions & Answers (90)



3' Side Door



Feedback

Share Print

\$264⁰⁰

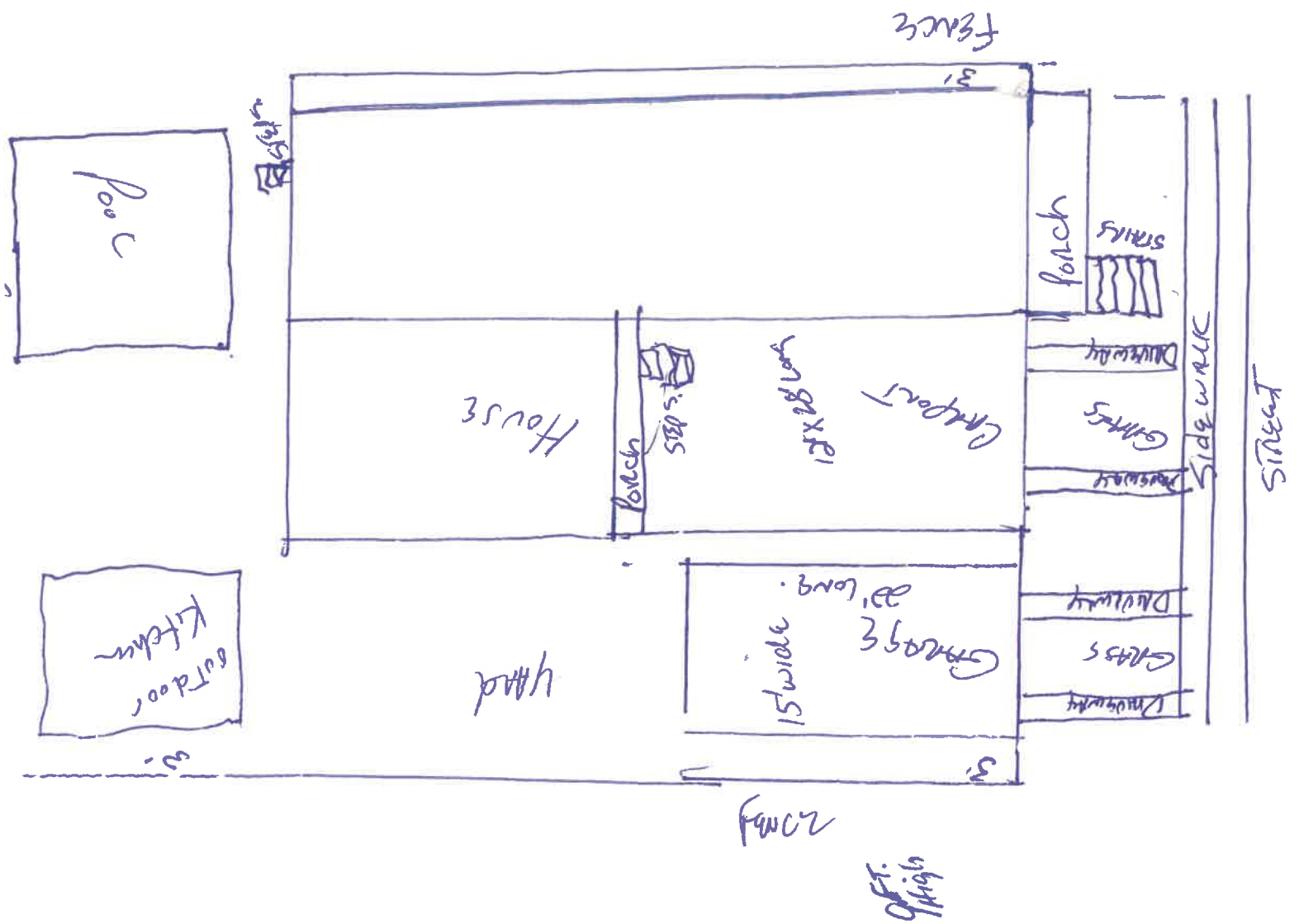


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Apply for a Home Depot Consumer Card

- Elegant wood appearance with the durability of steel
- Baked-on primer offers a smooth, ready-to-paint surface
- Energy-saving core delivers superior insulation properties
- [View More Details](#)



2 windows Single hung Casement Vinyl



Eddie Miller
 228 Amelia
 504-579-4507
 Ed Miller 606 connect
 1 CAR
 GARAGE



Historic District Commission

Meeting: August 04, 2025

216 Amelia Street
District -2

Addition

Applicant:
Ronald Orgeron Jr



Historic District Commission

Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

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Historic building – a building at least fifty years-old with significant architectural value and integrity

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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 216 Amelia St Gretna

Renovation: X

New Construction: _____

Demolition: _____

Age of Structure: 1920

Building Type:

Creole Cottage _____

Shotgun X

Bungalow X

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof Asphalt Soffit Hardie

Fascia Hardie Siding Hardie

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: 6/6

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: 16.6 ft. Side Space: 70.5 ft.

Rear Space: 27.7 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: Rud P. Orgeron Jr Date: 7/28/2025
Applicant's Name: Ronald "Pat" Orgeron Jr
Applicant's Address: 315 Huey P. Long Ave
Phone No: (504) 382 3615 Cell No: (504) 382 3615

For Office Use Only:

Application date: June 28, 2025
Inventory Number: 597

Substantive Change: Yes ☐ No ☐

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☐

Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Ronald P. Orgeron Jr the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
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8/4/2025 at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
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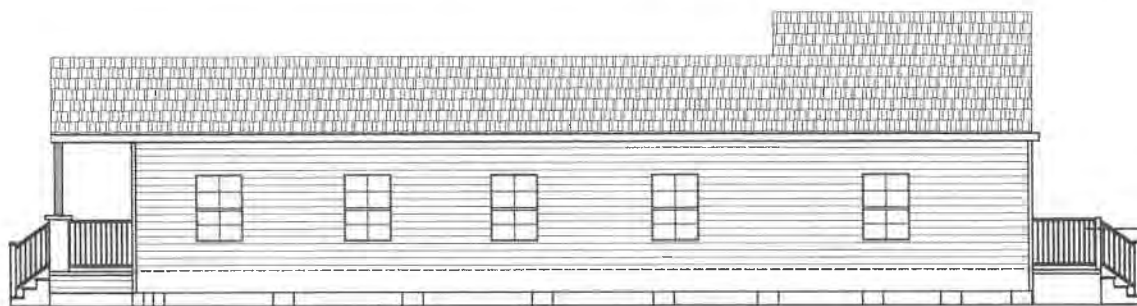
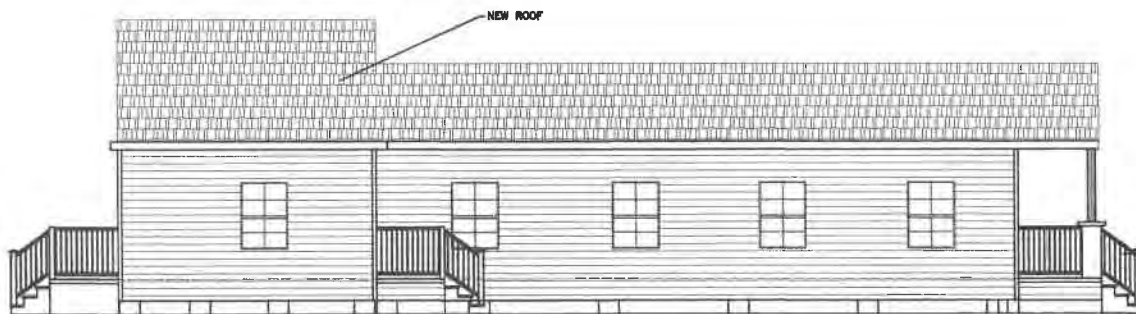
Ronald P. Orgeron Jr
Signature of Applicant

Ronald P. Orgeron Jr
Name of Applicant (Please Print)

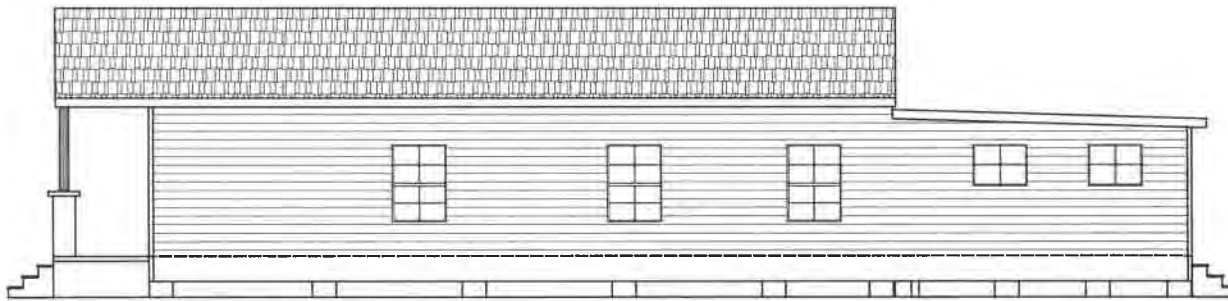
315 Huey P. Long Ave
Applicant's Address

216 Amelia St
Address under HDC review

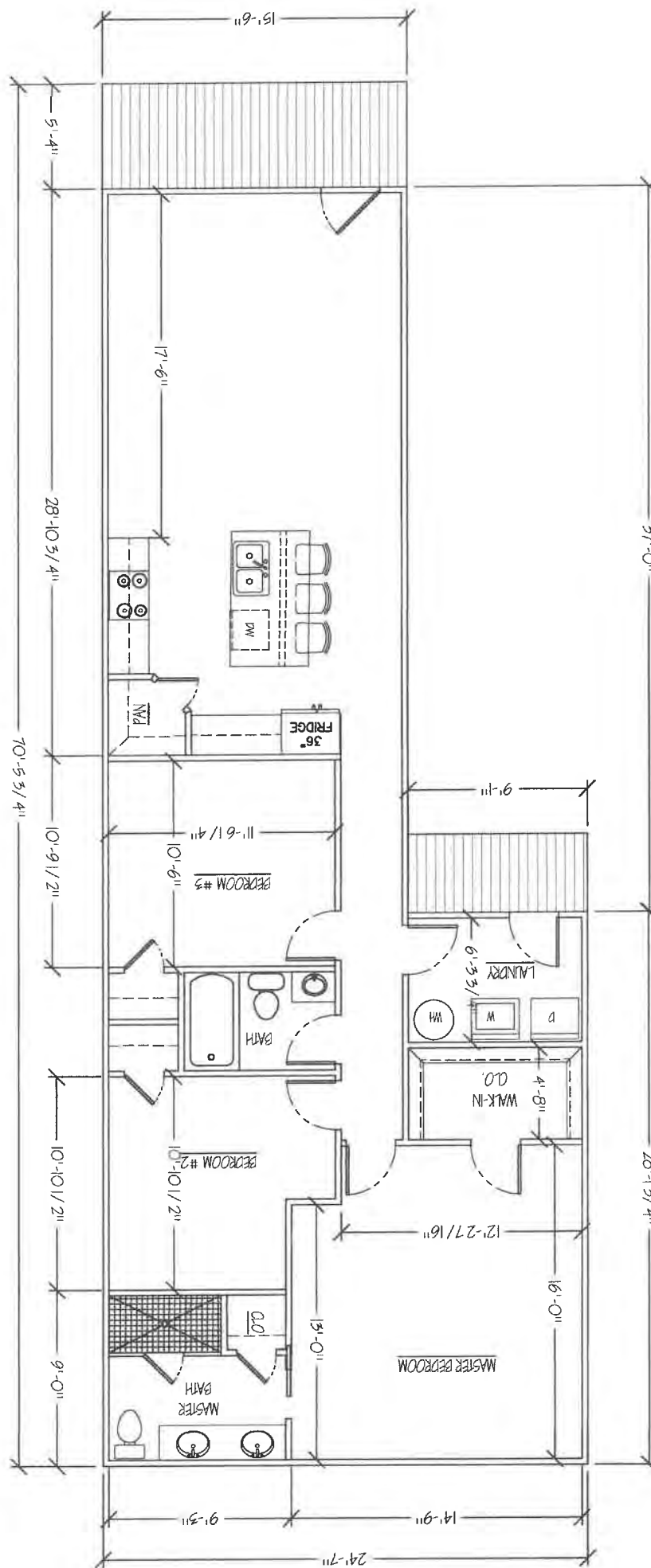
Date: 7/28/2025



PROPOSED



EXISTING





Historic District Commission

Meeting: August 04, 2025

938 11TH Street
District - 2

Deviation from originally
approved COA -25-001

Applicant:
Ronald Oregeon Jr



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 938 11th ST

Renovation: _____
New Construction: X Demolition: _____

Age of Structure: NEW

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches NEW

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: 2/2

Type of exterior doors: _____

Describe any ornamental woodwork: SHUTTERS ON FRONT TO include Front Door


Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 7/28/2025
Applicant's Name: Ronald "Pat" Orgeron Jr
Applicant's Address: 315 Huey P. Long Ave Gretna LA 70053
Phone No: () Cell No: (504)-382-3615

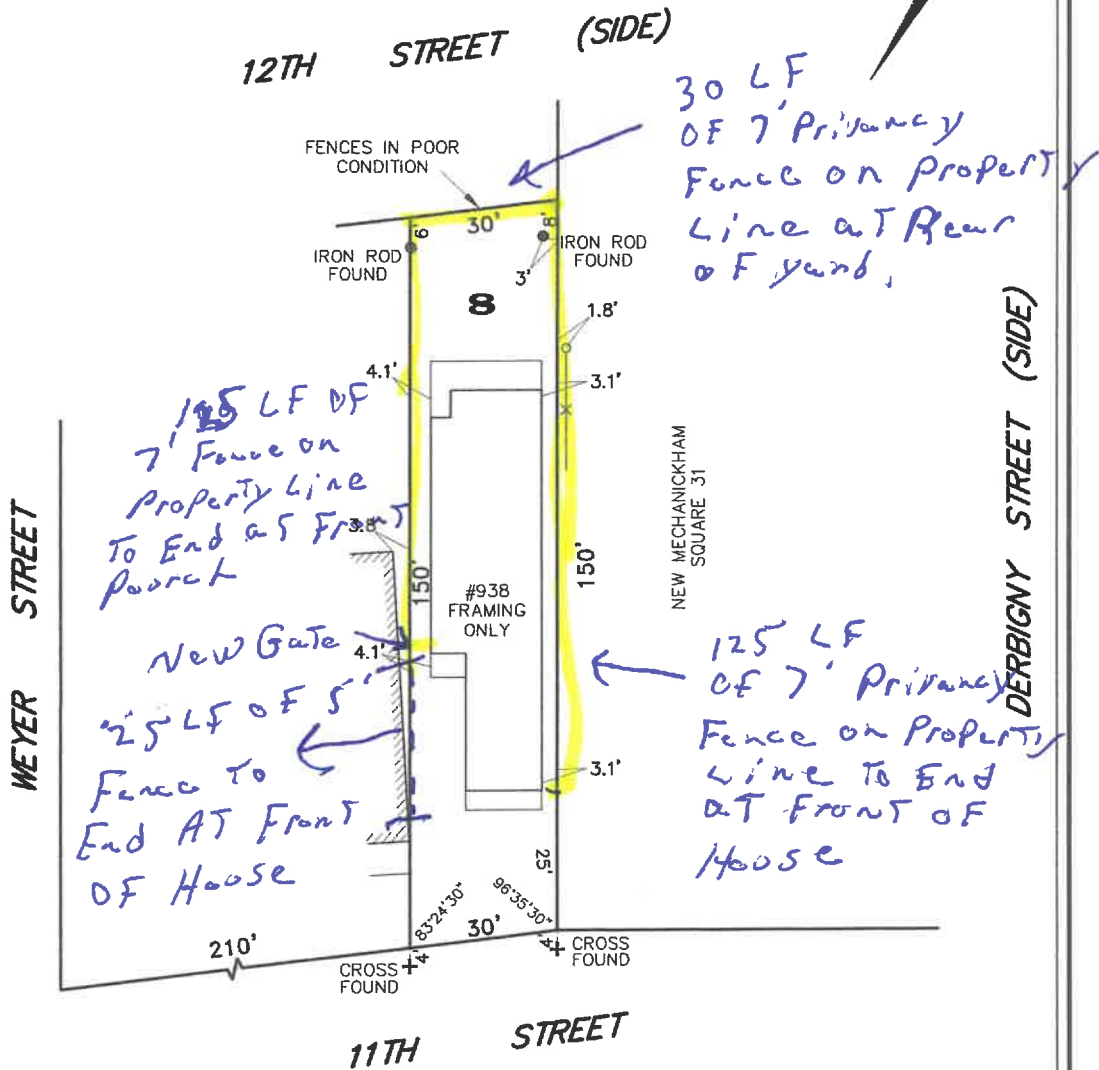
For Office Use Only:

Application date: 7-28-25
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: August 4, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):

**BOUNDARY SURVEY OF
LOT 8
SQUARE 43
MECHANICKHAM
JEFFERSON PARISH, LA**



NOTE:
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1
REFERENCE PLAN #1: A PLAN OF SURVEY BY GILBERT & KELLY SURVEYORS DATED JULY 9, 1960

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

ELEVATION NOTES

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 2/2/18
BASE FLOOD ELEVATION: N/A
FLOOD ZONE: X
COMMUNITY PANEL: 22051C 0220 F



THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:XXI, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

MADE AT THE REQUEST OF BARON CONSTRUCTION CO.
REVISED TO SHOW IMPROVEMENTS APRIL 11, 2025

BY:
RICHMOND W. KREBS, PLS., LIC. #4836

R.W. KREBS
PROFESSIONAL LAND SURVEYING, LLC
RICHMOND W. KREBS, SR., PLS
3445 N. CAUSEWAY BLVD, SUITE 201
METAIRIE, LA. 70002
PHONE: (504) 889-0616
FAX: (504) 889-0918
E-MAIL: info@rwwkrebss.com
WEB: www.rwwkrebss.com

DATE: OCTOBER 8, 2024	DRAWN BY: JSN
SCALE: 1" = 30'	CHECKED BY: NDK
JOB #: 241388, 250483	



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

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Councilman-at-Large

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Ronald P. Orgaron Jr
Signature of Applicant

Ronald P. Orgaron Jr
Name of Applicant (Please Print)

315 Huey P. Long Ave
Applicant's Address

Address under HDC review

Date: _____

DRAWN BY: UK/TL	CHECKED BY: PAT O.	APPROVED BY: FL
--------------------	-----------------------	--------------------

REV. 1

Note:
FINISHED FLOOR HEIGHT TO BE 3'-0" ABOVE THE CENTERLINE OF THE STREET OR BASE FLOOD ELEVATION PLUS ONE FOOT OF FREEBOARD, WHICHEVER IS HIGHEST.

DATE:	11/2/24
REVISION NOTES:	ISSUED FOR CLIENT REVIEW
	ADDED BRICK PORCH

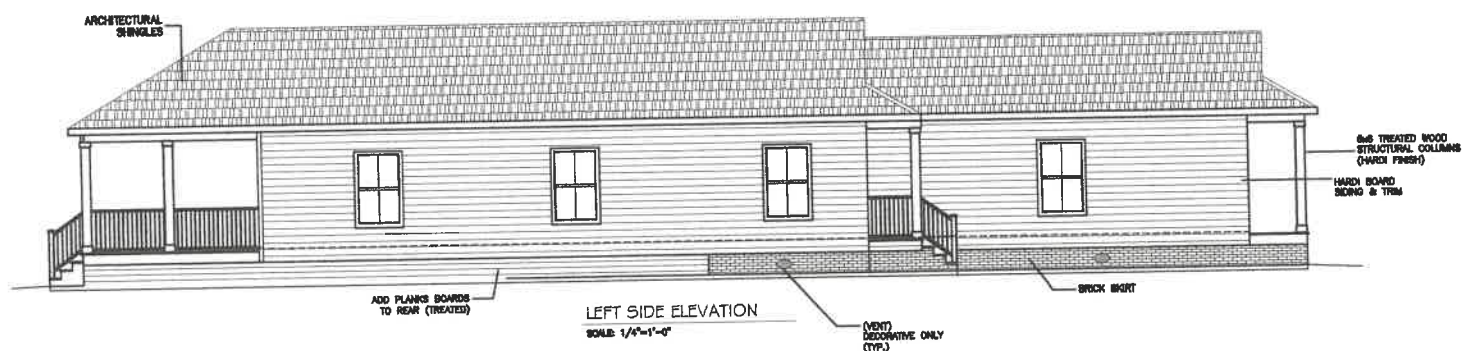
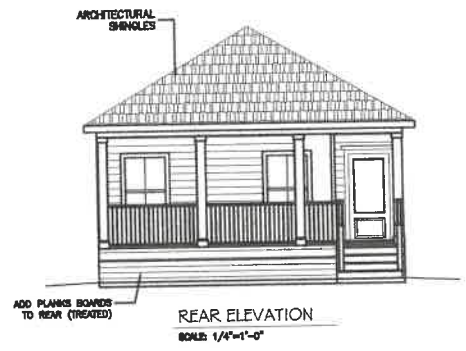
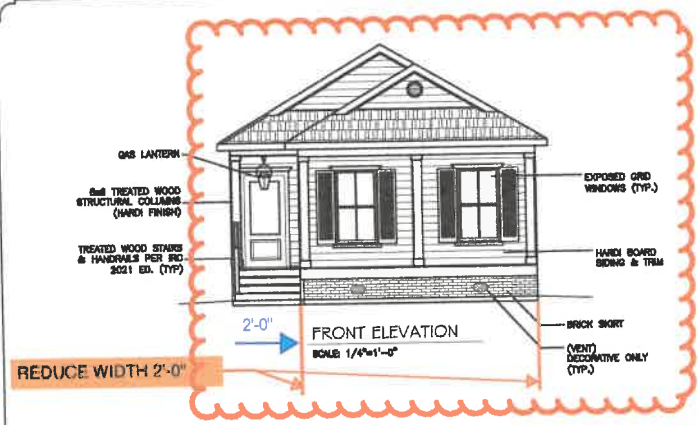
KERNER'S
DRAFTING & DESIGN
LAFAYETTE, LA 70503
(504) 638-0889
LARRY@KERNERDRAFTING.COM

Proposed Residence Drawn For:
PAT ORGERON
BARON CONSTRUCTION
938 11th STREET
GRETN, LA 70053

PROJECT No.:	JOHN 3:16-31
DATE:	11/2024
SCALE:	1/4"=1'-0"
SHEET:	7 OF 8



REVISED 3/13/25



**CITY OF GRETNA
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

938 11th Street

PROPERTY ADDRESS

Ronald Orgeron Jr.

NAME OF APPLICANT

Work Approved: Approval For new Construction
Single Family residence. Approved as
Submitted. Brick skirting to be behind
face of wall.


Signature of HDC Chairperson

Signature of Applicant

1/2/25

Date

Date

By signing this notice, the applicant/owner of the property certifies that they acknowledge their legal responsibility for ensuring that all work performed is completed in accordance with approval obtained by this Certificate of Appropriateness.

Any deviation or failure to comply with this certification as stipulated shall be subject to an adjudicated hearing.

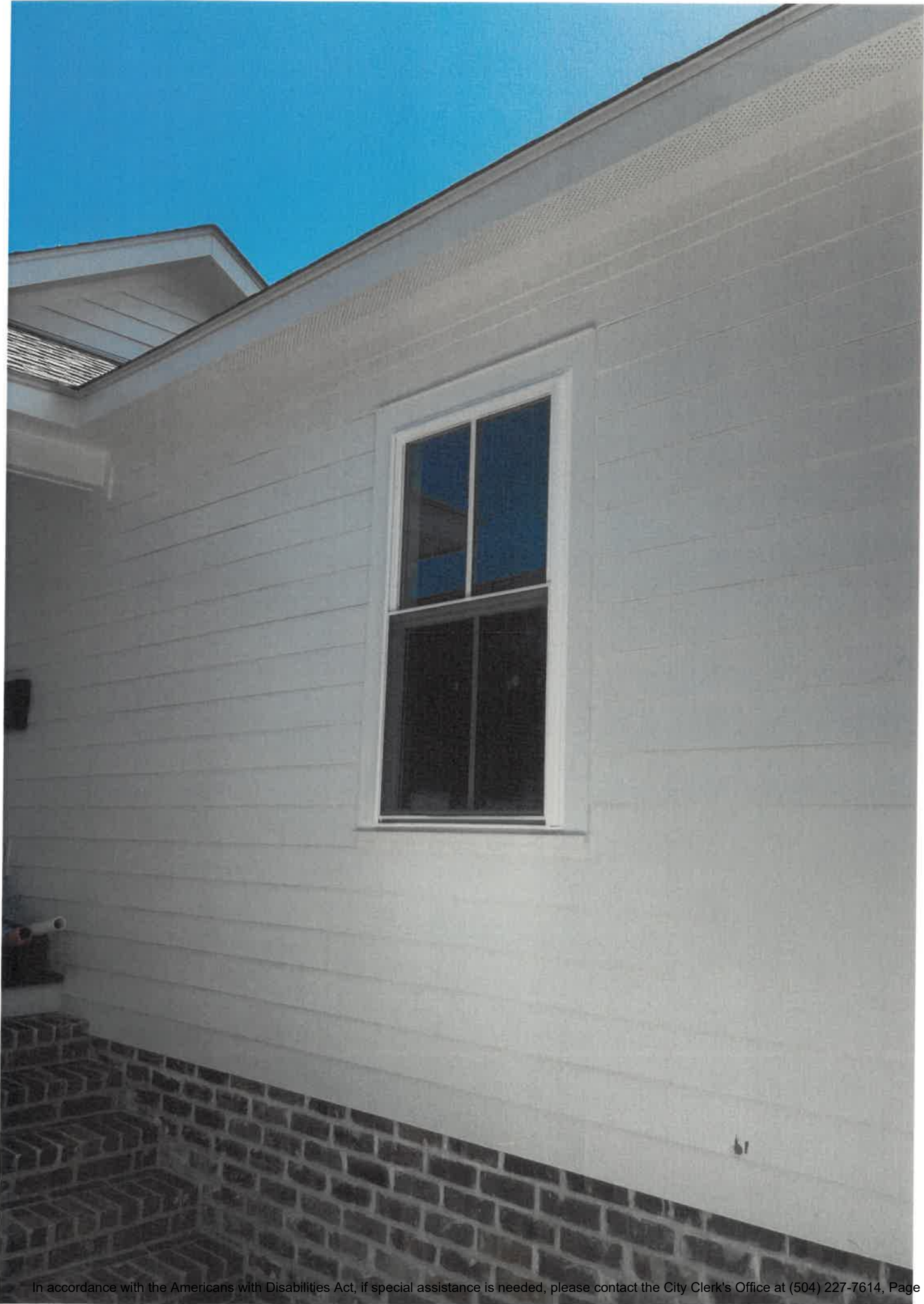
NOT VALID UNLESS POSTED ON SITE

**Please address all questions to:
Gretna Department of Inspections
740 2nd Street, Room 111, Gretna, LA, 70053
(504) 363-1563 - www.gretnala.com**

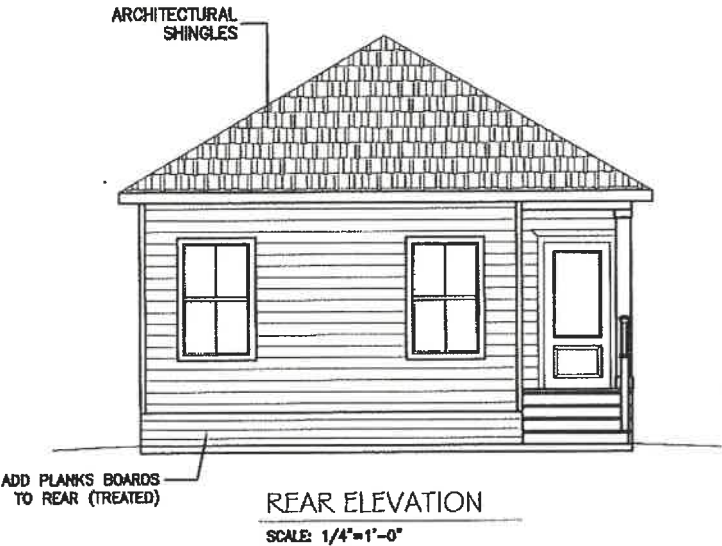
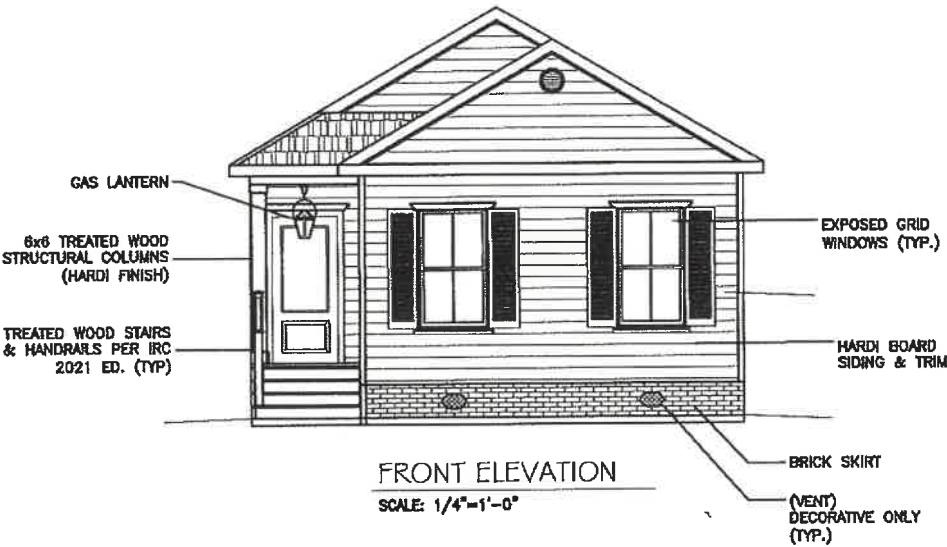
COA-25-001







Note:
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CENTERLINE OF THE STREET OR BASE FLOOD
ELEVATION PLUS ONE FOOT OF FREEBOARD,
WHICHEVER IS HIGHEST.



REVISION NOTES:	DATE:
ISSUED FOR CLIENT REVIEW	11/15/24

KERNER'S
DRAFTING & DESIGN
LAFITTE, LA 70067
(504) 838-0069
LARRY@KERNERDRAFTING.COM

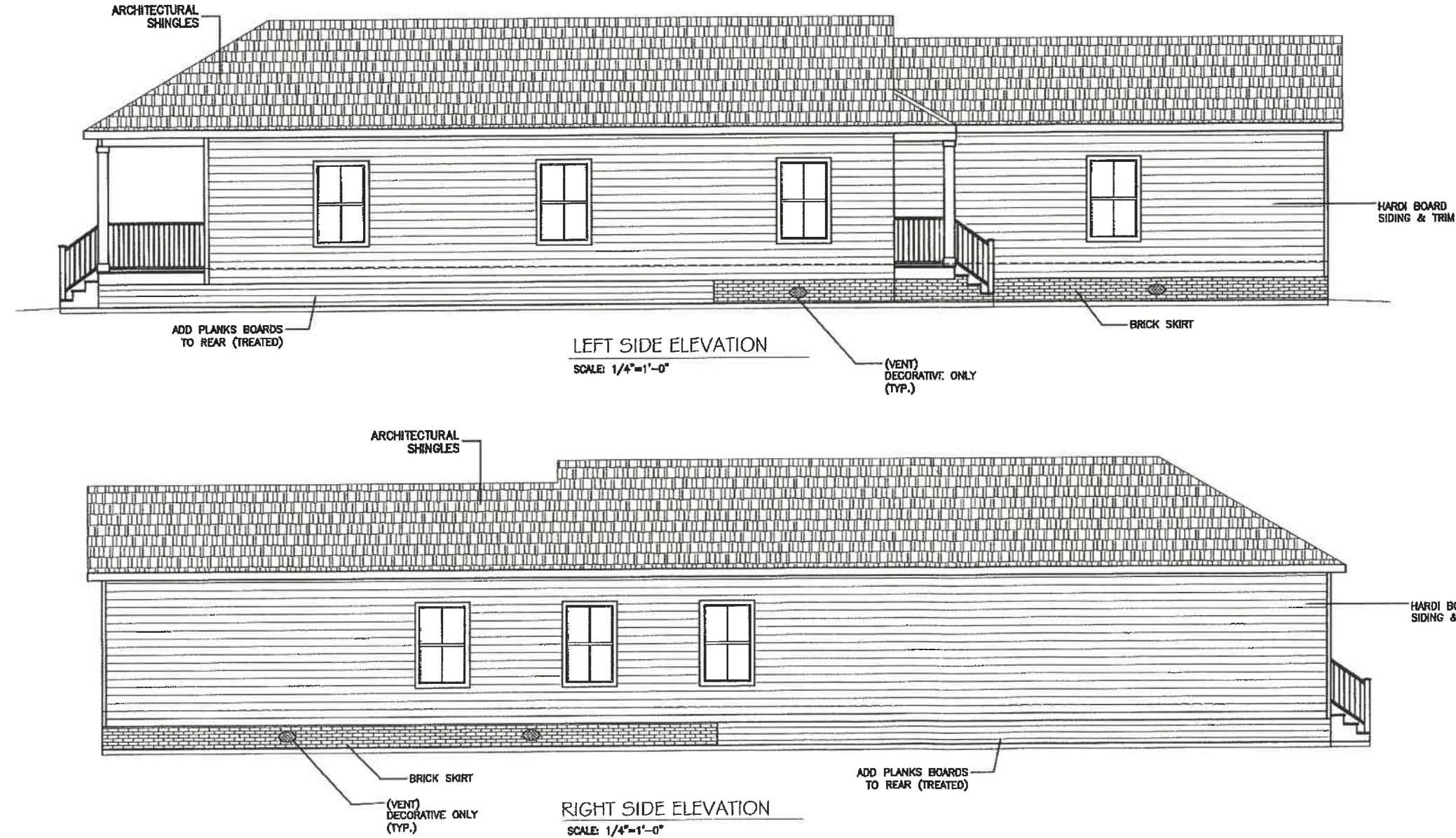
Proposed Residence Drawn For:
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GRETN, LA 70053

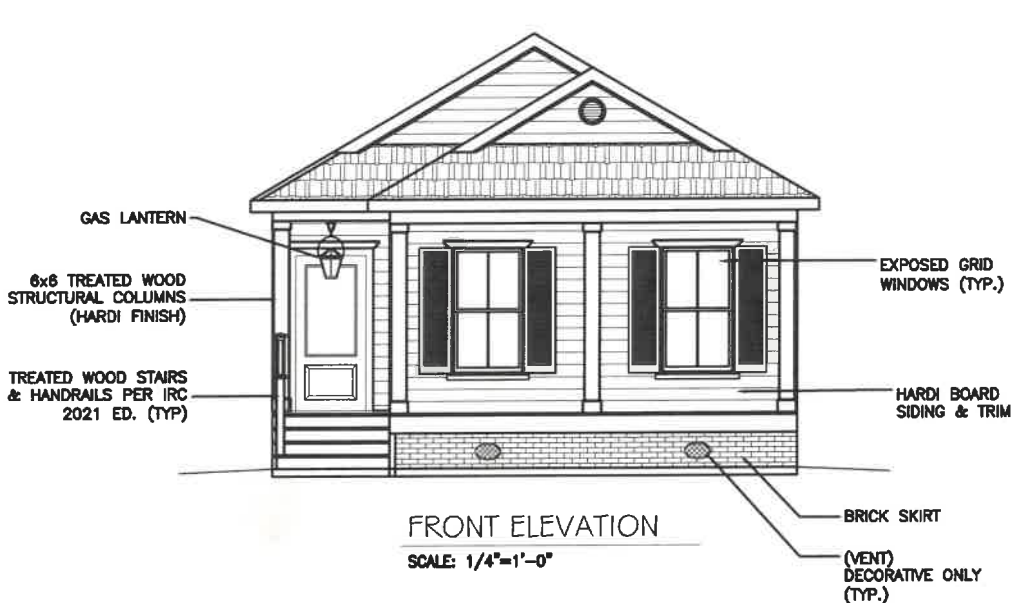
PROJECT No.
JOHN 3:16-31

DATE:
11/2024

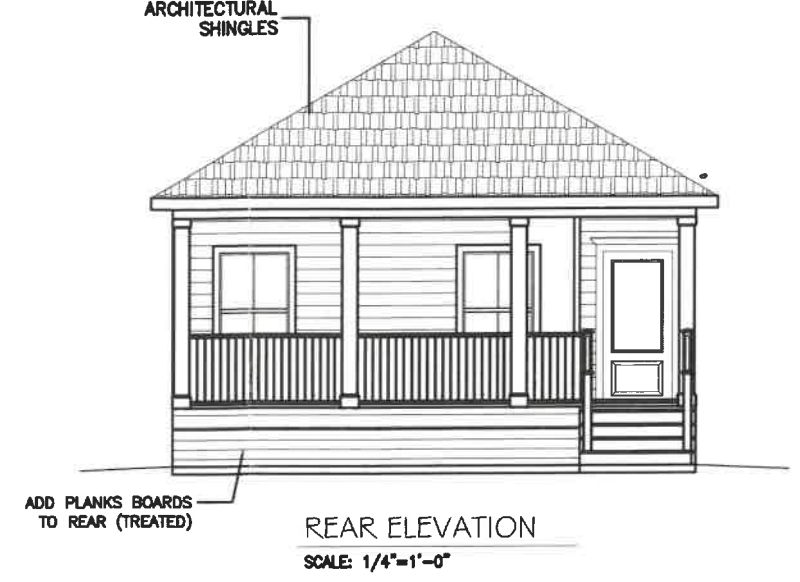
SCALE:
1/4"=1'-0"

SHEET:
7 OF 8



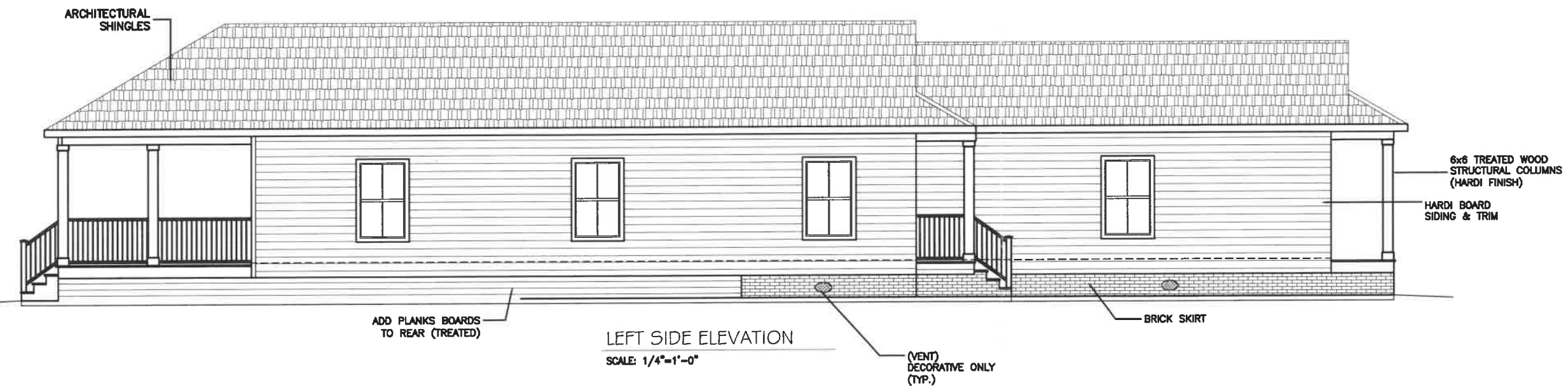


FRONT ELEVATION
SCALE: 1/4"=1'-0"

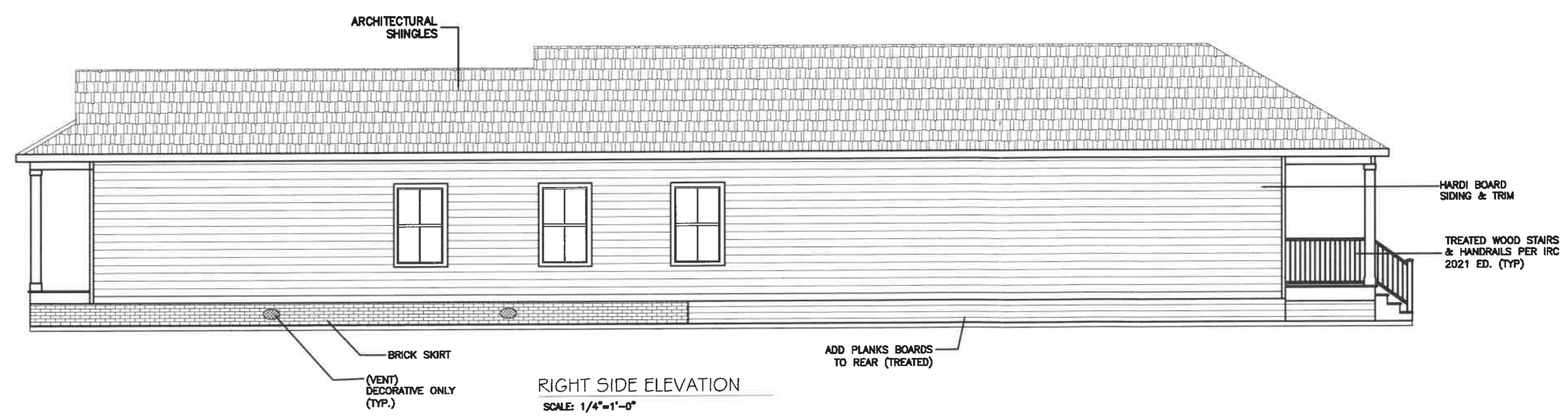


REAR ELEVATION
SCALE: 1/4"=1'-0"

Note:
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CENTERLINE OF THE STREET OR BASE FLOOD
ELEVATION PLUS ONE FOOT OF FREEBOARD,
WHICHEVER IS HIGHEST.



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



REVISION NOTES:	DATE:	
	11/15/24	11/23/24
ISSUED FOR CLIENT REVIEW		
ADDED BACK PORCH		

KERNER'S
DRAFTING & DESIGN
LAFITTE, LA 70067
(504) 638-0069

Proposed Residence Drawn For:	
PAT ORGERON	BARON CONSTRUCTION
938 11th STREET	GRENA LA 70053

PROJECT No	JOHN 3:16-31
DATE:	11/2024
SCALE:	1/4"=1'-0"
SHEET:	7 OF 8



Historic District Commission

Meeting: August 04, 2025

**737 Lafayette Street
District -2**

Renovations

**Applicant:
Jonathan Liberto**



Historic District Commission

Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
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- Demolition of a historical building
- Moving of a historic building
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Construction – the erection of any on site improvements on any parcel of ground

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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 737 Lafayette Str

Renovation: ☒

New Construction: ☐

Demolition: ☐

Age of Structure: N/A

Building Type:

Creole Cottage ☒

Shotgun ☐

Bungalow ☐

Other ☐

Building Style:

Greek Revival ☐

Italianate ☐

New Orleans Bracketed ☐

Eastlake ☒

Colonial Revival ☐

Other ☒

Exterior materials proposed:

Roof Shingles / extend to back Soffit ☐

Fascia ☐ Siding Hardy Board

Masonry Porch - Chicago style Porches Keep same or remove rails

Balconies white wash Handrails Keep same or remove

Type of exterior lighting fixtures: Gas lanterns - hanging or side of door

Style of windows: Double hung tall for front

Type of exterior doors: Double

Describe any ornamental woodwork: Half core in gable - replace w/ Hardy board

Elevations:

Front Space: ft. Side Space: ft.

Rear Space: ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 7/28/25

Applicant's Name: JONATHAN LIBERTO

Applicant's Address: 737 LAFAYETTE ST. GRETTA, LA 70053

Phone No: () Cell No: (504) 339-7012

For Office Use Only:

Application date: 7-28-25

Substantive Change: Yes ☐ No ☒ Inventory Number: N/A

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: August 4, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



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740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
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Azalea M. Roussell

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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

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while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

JONATHAN LIBERTO

NAME OF APPLICANT (PLEASE PRINT)

49 Smithway Dr. Gretna, LA 70053

Applicant's address

737 LAFAYETTE ST. GRETNA, LA 70053

Actual address of the property for review

Date:

7/28/25

Current Front of 737 Lafayette Street



Option 1 Hardy Board to match other siding



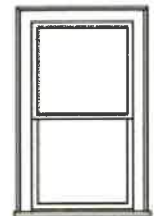
Option 2 Restore or replace scallop shingles



Current Side



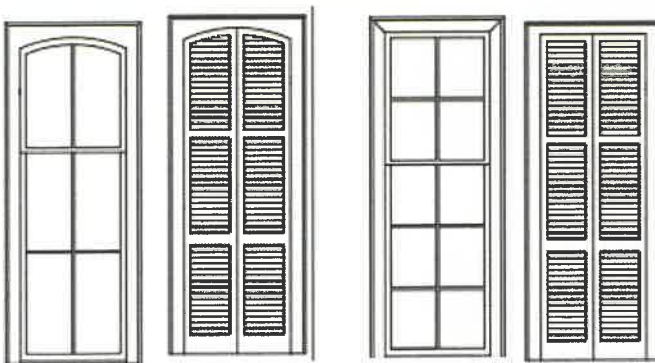
Hardy board and side windows



Double door options
Light wood with glass pane double panel



Windows for Front



Overall summary of changes similar to photo below. Adding brick to porch, removing rails, replacing windows with double hung windows with shutters



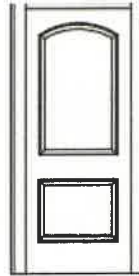
Extend rear roof over
existing addition



Current Rear



Reduce to a single rear door
with no windows. Add steps
similar to front design.





Historic District Commission

Meeting: August 04, 2025

237 Lafayette Street
District -2

Front Door

Applicant:
Peter DiMartino



#7841

Historic District Commission

Application for Certificate of Appropriateness

Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 237 LAFFAYETTE ST.

Renovation: FRONT DOOR

New Construction: _____

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other ☒ _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other ☒ _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *Peter S. Di Martino* Date: 7-28-2025

Applicant's Name: PETER S. DI MARTINO

Applicant's Address: 824 LESION DR GRETNA LA. 70056

Phone No: (504) 392-1150 Cell No: (504) 915-2947

For Office Use Only:

Application date: 7-28-25

Substantive Change: Yes ☐ No ☒ Inventory Number: 587

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: August 4, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Priore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, PETER S. Di MARTINO the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
application for historic district appropriateness will be reviewed on
_____ at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
for the applied property is expected to attend the meeting. If unable to attend, review
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness
issued by the Historic District Commission does not guarantee approval of the
Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

PETER S. Di MARTINO

Name of Applicant (Please Print)

237 LA FAYETTE ST

Applicant's Address

Address under HDC review

Date:

7-28-2025

Gretna, Louisiana

Google Street View

Mar 2022

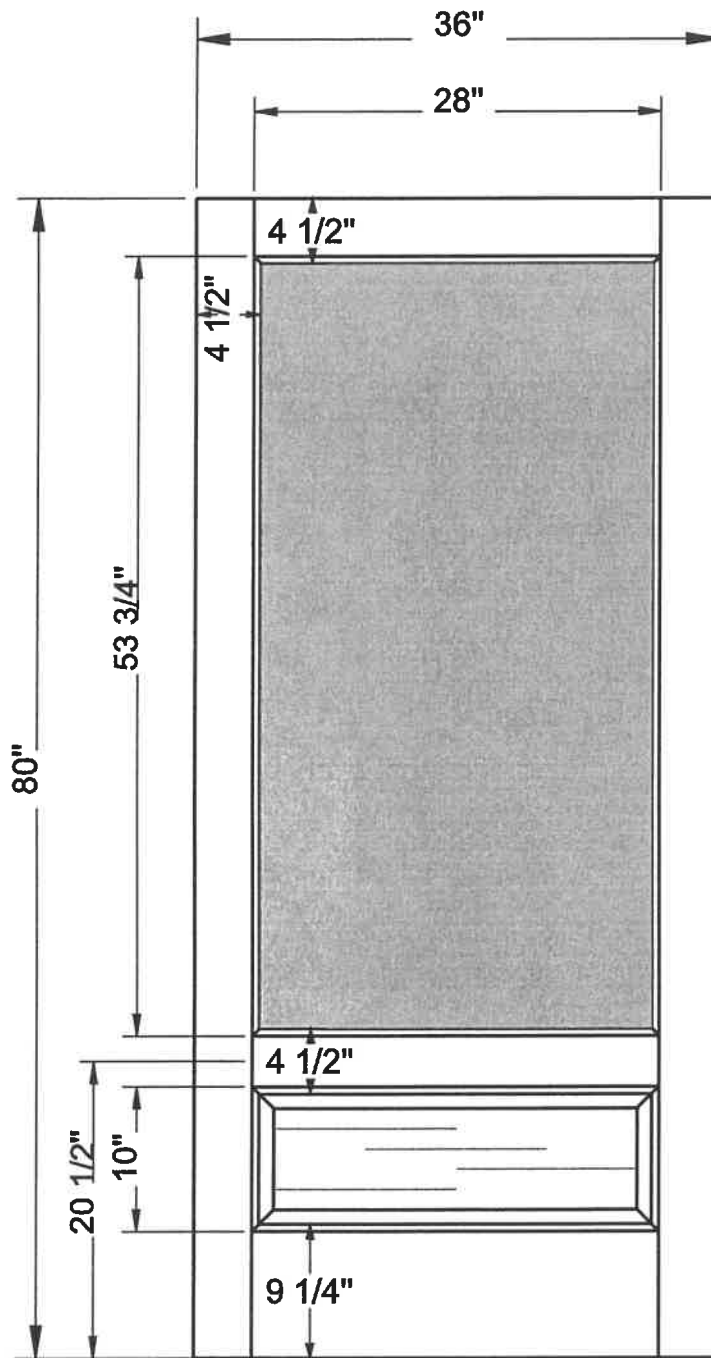


Image capture: Mar 2022 © 2025 Google





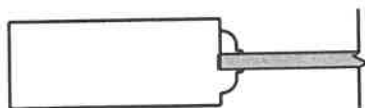
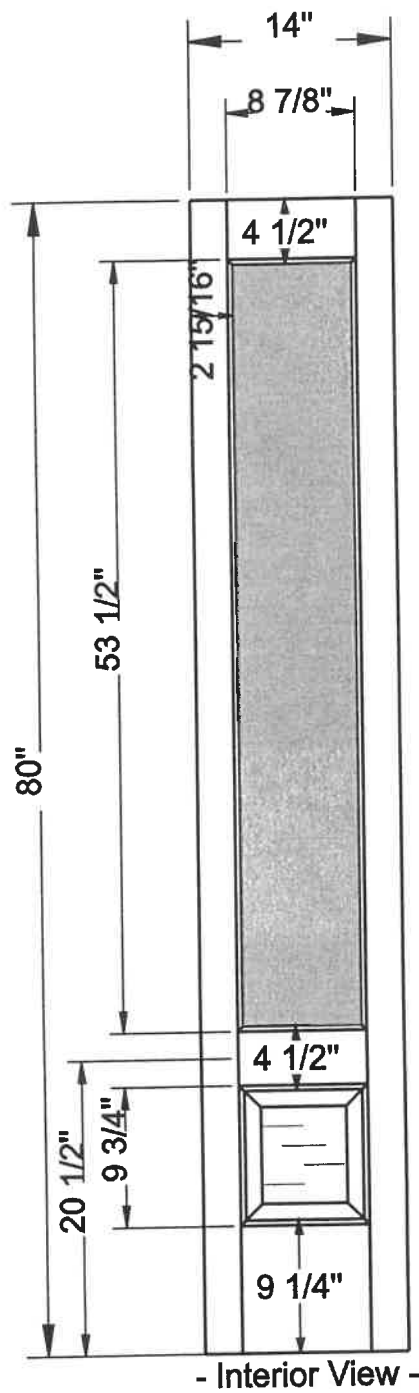
ROGUE VALLEY Door



- Interior View -



ROGUE VALLEY Door





Historic District Commission

Meeting: August 04, 2025

439 Ocean Avenue
District -1

Doors & Siding Preliminary Conference

Applicant:
Thang LE

Keep my
note



met w/
auner 7.8.25
discussed peels
stick was not
likely to be approval
& to provide options
for all
changes

Meeting: June 30, 2025

P.C.
WJ/JR 1111 5-0

439 Ocean Avenue

(District 1)

**For: Doors and siding
Stop work order**

Repair existing
siding

Windows
one over one

Door
4

Notes
Zaverz
Humbel.

**Applicant:
Thang Le**

Gretna, Louisiana
Google Street View
Nov 2024



Image capture: Nov 2024 © 2025 Google

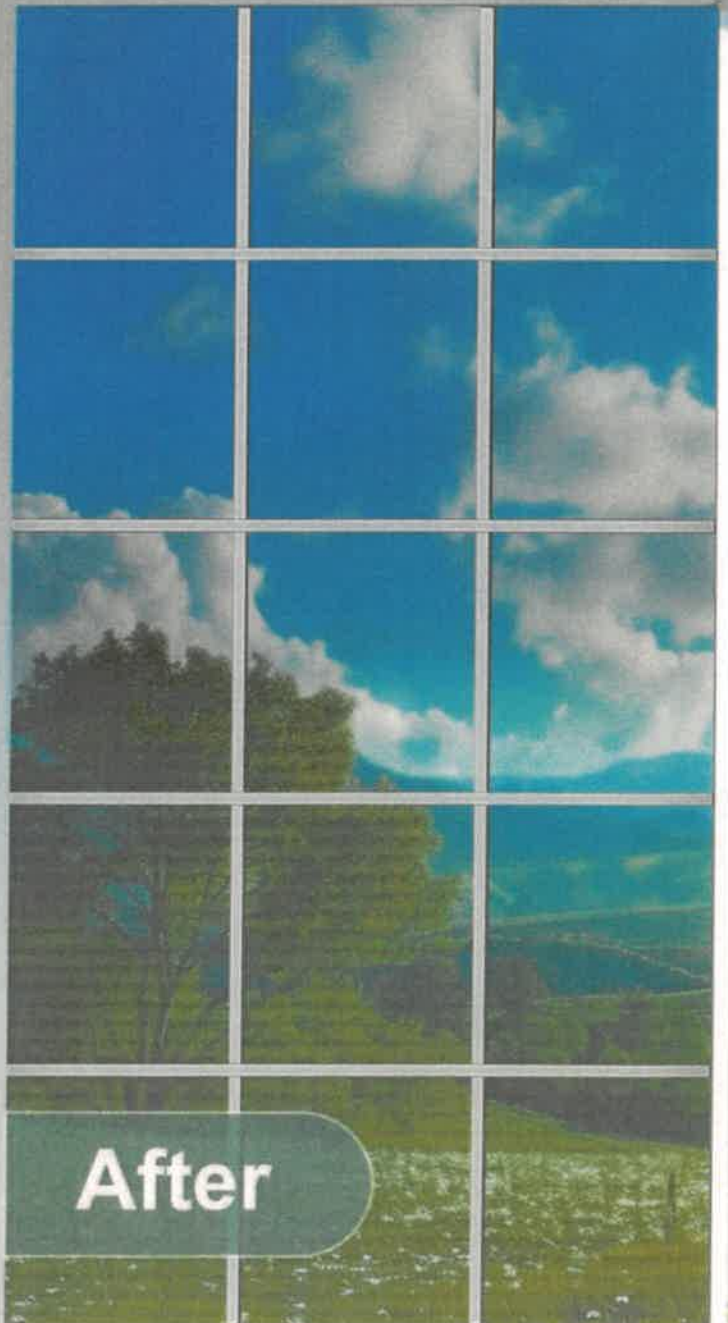


0.5 inch

DECORATE YOUR WINDOWS



Before



After

Window Grille Plug-in Grid Kit to meet your various window decoration needs



Keep the adhered object clean



Windows can be cleaned normally after using the product.

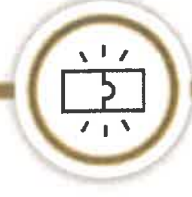
Key Features



**Premium
Quality**



**Minimal
Design**



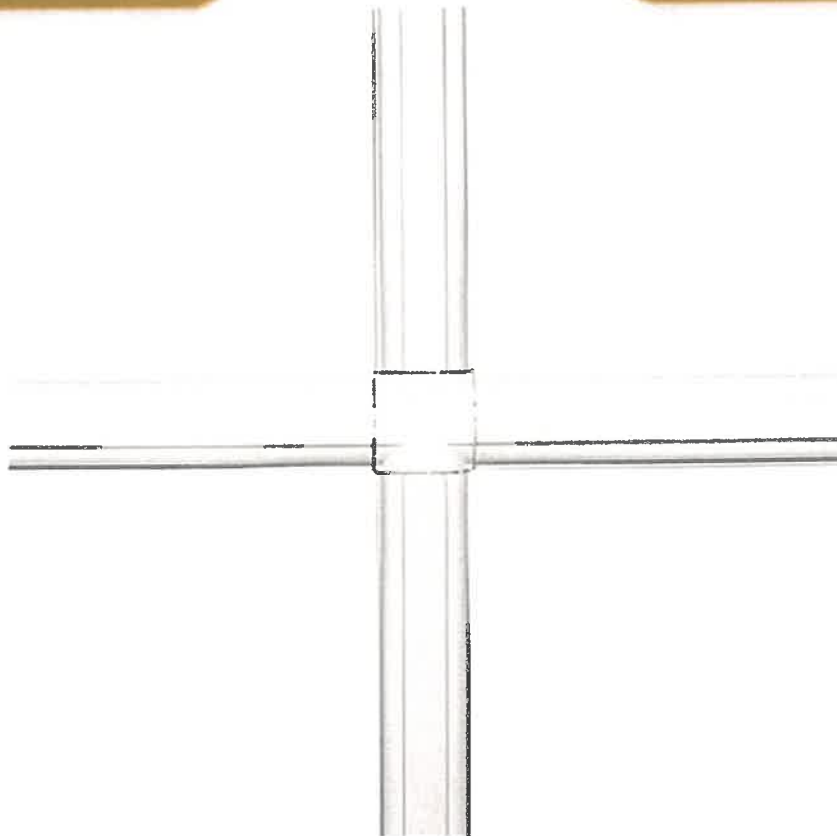
**Sturdy
Fit**



**Smooth
Finish**

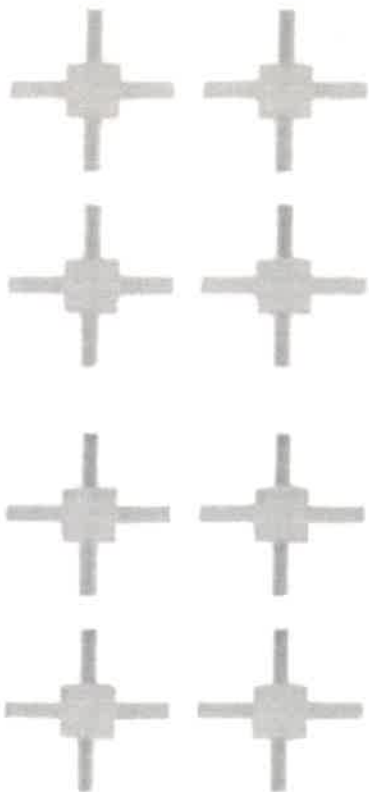
Material : Plastic

Finish : White

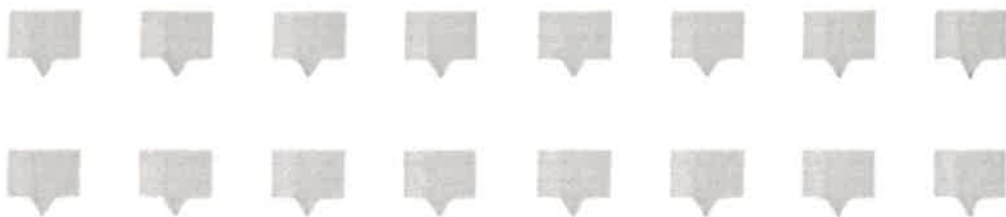
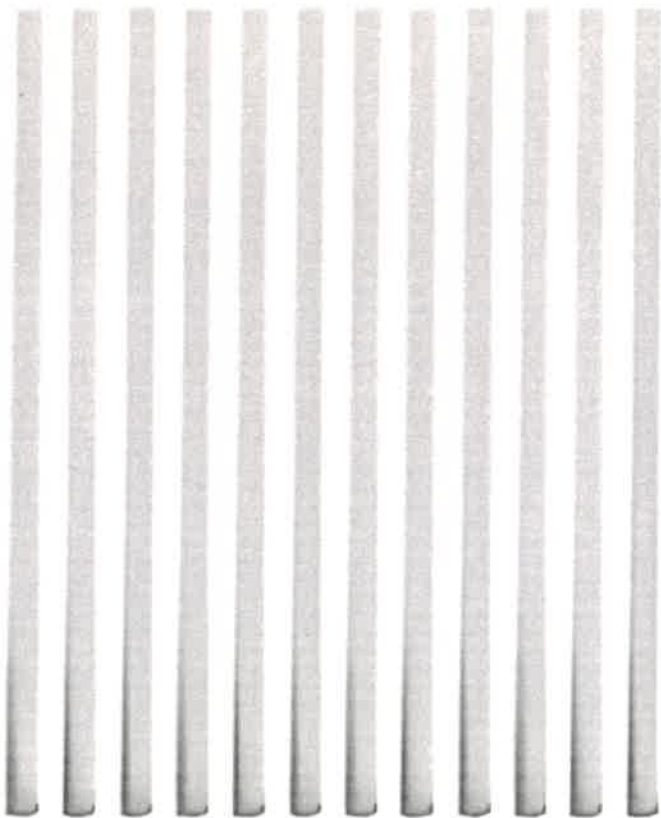


Package Includes

8x
X Connectors



12x
24"(610 mm) Profile Bars



16x
Fasteners

Before



After



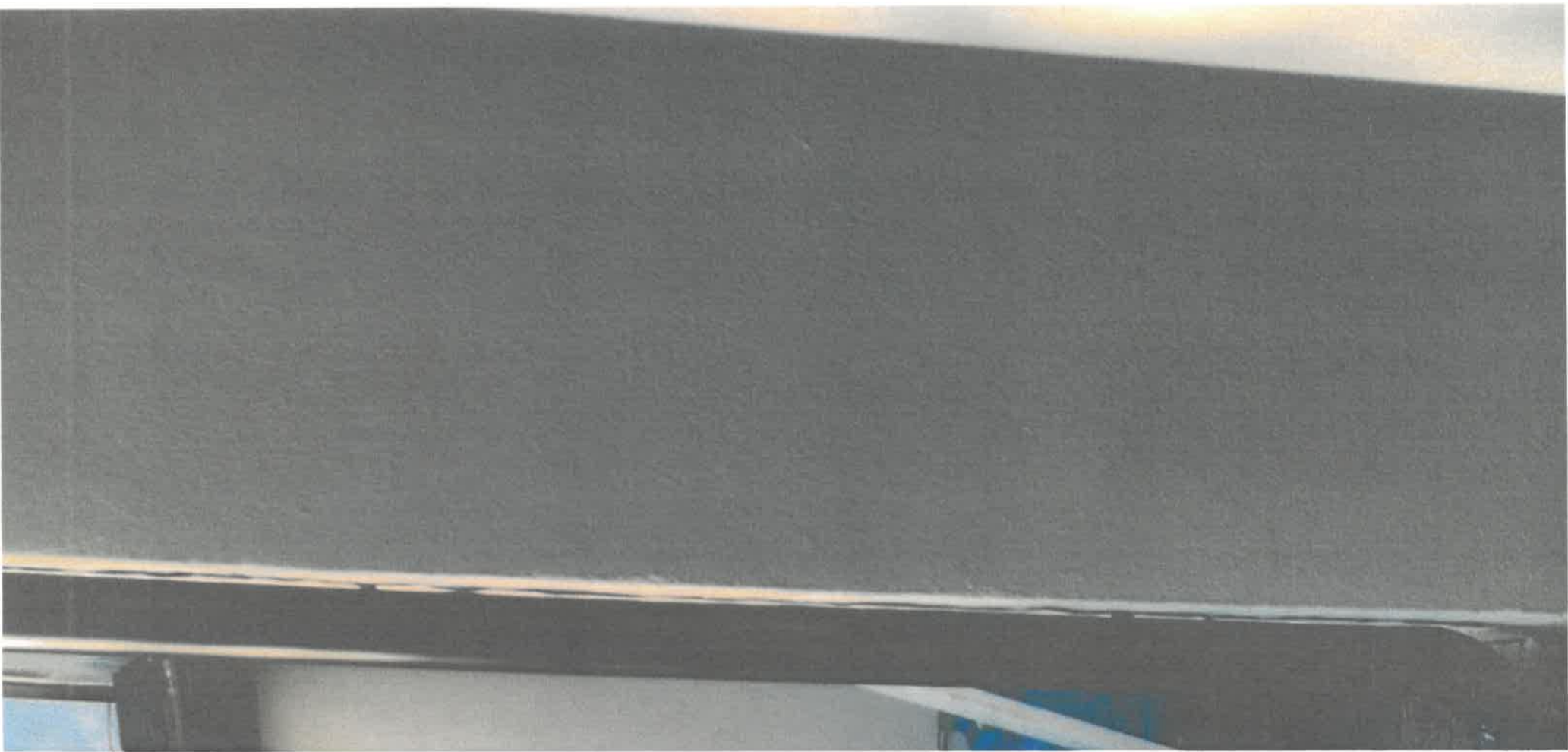


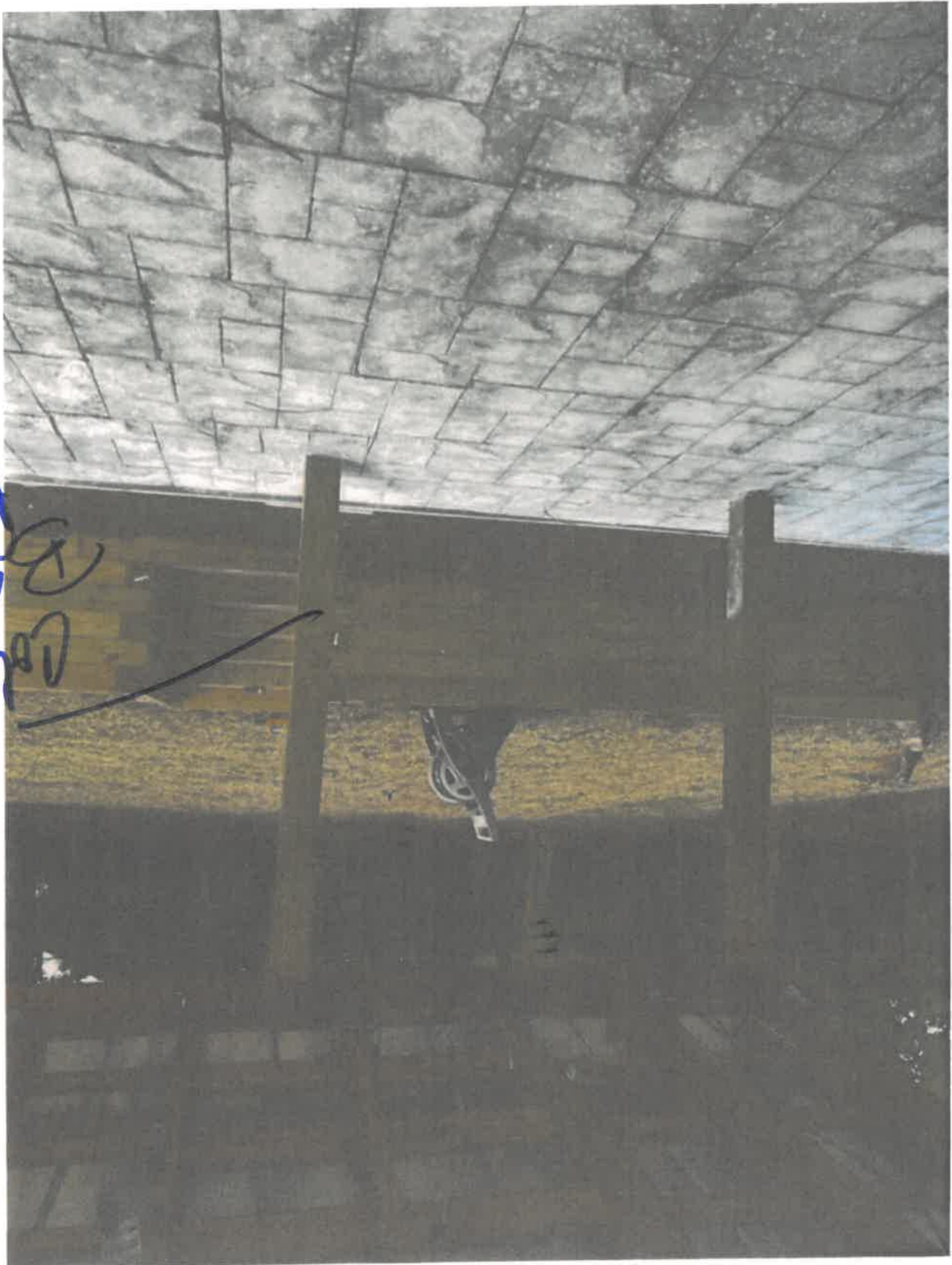


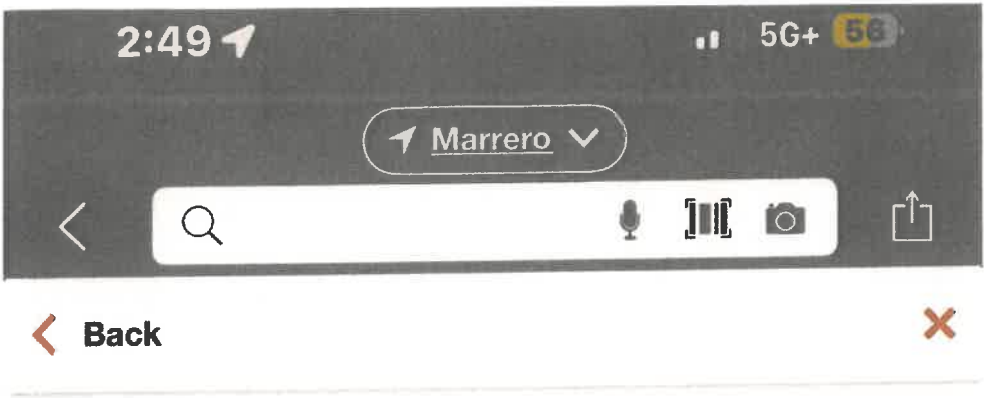
Crop



Columns







Pinch to Zoom





Historic District Commission

Meeting: August 04, 2025

**441 Ocean Avenue
District -1**

Doors & Siding Preliminary Conference

**Applicant:
Thang LE**



Historic District Commission

Meeting: June 30, 2025

441 Ocean Avenue

(District 1)

For: Doors and siding
Stop work order

Applicant:
Thang Le

P.C.
20/12

HHH/5-D

rather

Repair
existing
siding

~~OR~~
~~Renovate~~

Door

1/2 Panel

1/2 Glass 1/2 Panel

Notes window
lower 6 windows
should be w/ SDC

HHH/

Gretna, Louisiana

Google Street View

Nov 2024 [See more dates](#)

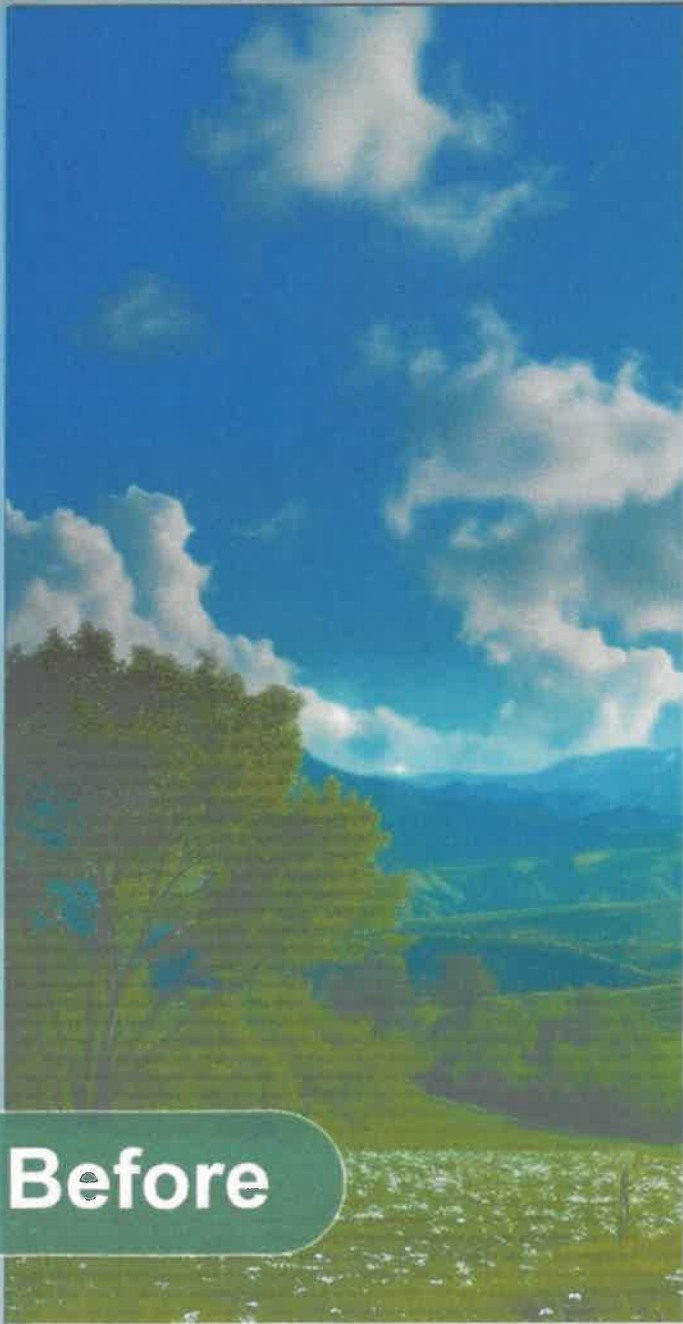


Image capture: Nov 2024 © 2025 Google



0.5 inch

DECORATE YOUR WINDOWS



Before



After

Window Grille Plug-in Grid Kit to meet your various window decoration needs



Keep the adhered object clean



Windows can be cleaned normally after using the product

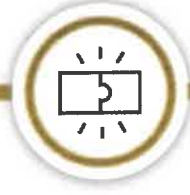
Key Features



**Premium
Quality**



**Minimal
Design**



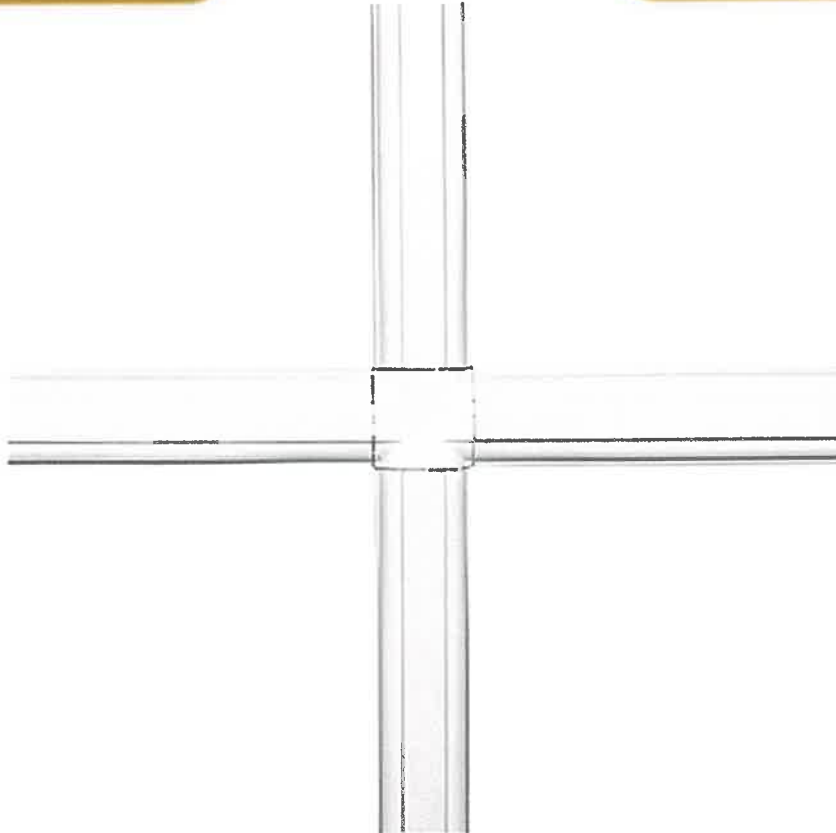
**Sturdy
Fit**



**Smooth
Finish**

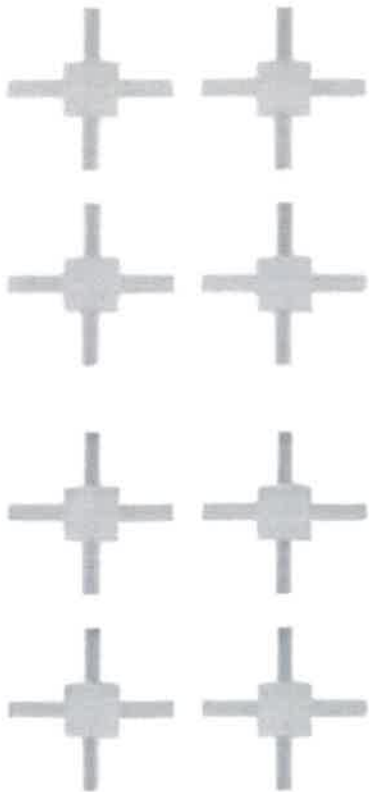
Material : Plastic

Finish : White

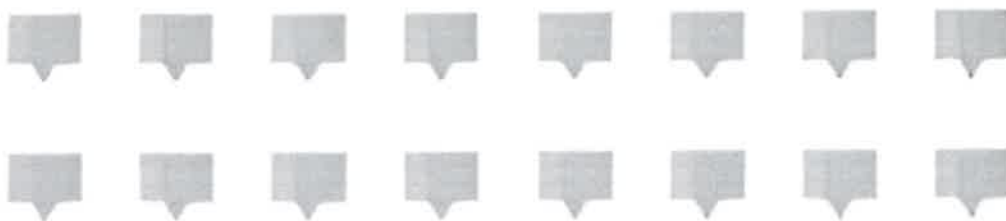
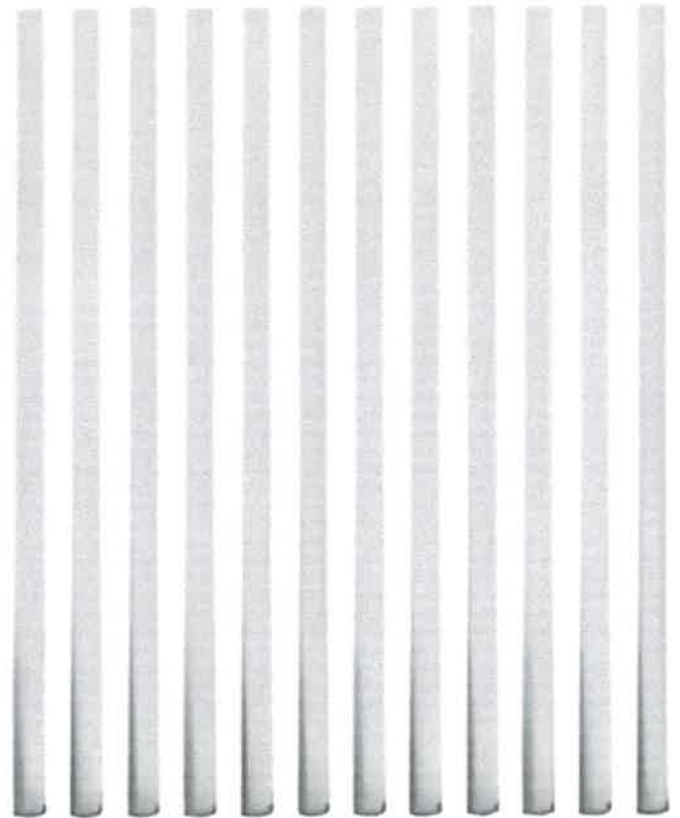


Package Includes

8x
X Connectors



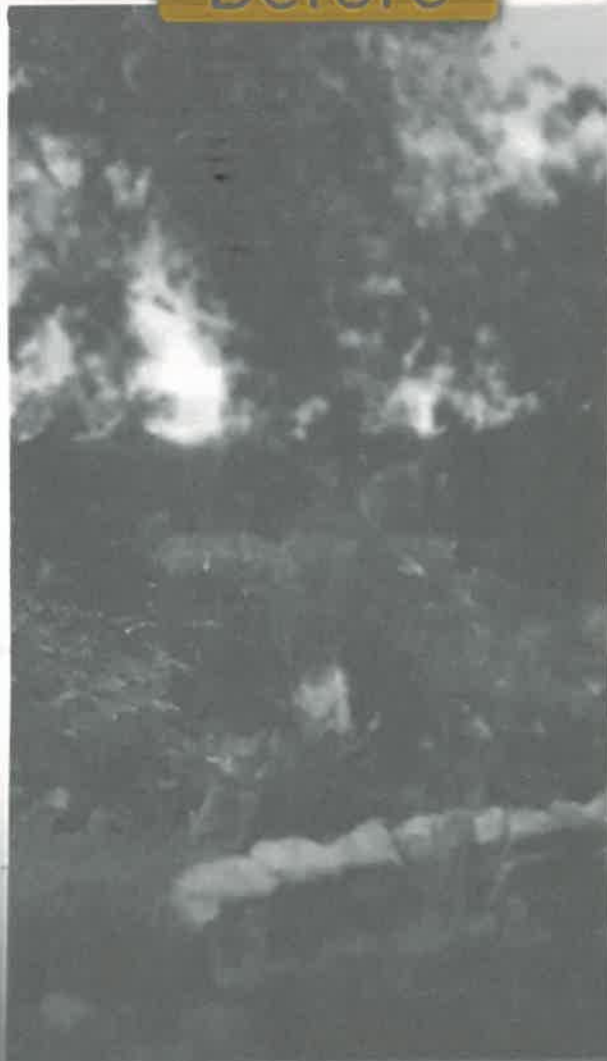
12x
24"(610 mm) Profile Bars



16x
Fasteners



Before



After





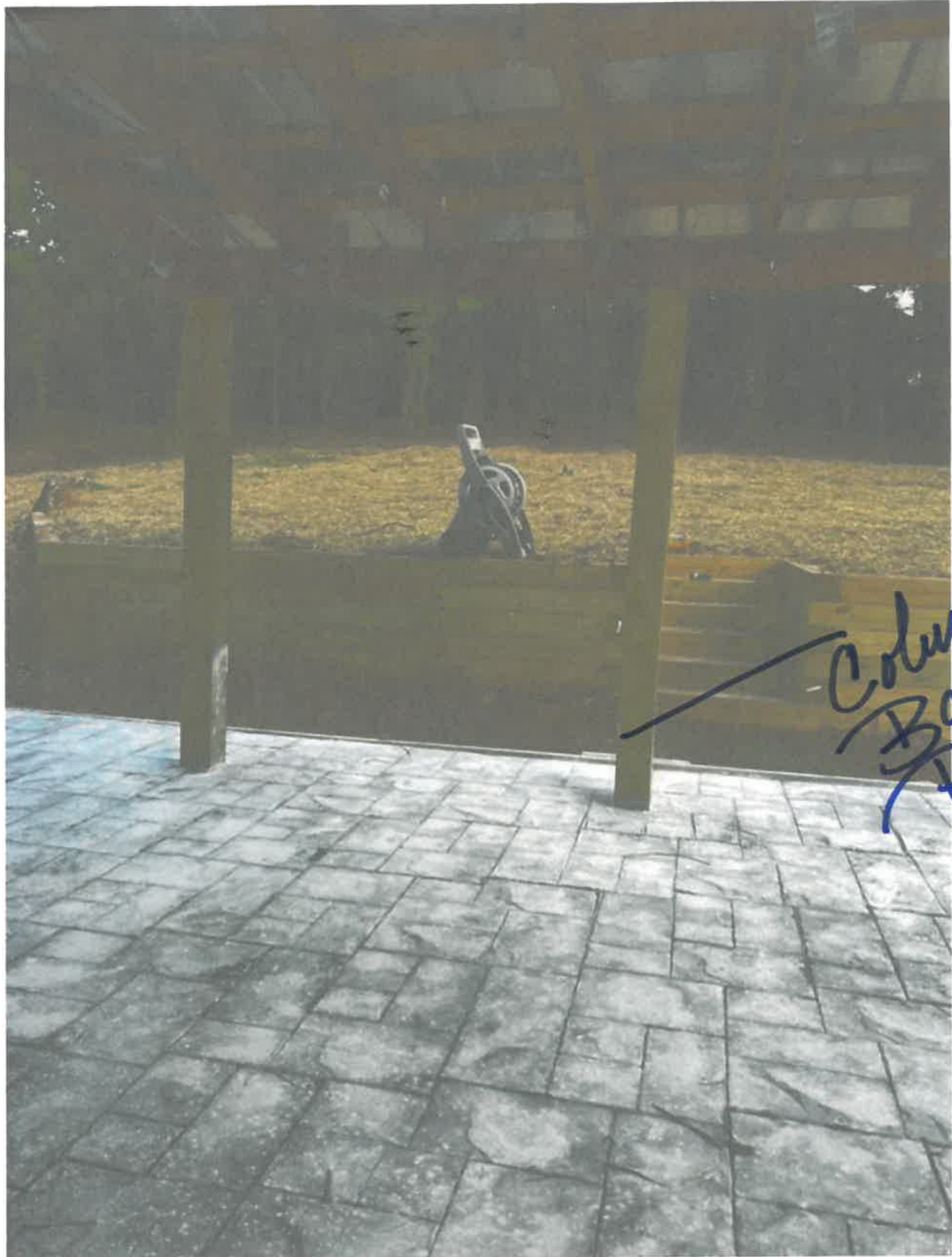


Crop



Columns







Pinch to Zoom



Historic District Commission

Meeting: August 04, 2025

624 Magellan Street
District - 1

New Construction Preliminary Conference

Applicant:
Brett Gross

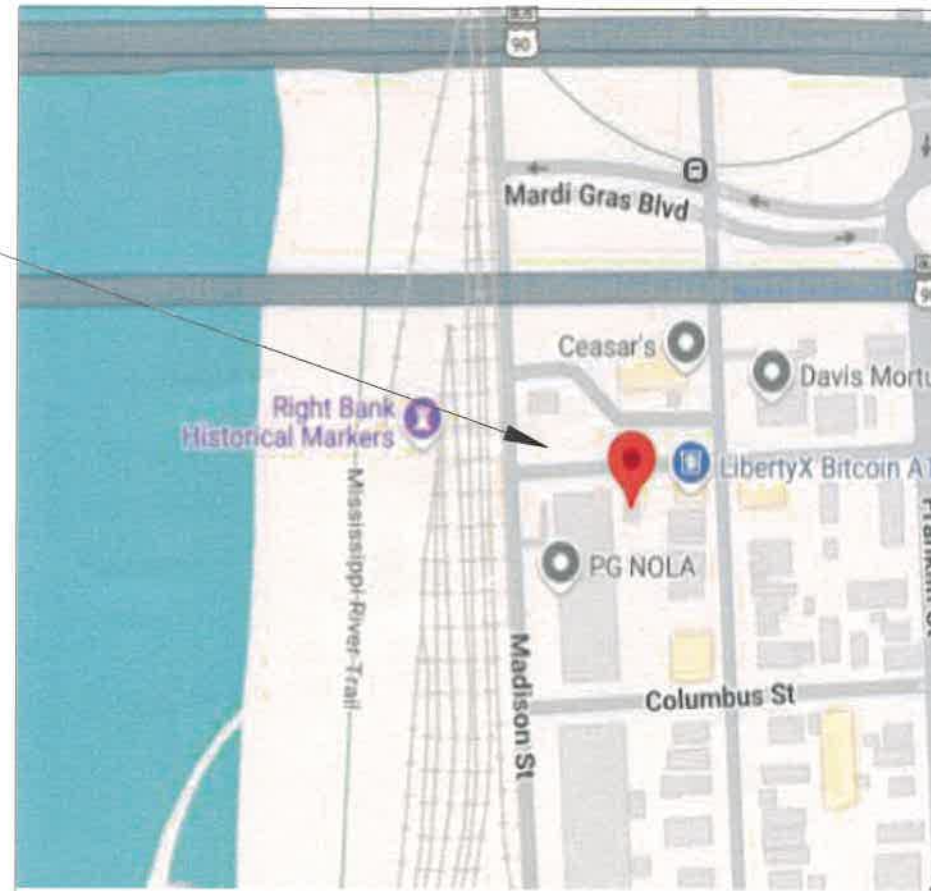
LEGACY INDUSTRIES

RESTORE LOUISIANA

624 Magellan Street, Gretna,
Louisiana 70053



PROJECT
LOCATION



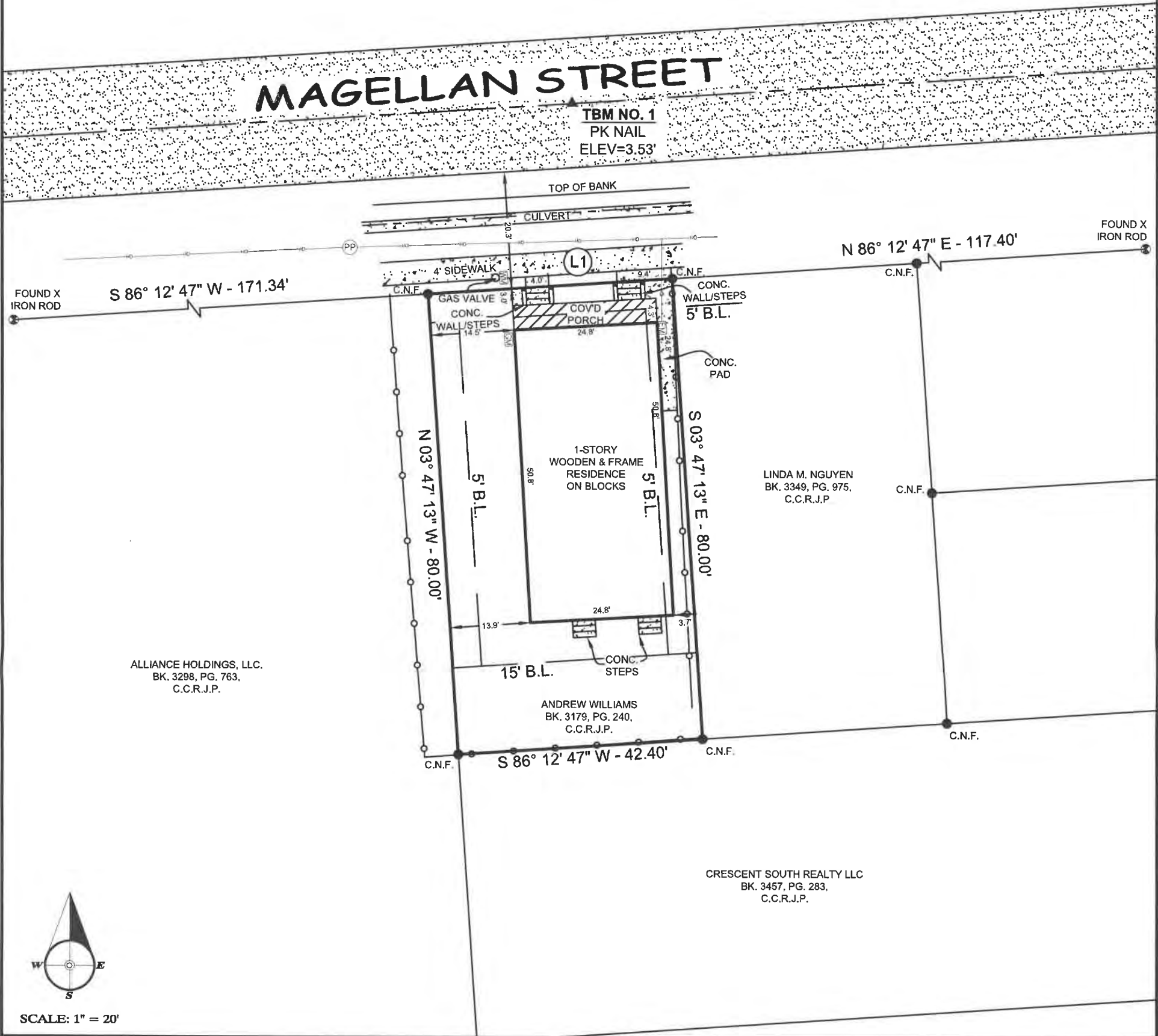
LEGACY
INDUSTRIES



PERMIT SURVEY

LINE TABLE		
#	BEARING	DISTANCE
L1	N 86° 12' 47" E	42.40'

THIS EXHIBIT DRAWING IS TO SHOW EXISTING HOUSE LOCATION ONLY SO THAT A NEW HOUSE CAN BE CONSTRUCTED IN THE SAME VICINITY. NO CLAIMS ARE MADE AS TO BOUNDARY LINE LOCATIONS OR OWNERSHIP. THIS IS NOT A BOUNDARY SURVEY.



SCALE: 1" = 20'

LEGAL DESCRIPTION:

BEING A TRACT OF LAND, IN GRETN, JEFFERSON PARISH, LOUISIANA, DESCRIBED IN A DEED RECORDED IN BOOK 3179, PAGE 240, CLERK OF COURT'S RECORDS OF JEFFERSON PARISH, LOUISIANA.

PREPARED EXCLUSIVELY FOR: LEGACY CONSTRUCTION
PARISH ASSESSOR'S ADDRESS: 624 MAGELLAN ST.
INSIDE THE CITY LIMITS OF GRETN, LOUISIANA

JOB# 23-0019-169
DRAWN BY AMG
REVISED BY BTL



COBALT
ENGINEERING AND INSPECTIONS, LLC
LBPE REG. #: EF.0007366 / LBPLS REG. #: VF.0000884

12005 DELANY ROAD • LA MARQUE, TEXAS 77568 • 409-354-5925

LEGEND

A.E. = AERIAL EASEMENT
A/C. = AIR CONDITIONER
BLDG. = BUILDING
B.L. = BUILDING LINE
(C) = CALCULATED
CB = CATCH BASIN
C & G = CURB AND GUTTER
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CMP = CORRUGATED METAL PIPE
C.N.F. = COULD NOT FIND
CONC. = CONCRETE
CP = CONCRETE POST
CPP = CORRUGATED PLASTIC PIPE
(D) = DEED
D.E. = DRAINAGE EASEMENT
DEGREE = DEGREE
DELTA = DELTA
ELEV. = ELEVATION
ENC. = ENCROACHMENT
EP = EDGE OF PAVEMENT

ESMT = EASEMENT
F.F.E. = FINISH FLOOR ELEVATION
L = LENGTH
(M) = MEASURED
MH = MANHOLE
N = NORTH
NG = NATURAL GROUND
NO = NUMBER
N & D = NAIL AND DISK
NO ID. = NO IDENTIFICATION NUMBER
N.T.S. = NOT TO SCALE
ORB = OFFICIAL RECORDS BOOK
MINUTE OR FEET
" = SECOND OR INCH
(P) = PLAT
PAV = PAVEMENT
PB = PLAT BOOK
PC = POINT OF COMPOUND CURVE
PC = POINT OF CURVATURE
PG = PAGE
PLS = PROFESSIONAL LAND SURVEY
PLSS = PUBLIC LAND SURVEY SYSTEM
PI = POINT OF INTERSECTION
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PT = POINT OF TERMINATION
PRC = POINT OF REVERSE CURVE

PSM = PROFESSIONAL SURVEYOR & MAPPER
PVC = POLYVINYL CHLORIDE PIPE
R = RADIUS OR RECORD OR RANGE
RCP = REINFORCED CONCRETE PIPE
RPLS = REGISTERED PROFESSIONAL LAND SURVEYOR
R.O.W. = RIGHT OF WAY
S = SOUTH
SEC = SECTION
STM.S.E. = STORM SEWER EASEMENT
SS = SANITARY SEWER
S.S.E. = SANITARY SEWER EASEMENT
SF = SQUARE FEET
T = TANGENT OR TOWNSHIP
T.B.M. = TEMPORARY BENCHMARK
U.E. = UTILITY EASEMENT
W = WEST
W. = WITH
WF = WOOD FENCE
W.L.E. = WATER LINE EASEMENT
± = MORE OR LESS
FOUND MONUMENT
SAN = SANITARY MANHOLE (SAN.M.H.)
STM = STORM MANHOLE (S.M.H.)

LP = LIGHT POLE(LP)
WM = WATER WELL(WM)
CO = CLEAN OUT(CO)
PP = POWER POLE(PP)
UP = UTILITY POLE(UP)
X = SPOT ELEVATION(SE)
GM = GAS METER(GM)
EM = ELECTRIC METER(EM)
WM = WATER METER(WM)
GI = GRATE INLET(GI)
WH = WATER HEATER(WH)
EB = ELECTRIC BOX(EB)
ST = SEPTIC TANK(ST)
WV = WATER VALVE(WV)
TP = TRAFFIC SIGNAL POLE(TSP)
CB = COMMUNICATIONS BOX(CB)
MB = MAIL BOX(MB)
FH = FIRE HYDRANT(FH)
SD = SATELLITE DISH(SD)
LINES SURVEYED
LINES NOT SURVEYED
WOOD FENCE
CHAIN-LINK
IRON FENCE
PIPELINE
BUILDING LINE
EASEMENT LINE
OVERHEAD POWER
ASPHALT
COVERED
WOOD DECK
BRICK
CONCRETE
GRAVEL

THIS IS NOT A PROPERTY BOUNDARY SURVEY

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF LOUISIANA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF

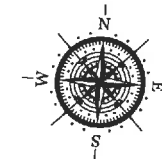


Howard Turner
SIGNATURE

7/23/25
DATE

REVISION (06/30/25) - UPDATE SETBACK REQUIREMENT
REVISION (07/23/25) - UPDATED FRONT SETBACK

LINE TABLE		
#	BEARING	DISTANCE
L1	N 86° 12' 47" E	42.40'



SCALE: 3/32" = 1'-0"

LEGEND

⊠ GAS METER (GM)	⊠ CORRUPATED METAL PIPE
⊠ GAS VALVE (GV)	⊠ REINFORCED CONCRETE PIPE
⊠ FIRE HYDRANT (FH)	⊠ POLYMER DRAINAGE PIPE
⊠ WATER METER (WM)	⊠ CORRUPATED PLASTIC PIPE
⊠ WATER VALVE (WV)	⊠ SANITARY RISER (SARIS)
⊠ WATER VALVE (WV)	⊠ S.W. = STORM SEWER EXISTENT
⊠ GRATE INLET (GI)	A.C. = AROUND EXISTENT
⊠ SANITARY MANHOLE (S.M.H.)	B.C. = BACK OF CURB
⊠ STORM MANHOLE (S.M.H.)	B.L. = BUILDING LINE
⊠ PRESSURE VALVE (PV)	C. = CONTROL POINT
⊠ LIGHT POLE (LP)	C.D. = CROWN DRAINAGE
⊠ WATER WELL (WW)	C.F. = CEMENT FLOOR ELEV.
⊠ TRAFFIC SIGNAL POLE (TSP)	D. = DITCH
⊠ CLEAN OUT (CO)	D.R. = RICH PIPE
⊠ BURIED CABLE MARKER (BCM)	D.R. = RICH DITCH
⊠ POWER POLE (PP)	⊠ R.O.W. = RIGHT-OF-WAY
⊠ UTILITY POLE (UP)	⊠ T.S. = TRANSFORMER NEIGHBOR
⊠ SERVICE POLE (SP)	⊠ U.E. = UTILITY EXISTENT
⊠ ELECTRIC BOX (EB)	⊠ W.L. = WATER LINE EXISTENT
⊠ ELECTRIC METER (EM)	
⊠ SPOT ELEVATION (SE)	
⊠ ELECTRIC SHUTOFF	
⊠ KNOX BOX	

— x —	WOOD FENCE
— ○ —	CHAIN-LINK
— — —	IRON FENCE
— · — · —	PIPELINE
— · — · —	BUILDING LINE
— · — · —	EASEMENT LINE
— · — · —	OVERHEAD POWER

	CORRUPTED		REINFORCED CONCRETE
	CORRUPTED		GRAVEL

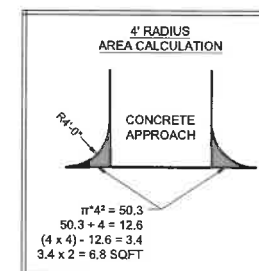
	EXISTING TREE		PROPOSED TREE		HIGH BANK
--	---------------	--	---------------	--	-----------

B.F.E. -	BASE FLOOD ELEVATION (100 YEAR)
D.F.E. -	DESIGNATED FLOOD ELEVATION (500 YEAR)
F.F.E. -	FINISHED FLOOR ELEVATION
P.A.S. -	PIILING AND STRINGER
S.O.G. -	SLAB ON GRADE
H.A.G. -	HIGHEST ADJACENT GRADE
L.A.G. -	LOWEST ADJACENT GRADE

NOTES

1. THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM 2'-0" ABOVE B.F.E.
2. THE FINISHED GRADE AT HOUSE FOUNDATION SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AND SHALL START A MINIMUM OF 6" BELOW FINISHED FLOOR OF SLAB OR MINIMUM 6" BELOW PIER FOOTINGS FOR ELEVATED FLOOR.
3. GRADING BELOW ELEVATED FLOOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM HOUSE FOOTPRINT AND PREVENT POOLING UNDER HOUSE.
4. NO BUILD LINES OR EASEMENTS SHOWN ON PLAT BEYOND THE R.O.W.
5. FINISHED CONSTRUCTION GRADING PATTERN SHALL CONVEY WATER RUN-OFF AWAY FROM ADJACENT PROPERTIES.
6. WETLAND AREA TO REMAIN UNDISTURBED DURING CONSTRUCTION.

LEGAL DESCRIPTION:
BEING A TRACT OF LAND, IN GRETN, JEFFERSON PARISH,
LOUISIANA, DESCRIBED IN A DEED RECORDED IN BOOK 3179,
PAGE 240, CLERK OF COURT'S RECORDS OF JEFFERSON
PARISH, LOUISIANA.



<u>PROPOSED CONCRETE</u>	
PARKING PAD	400 SQFT
APPROACH	168.8 SQFT
CONCRETE PAD	25 SQFT
WALKWAY	11.6 SQFT
TOTAL	605.4 SQFT

IMPERVIOUS SQUARE FOOTAGE	
PROPOSED SQUARE FOOTAGE	
LOT AREA	3,392 SQFT
PROPOSED 1ST FLOOR	1,260 SQFT
FRONT PORCH	180 SQFT
PARKING PAD	400 SQFT
CONCRETE PAD	25 SQFT
WALKWAY	11.6 SQFT
TOTAL COVERED	1,876.6 SQFT
APPROXIMATE LAND TABULATION	
LOT AREA	3,392 SQFT
TOTAL COVERED AREA	1,876.6 SQFT
IMPERVIOUS PERCENTAGE	55.32 %

Revisions:		
#	DATE	DESCRIPTION OF CHANGE
0	04/28/2025	ISSUED FOR CONSTRUCTION

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION OF "COBALT".

THIS DRAWING AND ALL OF ITS CONTENTS ARE TO BE, STRICTLY, USED FOR THE ADDRESS SHOWN AND USE FOR ANY OTHER PURPOSE AND/ OR LOCATION IS PROHIBITED AND COBALT DOES NOT AUTHORIZE SUCH USE.



NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT:

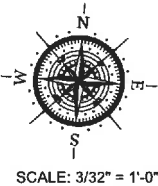
LEGACY CONSTRUCTION

PROJECT LOCATION OR ADDRESS:
624 MAGELLAN STREET
GRETN, LOUISIANA 70053

SITE PLAN

DRAWN BY:	G.T.	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	3/32" = 1'-0"
DATE:	04/28/2025	23-0019-SG2-PAS-C-1.00	

LINE TABLE		
#	BEARING	DISTANCE
L1	N 86° 12' 47" E	42.40'



LEGEND

- BUILDING
- CONCRETE
- COVERED AREA
- TREE
- BRICK
- WOOD
- ASPHALT
- ITEM TO DEMO
- ITEM TO REMAIN

LEGAL DESCRIPTION:
BEING A TRACT OF LAND, IN GRETN, JEFFERSON PARISH,
LOUISIANA, DESCRIBED IN A DEED RECORDED IN BOOK 3179,
PAGE 240, CLERK OF COURT'S RECORDS OF JEFFERSON
PARISH, LOUISIANA.

DEMO TABULATIONS

EXISTING 1ST FLOOR	1,259.8 SQFT
CONCRETE STEPS	56.4 SQFT
CONCRETE PAD	99.2 SQFT
COVERED AREA	104.2 SQFT
TOTAL COVERED	1,519.6 SQFT

Revisions:

#	DATE	DESCRIPTION OF CHANGE
0	04/28/2025	ISSUED FOR CONSTRUCTION

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AND USE FOR ANY OTHER
PURPOSE AND/OR
LOCATION IS PROHIBITED
AND COBALT DOES NOT
AUTHORIZE SUCH USE.



01/23/2025

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT:

LEGACY CONSTRUCTION

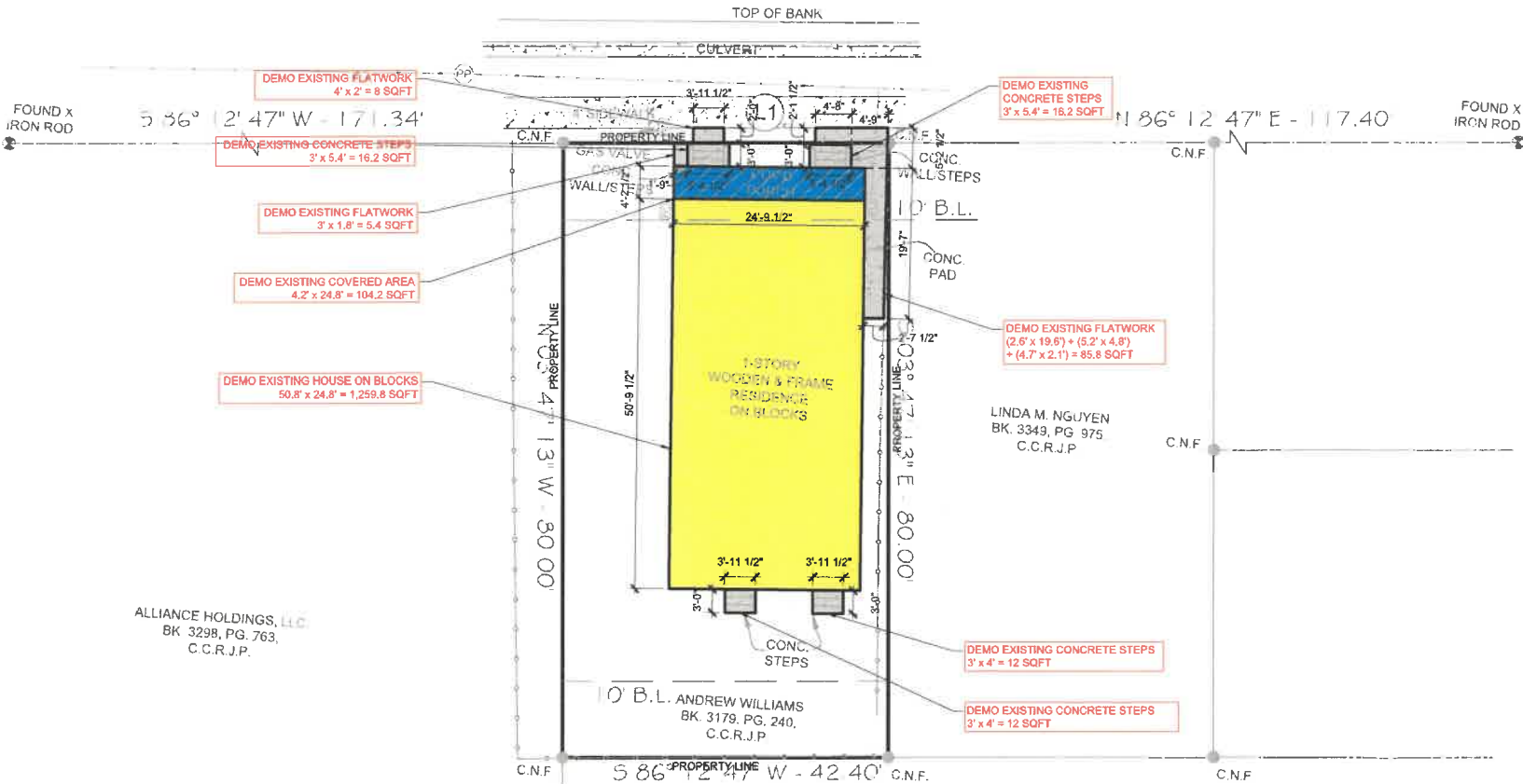
PROJECT LOCATION OR ADDRESS:
624 MAGELLAN STREET
GRETN, LOUISIANA 70053

DEMO PLAN

DRAWN BY:	G.T.	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	3/32" = 1'-0"
DATE:	04/28/2025	23-0019-SG2-PAS-	C-3.00

MAGELLAN STREET

TBM NO. 1
PK NAIL
ELEV=3.53'



ALLIANCE HOLDINGS, LLC
BK. 3298, PG. 763,
C.C.R.J.P.

LINDA M. NGUYEN
BK. 3349, PG. 975
C.C.R.J.P.

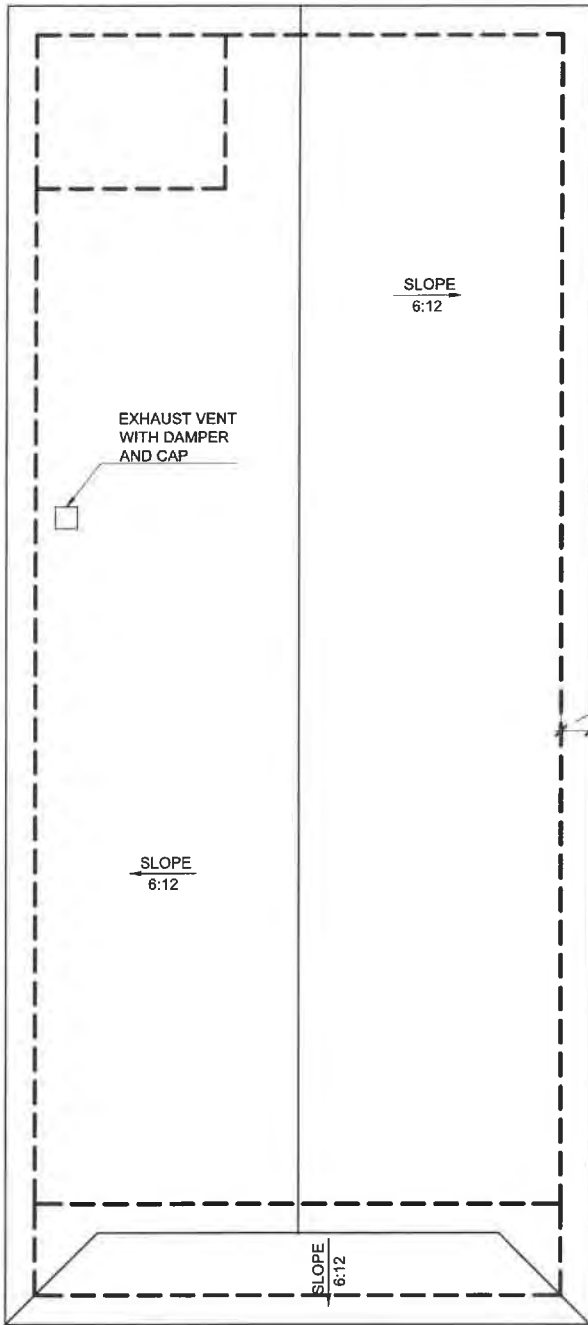
O.B.L. ANDREW WILLIAMS
BK. 3179, PG. 240,
C.C.R.J.P.

CRESCENT SOUTH REALTY LLC
BK. 3457, PG. 283,
C.C.R.J.P.

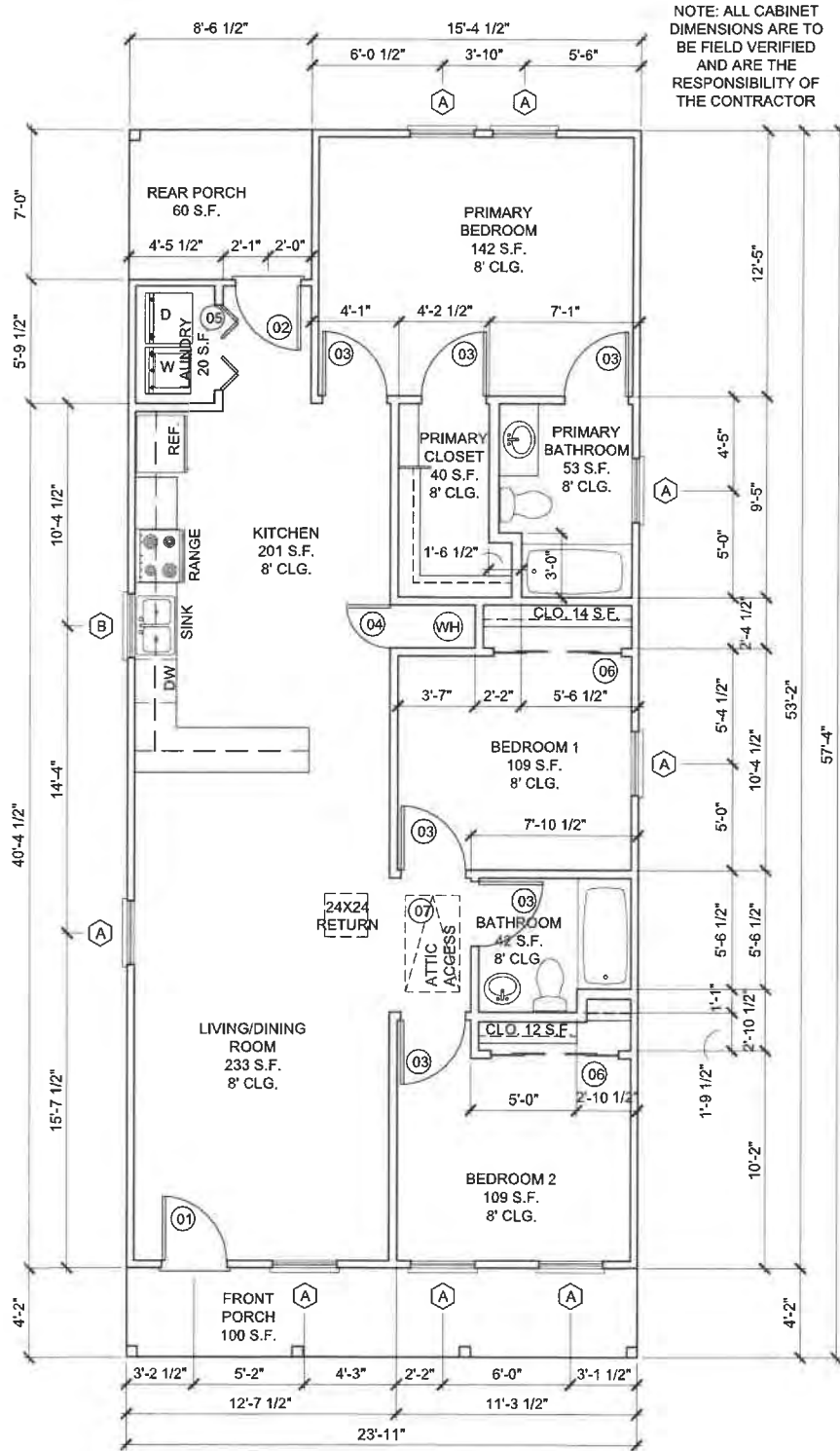
DOOR SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
01	1	3'-0" X 6'-8"	EXTERIOR WITH PEEPHOLE
02	1	3'-0" X 6'-8"	EXTERIOR
03	6	3'-0" X 6'-8"	INTERIOR
04	1	2'-0" X 6'-8"	INTERIOR
05	1	4'-0" X 6'-8"	BI-FOLD
06	2	6'-0" X 6'-8"	CLOSET DOORS
07	1	30" X 54" ATTIC ACCESS	350 POUND LADDER RATING

WINDOW SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
A	8	3'-4" X 5'-0"	DOUBLE HUNG
B	1	3'-0 X 3'-0"	DOUBLE HUNG

SQUARE FOOTAGE CALCULATIONS		
LOCATION	SQUARE FOOTAGE	REMARKS
FLOOR PLAN	1,211 S.F.	
FRONT PORCH	100 S.F.	
REAR PORCH	60 S.F.	



01 ROOF PLAN (STANDARD)



02 FLOOR PLAN (STANDARD)

- SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP AND STAIRS
- SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
- ROOF OVERHANG TO BE A 12" MINIMUM WHEN USING SIDING AND 16" MINIMUM WHEN USING BRICK. (DIMENSIONS ARE OF ROUGH FRAMING)
- WINDOWS USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 S.F. WITH A MINIMUM HEIGHT OF 24" AND A MINIMUM WIDTH OF 20" PER THE INTERNATIONAL RESIDENTIAL CODE.
- PLAIN HALF-ROUND 6" WIDE AND 4" DIAMETER DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED. OR STANDARD K-STYLE 6" WIDE AND 4"X5" DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED.
- ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
- SMART VENT (1540-510) FLOOD VENTS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN AN "A" FLOOD ZONE.
- FEMA APPROVED BREAKAWAY WALLS OR LOUVERS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN A "V" FLOOD ZONE.
- ALL MATERIALS BELOW BFE AND/OR DFE SHALL BE FLOOD RESISTANT MATERIAL INCLUDING, BUT NOT LIMITED TO TREATED FRAMING MATERIAL. SEE FEMA TECHNICAL BULLETIN 2, FLOOD DAMAGE RESISTANT MATERIALS REQUIREMENTS (2008).
- RAIN DIVERTER STRIP IS REQUIRED OVER A/C UNIT AND ENTRANCES.
- ATTIC ACCESS TO HAVE A PULL DOWN STAIRWAY WITH A MINIMUM WIDTH OF 22".
- BUILDER SHALL EXERCISE JUDGEMENT IN PLACEMENT OF EXTERNAL LIGHTING FOR RAMP CONNECTED TO A SINGLE SWITCH LOCATED AT EITHER THE FRONT OR THE BACK DOOR.
- WATER HEATER TO BE LOCATED IN ATTIC.

Revisions:		
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07/23/2025

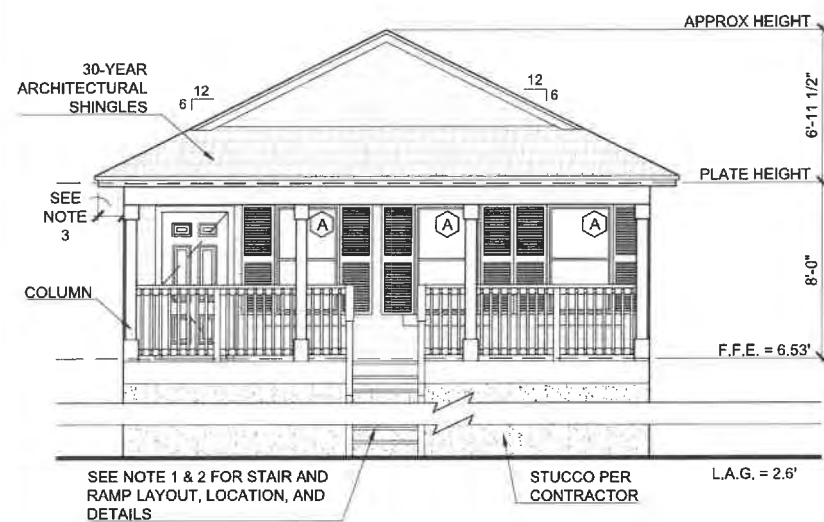
NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



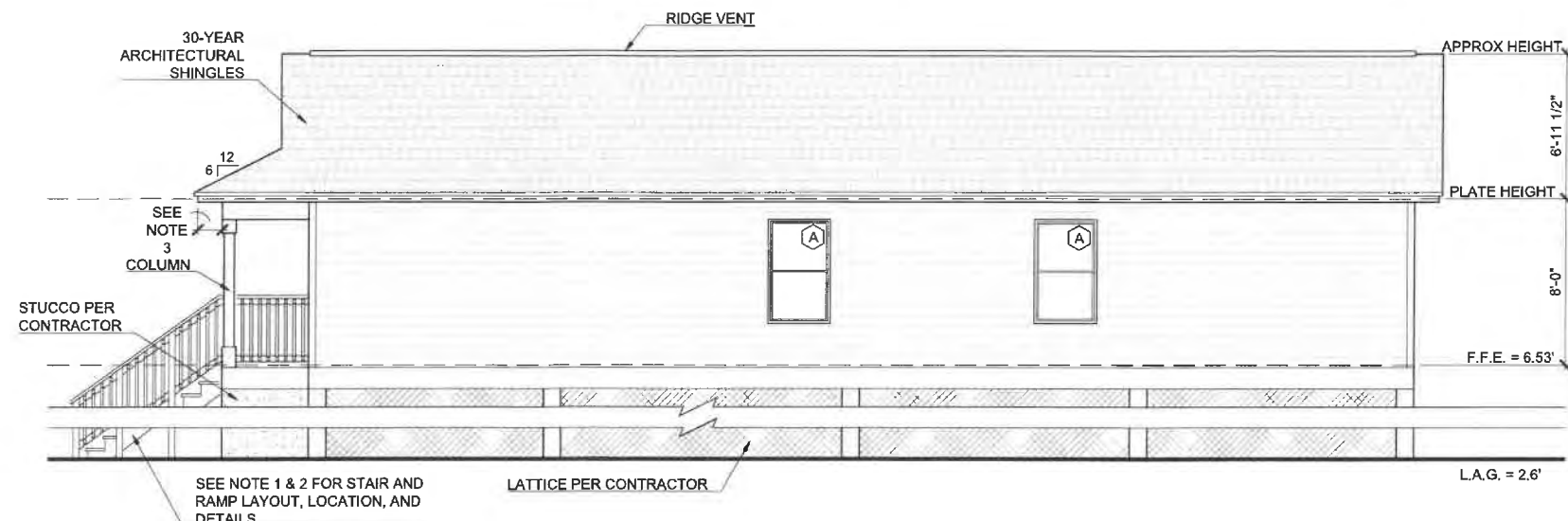
CLIENT:
LEGACY CONSTRUCTION
PROJECT LOCATION OR ADDRESS:
624 MAGELLAN STREET
GRETN, LOUISIANA 70053

SHOTGUN 2
FLOOR PLAN - ROOF PLAN
(STANDARD)

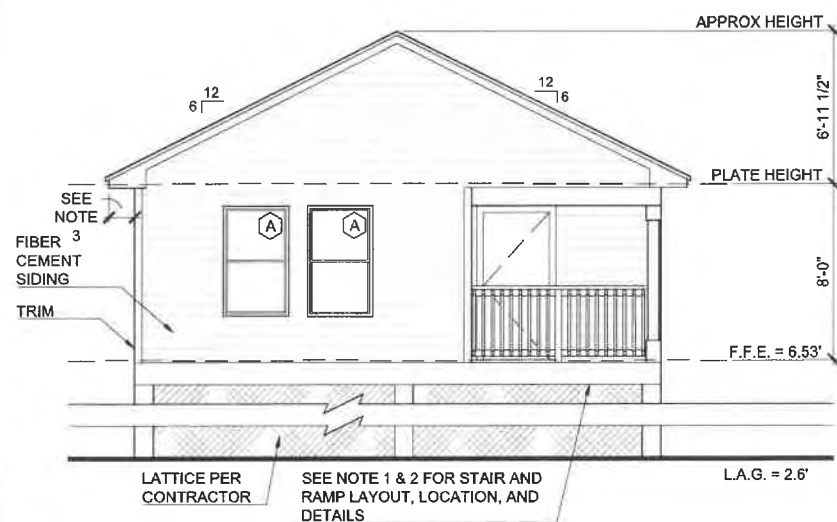
DRAWN BY:	DAS	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	1/4" = 1'-0"
DATE:	04/28/2025	23-0019-SG2-PAS-	A-1.00



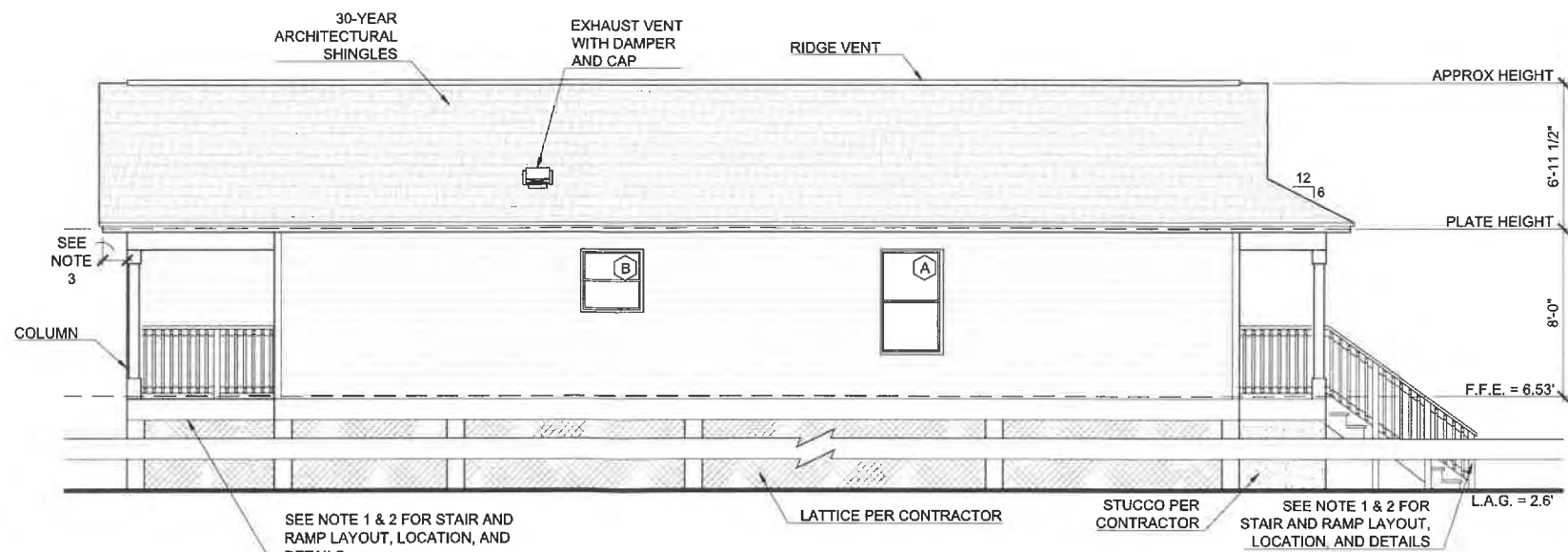
01 FRONT ELEVATION (STANDARD)



02 RIGHT ELEVATION (STANDARD)



03 REAR ELEVATION (STANDARD)



04 LEFT ELEVATION (STANDARD)

NOTES

- SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP AND STAIRS
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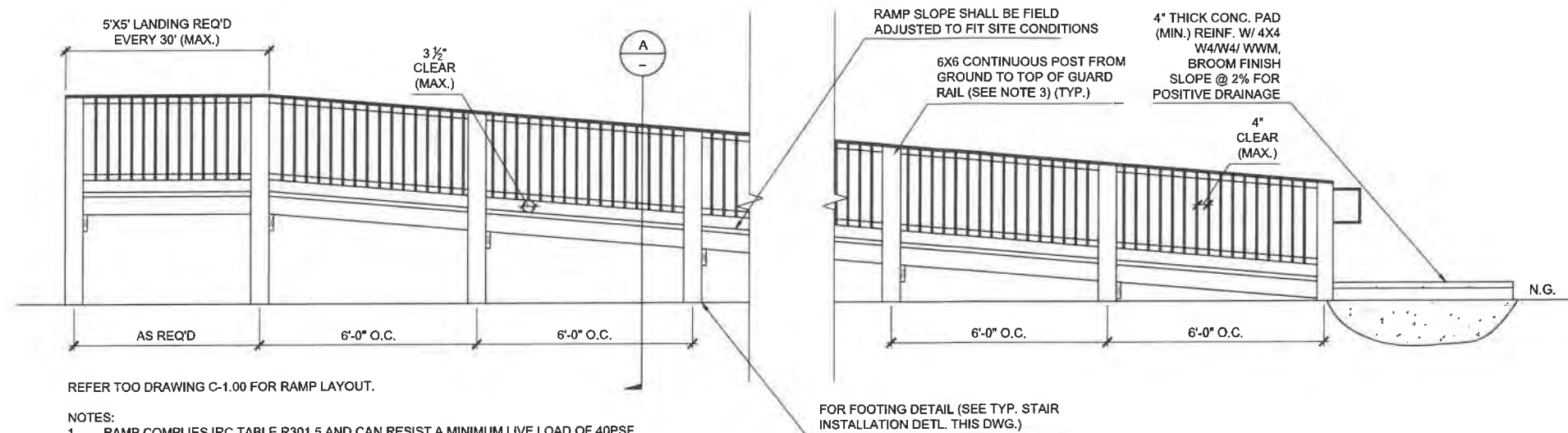


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CLIENT:
LEGACY CONSTRUCTION
PROJECT LOCATION OR ADDRESS:
624 MAGELLAN STREET
GRETN, LOUISIANA 70053
SHOTGUN 2
EXTERIOR ELEVATIONS
(STANDARD)

DRAWN BY:	DAS	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	1/4" = 1'-0"
DATE:	04/28/2025		



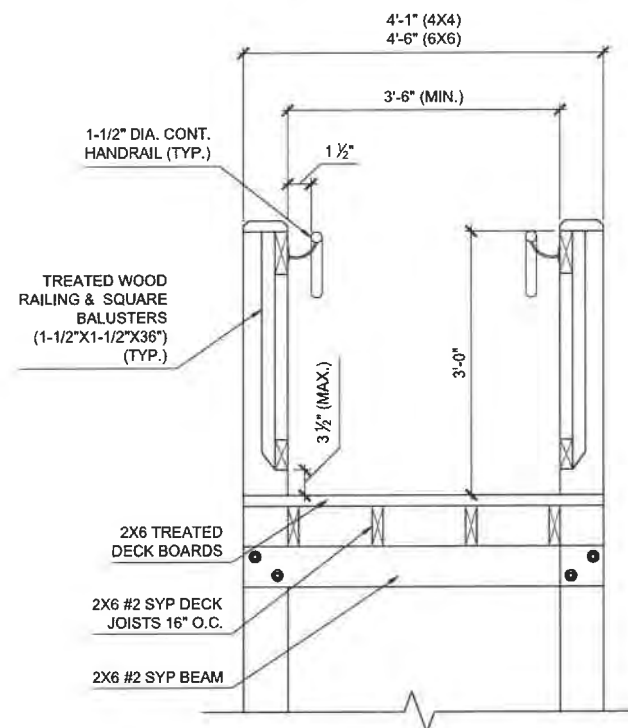
REFER TOO DRAWING C-1.00 FOR RAMP LAYOUT.

NOTES:

1. RAMP COMPLIES IRC TABLE R301.5 AND CAN RESIST A MINIMUM LIVE LOAD OF 40PSF.
2. EACH RUN OF RAMP SHALL NOT EXCEED 30' BETWEEN LANDINGS.
3. 6X6 TREATED WOOD POSTS MAY BE SUBSTITUTED WITH 4X4 TREATED POSTS WHEN FINISH FLOOR HEIGHT IS LESS THAN 72" ABOVE GRADE, EMBEDDED INTO GROUND 48" (MIN.)

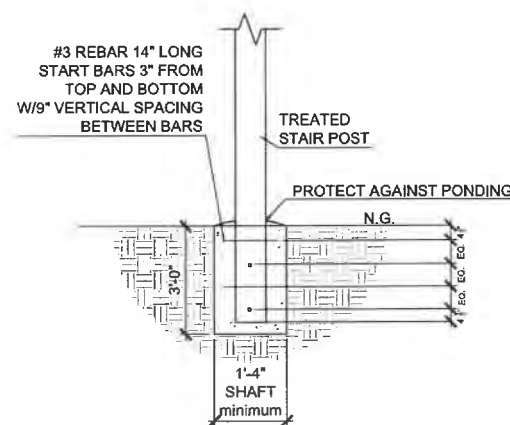
RAMP ELEVATION

N.T.S.



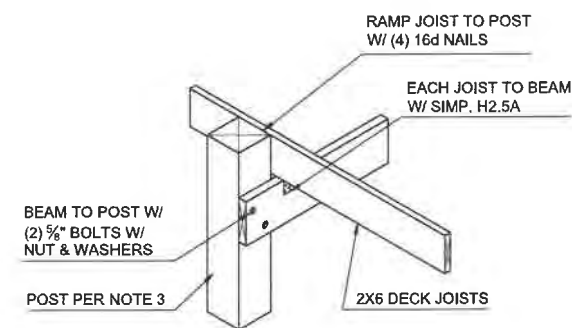
SECTION A

N.T.S.



FOOTING DETAIL

N.T.S.



STRINGER & FLOOR JOIST DETAIL

N.T.S.

Revisions:		
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01/23/2025

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT:

LEGACY CONSTRUCTION

PROJECT LOCATION OR ADDRESS:
624 MAGELLAN STREET
GRETNA, LOUISIANA 70053

SHOTGUN2
RAMP DETAILS

DRAWN BY:	AW	CHECKED BY:	CCH
PROJECT #:	23-0019-169	SCALE:	1/4" = 1'-0"
DATE:	04/28/2025	23-0019-SG2-PAS-	SD-11.00



Historic District Commission

Meeting: June 30, 2025

624 Magellan Street
DISTRICT - 1

New Construction

Applicant:

Brett Gross

① Shotgun Floor Plan
3 Bed 2 Bath

② Setback from street
③ 3'-0" above CL of street

④ Front Porch enclosed
- masonry
- cmu block
w/ skin coat



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

8581

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 624 Magellan Street, Gretna, LA. 70053

Renovation: _____

New Construction: New Single Family

Demolition: _____

Age of Structure: _____

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other See plan set attached.

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other See plan set attached.

Exterior materials proposed:

Roof Shingle Soffit Vinyl

Fascia Vinyl Siding Vinyl

Masonry _____ Porches Wood

Balconies _____ Handrails Wood

Type of exterior lighting fixtures: Sconce

Style of windows: Double Hung

Type of exterior doors: 6 Panel

Describe any ornamental woodwork: _____

Elevations:

Front Space: FFE=8.3' ft. Side Space: FFE=8.3' ft.

Rear Space: FFE=8.3' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: Brett Gross Date: 6/16/2025

Applicant's
Name: Brett Gross

Applicant's
Address: 119 Causeway Boulevard, Jefferson, LA. 70121

Phone No: (225)362-7607 Cell No: ()

For Office Use Only:

Application date: 6-23-2025

Substantive Change: Yes ☒ No ☐

Inventory Number: NA

Contributing Element to Gretna National Register Historic District: Yes ☒ No ☐

Historic District Commission meeting date: June 30, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

Mayor

Belinda Cambre Constant

Councilmembers

Wayne A. Rau

Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

Departments

Building

Danika E. Gorrondona

Citizens' Affairs

Rachael Stanley

City Clerk

Norma J. Cruz

City Development

Amelia Pellegrin

Code Enforcement

Angel L. Gonzales

Environmental Affairs

Madason Prlore

Finance & Tax

Raylyn C. Stevens

Human Resources

Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amie L. Hebert

Public Utilities

Ron Johnson

I, Brett Gross the undersigned,
have been informed of the Historic District Commission (HDC) meeting where my
application for historic district appropriateness will be reviewed on
June 30, 2025 at 4:00 p.m., in the 2nd floor Council Chambers
at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate
of Appropriateness are NOT permission to commence any work. A representative
for the applied property is expected to attend the meeting. If unable to attend, review
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness
issued by the Historic District Commission does not guarantee approval of the
Zoning and/or Building departments because while a project may be historically
appropriate, it may not meet current Building and Zoning Code requirements.

Brett Gross

Signature of Applicant

Brett Gross

Name of Applicant (Please Print)

119 Causeway Boulevard, Jefferson, LA. 70121

Applicant's Address

624 Magellan Street, Gretna, LA. 70053

Address under HDC review

Date: 6/16/2025



Historic District Commission

Meeting: August 04, 2025

739 4th Street
District - 2

Trim Lights

Applicant:
Peter DeBroeck



#8671

Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

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Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

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Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 739 FOURTH ST.

Renovation: ADD TRIM LIGHTING -

New Construction: _____

Demolition: _____

Age of Structure: 120 YRS

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other _____

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails _____

Type of exterior lighting fixtures: TRIM LIGHTING - TO BE ADDED - 115 VOLTS
Style of windows: LOW VOLTAGE PERMANENT LIGHTING

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

APPROX
Front Space: 40 ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's
Signature: [Signature] Date: 6-24-25
Applicant's
Name: H. PETER DEBROECK, Jr / GRETNA FARMERS MKT.
Applicant's
Address: 739 FOURTH ST.
Phone No: () Cell No: () 504.905-1142

For Office Use Only:

Application date: June 24 2025
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒
Historic District Commission meeting date: August 4, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



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740 Second Street (70053)

P. O. Box 404

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Gwen Turner

Information Technology

Michael T. Wesley

Operations

Eric Stahl

Parks & Parkways

Amle L. Hebert

Public Utilities

Ron Johnson

I, H. PETER DEBROECK, Jr the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on August 4 2025 at 4:00 p.m., in the 2nd floor Council Chambers at Gretna City Hall, 740 2nd Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

H. PETER DEBROECK

GRETTA FARMERS MARKET

Name of Applicant (Please Print)

739 FOURTH ST.

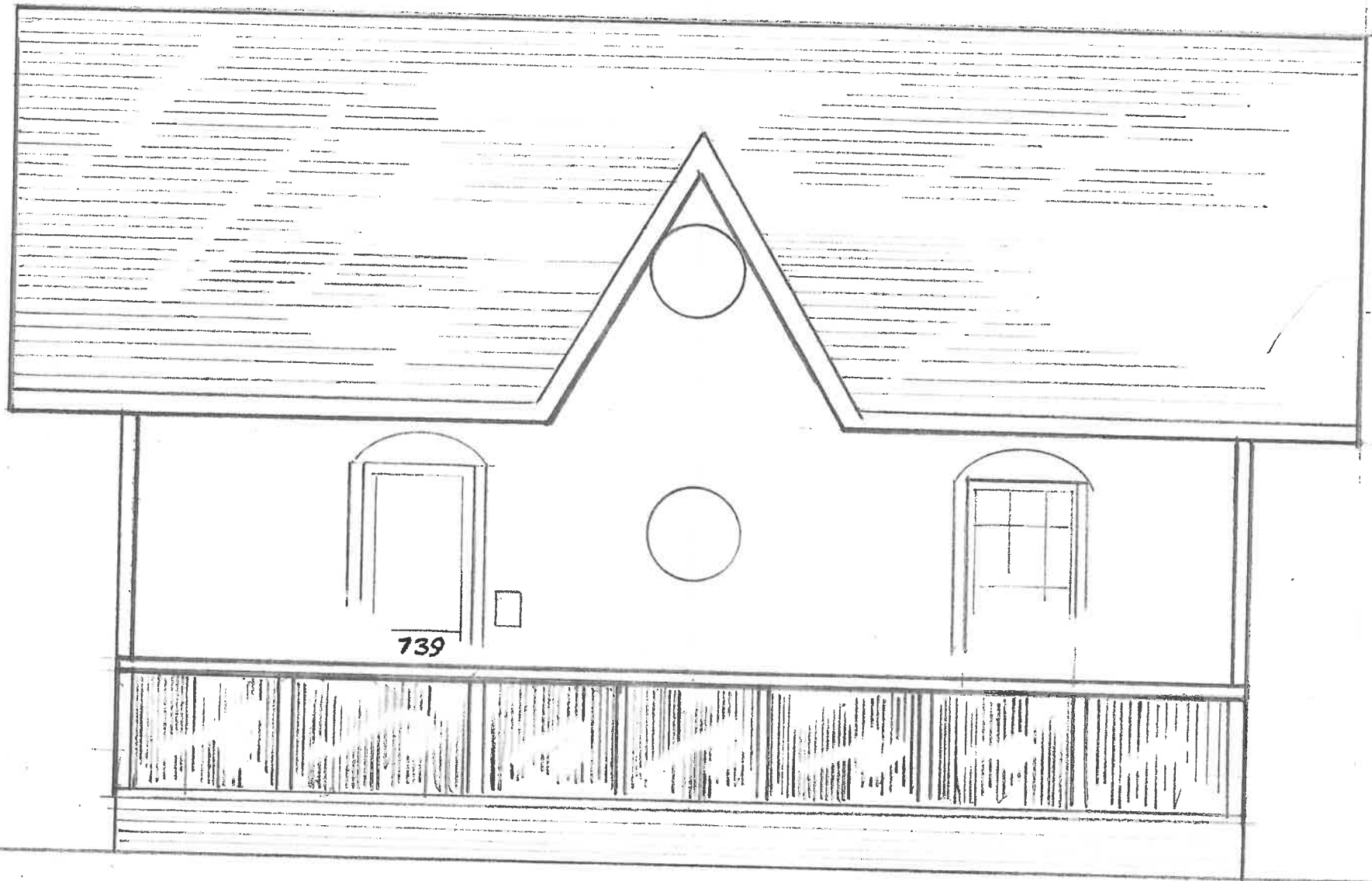
Applicant's Address

739 FOURTH ST

Address under HDC review

Date: 6-24-25

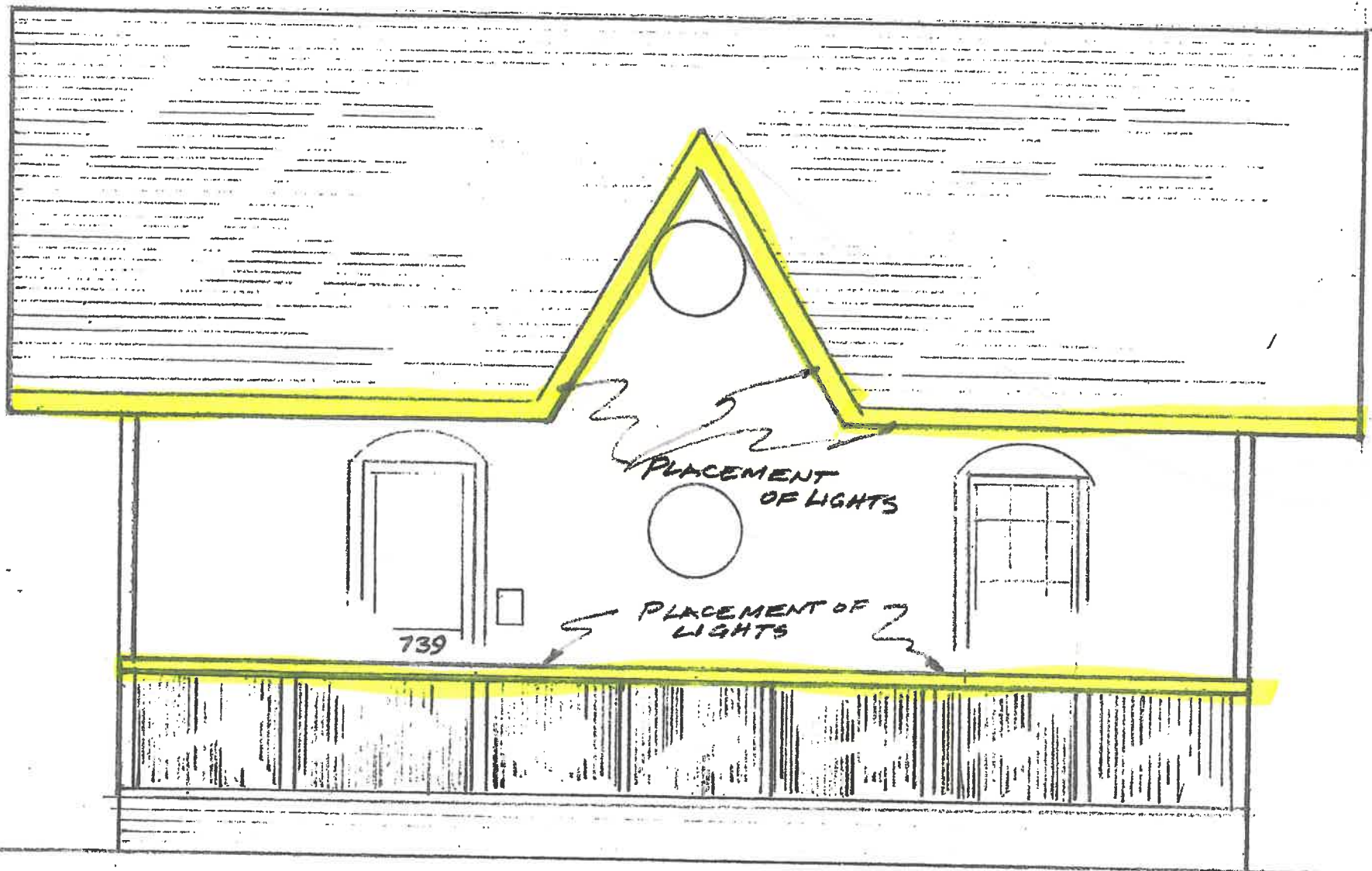




GRETNA FARMERS MARKET OFFICE
OLD TRAIN DEPOT
739 4th STREET

NOT TO SCALE
HPDjr

Installation of trim lighting on GREYNA DEPOT on front eaves & on top banister of front railing. The spacing on the lights 9".



GREYNA FARMERS MARKET OFFICE
OLD TRAIN DEPOT
739 4th STREET

NOT TO SCALE
HPDjr



Historic District Commission

Meeting: August 04, 2025

925 Madison Street
District -1

Handrails Stop Work Order

(tenant installed without owners permission)

Applicant:
Zach Dietrich



Historic District Commission
Application for Certificate of Appropriateness
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☒ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

Important criteria for new construction: All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

Substantive changes require review by the Historic District Commission

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 925 Madison Street

Renovation: Iron Stair rail

New Construction: _____

Demolition: _____

Age of Structure: 90

Building Type:

Creole Cottage _____

Shotgun ✓

Bungalow _____

Other _____

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other Craftsman

Exterior materials proposed:

Roof _____ Soffit _____

Fascia _____ Siding _____

Masonry _____ Porches _____

Balconies _____ Handrails Iron

Type of exterior lighting fixtures: _____

Style of windows: _____

Type of exterior doors: _____

Describe any ornamental woodwork: _____

Elevations:

Front Space: _____ ft. Side Space: _____ ft.

Rear Space: _____ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] For Eileen Farley Date: 8/7/2015

Applicant's Name: Eileen Farley

Applicant's Address: 925 Madison Street

Phone No: () Cell No: () 504-430-0164

For Office Use Only:

Application date: June 28, 2015

Substantive Change: Yes ☐ No ☒

Inventory Number: 26-01983

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: August 4, 2015 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



City of Gretna

740 2nd Street, Gretna, LA 70053-5829
P. O. Box 404 Gretna, LA 70054-0404

Mayor

Belinda Cambre Constant

Council Members

Wayne A. Rau
Councilman-at-Large
Milton L. Crosby
District One
Michael Hinyub
District Two
Mark K. Miller
District Three
Jackie J. Berthelot
District Four

Departments

Building and Regulatory

Danika Gorron dona

Planning and Zoning

Azalea M. Roussell

City Clerk

Norma J. Cruz

Finance & Tax Departments

Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Baudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, Z. Dietrich the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on 8/5/25 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

I further understand and acknowledge that the "Certificate of
Appropriateness", issued by the Historic District Commission, does not
guarantee approval of the Zoning and/or Building Departments because,
while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements:

Signature of Applicant

Z Dietrich for Eileen Forley
NAME OF APPLICANT (PLEASE PRINT)

925 madison Street

Applicant's address

925 Madison Street

Actual address of the property for review

Date: 7/27/25





Sent from my iPad

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.

Maria Caulking

From: Nevelyn Goff
Sent: Wednesday, July 16, 2025 2:55 PM
To: CodeEnforcement; BuildingAndInspections; Nevelyn Goff
Cc: Belinda Constant
Subject: 925 Madison STOP WORK

Handrail installation by front steps, no permit or HDC

SCOPE & VALUE SHEET

Historic District Commission
Application for Certificate of Appropriateness

City of Gretna
Historic District Commission
Planning and Zoning Commission
Council Monthly Meeting

So you got a STOP WORK ORDER? Now what?

STOP WORK ORDER
CITY OF GRETTNA CODE OF ORDINANCE 10-58
APPLY ONLINE AT MGOVERNMENTONLINE.ORG

ADDRESS: 925 MADISON WORK PERFORMED:

☒ RESIDENTIAL

☐ BUILDING

☐ INTERIOR

☐ EXTERIOR

☐ SHED

☐ CARPORT

☐ ELECTRICAL

☐ HVAC

☐ PLUMBING

☐ FENCING

☐ WINDOWS

☐ CONCRETE

☐ SIGNAGE

PLEASE CONTACT
BUILDING OFFICE
WITHIN THREE
BUSINESS DAYS TO
COMPLY WITH
THIS ORDER
504-363-1563

☐ COMMERCIAL

INSTALL HANDRAIL FRONT STEPS

PLEASE CONTACT THE BUILDING DEPT. TO GET THE PERMIT FOR THE HANDRAIL THANKS!

BUILDING DEPARTMENT
504-363-1563

☒ POSTED ON STRUCTURE
DATE: 7/16/25

☐ GIVEN IN PERSON TO:
INSPECTOR: N/G

application.







Historic District Commission

Meeting: August 04, 2025

1024 4th Street
District - 2

Commercial
Renovations

Applicant:
Paula Peer



Historic District Commission
Application for Certificate of Appropriateness
 Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
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Alteration – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

Construction – the erection of any on site improvements on any parcel of ground

Demolition – the complete, partial or constructive removal of a building from any site

Historic building – a building at least fifty years-old with significant architectural value and integrity

Ordinary repairs and standard maintenance – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

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Substantive change – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

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Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: **1024 4th Street, Gretna, LA 70053**

Renovation: **X**

New Construction: **N/A**

Demolition: **N/A**

Age of Structure: **circa 1950 with post-1987 additions**

Building Type:

Creole Cottage _____

Shotgun _____

Bungalow _____

Other **X - non-historic Commercial**

Building Style:

Greek Revival _____

Italianate _____

New Orleans Bracketed _____

Eastlake _____

Colonial Revival _____

Other **X - late 20th century vernacular/no style**

Exterior materials proposed:

Roof **EXISTING TO REMAIN**

Fascia **N/A**

Masonry **N/A**

Balconies **N/A**

SEE DRAWINGS:
PARAPET - metal cladding to match existing (r- / m- profile panel)
SECONDARY FACADE MATERIAL - fiber cement panel
STOREFRONT BULKHEAD - brake metal

Soffit _____

Siding _____

Porches **N/A**

Handrails **N/A**

Type of exterior lighting fixtures: **Wall Sconces & Down Lights (under covered porch(es) & balconies)**

Style of windows: **Steel Replica Fixed Openings (Aluminum Alloy)**

Type of exterior doors: **Historic Steel Replica Openings (Aluminum Alloy)**

Describe any ornamental woodwork: **NONE**

Elevations:

Front Space: **EXISTING** ft.

Side Space: **EXISTING** ft.

Rear Space: **EXISTING** ft.

ALTERATION IS OF FRONT FACADE ONLY; NO ADDITIONAL INTERIOR OR EXTERIOR SCOPE

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: *PM Peer* Date: 7/28/2025

Applicant's Name: PAULA PEER

Applicant's Address: Trapolin Peer Architects, 850 Tchoupitoulas St., New Orleans, LA 70130

Phone No: (504) 523-2772 Cell No: (504) 416-2535

For Office Use Only:

Application date: *June 28 2025*
Inventory Number: *N/A*

Substantive Change: Yes ☐ No ☒

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: *August 4 2025 @ 4:00*

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2nd Street, 2nd floor Council Chamber. (Council regular meetings held on the 2nd Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):



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Raylyn C. Stevens

Human Resources

Gwen Turner

Public Utilities

Michael J. Boudoin

Public Works

Daniel Lasyone

Parks and Recreation

Amie H. Hebert

Information Technology

Michael Wesley

I, **PAULA PEER** the undersigned,
have been informed of the Historic District Commission (HDC) meeting
where my application for historic district appropriateness will be reviewed
on **Monday, August 4, 2025** 4:00 p.m., 740 2nd Street,
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or
Certificate of Appropriateness are NOT permission to commence any work.
A representative for the applied property is expected to attend the meeting.
If unable to attend, review may be deferred until the following month HDC
meeting.

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while a project may be historically appropriate, it may not meet current
Building and Zoning Code requirements.

Signature of Applicant

PAULA PEER

NAME OF APPLICANT (PLEASE PRINT)

Trapolin Peer Architects, 850 Tchoupitoulas St., New Orleans, LA 70130

Applicant's address

1024 4th St., Gretna, LA 70053

Actual address of the property for review

Date: **7/28/2025**

2/28/2025 11:52 AM

JEFFERSON FURNITURE FAÇADE ALTERATION

1024 4TH STREET, GRETNA, LA 70053

PROJECT INFORMATION

PROJECT ADDRESS
1024 4TH STREET
GRETNA, LA 70053

PROJECT DESCRIPTION
ALTERATION LEVEL 2 TO THE EXTERIOR FAÇADE OF AN EXISTING 1 STORY 15,343 SF RETAIL STORE. NO CHANGE IN USE OR SQUARE FOOTAGE IS PROPOSED. DEMOLITION SCOPE INCLUDES REMOVAL OF AN EXISTING METAL AWNING AND ALUMINUM STOREFRONT. CONSTRUCTION SCOPE INCLUDES REMOVAL OF EXISTING STOREFRONT SYSTEM, MINOR STRUCTURAL WORK TO SUPPORT NEW FAÇADE AND NEW RAISED ROOF FOR EMERGENCY RESPONSE RV GARAGE, EXIT SIGNS ABOVE NEW ENTRY DOORS, AND CHANGE IN CLADDING MATERIAL ON FRONT FAÇADE ONLY.

PROPERTY INFORMATION
LOT: 2-A
SQUARE: 11
COUNCIL DISTRICT: 2
ZONING DISTRICT: BC-1

BUILDING INFORMATION
CONSTRUCTION CLASS: VB
BUILDING AREA: 15,343 SF (NO CHANGE IN AREA IS PROPOSED)
STORIES: 1
SPRINKLERED: NO
ORIGINAL CONSTRUCTION: 1950s
REGULATORY AUTHORITY

GRETNA BUILDING DEPARTMENT
740 2ND STREET
GRETNA, LA 70053
504.363.1500

LOUISIANA STATE FIRE MARSHAL
8151 INDEPENDENCE BLVD.
BATON ROUGE, LOUISIANA 70806
1.800.256.5452

APPLICABLE CODES
2021 IBC INTERNATIONAL BUILDING CODE
2021 IEBC INTERNATIONAL EXISTING BUILDING CODE
2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE
2021 IMC INTERNATIONAL MECHANICAL CODE
2021 IPC INTERNATIONAL PLUMBING CODE
2020 NEC NATIONAL ELECTRICAL CODE
2010 ADA ADA STANDARDS
2015 NFPA NATIONAL FIRE PROTECTION ASSOCIATION

ALL OTHER APPLICABLE CODES AND ORDINANCES

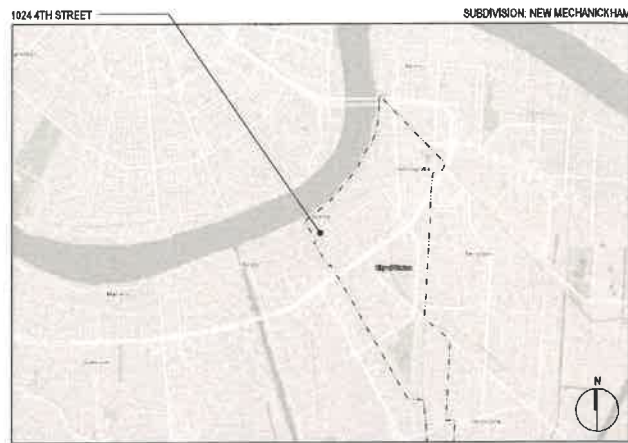
PROJECT TEAM

ARCHITECT TRAPOLIN PEER ARCHITECTS (TPA) OWNER STRUCTURAL ENGINEER
850 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70130
CONTACT: MATTHEW BUYER
EMAIL: MBUYER@TRAPOLINPEER
PHONE: 418.583.7468

SHEET LIST

NUMBER	TITLE
1.5 ARCHITECTURAL	
A0.03X	SITE SURVEY
A0.04	EXISTING CONDITIONS
A1.01	DEMOLITION PLAN
A1.02	DEMOLITION SECTIONS
A2.01	BUILDING PLAN - LEVEL 01
A2.02	ROOF PLAN
A2.03	PROPOSED FLOOR PLAN
A3.00x	SCHEMES - old CAD (NOT INCLUDED)
A3.01	FAÇADE SECTIONS (NOT INCLUDED)
A3.02	FAÇADE SECTIONS (NOT INCLUDED)
A3.03	BUILDING SECTIONS (NOT INCLUDED)
11	
TOTAL SHEETS: 11	

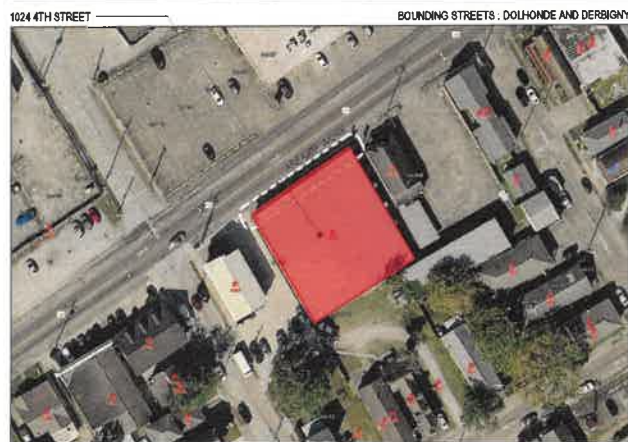
VICINITY MAP



ZONING MAP



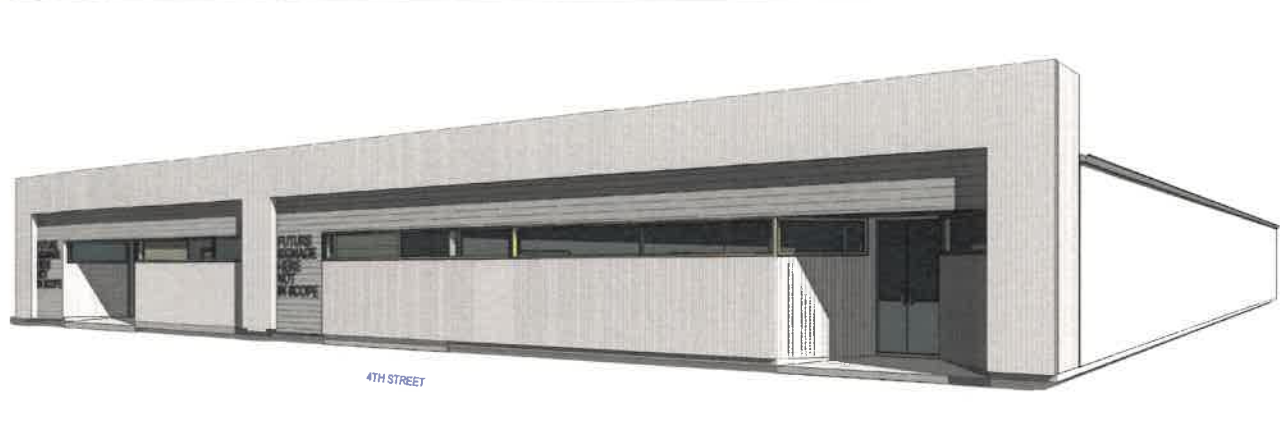
LOT MAP



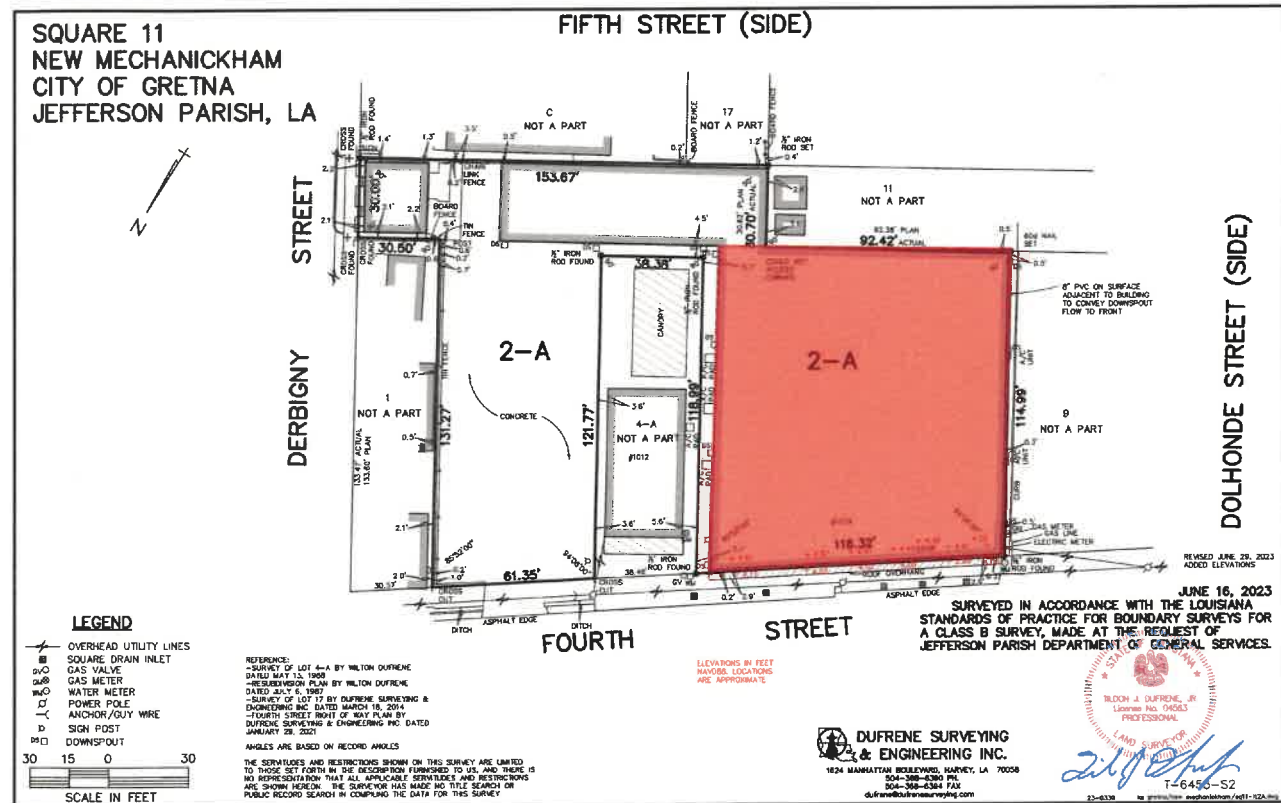
FEMA FLOOD MAP



FRONT PERSPECTIVE - NEW CONSTRUCTION



SITE SURVEY



ABBREVIATIONS

ABV ABOVE	DB DOWNSPOUT BOOT	GL GAS LINE	NOS NOT IN SCOPE	STRUCT STRUCTURE OR STRUCTURAL
ACP ACCESS PANEL	DBL DOUBLE	GP BO GYPSUM BOARD	NOSF NON-STRUCTURAL METAL FRAMING	SQ SQUARE
AD AREA DRAIN	DEMO DEMOLISH OR DEMOUNT	GWB GYPSUM WALL BOARD	NTS NOT TO SCALE	
ADJ ADJACENT	DF DRINKING FOUNTAIN	GYP GYPSUM		
AFV ABOVE FINISHED FLOOR	DIA DIAMETER			
AHU AIR HANDLING UNIT	DM DIMENSION			
ALT ALTERNATE	DN DOWN	HC HOLLOW CORE	GAD OVERFLOW AREA DRAIN	T&G TONGUE AND GROOVE
ALUM ALUMINUM	DR DOOR	HDWR HARDWARE	GC ON CENTER	TEL TELEPHONE
AND AND	DWG DRAWING	HM HOLLOW METAL	OFIC OWNER FURNISHED / CONTRACTOR INSTALLED	TEMP TEMPORARY
APC ACOUSTIC PANEL CEILING	DS DOWNSPOUT	HOR HORIZONTAL	OPP OPPOSITE	TOC TOP OF CONCRETE
ARCH ARCHITECT OR ARCHITECTURAL	DRB DOWNSPOUT BOOT	HR HOUR	ORD OVERFLOW ROOF DRAIN	TOS TOP OF STEEL
	DW DISHWASHER	HVAC HEATING, VENTILATION, AND AIR CONDITIONING	OS OVERFLOW SCUPPER	TS TUBE STEEL
			OVH OVERHEAD	TYP TYPICAL
BD BOTTOM OF				
BO BOARD	EA EACH	INCL INCLUDED	PERF PERFORATED	UN UNLESS OTHERWISE NOTED
BFE BASE FLOOD ELEVATION	EL ELEVATION	INFO INFORMATION	PL PLATE	
BLDG BUILDING	ELEC ELECTRICAL	INSUL INSULATION	PLM PLASTIC LAMINATE	
BRK BRICK	ELEV ELEVATION	IN IN	PLYWOOD PLYWOOD	
BTWN BETWEEN	EOS EDGE OF SLAB	INT INTERIOR	PNL P ANEL	
BYND BEYOND	EP ELECTRICAL PANEL	J-BOX JUNCTION BOX	PRPT PARAPET	
BOS BOTTOM OF STEEL	EQ EQUAL	JNT JOINT	PT PRESSURE TREATED	
	EXST EXISTING		PTD PAINT OR PAINTED	
	EXP JNT EXPANSION JOINT		PV PLUMBING VENT	
	EXT EXTERIOR			
CAB CABINET	FD FLOOR DRAIN	LAM LAMINATE	RCP REFLECTED CEILING PLAN	
CHNL CHANNEL	FE FIRE EXTINGUISHER	LDR LADDER	RD ROOF DRAIN	
CI CAST-IN-PLACE	FEC FIRE EXTINGUISHER CABINET	LITEL LITTEL	REF REFERENCE	
CJ CONTROL JOINT	FF FINISH FLOOR	LOC LOCATION	REINF REINFORCING OR REINFORCED	
CL CENTERLINE	FFE FINISH FLOOR ELEVATION	LP LIGHT POLE	REQD REQUIRED	
CLG CEILING	FT FUTURE	LS LIFE SAFETY	REV REVISION	
CLR CLEAR	FO FACE OF		RF REFRIGERATOR	
CMU CONCRETE MASONRY UNIT	FOS FACE OF STUD	MANUF MANUFACTURER	RM ROOM	
CNTR CONTROL	FND FOUNDATION	MATL MATERIAL	RO ROUGH OPENING	
CO CLEAN OUT	FRP FIBER REINFORCED PLASTIC PANELS	MAX MAXIMUM	RUB RUBBER	
COL COLUMN	FT FOOT OR FEET	MDF MEDIUM DENSITY FIBERBOARD		
COMP COMPRESSION		MEC MECHANICAL		
CONC CONCRETE		MIN MINIMUM	SF STOREFRONT	
CONT CONTINUOUS		MOD BIT MODIFIED BITUMINOUS	SM SIMILAR	
COORD COORDINATE		MTL METAL	SP STRUCTURAL INSULATED PANEL	
CPT CARPET			SPEC SPECIFIED OR SPECIFICATION	
CT CERAMIC TILE			SS STAINLESS STEEL	
CW CURTAIN WALL			STC SOUND TRANSMISSION COEFFICIENT	
			STD STANDARD	
			STL STEEL	

TRAPOLINPEER
ARCHITECTS

HDC SUBMITTAL

JEFFERSON FURNITURE
FAÇADE ALTERATION
1024 4TH STREET, GRETNA, LA 70053

OWNER
JEFFERSON PARISH
200 DERBIGNY STREET # 3300
GRETNA, LA 70053

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
850 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR
CONSTRUCTION

REVISION # DESCRIPTION DATE

© TRAPOLIN-PEER ARCHITECTS, APC
PROJECT NUMBER
CN22182-04
ISSUE DATE
JULY 28, 2025

COVER SHEET

A0.01

C:\temp\jefferson\jefferson_façade_alteration\A0.01.dwg (1/1) - 10/25/2024 11:52 AM

JEFFERSON FURNITURE
FAÇADE ALTERATION
1024 4TH STREET, GRETN, LA 70053

OWNER
JEFFERSON PARISH
200 DERBIGNY STREET # 3300
GRETN, LA 70053

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
850 TCHOUPTOULAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

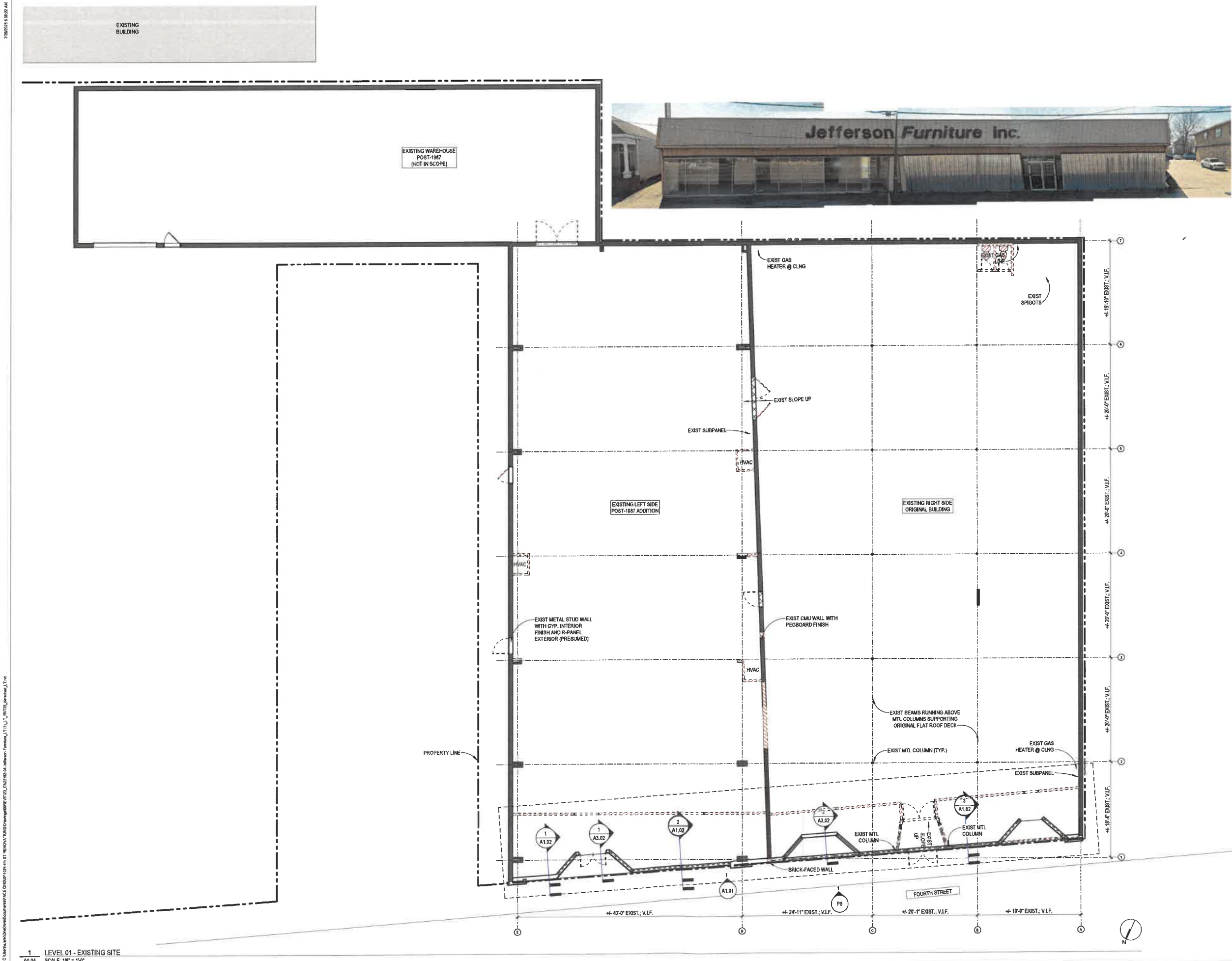
NOT FOR
CONSTRUCTION

REVISION #	DESCRIPTION	DATE
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© TRAPOLIN-PEER ARCHITECTS, APC
PROJECT NUMBER
CN22182-04
ISSUE DATE
JULY 28, 2025

EXISTING
CONDITIONS

A0.04



7/25/2025 1:42:18 AM

JEFFERSON FURNITURE
FAÇADE ALTERATION
1024 4TH STREET, GRETN, LA 70053

OWNER
JEFFERSON PARISH
200 DERBIGNY STREET # 3300
GRETN, LA 70053

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
850 TCHOUPTOULAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR
CONSTRUCTION

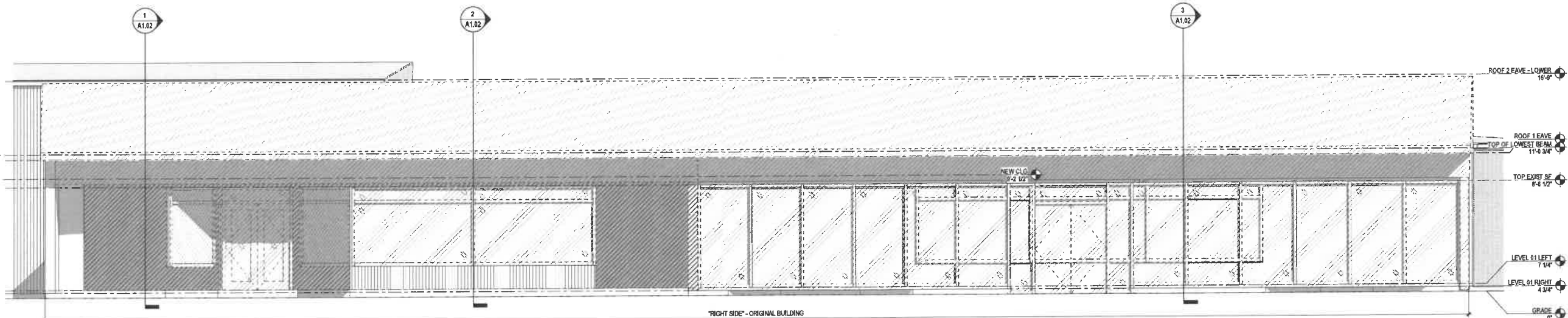
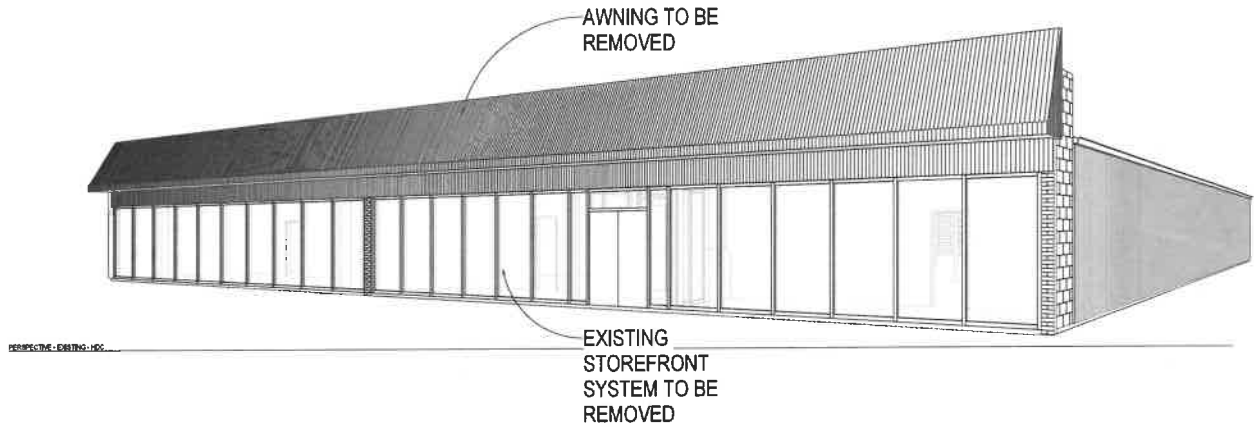
REVISION #	DESCRIPTION	DATE
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© TRAPOLIN-PEER ARCHITECTS, APC
PROJECT NUMBER
CN22182-04
ISSUE DATE
JULY 28, 2025

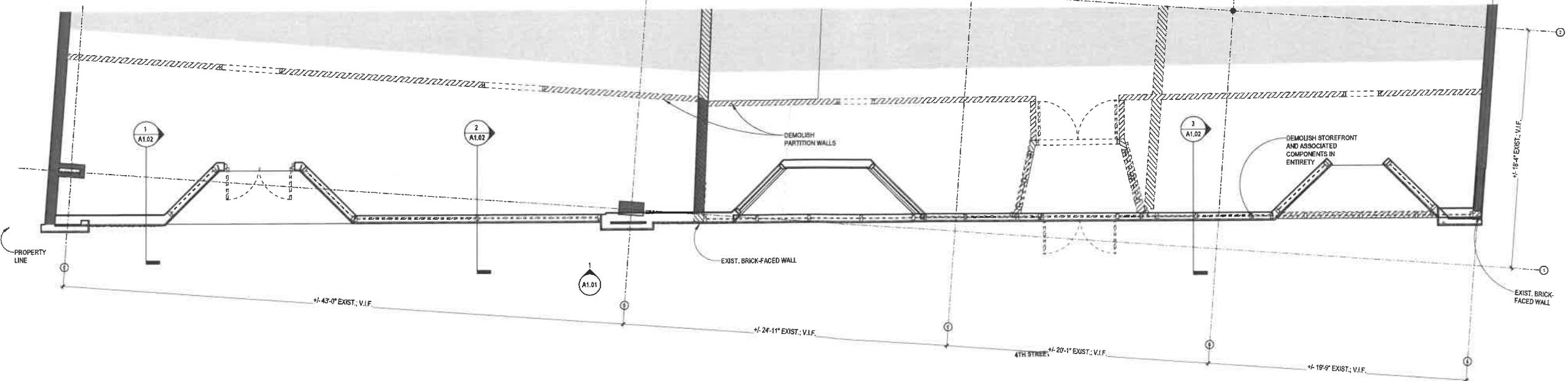
DEMOLITION
PLAN

A1.01

DEMO LEGEND	
	DEMOLISH ELEMENT
	EXISTING TO REMAIN
	AREA NOT IN SCOPE



1 FRONT ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



2 LEVEL 01 - DEMOLITION - FRONT FAÇADE
SCALE: 1/4" = 1'-0"

7/25/2025 8:57:20 AM

JEFFERSON FURNITURE
FAÇADE ALTERATION
1024 4TH STREET, GRETN, LA 70053

OWNER

JEFFERSON PARISH
200 DERBIGNY STREET # 3300
GRETN, LA 70053

ARCHITECT

TRAPOLIN-PEER ARCHITECTS
850 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR
CONSTRUCTION

REVISION # DESCRIPTION DATE

© TRAPOLIN-PEER ARCHITECTS, APC

PROJECT NUMBER
CN22182-04

ISSUE DATE
JULY 28, 2025

BUILDING PLAN -
LEVEL 01

A2.01

KEYNOTES - CONSTRUCTION

TAG DESCRIPTION

LEGEND - CONSTRUCTION

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- MILLWORK
- RATED ASSEMBLY - 1 HR
- RATED ASSEMBLY - 2 HR

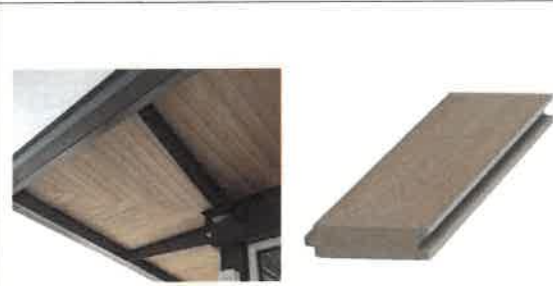
SHEET NOTES - CONSTRUCTION

- DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. G.G. SHALL VERIFY ALL DIMENSIONS IN FIELD. IF ANY ± DIMENSIONS VARY MORE THAN 2", NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
- DIMENSIONS TO NEW CONSTRUCTION ARE MEASURED TO THE FACE OF STUD OR BRICK UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE MEASURED TO FACE OF EXISTING FINISH SURFACE.
- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS, AND AGENCIES.
- ALL NEW DOOR AND WALKWAY OPENINGS' JAMBS TO BE OFFSET FROM ADJACENT WALL SURFACE 6" U.O.N.
- PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION.
- VERIFY LOCATIONS OF ALL REQUIRED ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL EXISTING COLUMNS ARE TO REMAIN. PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION.
- WALL ALIGNMENTS SHOWN TAKE PRECEDENCE OVER DIMENSIONS.
- PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORY AND CABINET LOCATIONS.
- SEE INTERIOR ELEVATIONS FOR ALIGNMENT OF SHOWER FAUCETS, VANITY SINK FAUCETS, AND TOILETS TO TILE FINISH.
- COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.

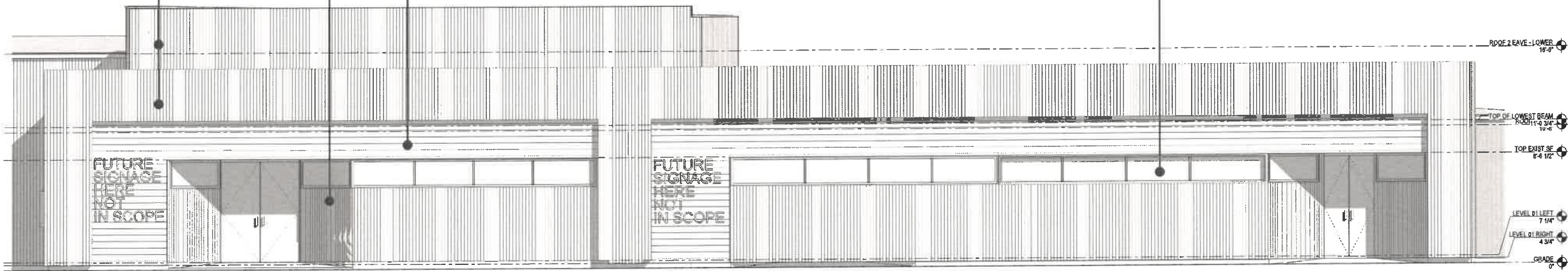
METAL CLADDING
MATCH PANEL PROFILE WITH EXISTING



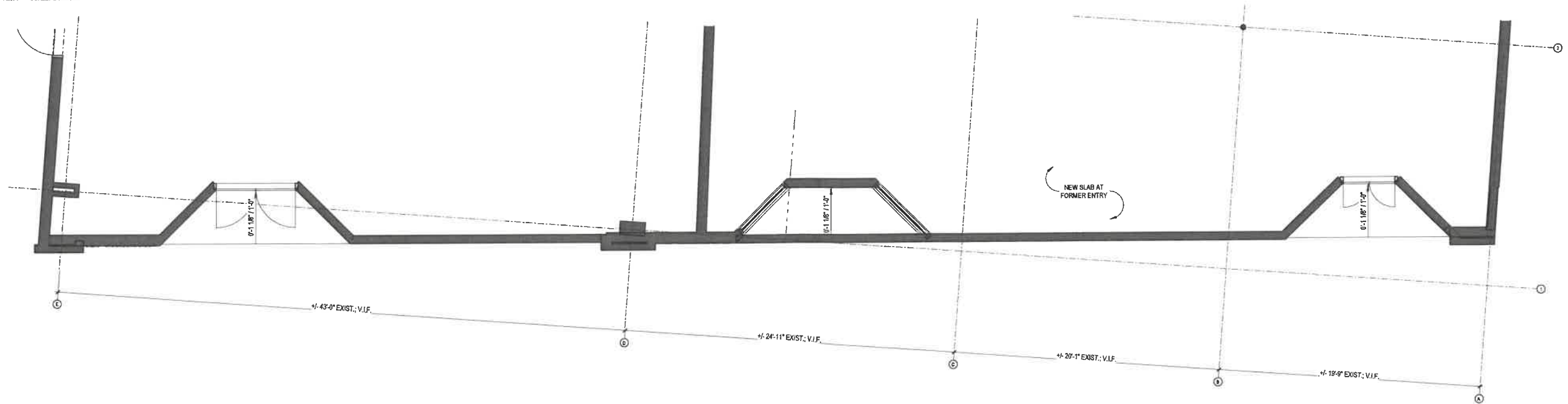
SURROUND AND SOFFIT CLADDING
CEMENTITIOUS COMPOSITE



STOREFRONT SYSTEM
BLACK METAL/STEEL REPLICA



2 BLDG ELEVATION - FRONT - NEW CONSTRUCTION (PARALLEL TO FACE)
A2.01 SCALE: 1/4" = 1'-0"



1 LEVEL 01 - NEW CONSTRUCTION - FRONT FAÇADE ENLARGED PLAN
A2.01 SCALE: 1/4" = 1'-0"

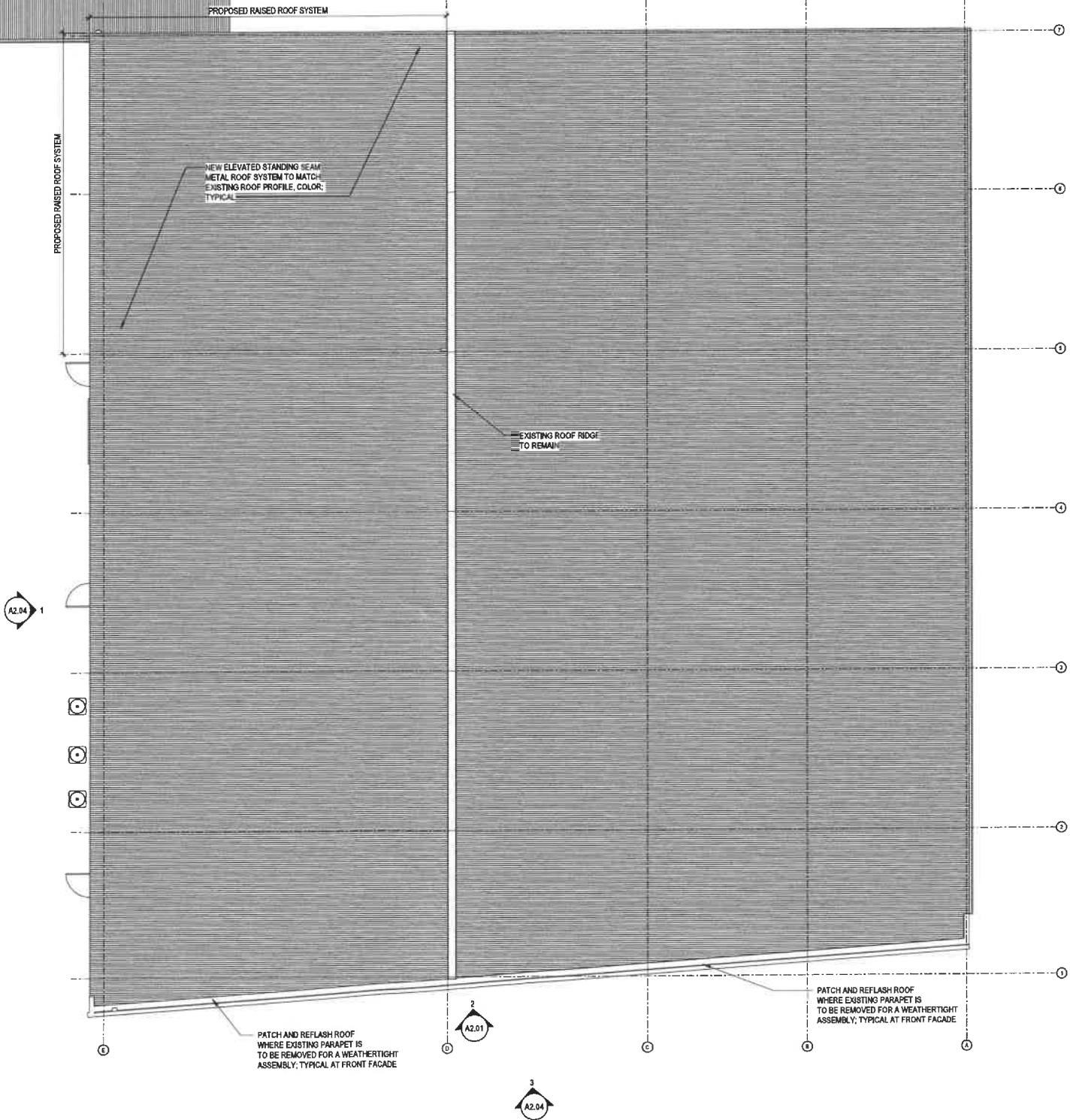
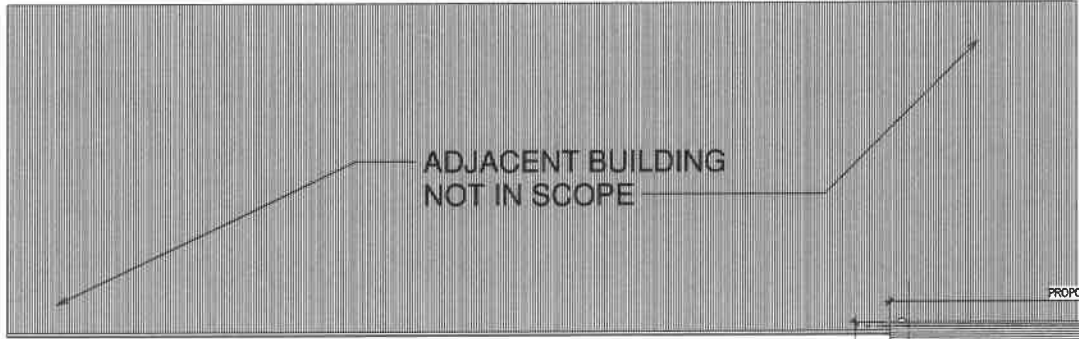
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KEYNOTES - CONSTRUCTION	
TAG	DESCRIPTION

LEGEND - CONSTRUCTION	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	MILLWORK
	RATED ASSEMBLY - 1 HR
	RATED ASSEMBLY - 2 HR

SHEET NOTES - CONSTRUCTION	
1.	DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
2.	G.C. SHALL VERIFY ALL DIMENSIONS IN FIELD. IF ANY ± DIMENSIONS VARY MORE THAN 2", NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
3.	DIMENSIONS TO NEW CONSTRUCTION ARE MEASURED TO THE FACE OF STUD OR BRICK UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE MEASURED TO FACE OF EXISTING FINISH SURFACE.
4.	ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS, AND AGENCIES.
5.	ALL NEW DOOR AND WALKWAY OPENINGS' JAMBS TO BE OFFSET FROM ADJACENT WALL SURFACE 6" U.O.N.
6.	PATCH AND REPAIR ALL AREAS DAMAGED BY DEMOLITION.
7.	VERIFY LOCATIONS OF ALL REQUIRED ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
8.	ALL EXISTING COLUMNS ARE TO REMAIN. PROVIDE PROTECTION DURING DEMOLITION AND CONSTRUCTION.
9.	WALL ALIGNMENTS SHOWN TAKE PRECEDENCE OVER DIMENSIONS.
10.	PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORY AND CABINET LOCATIONS.
11.	SEE INTERIOR ELEVATIONS FOR ALIGNMENT OF SHOWER FAUCETS, VANITY SINK FAUCETS, AND TOILETS TO TILE FINISH.
12.	COORDINATE ALL CASEWORK DIMENSIONS WITH FRAMING PRIOR TO FABRICATION.



TRAPOLINPEER
ARCHITECTS

HDC SUBMITTAL

JEFFERSON FURNITURE
FAÇADE ALTERATION
1024 4TH STREET, GRETN, LA 70053

OWNER
JEFFERSON PARISH
200 DERBIGNY STREET # 3300
GRETN, LA 70053

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
850 TCHOUPITOUAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR
CONSTRUCTION

REVISION #	DESCRIPTION	DATE
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PROJECT NUMBER
CN22182-04
ISSUE DATE
JULY 25, 2025

ROOF PLAN

A2.02

JEFFERSON FURNITURE
FAÇADE ALTERATION
1024 4TH STREET, GRETN, LA 70053

OWNER
JEFFERSON PARISH
200 DERBIGNY STREET # 3300
GRETN, LA 70053

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
850 TCHOUPITOUAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

NOT FOR
CONSTRUCTION

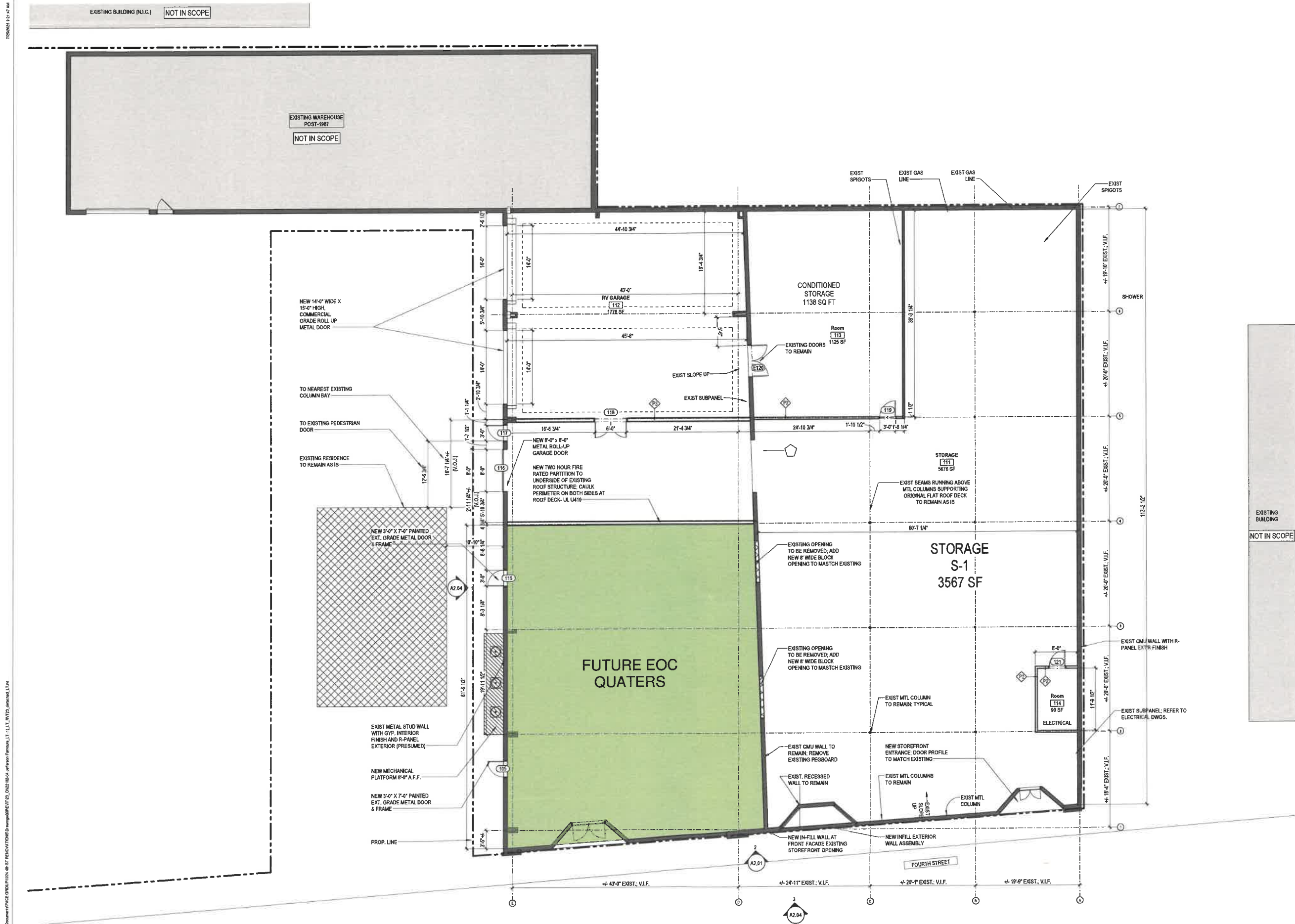
REVISION # DESCRIPTION DATE

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PROJECT NUMBER
CN22182.04

ISSUE DATE
JULY 28, 2025

PROPOSED
FLOOR PLAN

A2.03



1 LEVEL 01 - PROPOSED - MARCH 2024
A2.03 SCALE: 1/8\"/>

JEFFERSON FURNITURE
FAÇADE ALTERATION
1024 4TH STREET, GRETN, LA 70053

OWNER
JEFFERSON PARISH
200 DERBIGNY STREET # 3300
GRETN, LA 70053

ARCHITECT
TRAPOLIN-PEER ARCHITECTS
850 TCHOUPILOULAS STREET
NEW ORLEANS, LA 70130

CONTRACTOR

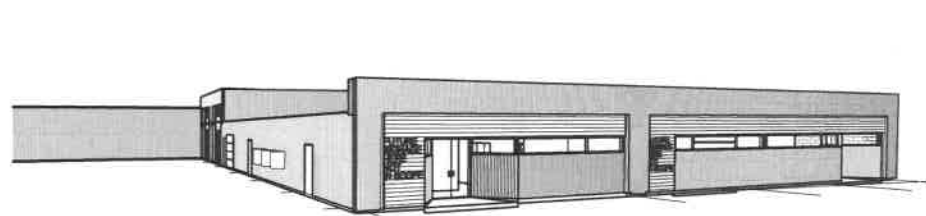
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REVISION # DESCRIPTION DATE

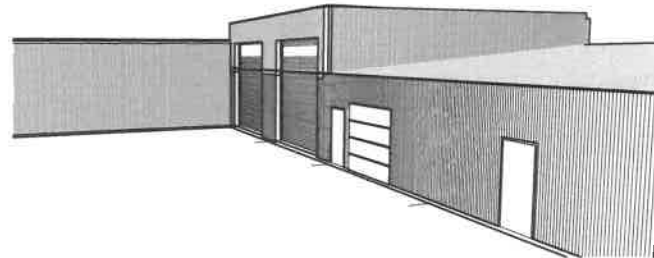
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PROJECT NUMBER
CN22182-04
ISSUE DATE
JULY 28, 2025

SCOPE

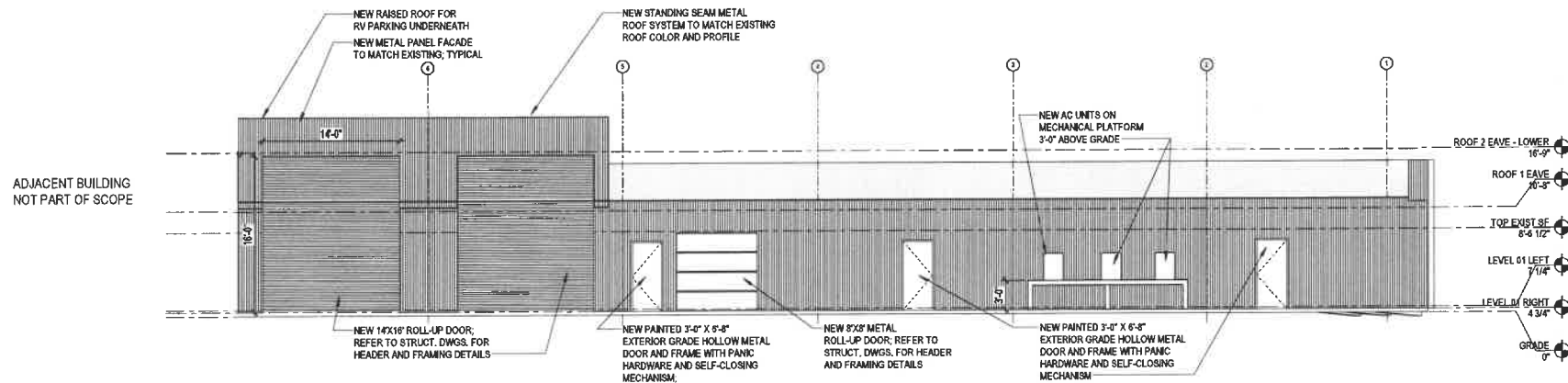
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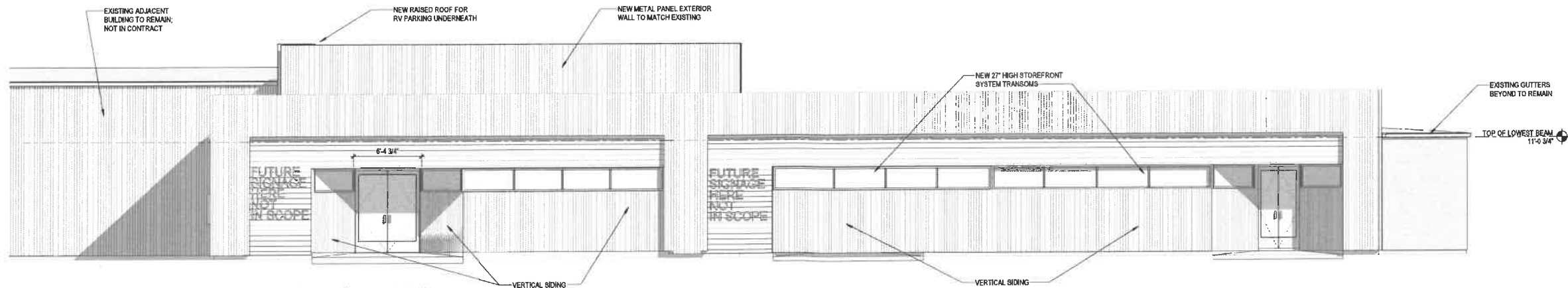
4 3D View 3
A2.04 SCALE:



2 3D View 1
A2.04 SCALE:



1 Elevation 1 - a
A2.04 SCALE: 1/8" = 1'-0"



3 BLDG ELEVATION - FRONT - NEW CONSTRUCTION (PARALLEL TO FACE) Copy 1
A2.04 SCALE: 3/16" = 1'-0"