

**THE CITY OF GRETNA  
HISTORIC DISTRICT COMMISSION  
MEETING**

**740 Second Street, Gretna, LA 70053  
Council chamber, second floor**

**September 2, 2025 - 4:00 PM**

**AGENDA**

**AGENDA ITEM(S):**

**1. Call to Order/Roll Call**

**2. CONSENT AGENDA for Certificate of Appropriateness:**

- (1) 411 Lafayette Street  
Molding under gutters - Joe Broussard, Applicant (District 2)
- (2) 723 Huey P. Long Avenue  
Handrails - Ivan Valdespero Applicant (District 2)

**3. Properties with request for Certificate of Appropriateness:**

- (1) 720 Huey P. Long Avenue  
Replace handrails - Jacob Wolfe, Applicant (District 2)
- (2) 1020 Monroe Street  
Iron fence & gate - Johanna Roccaforte, Applicant (District 1)
- (3) 418 Newton Street  
New Addition - Brady Garrity, Applicant (District 2)
- (4) 913 10th Street  
Demolition of carport - Taylor Brantley, Applicant (District 2)
- (5) 629 4th Street  
Demo & New Construction - Mario Waterhouse, Applicant (District 2)
- (6) 341-343 Ocean Avenue  
Front door - Aaron Mercadel, Applicant (District 1)
- (7) 1614 Hancock Street  
Shed- "STOP WORK ORDER" - Aaron Mercadel, Applicant (District 1)

- (8) 626 Newton Street  
Back porch - Burney Courtney, Applicant (District 2)

**4. Discussion Only:**

- (9) 537 Huey P. Long Avenue  
New Construction discussion only - David Gassen, Applicant (District 2)
- (10) Gretna Marketplace  
Renovations - Colin Van Wingen, Applicant (District 2)

**5. Other Matters.**

**6. Meeting Adjournment.**



# Historic District Commission

Meeting: September 02, 2025

411 Lafayette Street  
District -2

Molding Under Gutters

Applicant:  
Joe Broussard

8757



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 411 Lafayette Street, Gretna, Louisiana 70053

Renovation: ☒

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 1890

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun ☒

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival ☒

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia ☒ \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: Moulding under gutters

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's  
Signature:  Date: 08/22/2025

Applicant's  
Name: Joe Broussard

Applicant's  
Address:

Phone No: (504) 559-1351 Cell No: (504) 236-0066

**For Office Use Only:**

Application date: 8/22/25

Substantive Change: Yes ☐ No ☒ Inventory Number: 622

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Sept. 02, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):











1339 Avenue A | Marrero, Louisiana 70072  
(504)559-1351 | broussardexteriors@yahoo.com |  
www.broussardexteriors.com

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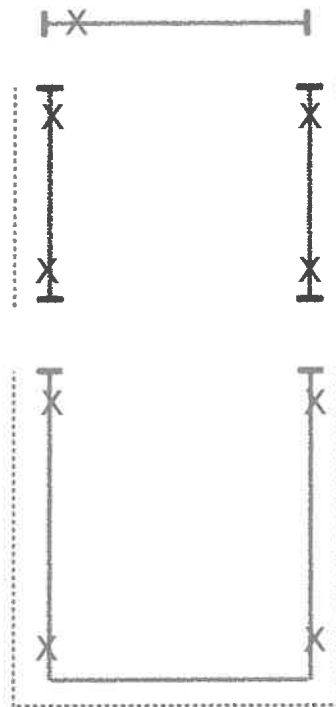
**Homeowner:** Brenda Ketch

**Address:** 411 Lafayette Street, Gretna, Louisiana 70053

**Phone:** (504)442-2501

**Permit # APP-17107**

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— = Gutters  
X = Projected downspout placement  
----- = Moulding





1339 Avenue A | Marrero, Louisiana 70072  
 (504)559-1351 | broussardexteriors@yahoo.com |  
 www.broussardexteriors.com

**RECIPIENT:**

**Brenda Knecht**

411 Lafayette Street  
 Gretna, Louisiana 70053  
 Phone: (504)442-2501

**Job #385**

Scheduled

Not Scheduled

Description

411 Lafayette Street Gretna -  
 Gutters

Product/Service	Description	Qty.
6" Seamless K-Style Gutter Installation	<p>Scope of Work:</p> <ul style="list-style-type: none"> <li>• Remove and haul away existing gutters and downspouts.</li> <li>• Install new 6" Seamless K-style aluminum gutters to whole home.</li> <li>• Secure gutters using heavy-duty hidden hangers and screws with neoprene washers for maximum durability.</li> <li>• Install 9 - custom 3"x4" downspouts, ensuring optimal water flow.</li> <li>• Hand-cut custom downspout openings for superior drainage, allowing water to flow directly into the 3"x4" downspouts instead of relying on inserts</li> <li>• Custom hand-miters at all corners for a seamless appearance and improved durability.</li> <li>• Apply top-of-the-line sealant at all seams to minimize the risk of leaks and enhance longevity.</li> </ul> <p>Color: Musket Brown</p> <p>*Subdrains are currently concreted to existiong downspouts. We will try out best to fit new downspouts into existing subdrains but can not guarentee that they will.</p> <p>Please review this proposal and let us know if you have any questions. We appreciate the opportunity to serve you!</p>	1
Remove Moulding	<ul style="list-style-type: none"> <li>• Remove and haul away crown moulding currently under gutters in order for new gutters to fit properly.</li> </ul> <p>*If there is any rotten wood under the moulding or gutters once they are removed we will discuss a price to replace it on the job site.</p>	1



1339 Avenue A | Marrero, Louisiana 70072  
(504)559-1351 | broussardexteriors@yahoo.com |  
www.broussardexteriors.com

**RECIPIENT:**

**Brenda Knecht**

411 Lafayette Street  
Gretna, Louisiana 70053  
Phone: (504)442-2501

**Job #407**

Scheduled

Not Scheduled

Description

411 Lafayette Street Gretna -  
Wood Work

Product/Service	Description	Qty.
Fascia Board	<ul style="list-style-type: none"><li>• Install new trim after the new gutters are installed.</li><li>• Remove and replace rotten fascia board on the front-right corner of the home.</li><li>• Paint new trim and new wood to match existing as close as possible.</li></ul>	1

**Gutter**

**6" K-style**

Materials: Aluminum

Downspouts: 3"x4"

Gutter Color: Musket Brown



**Musket Brown**

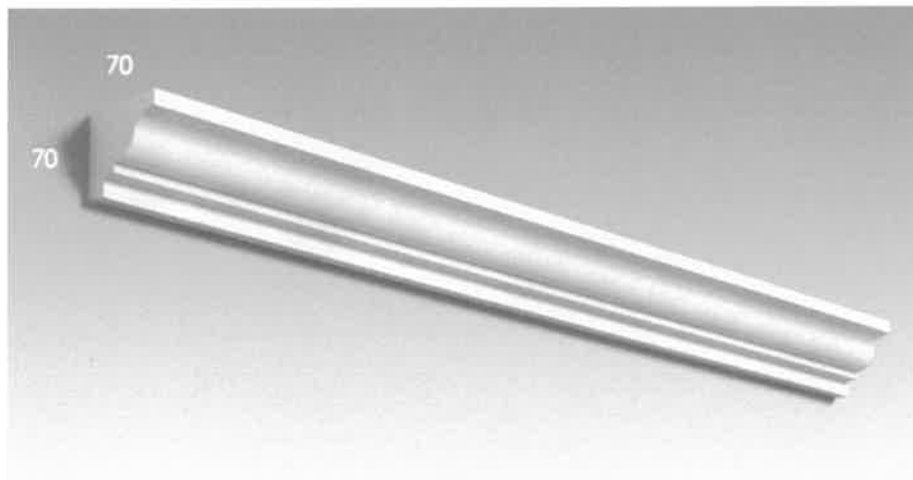
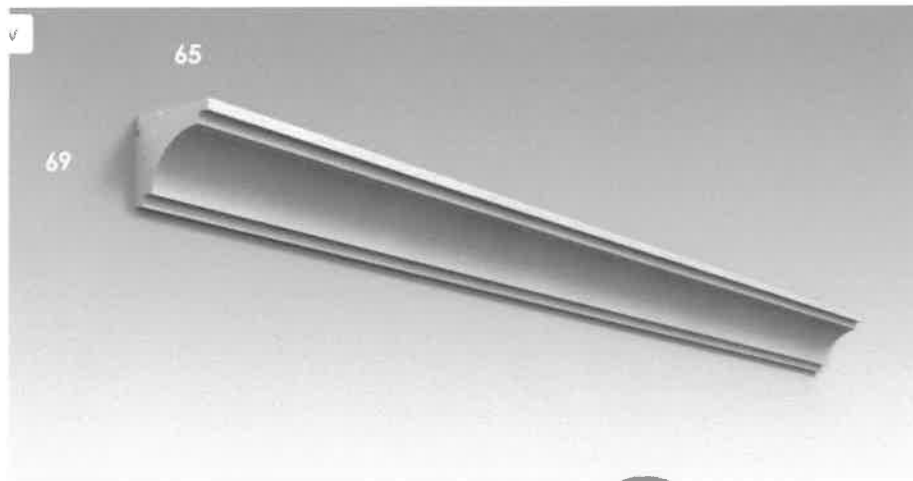


### **Moulding Under Gutter**

We will try to match the existing moulding as close as possible.

Materials: Wood

Paint Color: Match Musket Brown Gutters



**Musket Brown**



# Historic District Commission

Meeting: September 02, 2025

723 Huey P Long Avenue  
District -2

Handrails

Applicant:  
Ivan Valdespero



Permit # 8126

**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

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**Substantive changes require review by the Historic District Commission**



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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 723 Huey P. Long Ave. Permit #2024-7841

Renovation: Renovation, install of new handrails, already installed

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 1920 \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun X \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other X \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails wood \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: Hand rails installed

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

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Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 8/7/25

Applicant's Name: Ivan Valdespino

Applicant's Address: 4021 Deerglen Dr. Harvey, LA 70058

Phone No: (504) 616 3843 Cell No: ( )

-----  
**For Office Use Only:**

Application date: August 20, 2025

Substantive Change: Yes ☐ No ☒ Inventory Number: 345

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: September 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

## Mayor

Belinda Cambre Constant

## Councilmembers

Wayne A. Rau

## Councilman-at-Large

Rudy S. Smith

## District One

Michael A. Hinyub

## District Two

Mark K. Miller

## District Three

Randy S. Carr

## District Four

## Departments

### Building

Danika E. Gorrondona

### Citizens Affairs

Rachael Stanley

### City Clerk

Norma J. Cruz

### City Development

Amelia Pellegrin

### Code Enforcement

Angel L. Gonzales

### Finance & Tax

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Information Technology

Michael T. Wesley

### Operations

Eric Stahl

### Parks & Parkways

Amie L. Hebert

### Project Manager

Edwin Batiste

### Public Services

Madason Priore

### Recreation

Kirk Lepine

### Tourism

Summer Cook

I, Ivan Valdespino the undersigned,  
have been informed of the Historic District Commission (HDC) meeting where my  
application for historic district appropriateness will be reviewed on  
September 2 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers  
at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate  
of Appropriateness are NOT permission to commence any work. A representative  
for the applied property is expected to attend the meeting. If unable to attend, review  
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness  
issued by the Historic District Commission does not guarantee approval of the  
Zoning and/or Building departments because while a project may be historically  
appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Ivan Valdespino

Name of Applicant (Please Print)

4021 Deerglen Dr. Harvey, LA 70058

Applicant's Address

723 Huey P. Long Ave.

Address under HDC review

Date:

8/7/25

Permit #  
2024- 8126











# Historic District Commission

Meeting: September 02, 2025

720 Huey P Long  
District -2

Replace Handrails

Applicant:  
Jacob Wolfe

8763



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

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In addition to the information on the cover sheet, please provide the following:

Re: Address: 720 Huey P Long Ave Gretna LA 70053

Renovation: ☒

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 1930's

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other X \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_

Soffit Replace 2nd section with like kind

Fascia Repaint fascia same color

Siding \_\_\_\_\_

Masonry \_\_\_\_\_

Porches Add top rail to match

Balconies Replace Existing Rubberized coating

Handrails existing downstairs

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft.

Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

Important: This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature:  Date: 8-25-25

Applicant's Name: Jacob Wolfe

Applicant's Address: 143 Lakewood Blvd Gretna LA 10056

Phone No: (504) 393-2445 Cell No: (504) 810-6190

**For Office Use Only:**

Application date: August 25, 2025

Substantive Change: Yes ☐ No ☒

Inventory Number: 258

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: September 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau  
Councilman-at-Large  
Milton L. Crosby  
District One  
Michael Hinyub  
District Two  
Mark K. Miller  
District Three  
Jackie J. Berthelot  
District Four

## Departments

### Building and Regulatory

Danika Gorrondona

### Planning and Zoning

Azalea M. Roussell

### City Clerk

Norma J. Cruz

### Finance & Tax Departments

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Public Utilities

Michael J. Baudoin

### Public Works

Daniel Lasyone

### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

I, Jacob Wolfe the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on Sept 2<sup>nd</sup> 2015 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

[Signature]  
Signature of Applicant

Jacob Wolfe  
NAME OF APPLICANT (PLEASE PRINT)

143 Lapalco Blvd Gretna LA 70054  
Applicant's address

720 Huey P Long Gretna LA 70053  
Actual address of the property for review

Date: 8-25-15









Photo of lower porch top  
rail to be added at  
upstairs balcony





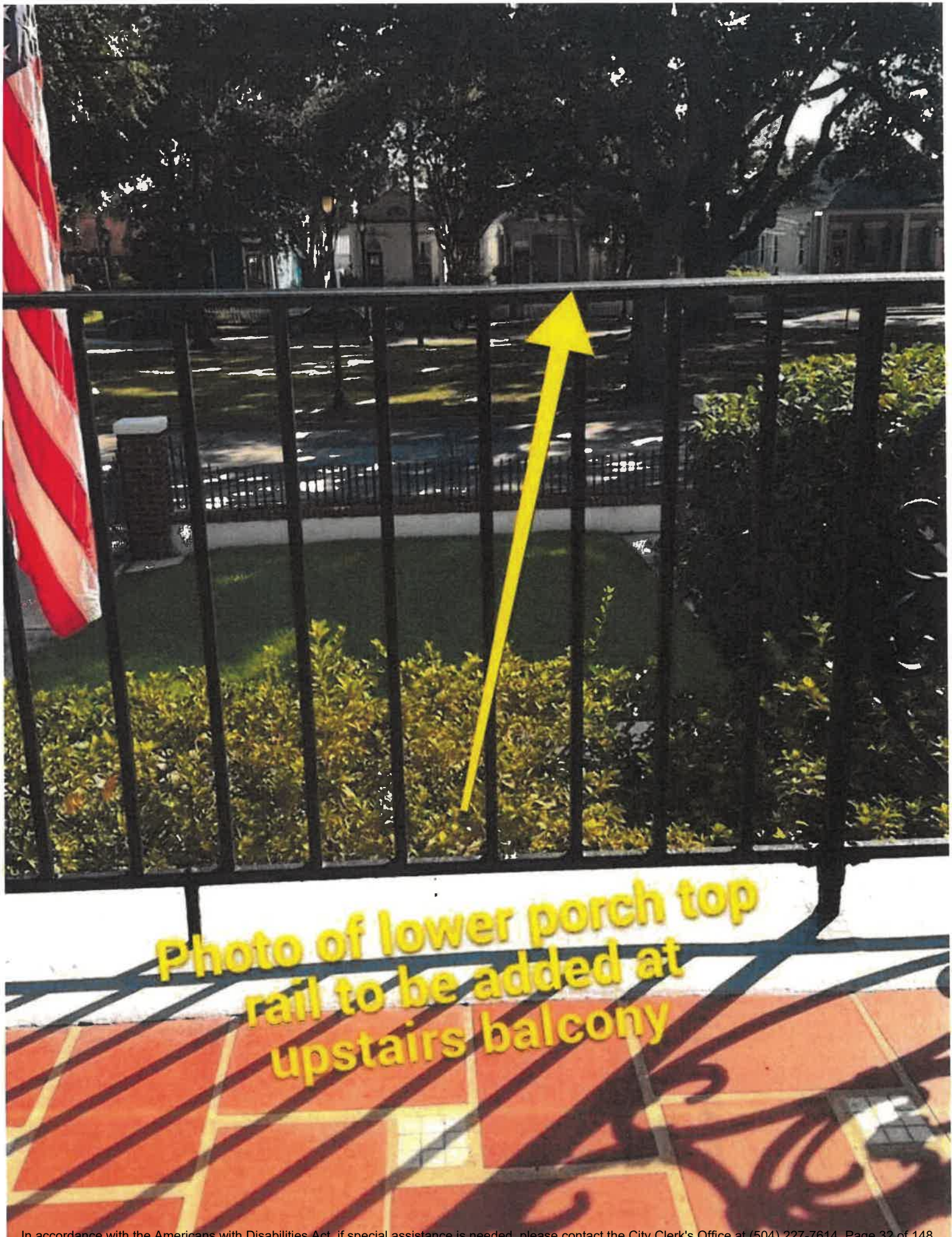
Aug 25, 2025 at 9:23:36 AM  
29.912750° N 90.062605° W





Aug 25, 2025 at 9:23:36 AM  
29.912750° N 90.062605° W





**Photo of lower porch top  
rail to be added at  
upstairs balcony**





# Historic District Commission

Meeting: September 02, 2025

1020 Monroe Street  
District -1

Iron Fence & Gate

Applicant:  
Johanna Roccaforte





**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

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**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1019 Monroe St. Gretna, LA

Renovation: \_\_\_\_\_

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 1915 \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun double shotgun \_\_\_\_\_

Bungalow ✓ \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:** don't know

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry wrought-iron fence addition Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's  
Signature: Johanna Roccaforte Date: 6/5/25

Applicant's  
Name: Johanna Roccaforte

Applicant's  
Address: 1020 Monroe St Gretna, LA

Phone No: ( 504 ) 239-7356 Cell No: ( )

---

**For Office Use Only:**

Application date: 8/5/25

Substantive Change: Yes ☐ No ☒ Inventory Number: 26-02132

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: Sept. 02, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## **Mayor**

Belinda Cambre Constant

## **Council Members**

Wayne A. Rau  
*Councilman-at-Large*  
Milton L. Crosby  
*District One*  
Michael Hinyub  
*District Two*  
Mark K. Miller  
*District Three*  
Jackie J. Berthelot  
*District Four*

## **Departments**

### ***Building and Regulatory***

Danika Gorrondona  
***Planning and Zoning***  
Azalea M. Roussell

### ***City Clerk***

Norma J. Cruz

### ***Finance & Tax Departments***

Raylyn C. Stevens

### ***Human Resources***

Gwen Turner

### ***Public Utilities***

Michael J. Baudoin

### ***Public Works***

Daniel Lasyone

### ***Parks and Recreation***

Amie H. Hebert

### ***Information Technology***

Michael Wesley

I, Johanna Roccaforte the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on September 2, 2025 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Johanna Roccaforte

Signature of Applicant

Johanna Roccaforte

NAME OF APPLICANT (PLEASE PRINT)

1020 Monroe St. Gretna, LA 70053

Applicant's address

1019 Monroe St. Gretna, LA 70053

Actual address of the property for review

Date: \_\_\_\_\_























# Historic District Commission

Meeting: September 02, 2025

418 Newton Street  
District -2

New Addition

Applicant:  
Brady Garrity





#8755

**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 418 NEWTON ST.

Renovation: X

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: N/A

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other X

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other X

**Exterior materials proposed:**

Roof ASPHALT SHINGLES Soffit HARDIE

Fascia HARDIE Siding HARDIE LAP SIDING

Masonry \_\_\_\_\_ Porches SYNTHETIC WOOD

Balconies \_\_\_\_\_ Handrails WOOD LOOK

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: 6 OVER 6

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 8/22/25  
Applicant's Name: Brady Garry  
Applicant's Address: 2401 WHITNEY AVE.  
Phone No: (504) 366-4475 Cell No: (504) 415-0932

**For Office Use Only:**

Application date: August 25, 2025  
Substantive Change: Yes ☐ No ☒ Inventory Number: 313  
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒  
Historic District Commission meeting date: September 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau  
Councilman-at-Large  
Milton L. Crosby  
District One  
Michael Hinyub  
District Two  
Mark K. Miller  
District Three  
Jackie J. Berthelot  
District Four

## Departments

**Building and Regulatory**  
Danika Gorronzona  
**Planning and Zoning**  
Azalea M. Roussel

## City Clerk

Norma J. Cruz

## Finance & Tax Departments

Raylyn C. Stevens

## Human Resources

Gwen Turner

## Public Utilities

Michael J. Baudoin

## Public Works

Daniel Lasyone

## Parks and Recreation

Amie H. Hebert

## Information Technology

Michael Wesley

I, BRADY GABERTY the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on SEPTEMBER 2ND 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

BRADY GABERTY  
Signature of Applicant

BRADY GABERTY  
NAME OF APPLICANT (PLEASE PRINT)

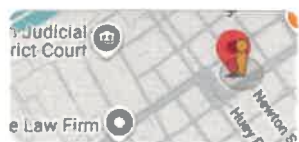
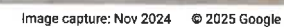
2401 Whitney Ave., Gretna, LA 70056  
Applicant's address

418 Newton St.  
Actual address of the property for review

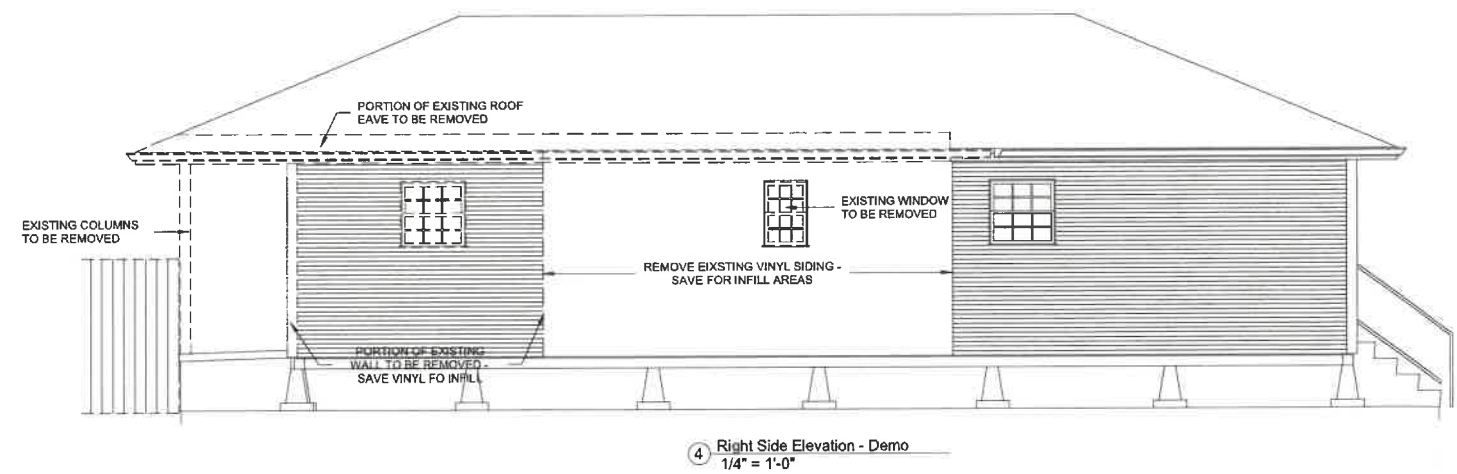
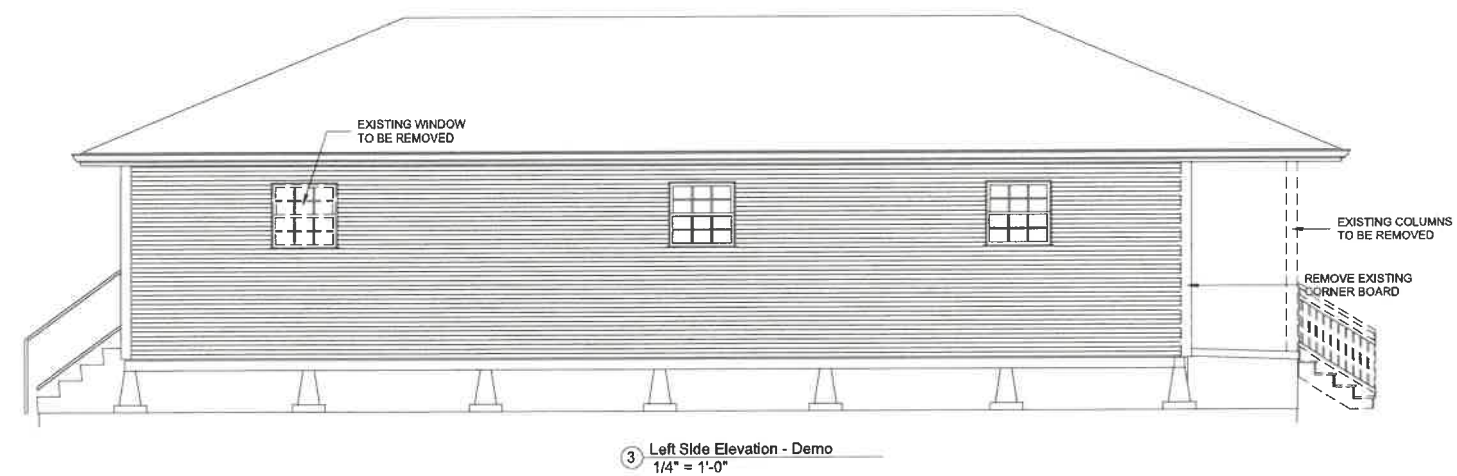
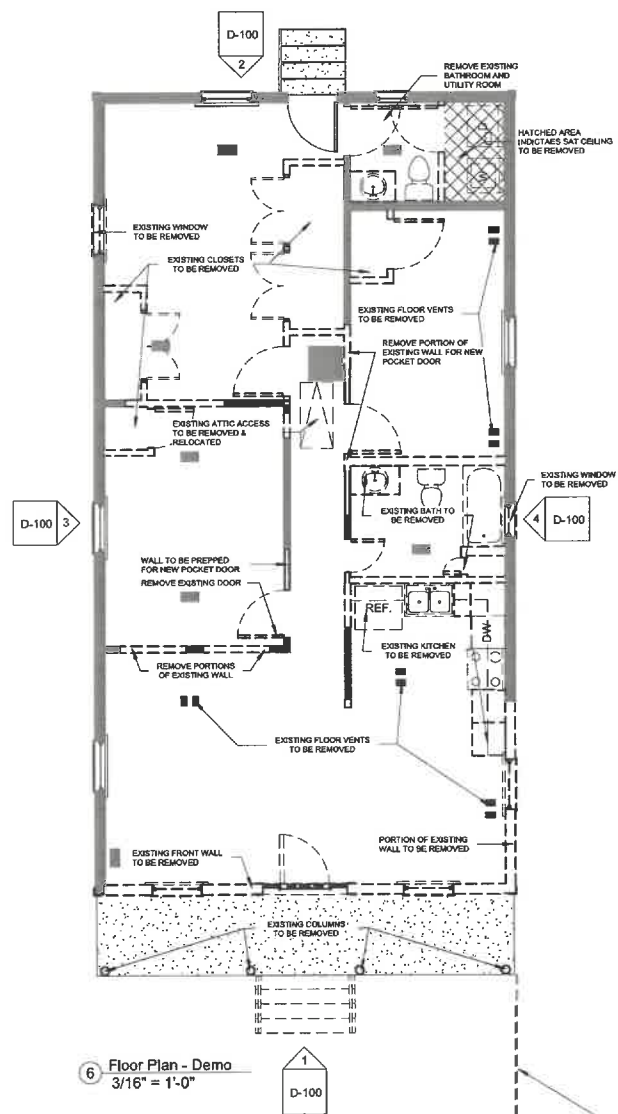
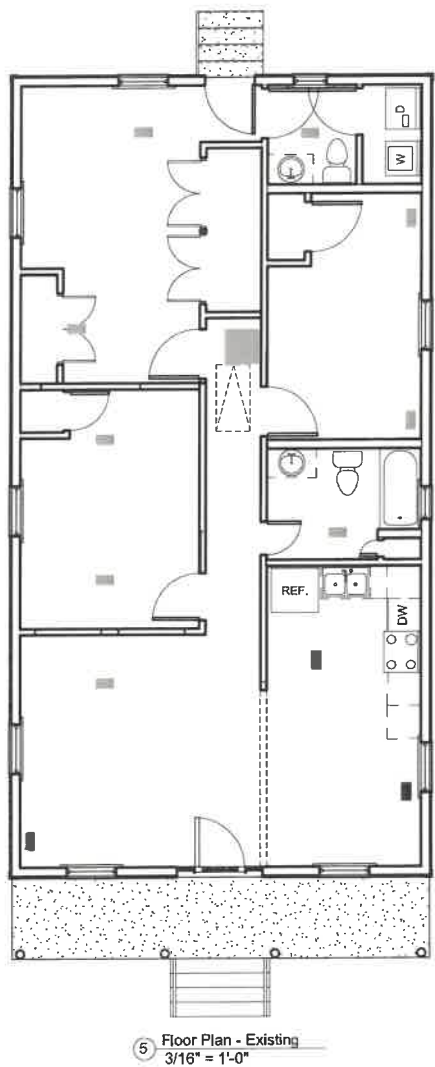
Date: 8/22/25



423 Newton St







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PROJECT

**Alterations & Addition to  
418 Newton Street**

GRETN LA 70053

SHEET TITLE

EXISTING FLOOR  
PLAN, ELEVATIONS,  
AND DEMO PLAN

## REVISIONS

DATE 08.22.2025

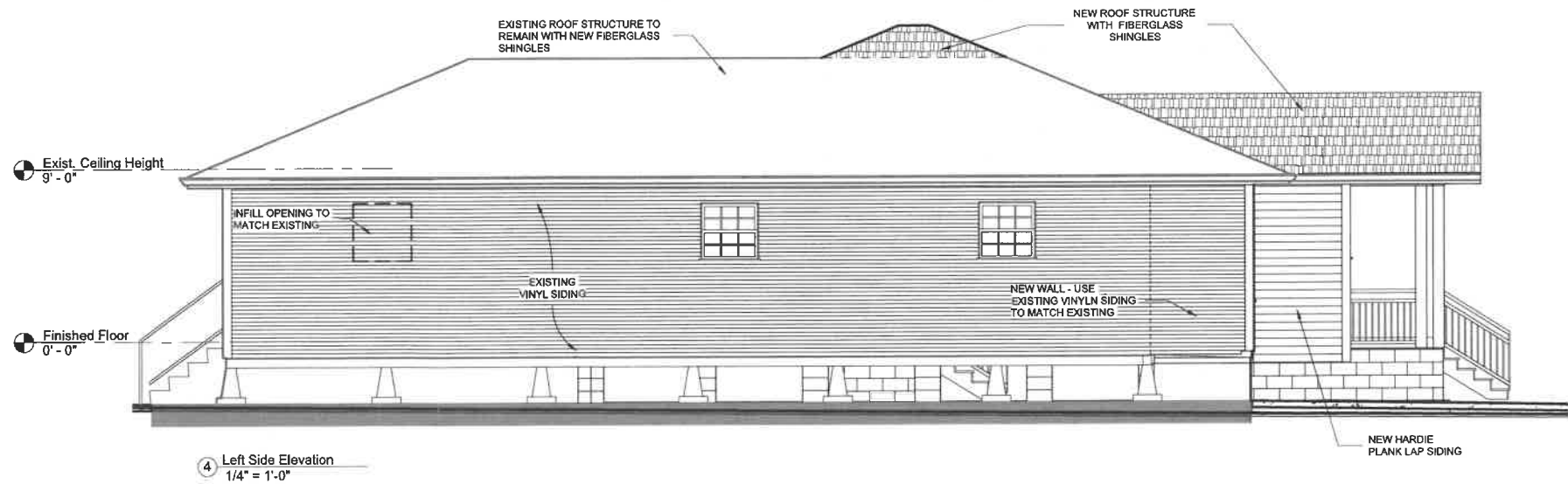
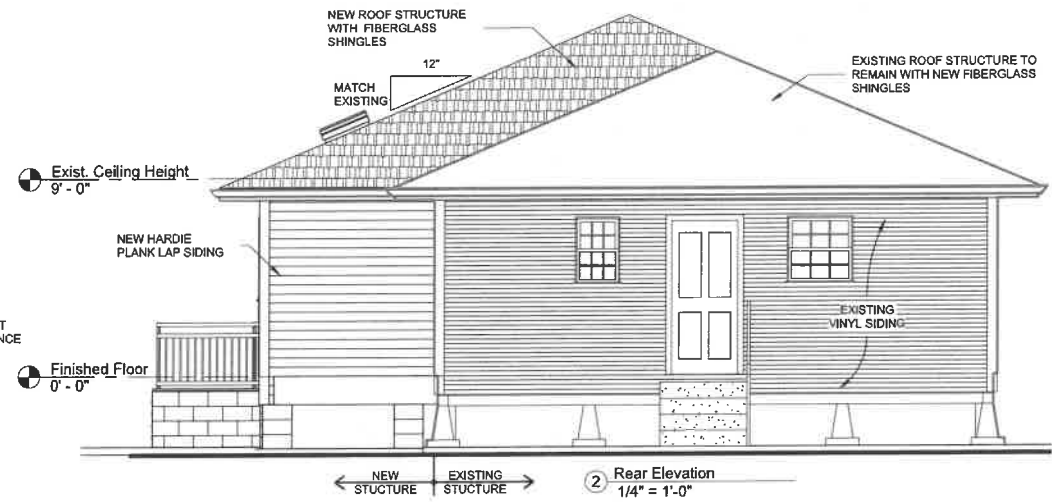
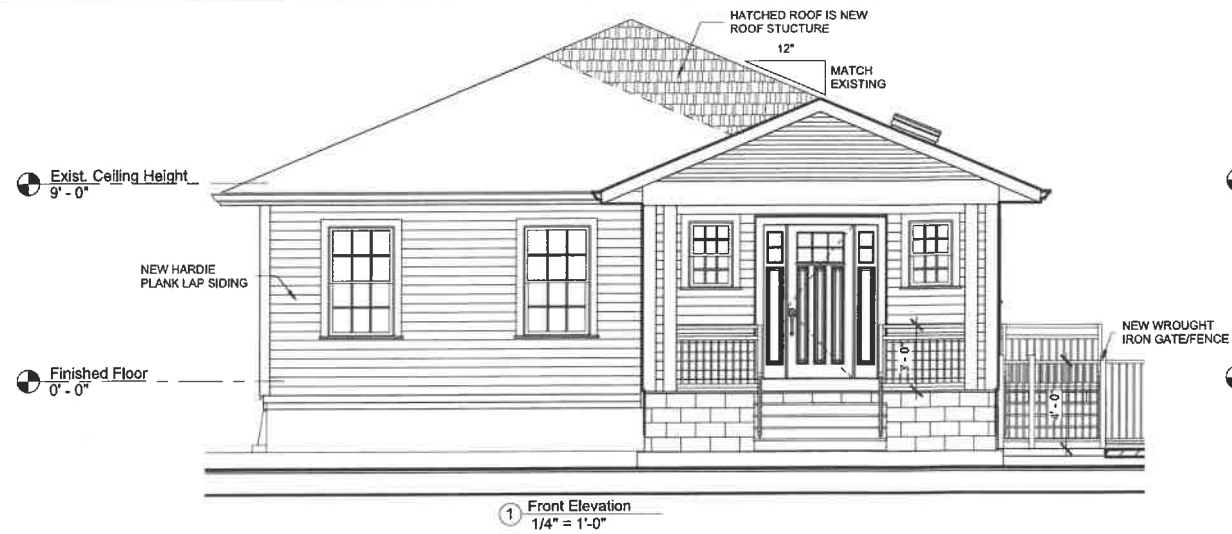
PROJECT NUMBER 23105

SHEET NUMBER

D-100







**garity + accardo**  
architects  
A PROFESSIONAL CORPORATION  
2401 Whitney Avenue  
Gretna, Louisiana 70053  
Phone: 504-885-1975  
www.garity+accardo.com  
BRADY P. GARRITY, P.A.  
DONNA M. ACCARDO, P.A.

PROJECT  
Alterations & Addition to  
418 Newton Street  
GRETN LA 70053

SHEET TITLE  
EXTERIOR  
ELEVATIONS

REVISIONS

DATE 08.22.2025

PROJECT NUMBER 23105

SHEET NUMBER  
**A-200**

THESE DRAWINGS ARE PROPERTY OF GARRITY + ACCARDO ARCHITECTS. NO REPRODUCTION OR OTHER USE OF THE DRAWINGS OR ANY OF THEIR CONTENTS IS PERMITTED WITHOUT THE WRITTEN CONSENT OF GARRITY + ACCARDO ARCHITECTS.  
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ALL RIGHTS RESERVED.





# Historic District Commission

Meeting: September 02, 2025

913 10<sup>th</sup> Street  
District -2

**Demolition of Carport  
Already demolished  
without permit**

**Applicant:  
Taylor Brantley**



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

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- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
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- Change in existing walls and fences or construction of new walls and fences if along a public street
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**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 913 10th Street Gretna LA 70053

Renovation: \_\_\_\_\_

New Construction: \_\_\_\_\_

Demolition: x - Carport \_\_\_\_\_

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow X \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_


**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's  
Signature:  Date: 8/22/2025

Applicant's  
Name: Star Recovery Services, LLC

Applicant's  
Address: 3525 North Causeway Blvd., Ste. 902 Metairie LA 70002

Phone No: (504) 874.3513 Cell No: (504) 874.3513

**For Office Use Only:** Application date: August 25, 2025

Substantive Change: Yes ☐ No ☒ Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒

Historic District Commission meeting date: September 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

## Mayor

Belinda Cambre Constant

## Councilmembers

Wayne A. Rau

## Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

## Departments

### Building

Danika E. Gorrondona

### Citizens' Affairs

Rachael Stanley

### City Clerk

Norma J. Cruz

### City Development

Amelia Pellegrin

### Code Enforcement

Angel L. Gonzales

### Environmental Affairs

Madoson Priore

### Finance & Tax

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Information Technology

Michael T. Wesley

### Operations

Eric Stahl

### Parks & Parkways

Amie L. Hebert

### Public Utilities

Ron Johnson

I, Star Recovery Services, LLC the undersigned,  
have been informed of the Historic District Commission (HDC) meeting where my  
application for historic district appropriateness will be reviewed on  
September 2, 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers  
at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate  
of Appropriateness are NOT permission to commence any work. A representative  
for the applied property is expected to attend the meeting. If unable to attend, review  
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness  
issued by the Historic District Commission does not guarantee approval of the  
Zoning and/or Building departments because while a project may be historically  
appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Star Recovery Services, LLC

Name of Applicant (Please Print)

3525 North Causeway Blvd, Ste 902, Metairie LA 70002

Applicant's Address

913 10th St., Gretna, LA 70053

Address under HDC review

Date: 8/22/2025





Dec 12, 2024 at 4:51:51 PM  
29.910292° N 90.061963° W





May 28, 2025 at 9:26:07 AM  
29.910319° N 90.061937° W





# Historic District Commission

Meeting: September 02, 2025

629 4<sup>th</sup> Street

District -2

## Demo & New Construction

Applicant:  
Mario Waterhouse



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 629 4<sup>th</sup> st.

Renovation: \_\_\_\_\_  
New Construction: X Demolition: \_\_\_\_\_

Age of Structure: N/A

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other X \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other X \_\_\_\_\_

**Exterior materials proposed:**

Roof Flat Soffit \_\_\_\_\_

Fascia HARDI Siding HARDI

Masonry Brick Porches Yes

Balconies Yes Handrails Yes

Type of exterior lighting fixtures: GAS

Style of windows: 4-4

Type of exterior doors: metal-Glass

Describe any ornamental woodwork: wood Corbels

**Elevations:**

Front Space: 32' ft. Side Space: 32' ft.

Rear Space: 32' ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 8/22/25  
Applicant's Name: MARIO WATERHOUSE  
Applicant's Address: 2701 CEDARLAWN DR. MARRERO LA. 70072  
Phone No: (504) 494-2925 Cell No: 504 380-3615

**For Office Use Only:**  
Application date: August 25 2025  
Substantive Change: Yes ☐ No ☒ Inventory Number: 414  
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒  
Historic District Commission meeting date: September 2, 2025 @ 4:00  
Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

8761  
8762

## Mayor

Belinda Cambre Constant

## Council Members

Wayne A. Rau  
Councilman-at-Large  
Milton L. Crosby  
District One  
Michael Hinyub  
District Two  
Mark K. Miller  
District Three  
Jackie J. Berthelot  
District Four

## Departments

### Building and Regulatory

Danika Gorrondona  
Planning and Zoning  
Azalea M. Roussell

### City Clerk

Norma J. Cruz

### Finance & Tax Departments

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Public Utilities

Michael J. Baudoin

### Public Works

Daniel Lasyone

### Parks and Recreation

Amie H. Hebert

### Information Technology

Michael Wesley

I, MARIO WATERHOUSE the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on September 2, 2025 4:00 p.m., 740 2<sup>nd</sup> Street, Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month HDC meeting.

I further understand and acknowledge that the "Certificate of Appropriateness", issued by the Historic District Commission, does not guarantee approval of the Zoning and/or Building Departments because, while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

[Signature]  
Signature of Applicant

MARIO WATERHOUSE  
NAME OF APPLICANT (PLEASE PRINT)

2701 Cedar Lawn Dr. Marrero LA 70072  
Applicant's address

629 4th St.  
Actual address of the property for review

Date: 8/22/2025



Google Maps

628 4th St



Image capture: Nov 2024 © 2025 Google



APPLICABLE BUILDING CODES:

- 1. INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS 2021 EDITION
- 2. INTERNATIONAL FUEL GAS CODE 2021
- 3. INTERNATIONAL MECHANICAL CODE 2021 EDITION
- 4. INTERNATIONAL PLUMBING CODE 2021 EDITION
- 5. NATIONAL ELECTRIC CODE 2020 EDITION

FLASHING NOTES:

- 1. SHEET METAL : ALL SHEET METAL WORK SHALL COMPLY THE DESIGN AND INSTALLATION DETAILS AS PUBLISHED BY SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.). WORK TO INCLUDE, BUT, NOT LIMITED TO: GUTTERS, DOWN SPOUTS, EAVE FLASHING, VALLEY FLASHING, HIP AND RIDGE FLASHING, PARAPET WALL COPINGS, PARAPET WALL COVERINGS, ROOF PENETRATIONS, CHIMNEY, LEDGE AND WALL FLASHINGS.
- 2. FLASHING : APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. FLASHING AND WEEPHOLES AT BRICK SHALL COMPLY WITH SECTIONS R103.9.5 AND R103.9.6. WALL FLASHINGS SHALL COMPLY WITH SECTIONS R103.9.8. ROOF FLASHING SHALL COMPLY WITH SECTION R405.2.8. IRC 2021.

GLAZED OPENING PROTECTION

ALL WINDOWS WITHOUT OPERABLE SHUTTERS SHALL BE PROVIDED WITH A MINIMUM THICKNESS OF 1/8" WOOD STRUCTURAL PANELS FOR PROTECTION OF WINDBORNE DEBRIS, AS PER SECTION 301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. THE PANELS ARE TO BE PRECUT TO COVER THE GLAZED OPENINGS, WITH A MAXIMUM SPAN OF 8' AND PROVIDED WITH ATTACHMENT HARDWARE. ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.

BUILDING CONSTRUCTION

THE HURRICANE RESISTANCE CONSTRUCTION FOR THIS RESIDENCE WAS DESIGNED TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, SECTION R301.2.1, AS MANDATED BY THE EMERGENCY PROVISIONS OF LOUISIANA ACT 12 (SB44).

I HAVE RESEARCHED THE REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE DRAWINGS.

THE CONSTRUCTION OF THIS STRUCTURE IS TO CONFORM TO THE WIND AND FLOOD MITIGATION REQUIREMENTS OF THE 2021 INTERNATIONAL RESIDENTIAL CODE, ASCE 7 WIND LOADS, AS WELL AS THOSE REQUIRED BY FEMA.

HURRICANE RESISTANCE CONSTRUCTION HAS BEEN DESIGNED USING THE PRESCRIPTIVE REQUIREMENTS OF THE WOOD FRAME CONSTRUCTION MANUAL, LATEST EDITION.

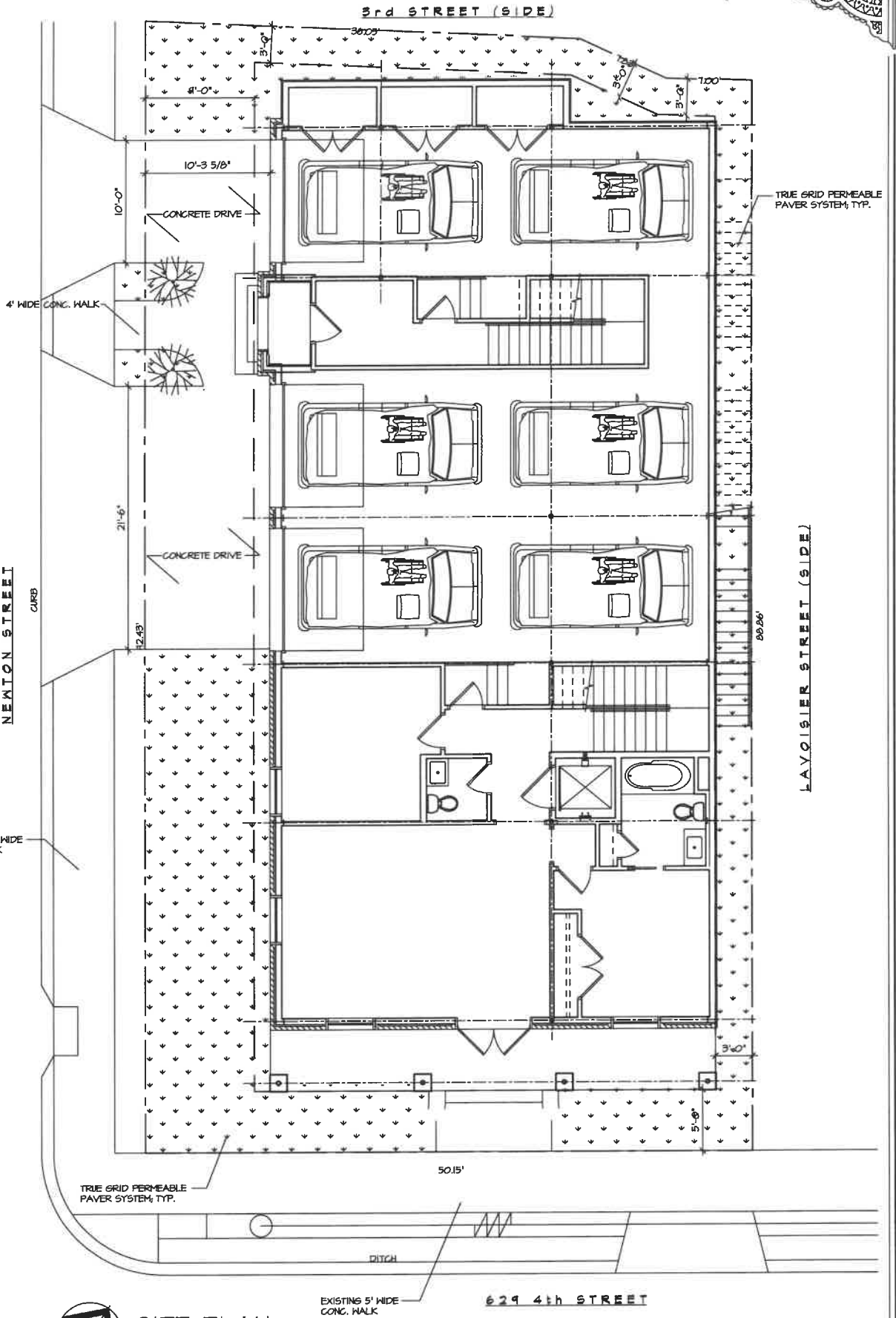
THE STRUCTURE HAS BEEN DESIGNED FOR 1 THREE SECOND WIND GUST OF 140 MPH - BASED ON EXPOSURE B.

UPLIFT RESISTANCE IS REQUIRED AND SHALL BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION.

THE 2021 INTERNATIONAL RESIDENTIAL CODE APPLIES TO ONE AND TWO-FAMILY DWELLINGS NOT MORE THAN THREE STORIES ABOVE GRADE PLANE, AND THEIR ACCESSORY STRUCTURES, UNLESS NOTED OTHERWISE, ALL REVIEW COMMENTS AND CITATIONS REFERENCE THE 2021 IRC, INCLUDING ALL RELEVANT SUBSECTIONS.

APPROXIMATE SQ. FT.

LIVING AREA	UNIT #1	UNIT #2
FIRST FLOOR	1067 S.F.	148 S.F.
SECOND FLOOR	1880 S.F.	764 S.F.
SUBTOTAL:	2947 S.F.	917 S.F.
PORCH	182 S.F.	32 S.F.
BALCONY	478 S.F.	
GARAGE	983 S.F.	574 S.F.
GROSS:	4587 S.F.	1523 S.F.



**SITE PLAN**  
SCALE : 3/16" = 1'-0"  
LOT #1 & 10  
SQUARE #11  
VILLAGE OF MECHANICKHAM  
CITY OF GRETNA  
JEFFERSON PARISH, LA

THIS PLAN AND SPECIFICATION HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY CODE REQUIREMENTS. I AM NOT ADMINISTERING THE WORK. REG. NO. 4352  
Alteration to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Old Orleans Designs responsibility.  
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REAR ELEVATION

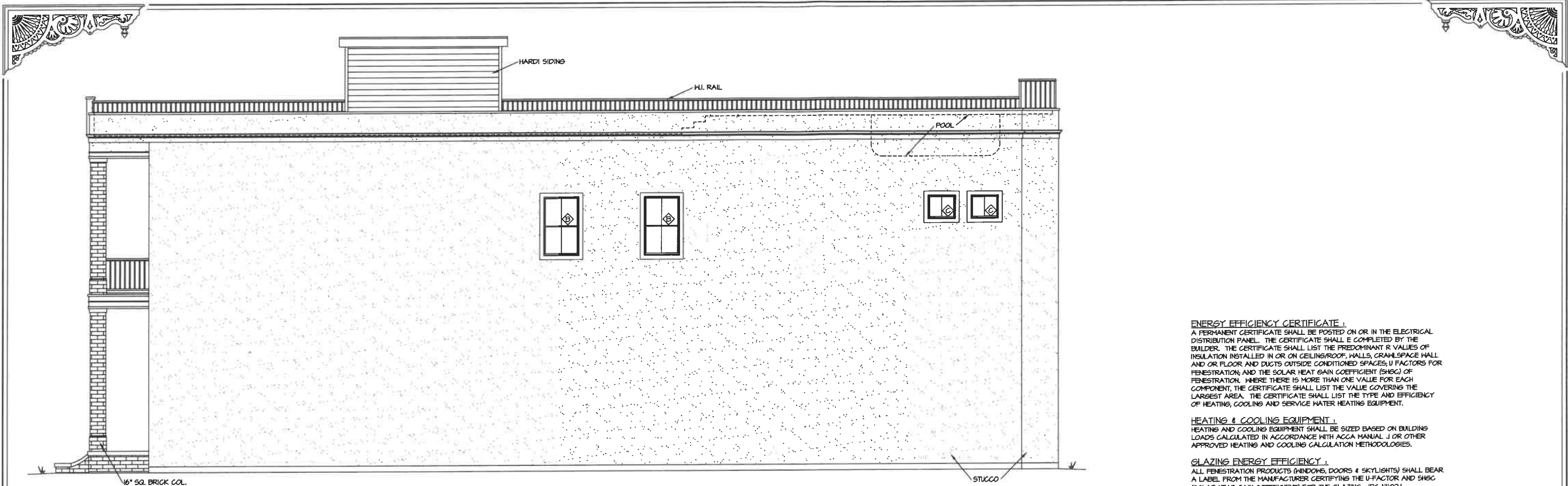
SCALE : 1/4" = 1'-0"

PROVIDE POWER ROOF VENTS  
ON REAR SIDE OF ROOF  
AS REQUIRED BY CODE

FRONT ELEVATION

SCALE : 1/4" = 1'-0"



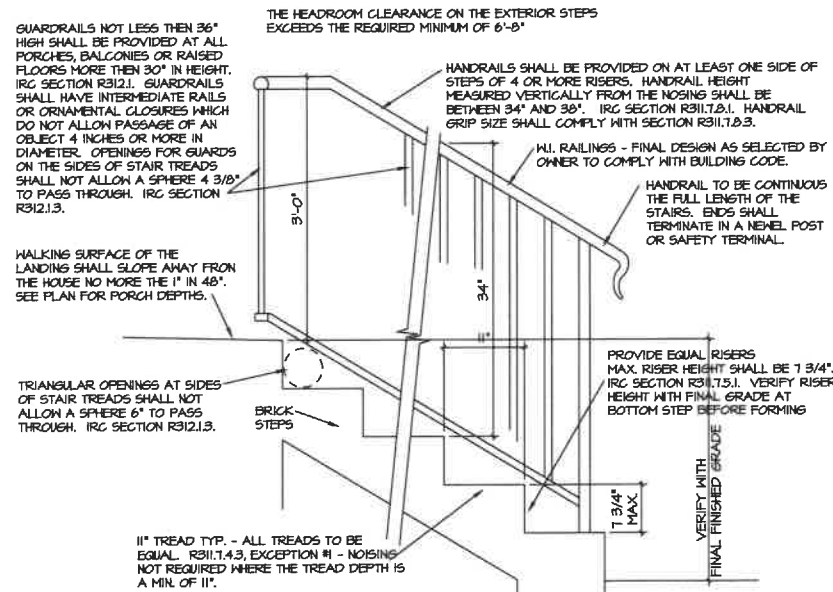


**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**ENERGY EFFICIENCY CERTIFICATE:**  
A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, CRAWLSPACE WALL AND OR FLOOR AND DUCTS OUTSIDE CONDITIONED SPACES, U-FACTORS FOR FENESTRATION, AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

**HEATING & COOLING EQUIPMENT:**  
HEATING AND COOLING EQUIPMENT SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES.

**GLAZING ENERGY EFFICIENCY:**  
ALL FENESTRATION PRODUCTS (WINDOWS, DOORS & SKYLIGHTS) SHALL BEAR A LABEL FROM THE MANUFACTURER CERTIFYING THE U-FACTOR AND SHGC (SOLAR HEAT GAIN COEFFICIENT) FOR THE GLAZING. IRC N102.1.



**1 EXTERIOR STAIR DETAIL**  
SCALE: 1" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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**SAFETY GLAZING REQUIRED**

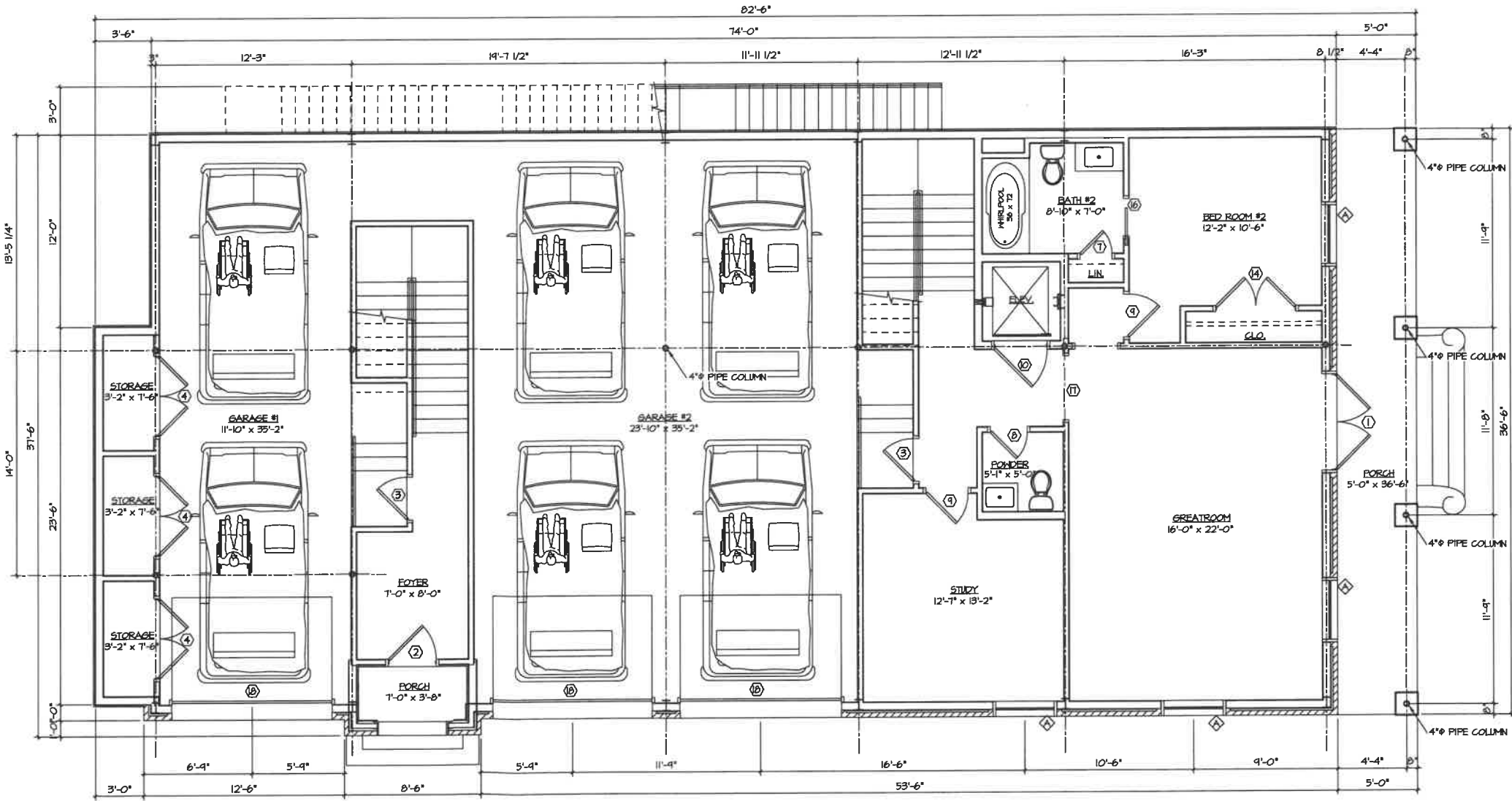
SAFETY GLAZING SHALL BE PROVIDED AT ALL HAZARDOUS LOCATIONS AS REQUIRED BY IRC 2021 R308.4. TO INCLUDE, BUT, NOT LIMITED TO THE FOLLOWING LOCATIONS.  
SAFETY GLAZING TO BE PROVIDED IN SHINING AND FIXED DOORS, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD DOOR ASSEMBLIES.  
SAFETY GLAZING TO BE PROVIDED IN BATHROOM WINDOWS AND IN STAIRWAY WINDOWS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING OR WALKING SURFACE AND WITHIN 60" HORIZONTALLY OF A TUB, SHOWER OR SPA.  
SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS, AND GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS THAT ARE IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 60 INCHES OF THE TOP OR BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE OR WITHIN 60" HORIZONTALLY OF THE BOTTOM OF THE STAIRS AT A LANDING.

**FIREPLACE & HEARTH**

FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL21. HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA.

**NOTES :**

1. EXTERIOR WALL STUDS TO BE 2 x 4'S AT 16" O.C., UNLESS OTHERWISE NOTED.
2. INTERIOR WALL STUDS TO BE 2 x 4'S AT 16" O.C., UNLESS OTHERWISE NOTED.
3. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY 1/2" GNB APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THEN 5/8" FIRE RATED GNB. WHERE THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THEN 1/2" GNB. IRC SECTION R302.6.
4. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS NOT LESS THEN 1 3/8" THICK OR HONEYCOMB CORE STEEL DOOR NOT LESS THEN 1 3/8" THICK, OR A 20 MINUTE RATED DOOR EQUIPPED WITH A SELF CLOSING DEVICE. IRC SECTION R302.5.
5. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
6. ALL SLEEPING AREAS SHALL BE PROVIDED WITH AN APPROVED SMOKE ALARMS WIRED INTO THE BUILDING ELECTRICAL POWER SOURCE AND PROVIDED WITH A BATTERY BACKUP. IRC SECTION R314.
7. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. IRC R315.
8. CHEMICAL TERMITICIDE TREATMENT TO PROVIDE PROTECTION AGAINST SUBTERRANEAN TERMITES SHALL INCLUDE SOIL TREATMENT AND/OR FIELD APPLIED WOOD TREATMENT IN COMPLIANCE WITH IRC 2021 SECTION 310.



**FIRST FLOOR PLAN**

SCALE : 1/4" = 1'-0"

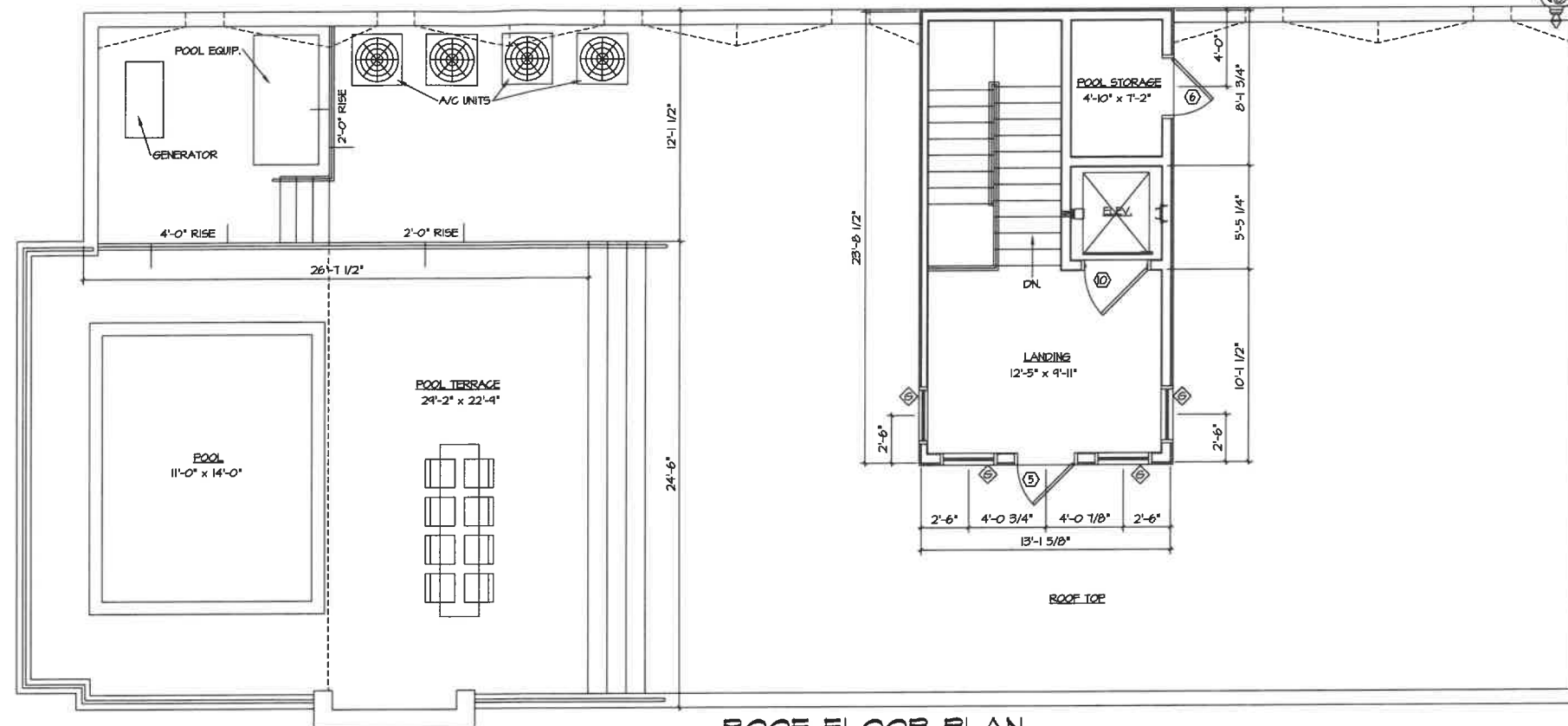
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Door Schedule		
	size	description
1	6'0" x 8'0" x 1 3/4"	PAIR-3/4 GLASS WOOD ENTRY DOORS W/8" TRANSOM
2	3'0" x 8'0" x 1 3/4"	3/4 GLASS WOOD ENTRY DOOR W/8" TRANSOM
3	2'8" x 8'0" x 1 3/8"	6 PANEL RATED DOOR
4	5'0" x 8'0" x 1 3/8"	PAIR-6 PANEL FIBERGLASS DOORS
5	3'0" x 6'8" x 1 3/4"	FULL GLASS FRENCH DOOR
6	3'0" x 6'8" x 1 3/4"	6 PANEL FIBERGLASS DOOR
7	2'0" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
8	2'4" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
9	2'8" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
10	3'4" x 8'0" x 1 3/8"	6 PANEL MASONITE DOOR
11	3'0" x 8'0" x 1 3/8"	PAIR-6 PANEL MASONITE DOORS
12	3'4" x 8'0" x 1 3/8"	PAIR-6 PANEL MASONITE DOORS
13	4'0" x 8'0" x 1 3/8"	PAIR-6 PANEL MASONITE DOORS
14	5'0" x 8'0" x 1 3/8"	PAIR-6 PANEL MASONITE DOORS
15	4'0" x 8'0" x 1 3/8"	BARN DOOR BY OWNER
16	2'4" x 8'0" x 1 3/8"	6 PANEL MASONITE POCKET DOOR
17	4'0" x 8'0" x	CASED OPENING
18	10'0" x 10'0" x 1 3/8"	GARAGE DOOR WITH OPENER

Window Schedule					
◇	dimensions				description
	sash opening	rough opening			
		head	width	height	
A	38" x 80"	100"			4/4 SINGLE HUNG W/24" TRANSOM
B	30" x 50"	80"			2/2 SINGLE HUNG
C	24" x 20"	80"			FIXED GLASS
D	30" x 56"	90"			FIXED GLASS-6 LITES
E	54" x 70"	90"			PAIR-6/2 SINGLE HUNG
F	30" x 80"	100"			6/2 SINGLE HUNG
G	28" x 66"	66"			FIXED GLASS

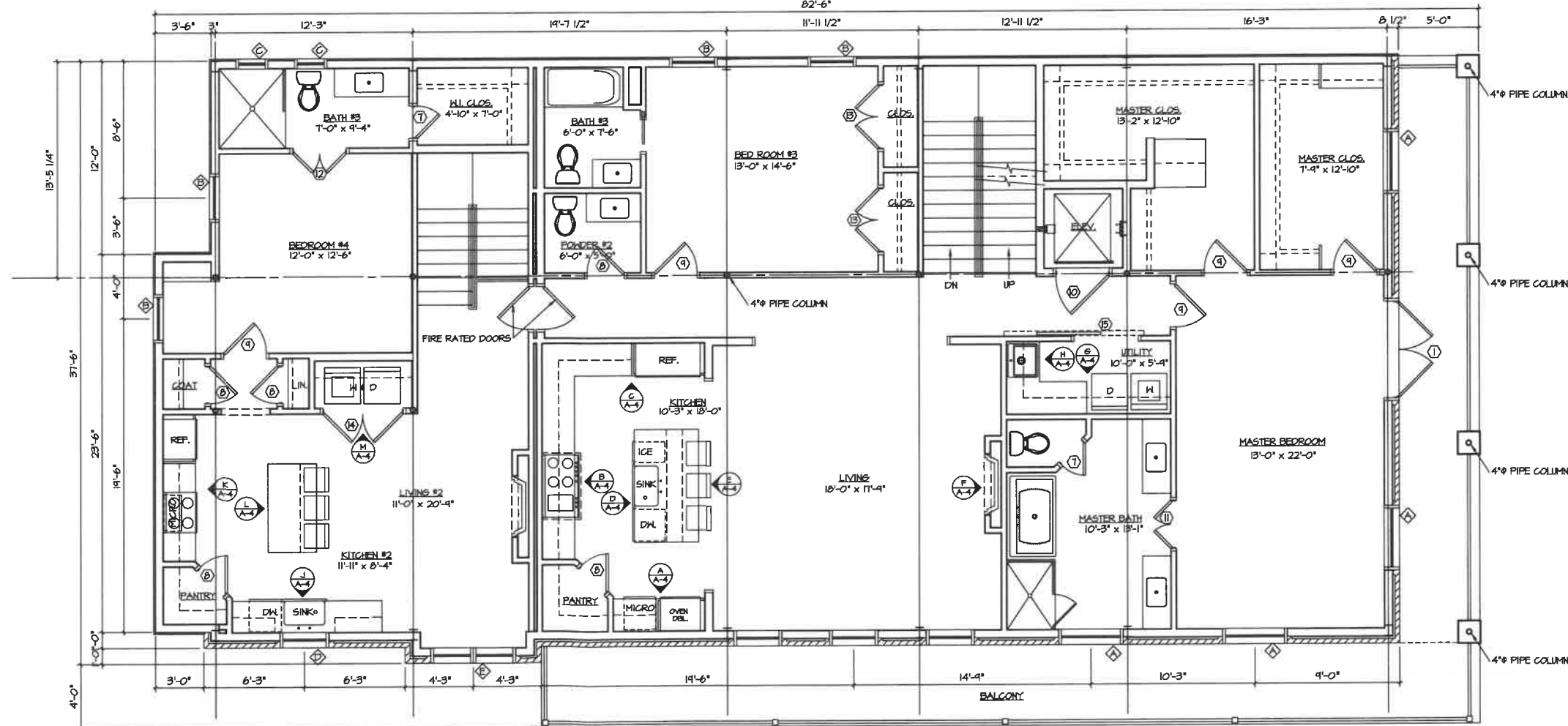
**WINDOW NOTES :**

1. ALL WINDOWS TO BE VINYL, DIVIDED LIGHT UNLESS NOTED OTHERWISE.
2. ALL GLAZING IN NET AREAS SHALL BE TEMPERED.
3. ALL GLAZING IN NET AREAS INSTALLED IN BATHTUB ENCLOSURES LESS THAN 60" FROM THE FLOOR REQUIRE SAFETY GLAZING IN ACCORDANCE WITH SECTION R308.4.5 OF THE IRC 2021 ED.
4. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR AND OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION SEC. R308.4.5 IRC 2021 ED.
5. WINDOWS WITH 1 SQ. FT OF PANE OR LARGER LESS THAN 18 INCHES FROM THE FLOOR, WITH A WALKING SURFACE WITHIN 36 INCHES SHALL BE TEMPERED.



### ROOF FLOOR PLAN

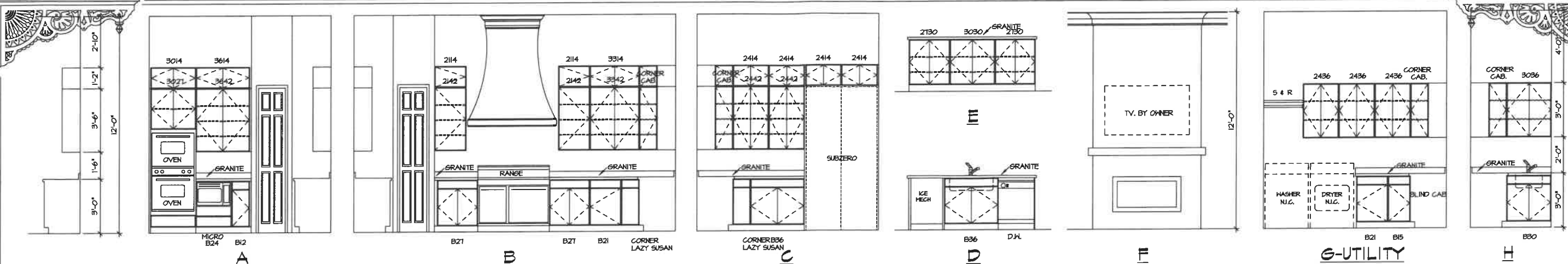
SCALE :  $1/4" = 1'-0"$   
82'-6"



FIRST FLOOR PLAN

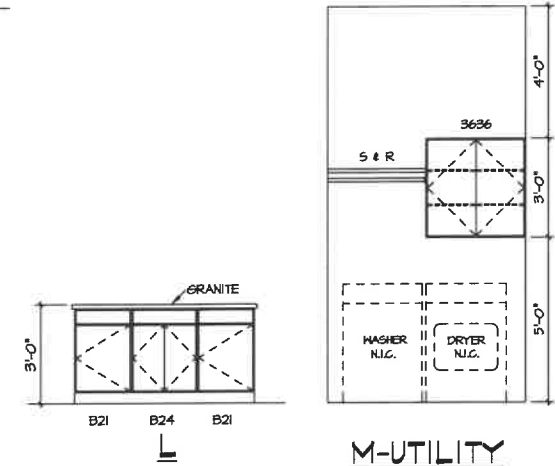
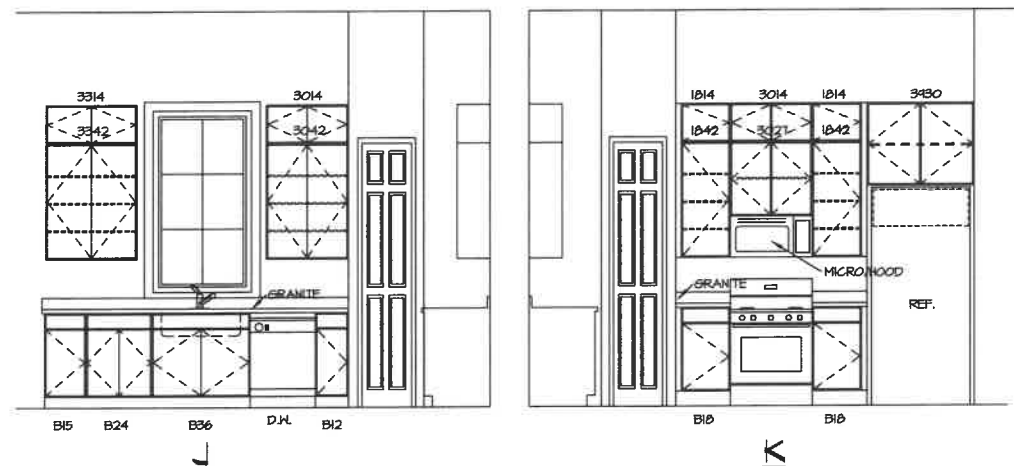
SCALE : 1/4" = 1'-0"

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# CABINET DET. KITCHEN ELEVATIONS

SCALE: 3/8" = 1'-0"



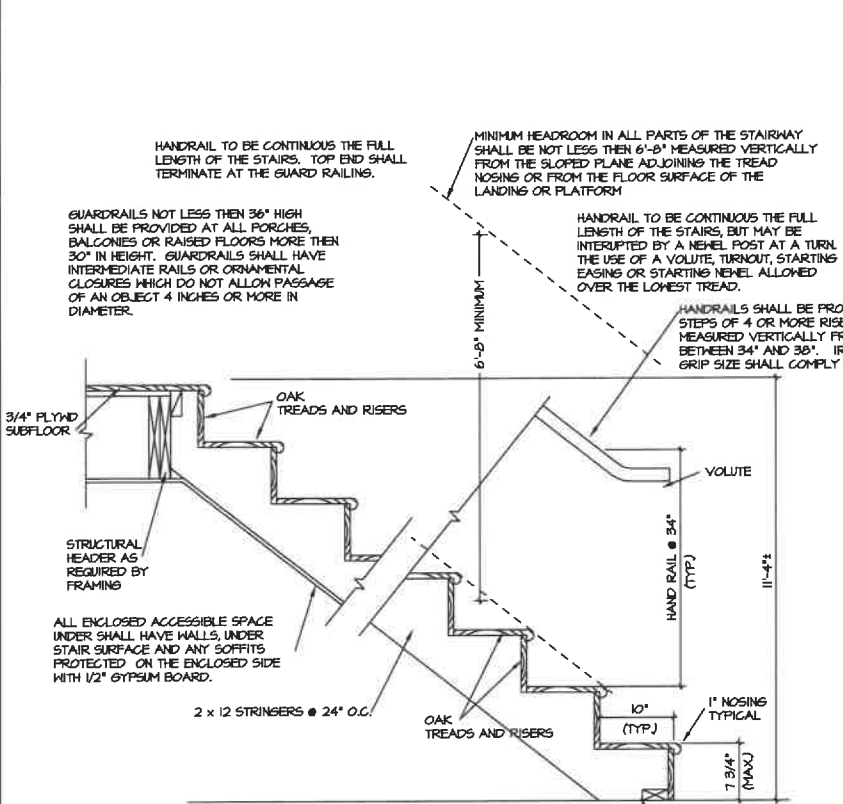
## Finish Schedule-Condo #1

room	floor	base	walls	ceiling	cell. ht.	window trim	remark
GREAT RM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	5/A-5	SEE DET. 2/A-5
STUDY	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	5/A-5	SEE DET. 2/A-5
BEDROOM #2	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	4/A-5	SEE DET. 1/A-5
BATH #2	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
PONDER	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
STAIR	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		SEE DET. 3/A-5
HALL	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		SEE DET. 1/A-5
LIVING	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	5/A-5	SEE DET. 2/A-5
KITCHEN	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		SEE DET. 1/A-5
PANTRY	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		SEE DET. 1/A-5
M. BEDROOM	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	5/A-5	SEE DET. 2/A-5
MST. BATH	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	5/A-5	SEE DET. 1/A-5
M. CLOSETS	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
BEDROOM #3	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	4/A-5	SEE DET. 1/A-5
BATH #3	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	4/A-5	
CLOSETS	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
PONDER #2	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
UTILITY RM	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
BEDROOM #4	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	5/A-5	SEE DET. 1/A-5
LANDING	WOOD	5 1/4" MDF	GYP.BD.	GYP.BD.	8'-0"	5/A-5	SEE DET. 1/A-5
POOL STRGE	COMP. WD		GYP.BD.	GYP.BD.	8'-0"		
POOL TERRC	COMP. WD			VINYL BD.			
PORCH	BRICK			VINYL BD.	12'-0"		
BALCONY	COMP. WD			VINYL BD.	12'-0"		
GARAGE	CONC.			GYP.BD.	13'-6"		

## Finish Schedule-Condo #2

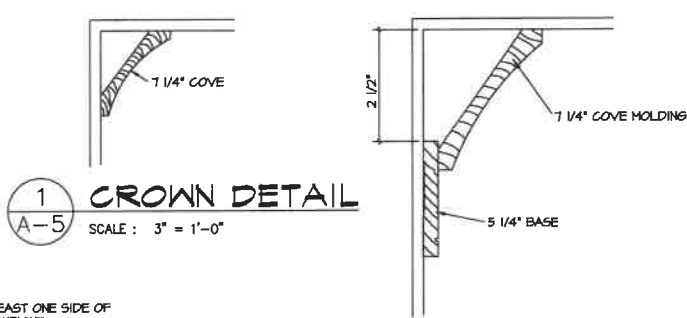
FOYER	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		SEE DET. 1/A-5
LIVING	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	5/A-4	SEE DET. 2/A-5
KITCHEN #2	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	4/A-5	SEE DET. 1/A-5
PANTRY	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		SEE DET. 1/A-5
UTILITY RM	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
BEDROOM #4	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"	4/A-5	SEE DET. 1/A-5
BATH #4	CER. TILE	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
CLOSET	WOOD	1 1/4" MDF	GYP.BD.	GYP.BD.	12'-0"		
PORCH	BRICK			VINYL BD.	12'-0"		
GARAGE	CONC.			GYP.BD.	13'-6"		

- FINISH NOTES:
1. DRYWALL - WALLS AND CEILINGS TO BE TAPED AND FLOATED WITH A "LIGHT ORANGE PEEL" FINISH. WATERPROOF GYP. BD. TO BE USED AT DAMP LOCATIONS AND IN SHOWER AND TUB ENCLOSURES TO CEILING.
  2. PAINT - WALL AND CEILING PAINT TO BE TO BE FLAT LATEX. TRIM PAINT TO BE SEMI-GLOSS LATEX ENAMEL.



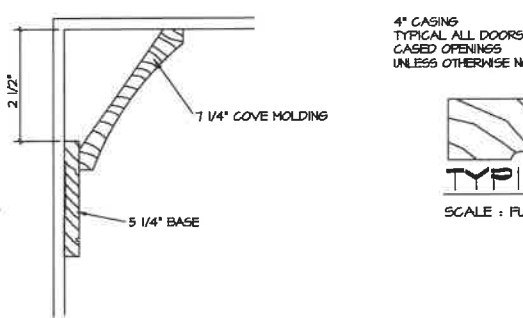
### 3 STAIR DETAIL

SCALE: 3/8" = 1'-0"



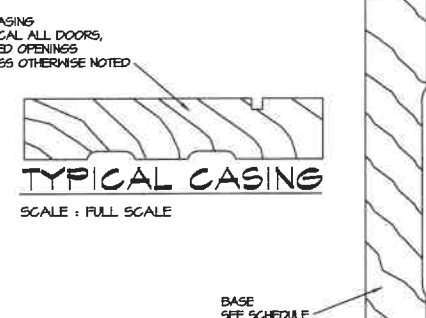
### 1 CROWN DETAIL

SCALE: 3/8" = 1'-0"



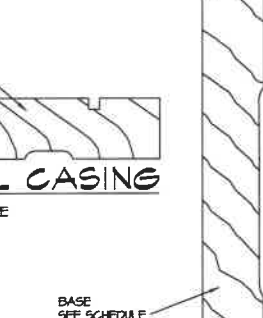
### 2 CROWN DETAIL

SCALE: 3/8" = 1'-0"



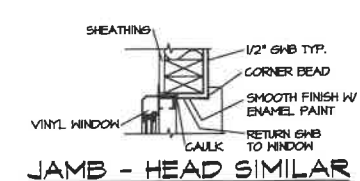
### TYPICAL CASING

SCALE: FULL SCALE

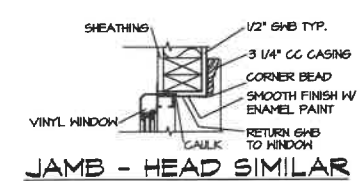


### TYPICAL BASE

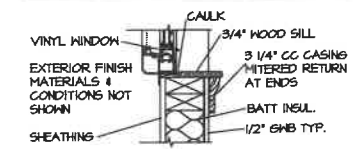
SCALE: FULL SCALE



### JAMB - HEAD SIMILAR

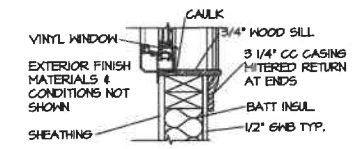


### JAMB - HEAD SIMILAR



### 4 SILL TRIM DET.

SCALE: 1 1/2" = 1'-0"



### 5 SILL TRIM DET.

SCALE: 1 1/2" = 1'-0"

Attention to or deviation from the information shown on this sheet, without advance approval, in writing, from the Architect, may void Old Orleans Designs responsibility.  
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NOTES :

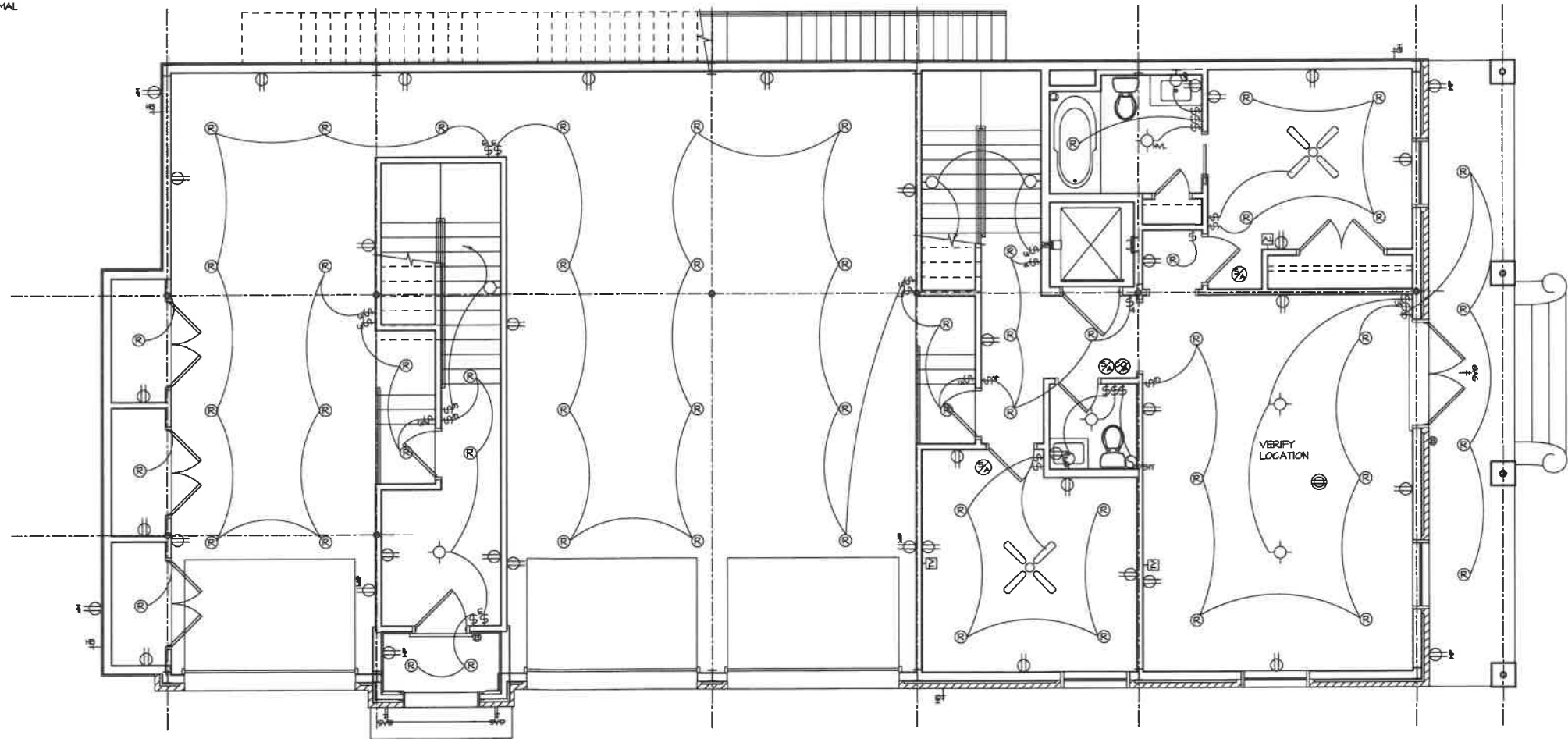
1. ALL ELECTRIC WORK TO BE DONE UNDER NEC 2020.
2. PROVIDE ELECTRICAL AND/OR GAS, AS REQUIRED, FOR HOT WATER HEATERS, POWER VENTS & HVAC IN ATTIC.
3. PROVIDE ELECTRICAL FOR HVAC CONDENSERS, VERIFY LOCATION.
4. ALL SLEEPING AREAS SHALL BE PROVIDED WITH AN APPROVED SMOKE ALARMS WIRED INTO THE BUILDING ELECTRICAL POWER SOURCE AND PROVIDED WITH A BATTERY BACKUP. IRC SECTION R314.
5. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
6. RECESSED FIXTURES - USE IC HOUSINGS IN INSULATED CEILINGS OR KEEP INSULATION A MINIMUM OF 3" FROM THE RECESSED HOUSING.
7. ALL BRANCH CIRCUITS SUPPLYING 125V, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
8. ALL EXTERIOR RECEPTACLES, RECEPTACLES OVER COUNTERTOPS, IN BATHROOMS & IN GARAGES TO BE GFI PROTECTED.
9. ALL OUTLETS TO BE TAMPERPROOF.
10. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE REQUIRED FLOOD ELEVATION. IRC R322.
11. ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, SYSTEMS ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOD ELEVATION PROVIDED THEY CONFORM TO THE PROVISIONS OF THE ELECTRICAL CODE FOR WET LOCATIONS AND THE PROVISIONS OF IRC R322.1.6.

MECHANICAL NOTES :

1. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL DUCT AND DEFUSER LOCATIONS, DRAINS, ETC. WITH ALL OTHER TRADES BEFORE FRAMING IS STARTED.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE MECHANICAL SYSTEM FOR PLACEMENT OF UNITS AND DUCT RUNS, BEFORE INSTALLATION, AND SHALL PROVIDE REQUIRED FURR DOWNS AND CHASES AS PART OF THE CONTRACT.
3. ARTIFICIAL LIGHT AND AN APPROVED MECHANICAL VENTILATION SYSTEM SHALL BE INSTALLED IN BATHROOMS, TOILET COMPARTMENTS AND SIMILAR ROOMS NOT PROVIDED WITH OPERABLE GLAZED AREAS. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THESE SPACES SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
4. NON-HABITABLE ROOMS, SUCH AS WALK-IN CLOSETS AND PANTRY, SHALL RECEIVE VENTILATION FROM THE AIR HANDLING SYSTEM TO MEET THE REQUIREMENTS OF HABITABLE ROOMS.
5. SUPPLY AND RETURN DUCTS OR PORTIONS THEREOF LOCATED OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM OF R-6.

Electrical Legend

	CEILING MOUNTED FIXTURE		DUPLEX OUTLET
	RECESSED FIXTURE		FLOOR OUTLET
	PENDANT FIXTURE		QUADRAPLEX OUTLET
	RECESSED SPOTLIGHT		GROUND FAULT INTERRUPTER
	WALL MOUNTED FIXTURE		DUPLEX W/ USB PORT
	FLOOD LIGHT		WATERPROOF OUTLET
	PAIR - FLOOD LIGHTS		220 VOLT OUTLET
	TRACK LIGHT		SWITCHED OUTLET
	HEATAVENT/LIGHT		SWITCH
	VENT/LIGHT		THREE WAY SWITCH
	CEILING FAN		FOUR WAY SWITCH
	CEILING FAN W/ LIGHT		DIMMER SWITCH
	ROPE LIGHTS		TIMER
	SURFACE FLUORESCENT OR LED		WATERPROOF SWITCH
	RECESSED FLUORESCENT OR LED		TELEPHONE JACK
	UNDERCOUNTER FLUORESCENT OR LED		FLOOR TELEPHONE JACK
	FLUORESCENT OR LED STRIP LIGHT		TELEVISION CABLE
	SMOKE ALARM		CAT 5 COMPUTER CABLE
	CARBON MONOXIDE ALARM		THERMOSTAT
	ELECTRICAL PANEL		JUNCTION BOX
	GAS CONECTION		DOOR BELL
			HOSE BIB



FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"

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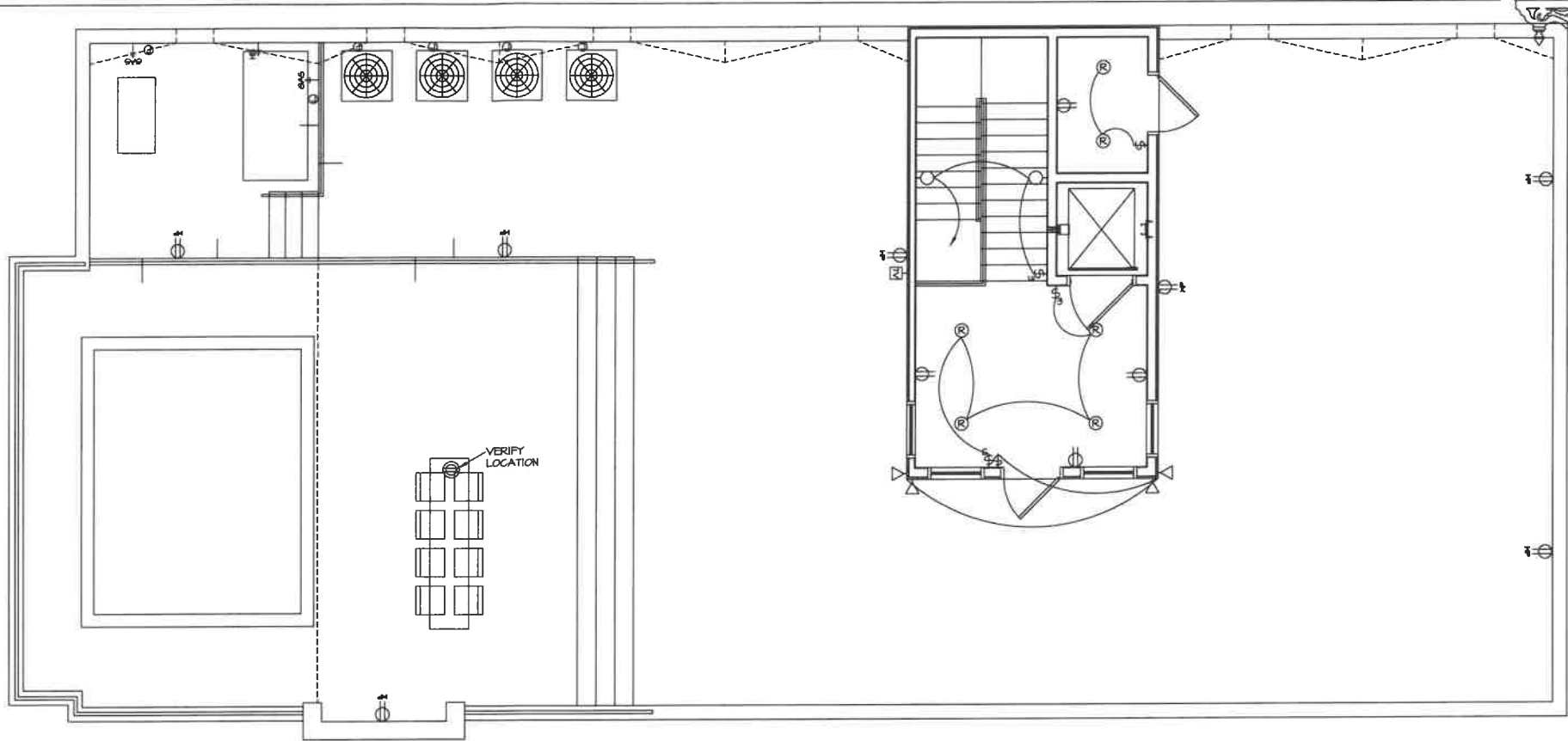


NOTES :

1. ALL ELECTRIC WORK TO BE DONE UNDER NEC 2020.
2. PROVIDE ELECTRICAL AND/OR GAS, AS REQUIRED, FOR HOT WATER HEATERS, POWER VENTS & HVAC IN ATTIC.
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MECHANICAL NOTES :

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2. THE GENERAL CONTRACTOR SHALL REVIEW THE MECHANICAL SYSTEM FOR PLACEMENT OF UNITS AND DUCT RUNS, BEFORE INSTALLATION, AND SHALL PROVIDE REQUIRED FURR DOWNS AND CHASES AS PART OF THE CONTRACT.
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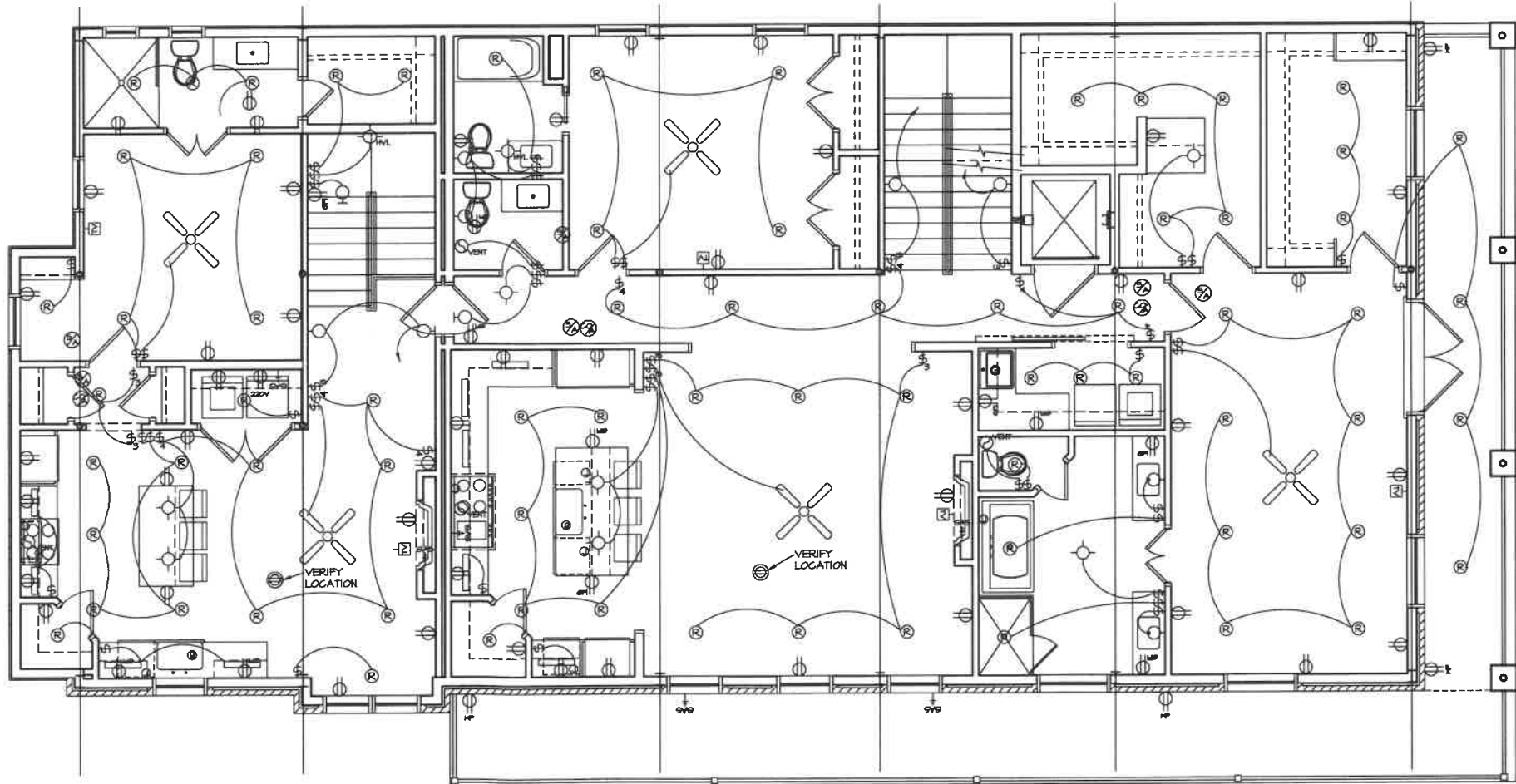


ROOF ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"

Electrical Legend

	CEILING MOUNTED FIXTURE		DUPLEX OUTLET
	RECESSED FIXTURE		FLOOR OUTLET
	PENDANT FIXTURE		QUADRAPLEX OUTLET
	RECESSED SPOTLIGHT		GROUND FAULT INTERRUPTER
	WALL MOUNTED FIXTURE		DUPLEX W/ USB PORT
	FLOOD LIGHT		WATERPROOF OUTLET
	PAIR - FLOOD LIGHTS		220 VOLT OUTLET
	TRACK LIGHT		SWITCHED OUTLET
	HEAT/VENT/LIGHT		SWITCH
	VENT/LIGHT		THREE WAY SWITCH
	CEILING FAN		FOUR WAY SWITCH
	CEILING FAN W/ LIGHT		DIMMER SWITCH
	ROPE LIGHTS		TIMER
	SURFACE FLUORESCENT OR LED		WATERPROOF SWITCH
	RECESSED FLUORESCENT OR LED		TELEPHONE JACK
	UNDERCOUNTER FLUORESCENT OR LED		FLOOR TELEPHONE JACK
	FLUORESCENT OR LED STRIP LIGHT		TELEVISION CABLE
	SMOKE ALARM		CAT 5 COMPUTER CABLE
	CARBON MONOXIDE ALARM		THERMOSTAT
	ELECTRICAL PANEL		JUNCTION BOX
	GAS CONECTION		DOOR BELL
			HOSE BIB



SECOND FLOOR ELECTRICAL PLAN

SCALE : 1/4" = 1'-0"

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0-10-25

Old Orleans Designs

1795 W. Causeway Approach - Suite 200, Mandeville, LA 70471

Waterhouse Residence

629 4th Street, Gretna, LA 70053, Jefferson Parish

A.11



# Historic District Commission

Meeting: September 02, 2025

341-343 Ocean Avenue  
District -1

Front Door

Applicant:  
Aaron Mercadel





8759

**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

☐ **Mechanickham Historic District** -- area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☒ **McDonoghville Historic District** -- area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 341 APD 343 OCEAN AVE

Renovation: ✓ Front Door

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 1890

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun ✓

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: RAISE PANELING WITH FROSTED GLASS

Describe any ornamental woodwork: \_\_\_\_\_


**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's  
Signature:  Date: 8/22/25  
Applicant's  
Name: AARON MERCADER  
Applicant's  
Address: 1737 LAMARCHE  
Phone No: ( ) SAME Cell No: (504) 610-7666

**For Office Use Only:**

Application date: August 25, 2025  
Substantive Change: Yes ☐ No ☒ Inventory Number: 26-02185  
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒  
Historic District Commission meeting date: September 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_





# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

## Mayor

Belinda Cambre Constant

## Councilmembers

Wayne A. Rau

## Councilman-at-Large

Rudy S. Smith

## District One

Michael A. Hinyub

## District Two

Mark K. Miller

## District Three

Randy S. Carr

## District Four

## Departments

### Building

Danika E. Gorrondona

### Citizens Affairs

Rachael Stanley

### City Clerk

Norma J. Cruz

### City Development

Amelia Pellegrin

### Code Enforcement

Angel L. Gonzales

### Finance & Tax

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Information Technology

Michael T. Wesley

### Operations

Eric Stahl

### Parks & Parkways

Amie L. Hebert

### Project Manager

Edwin Batiste

### Public Services

Madason Priore

### Recreation

Kirk Lepine

### Tourism

Summer Cook

I, \_\_\_\_\_ the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on September 2 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Name of Applicant (Please Print)

Applicant's Address

Address under HDC review

Date: \_\_\_\_\_









## Maria Caulking

---

**From:** Nevelyn Goff  
**Sent:** Tuesday, August 19, 2025 2:17 PM  
**To:** CodeEnforcement; BuildingAndInspections; Nevelyn Goff  
**Cc:** Belinda Constant  
**Subject:** 341 ocean STOP WORK

Front doors installed in historic



district.



Historic District Commission  
Applicable to all projects of any magnitude  
Issued on 10/20/10, 10/22/10, 10/23/10

**City of Gretna  
Historic District Commission**

So you got a STOP WORK ORDER? Now what?

**SCOPE & VALUE SHEET**

**STOP WORK ORDER**  
CITY OF GRETN CODE OF ORDINANCE 10-38  
APPLY ONLINE AT [MTCGOVERNMENTONLINE.ORG](http://MTCGOVERNMENTONLINE.ORG)

ADDRESS: 341 P. 20th WORK PERFORMED:

☒ RESIDENTIAL ☐ BUILDING  
☐ INTERIOR  
☐ EXTERIOR DOORS  
☐ SIDING  
☐ CARPORT  
☐ ELECTRICAL  
☐ HVAC  
☐ PLUMBING  
☐ FENCING  
☐ WINDOWS  
☐ CONCRETE  
☐ SIGNAGE

PLEASE CONTACT BUILDING OFFICE WITHIN THREE BUSINESS DAYS TO COMPLY WITH THIS ORDER  
504-363-1563

PLEASE CONTACT THE BUILDING DEPARTMENT  
EXTRAOR CHARGES IN HISTORIC DISTRICTS  
REQUIRE HDAC APPROVAL PRIOR TO WORK

BUILDING DEPARTMENT  
504-363-1563

THANKS!

☒ POSTED ON STRUCTURE  
DATE: 8/19/25

☐ GIVEN IN PERSON TO:  
INSPECTOR: NG

Sent from my iPad

Communications to and from this email address are subject to the provisions of the State of Louisiana Public Records Act.





# Historic District Commission

Meeting: August 04, 2025

1614 Hancock Street  
District -1

Shed  
Stop Work Order

Applicant:  
Aaron Mercadel



8691

**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☐ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*



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**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

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The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 1614 Hancock

Renovation: Shed

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: N/A

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof \_\_\_\_\_ Soffit \_\_\_\_\_

Fascia \_\_\_\_\_ Siding \_\_\_\_\_

Masonry \_\_\_\_\_ Porches \_\_\_\_\_

Balconies \_\_\_\_\_ Handrails \_\_\_\_\_

Type of exterior lighting fixtures: \_\_\_\_\_

Style of windows: \_\_\_\_\_

Type of exterior doors: \_\_\_\_\_

Describe any ornamental woodwork: \_\_\_\_\_

**Elevations:**

Front Space: \_\_\_\_\_ ft. Side Space: \_\_\_\_\_ ft.

Rear Space: \_\_\_\_\_ ft.



Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: [Signature] Date: 7-25-25  
Applicant's Name: Aaron Mercadel  
Applicant's Address: 1737 Lamanchie  
Phone No: (504) 610-7666 Cell No: ( )

**For Office Use Only:**

Application date: 7-25-25  
Substantive Change: Yes ☐ No ☒ Inventory Number: N/A  
Contributing Element to Gretna National Register Historic District: Yes ☐ No ☒  
Historic District Commission meeting date: August 4, 2025

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



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Madason Priore

### Finance & Tax

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Information Technology

Michael T. Wesley

### Operations

Eric Stahl

### Parks & Parkways

Amie L. Hebert

### Public Utilities

Ron Johnson

I, Aaron Mercadel the undersigned,  
have been informed of the Historic District Commission (HDC) meeting where my  
application for historic district appropriateness will be reviewed on  
08/04/25 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers  
at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

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Zoning and/or Building departments because while a project may be historically  
appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

Aaron Mercadel

Name of Applicant (Please Print)

1528 Westminister Blvd

Applicant's Address

1614 Hancock

Address under HDC review

Date:

07/25/25

Phone: (504)363-1505 - [www.gretnala.com](http://www.gretnala.com) - Fax: (504)363-1509







Image capture: Nov 2024 © 2025 Google









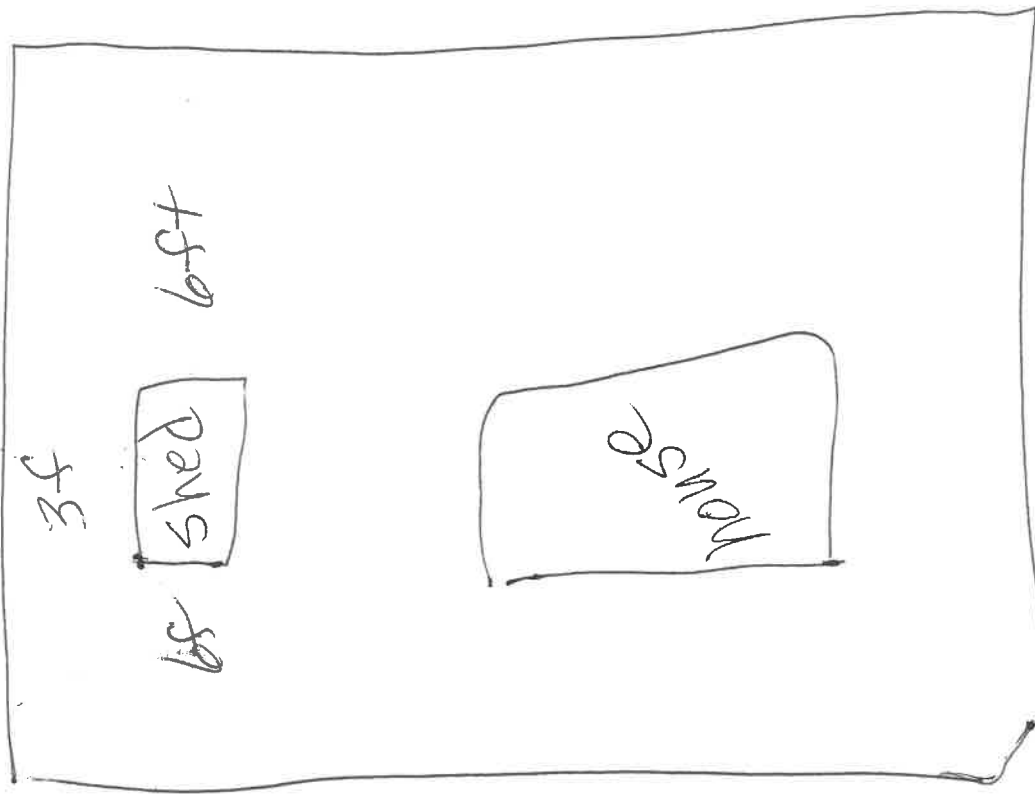




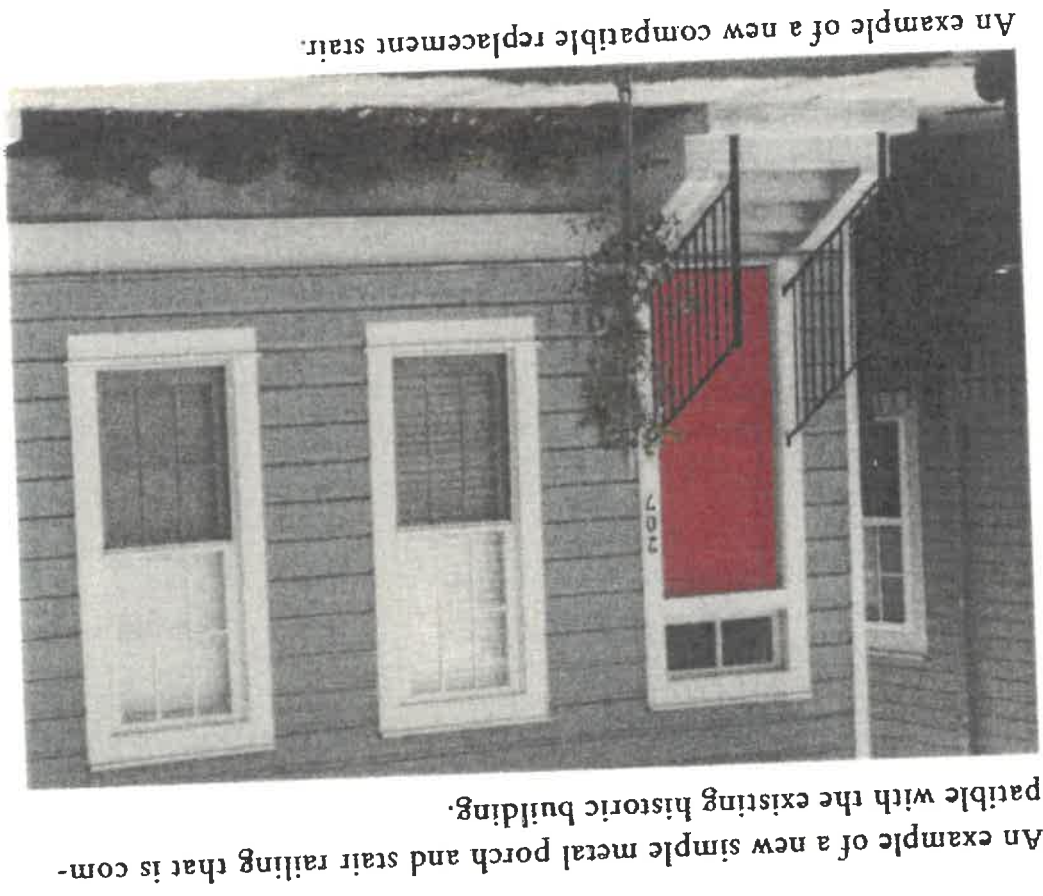








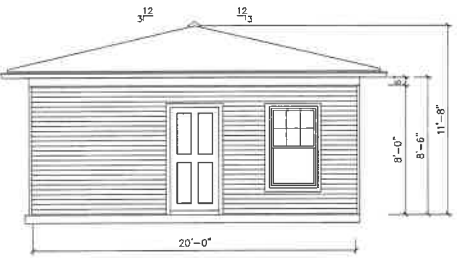




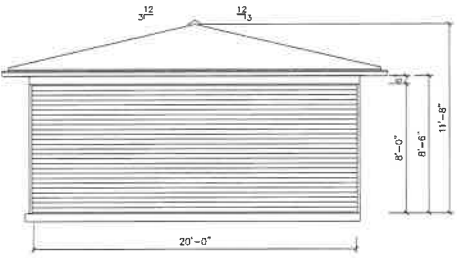
An example of a new simple metal porch and stair railing that is compatible with the existing historic building.

An example of a new compatible replacement stair.

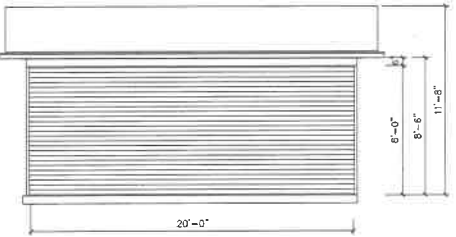
To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE FIRM GROUP & ASSOCIATED, LLC is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



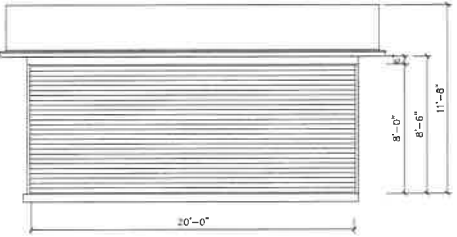
01 FRONT ELEVATION  
A102 SCALE: 1/4" = 1'-0"



03 REAR ELEVATION  
A102 SCALE: 1/4" = 1'-0"



02 RIGHT ELEVATION  
A102 SCALE: 1/4" = 1'-0"



04 LEFT ELEVATION  
A102 SCALE: 1/4" = 1'-0"

THIS DOCUMENT HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION TO THE BEST OF MY KNOWLEDGE, REQUIREMENTS OF THE APPLICABLE BUILDING CODES HAVE BEEN MET. I WILL NOT PERFORM PERIODIC OBSERVATIONS DURING THE COURSE OF THE CONSTRUCTION WHICH IS DESCRIBED BY THIS DRAWINGS.

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FIELD VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION

**THOMAS M. SMITH P.E.**  
CONSULTING ENGINEER  
6516 BOUTALL ST. TEL (504) 887-3882  
METAIRIE, LA. 70003 CELL (504) 247-6294

NO.	BY	DATE	REVISION	APPRO	DATE

THE FORUM GROUP & ASSOC, LLC  
ARCHITECTURAL DESIGNERS AND PLANNERS

REV.	DATE	DESCRIPTION	BY

OWNER:  
1415 HANCOCK DR  
GRETN, LA 70053

ARCHITECTURAL DESIGNER:  
ALEXANDER PROCTOR, JR.  
1128 JACKSON AVE  
NEW ORLEANS, LA 70130  
504.270.9292

1328 JACKSON AVE  
NEW ORLEANS, LA  
70130

SEAL:

TITLE: EXTERIOR ELEVATIONS

2025-01  
01.16.25  
DATE  
A.P.  
T.S.  
2025-01

A102

2023A102.DWG

errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

## Drawing index

	Architectural
cvr	code information
t1	code information
a101	1st floor plan
a102	exterior elevations
	Electrical
e1	electrical plan

design criteria - international residential building code (irc) 2021 edition  
design wind speed = 130 mph exposure category 'b'  
(framing and fasteners shall comply with american forest and paper association [af & p] wood frame construction manual for one and two family dwellings [wfc])  
general framing notes

- [illegible]

-RESIDENCE IS DESIGNED TO WITHSTAND 130 M.P.H. WINDS IN ACCORDANCE  
W/ THE MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES.  
(ASCE-7), AS PER SECTION R301.2.1.4, IRC 2021 ed.

-IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2021  
 2006.2.3 BUILDING SHALL BE ANCHORED AGAINST OVERTURNING MOMENT

-IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2021  
1609.1.3 BUILDING SHALL BE ANCHORED AGAINST OVERTURNING, UPLIFT  
& SLIDING. STRUCTURAL MEMBERS & SYSTEMS & COMPONENTS &

CLADDING IN BUILDING SHALL BE ANCHORED TO RESIST WIND-INDUCED OVERTURNING, UPLIFTING & SLIDING AND TO PROVIDE A CONTINUOUS LOAD PATHS FOR THESE FORCES TO THE FOUNDATION.

-WINDOWS SHALL COMPLY WITH 2021 INTERNATIONAL BUILDING CODE  
1609.1.4 WINDOWS SHALL BE TESTED FOR 130 MPH WIND SPEED  
OR WINDOWS SHALL HAVE GLAZED OPENING PROTECTED  
FROM WINDBORNE DEBRIS. EXCEPTION: 1/2" PLYWOOD PANELS SHALL  
BE PROVIDED FOR ALL WNDW OPENINGS W/ ATTACHMENT HARDWARE.

1. All construction conform to
  - (a) International Building Code 2021
  - (b) International Residential Code 2021
  - (c) ASCE 7-2010
2. Live load
  - (a) Roof 20 PSF
  - (b) Living Arch 40 PSF
3. WIND SPEED 145 (3 SECOND GUST)

I HAVE RESEARCHED THESE CODES AND CHAPTERS, AND THE LOUISIANA UNIFORM CONSTRUCTION CODE AND THE BEST OF MY KNOWLEDGE AN BELIEF. THESE DRAWINGS ARE IN COMPLIANCE THERWITH, I TAKE FULL RESPONSIBILITY FOR THE CONTENT OF THESE PLANS.

SINGLE DWELLING RESIDENCE  
ZONING: HU-RD1

LOT SIZE: 25'-0" LOT WIDTH X 110'-0" LOT  
AREA DEPTH = 1526.597 TOTAL SF  
BUILDING SF: FIRST FLOOR=400.00 SF;

BUILDING HEIGHT FROM GRADE = 20'-1"  
ADD FILL SO THAT ADJACENT GRADE IS MIN.  
3'-0" BELOW REQUIRED FINISH FLOOR ELEVATION  
SCOPE TO DRAIN STREET

Name	Level	Area	Area Type
1st floor plan	First Floor	400 SF	Gross Building Area interior
Total under roof		400 SF	Gross Building Area interior

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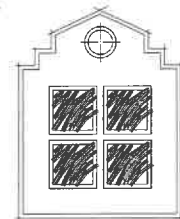
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FIELD VERIFY ALL  
DIMENSIONS BEFORE  
STARTING CONSTRUCTION

THOMAS M. SMITH P.E.  
CONSULTING ENGINEER

6516 BOUTALL ST. TEL (504) 887-3862  
METAIRIE, LA. 70003 CELL (504) 247-6294

CE						
OF						
CD						
	NO.	BY	DATE	REVISION	APPD	DATE



THE FORUM GROUP & ASSOC. LLC

ARCHITECTURAL DESIGNERS AND PLANNERS

[illegible]

**OWNER:**  
1415 HANCOCK DR.  
GREINA, LA 70053

**ARCHITECTURAL DESIGNER:**  
ALEXANDER PRESTON, III  
1328 JACKSON AVE #E  
NEW ORLEANS, LA 70130  
504.270.9292

1328 JACKSON AVE  
NEW ORLEANS, LA  
70130

SEAL:

INDEX, LOCATION  
SITE PLAN  
SYMBOLS, LEGEND

2025-01  
CHANGING

DATE: 01.16

A.P.

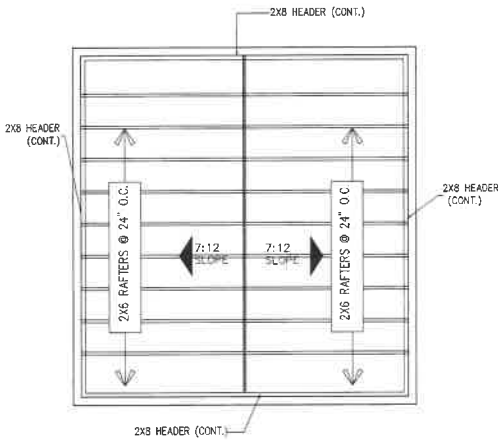
I.S.

TL1

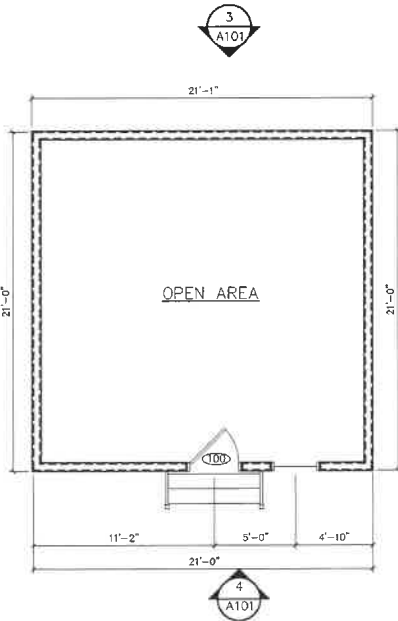
**CONCLUSIONS**



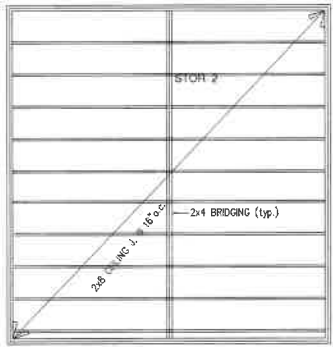
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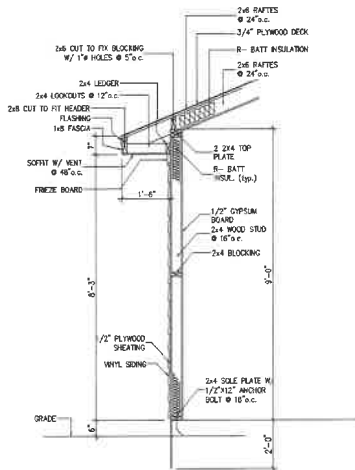
02 ROOF FRAMING PLAN  
A101 SCALE: 1/4" = 1'-0"



01 FIRST FLOOR PLAN  
A101 SCALE: 1/4" = 1'-0"



03 CEILING PLAN  
A101 SCALE: 1/4" = 1'-0"



04 WALL SECTION  
A101 SCALE: 1/4" = 1'-0"

Window Schedule					
Type Mark	Width	Height	Head Height	Count	Type Comments
A	3'	5'	8'-0"	1	double hung

Door Schedule				
Mark	Width	Height	Head Height	Comments
102	3'-0"	6'-8"	8'-0"	Double Door; Exterior

Name	Level	Area	Area Type
1st floor plan	First Floor	400 SF	Gross Building Area interior
Total under roof		400 SF	Gross Building Area interior

- CODE COMPLIANCE
- All construction conform to
    - International Building Code 2021
    - International Residential Code 2021
    - ASCE 7-2010
  - Live load
    - Roof 20 PSF
    - Living Arch 40 PSF
  - WIND SPEED 145 (3 SECOND GUST)

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6516 BOUTALL ST. TEL (504) 887-3882  
METAIRIE, LA. 70003 CELL (504) 247-6294

NO	BY	DATE	REVISION	APPO	DATE



THE FORUM GROUP & ASSOC, LLC  
ARCHITECTURAL DESIGNERS AND PLANNERS

REV	DATE	DESCRIPTION	BY

OWNER:  
1416 HANCOCK DR.  
GREINA, LA 70053

ARCHITECTURAL DESIGNER:  
THOMAS M. SMITH  
1328 JACKSON AVE. #100  
NEW ORLEANS, LA 70130  
504.270.9292

SEAL:

TITLE:  
FIRST FLOOR PLN

2025-01  
01.16.25  
A.P.  
T.S.  
2023A101.DWG

A101



# Historic District Commission

Meeting: September 02, 2025

626 Newton Street  
District -2

Back Porch

Applicant:  
Burney Courtney



8767

**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

For the purpose of the Historic Preservation District applications and permits, the following shall apply:

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 624-626 NEWTON ST.

Renovation: ✓

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 1920's

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun ✓

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival ✓

Other ✓

**Exterior materials proposed:**

Roof Shingles

Soffit wood

Fascia wood

Siding wood

Masonry N/A

Porches wood

Balconies N/A

Handrails wood

Type of exterior lighting fixtures: porch lights front

Style of windows: \_\_\_\_\_

Type of exterior doors: wood with glass panels

Describe any ornamental woodwork: corbels at pediments

**Elevations:**

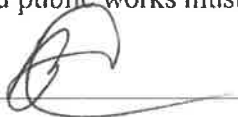
Front Space: 30 ft. Side Space: 30<sup>70</sup> ft.

Rear Space: 30 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's

Signature: 

Date: 8/25/2025

Applicant's

Name: Bunnell Courtney

Applicant's

Address: 626 Newton St Gretna

Phone No: (510) 786 7313

Cell No: ( )

**For Office Use Only:**

Application date: August 26, 2025

Substantive Change: Yes ☐

No ☒

Inventory Number: 341

Contributing Element to Gretna National Register Historic District: Yes ☐

No ☒

Historic District Commission meeting date: September 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2<sup>nd</sup> floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

## Mayor

Belinda Cambre Constant

## Councilmembers

Wayne A. Rau

## Councilman-at-Large

Rudy S. Smith

District One

Michael A. Hinyub

District Two

Mark K. Miller

District Three

Jackie J. Berthelot

District Four

## Departments

### Building

Danika E. Gorrondona

### Citizens' Affairs

Rachael Stanley

### City Clerk

Norma J. Cruz

### City Development

Amelia Pellegrin

### Code Enforcement

Angel L. Gonzales

### Environmental Affairs

Madason Priore

### Finance & Tax

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Information Technology

Michael T. Wesley

### Operations

Eric Stahl

### Parks & Parkways

Amie L. Hebert


### Public Utilities

Ron Johnson

I, Burney Courtney the undersigned,  
have been informed of the Historic District Commission (HDC) meeting where my  
application for historic district appropriateness will be reviewed on  
September 2, 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers  
at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate  
of Appropriateness are NOT permission to commence any work. A representative  
for the applied property is expected to attend the meeting. If unable to attend, review  
may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness  
issued by the Historic District Commission does not guarantee approval of the  
Zoning and/or Building departments because while a project may be historically  
appropriate, it may not meet current Building and Zoning Code requirements.

  
Signature of Applicant

Burney Courtney  
Name of Applicant (Please Print)

626 Newton St Gretna, LA  
Applicant's Address

SAME  
Address under HDC review

Date: 8/26/2025

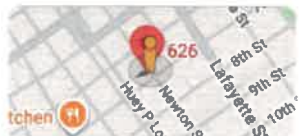


Google Maps

624 Newton St



Image capture: Nov 2024 © 2025 Google





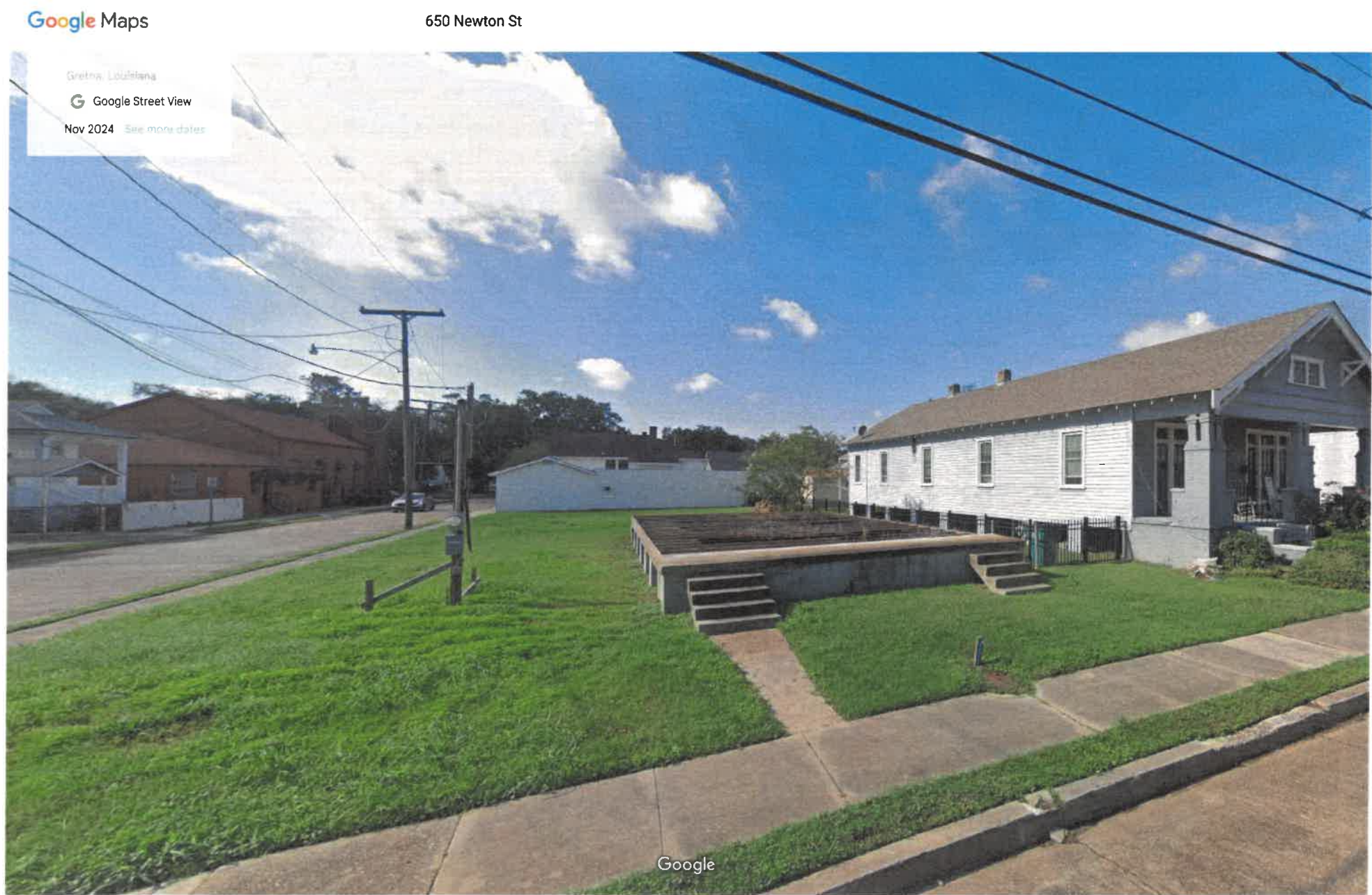
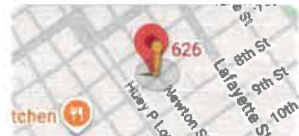


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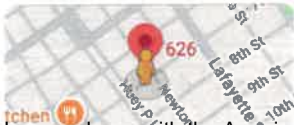


Google Maps

714 7th St



Image capture: Nov 2024 © 2025 Google





# NEWTON STREET RENOVATION

## Sheet List

Sheet Number      Sheet Name

00 GENERAL  
G001  
G002

TITLE SHEET  
PROJECT INFO

### 01 ARCHITECTURE

A001 SITE PLAN  
A002 DEMO PLANS  
A100 FLOOR PLANS  
A104 REFLECTED CEILING PLANS  
A106 UTILITY & MECHANICAL PLAN  
A200 BUILDING ELEVATIONS & DETAILS  
A400 ENLARGED DRAWINGS  
A600 SCHEDULES  
S101 STRUCTURAL DRAWINGS  
S102 STRUCTURAL DRAWINGS

### GENERAL NOTES

1. CONTRACTOR SHALL COMPLY WITH LOCAL BUILDING CODES.
2. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL BUILDING PERMITS FOR CONSTRUCTION AND CERTIFICATE OF OCCUPANCY
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
4. GROUND ELEVATION OF 0'-0" TO BE SET AT HIGHEST TOP OF CURB ELEVATION PER BENCHMARK CERTIFICATE
5. DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE
6. CONTRACTOR SHALL SUPPLY THEIR OWN TRASH DUMPSTER.
7. CONTRACTOR TO BE RESPONSIBLE FOR APPLICATION AND FEE PAYMENT FOR ALL BUILDING PERMITS TO PROVIDE A FULL AND COMPLETE INSTALLATION AS DEPICTED IN THESE DOCUMENTS INCLUDING ALL CITY/PARISH BUILDING PERMITS.
8. CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TRASH, RUBBISH, AND DEBRIS DAILY. DISPOSE OF ALL WASTE MATERIALS IN A LEGAL MANNER. CONTRACTOR SHALL PROVIDE THEIR OWN CLEANING EQUIPMENT.
9. ALL DOORS TO BE PLACED IN WALL 3" FROM FACE OF ADJACENT FINISHED WALL TO HINGE SIDE OF DOOR OPENING UNLESS NOTED OTHERWISE.
10. ALL DRAWINGS ARE CONSIDERED TO BE COMPLEMENTARY. ITEMS SHOWN IN ONE LOCATION IN THE DRAWINGS SHALL BE CONSIDERED PART OF THE WORK. IN THE EVENT OF INCONSISTENCIES BETWEEN THE DRAWINGS PROVIDED BY THE VARIOUS INVOLVED DISCIPLINES, THE CONTRACTOR SHALL SEEK CLARIFICATIONS OR INTERPRETATION FROM THE ARCHITECT. WHERE INCONSISTENCIES ARE NOT CLARIFIED, THE CONTRACTOR SHALL PROVIDE THE GREATER QUALITY OF WORK AS DETERMINED BY THE ARCHITECT.
11. CAULK ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT AND THE INTERSECTION IS EXPOSED TO VIEW UNLESS NOTED OTHERWISE.
12. PROVIDE FIRE-RATED ENCLOSURES AROUND ALL OUTLETS, BOXES, PIPING DUCTWORK, ETC. THAT ARE RECESS IN FIRE-RATED WALLS.
13. INSTALL ALL WALL-MOUNTED ACCESSORIES TO MANUFACTURER'S SUGGESTED HEIGHT UNLESS OTHERWISE NOTED.
14. CONTRACTOR TO VERIFY THE RATING OF DEMISING WALLS ON BOTH SIDES OF WALL PRIOR TO PROJECT COMPLETION. CONTRACTOR TO FAMILIARIZE THEMSELVES WITH THE FIRE RATING PARTITION REQUIREMENTS AND NOTIFY THE OWNER OF ANY DISCREPANCIES/VOIDS IN THE CONTINUITY.
15. PROVIDE ADEQUATE BLOCKING FOR ALL WALL MOUNTED CASEWORK, FIXTURES AND EQUIPMENT.
16. COORDINATE UTILITY PENETRATIONS THROUGH CONCRETE WALLS AND FLOORS PRIOR TO POUR
17. ALL NON-FIRE RATED DOORS TO BE UNDERCUT TO ALLOW FOR RETURN AIR
18. GLAZING WITHIN 2'-0" OF DOOR SWING AND LESS THAN 5'-0" ABOVE THE FLOOR OR WALKING SURFACE REQUIRES SAFETY GLAZING, PER SECTION R 308.4.2 IRC 2012 EDITION
19. MECHANICAL, ELECTRICAL AND PLUMBING WORK TO BE PERFORMED BY SOMEONE LICENSED IN LOUISIANA AND ORLEANS PARISH
20. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES
21. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING BUILDING CONSTRUCTION
22. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED IN DOCUMENTS OR NOT AND PROTECT THEM FROM DAMAGE.
23. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COMPLETION OF ALL WORK SHOWN OR IMPLIED BY THESE DOCUMENTS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
24. LOCATION OF PROPOSED STRUCTURE AND PROPERTY LINE TO BE CONFIRMED BY SURVEY OR PRIOR TO CONSTRUCTION.
25. SLOPE GRADE 5% TO DRAIN AWAY FROM BUILDING
26. ALL EXTERIOR EXPOSED CONCRETE SHALL RECEIVE 2 COATS OF XYPEX COATING TO MEET REQUIREMENTS FOR WATERPROOFING AND GRAFFITI RESISTANCE
27. CONTRACTOR SHALL PROTECT EXPOSED CONCRETE WALLS FROM VANDALISM PRIOR TO APPLICATION OF XYPEX COATING
28. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INSTALLATION OF ALL PRODUCTS, INCLUDING APPLIANCES, PER THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. CONTRACTOR TO NOTIFY ARCHITECT OF ANY INSTANCE OF ANY CONFLICT OR NON-COMPLIANCE OF ARCHITECTURAL DESIGN WITH MANUFACTURERS SPECIFICATIONS, GUIDELINES, AND/OR INSTALLATION.
29. CONTRACTOR TO CONFIRM ALL FINISH MATERIAL SELECTIONS WITH OWNER PRIOR TO PURCHASING.
30. ALL GYPSUM BOARD TO BE A MINIMUM LEVEL 4 SMOOTH FINISH.



# PERMIT DOCUMENTS

08/19/2025

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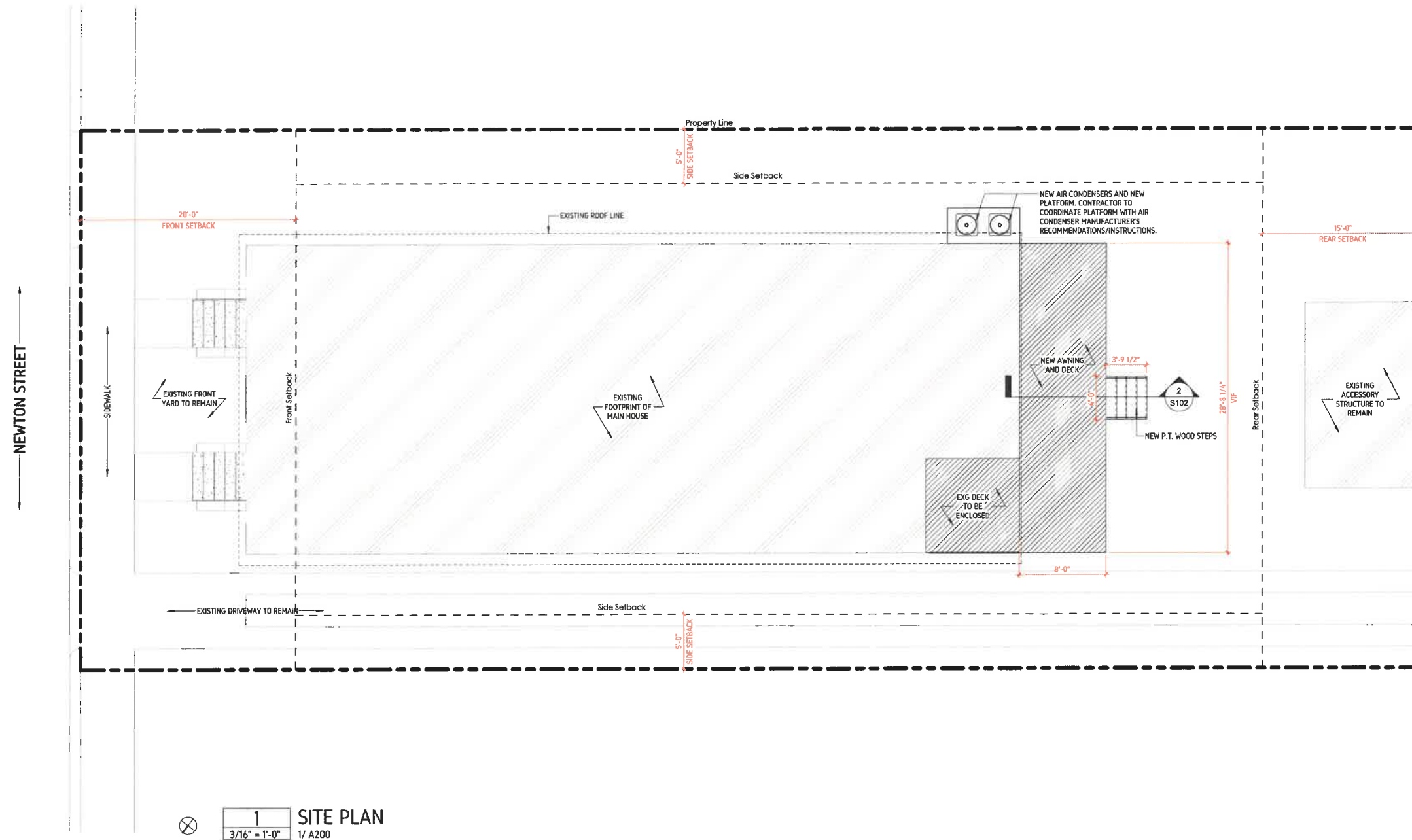
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626 Newton Street

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G001

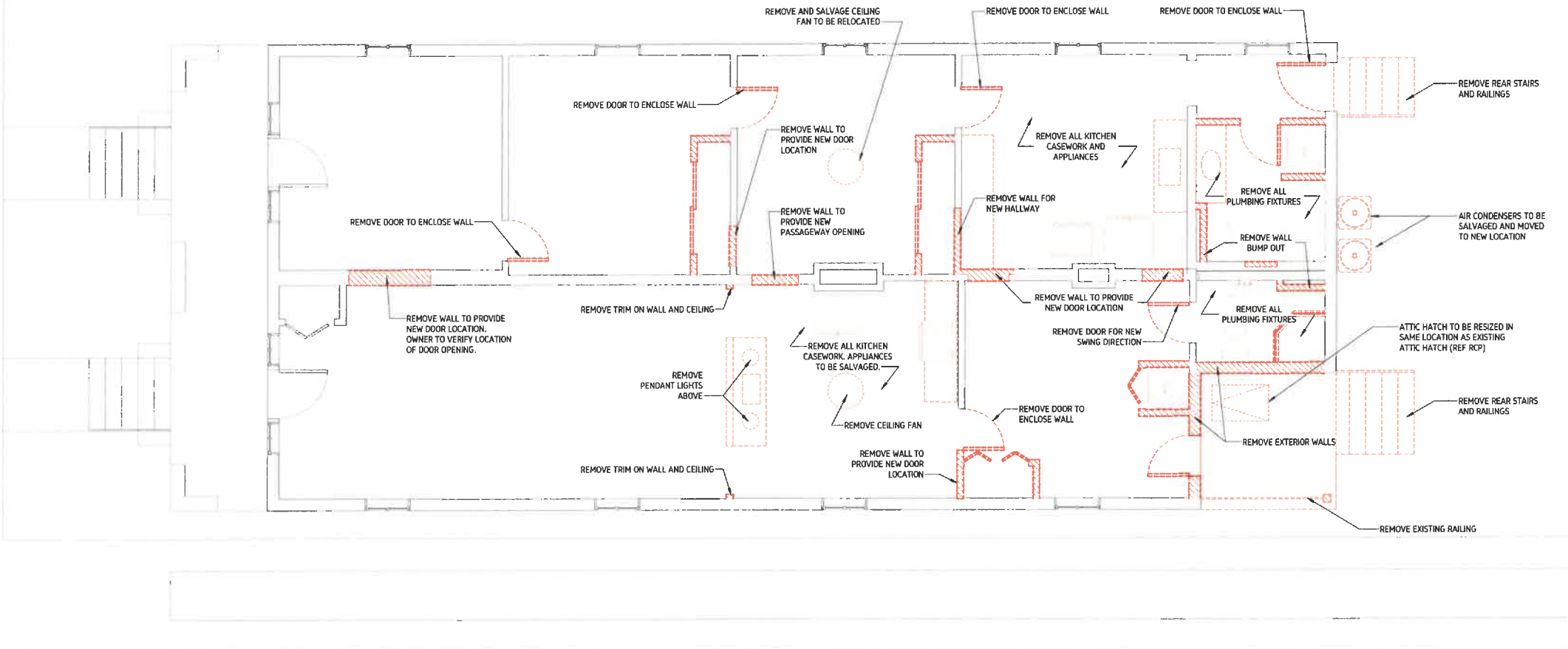
TITLE SHEET





WALL LEGEND - DEMOLITION PLAN

-  EXISTING TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN



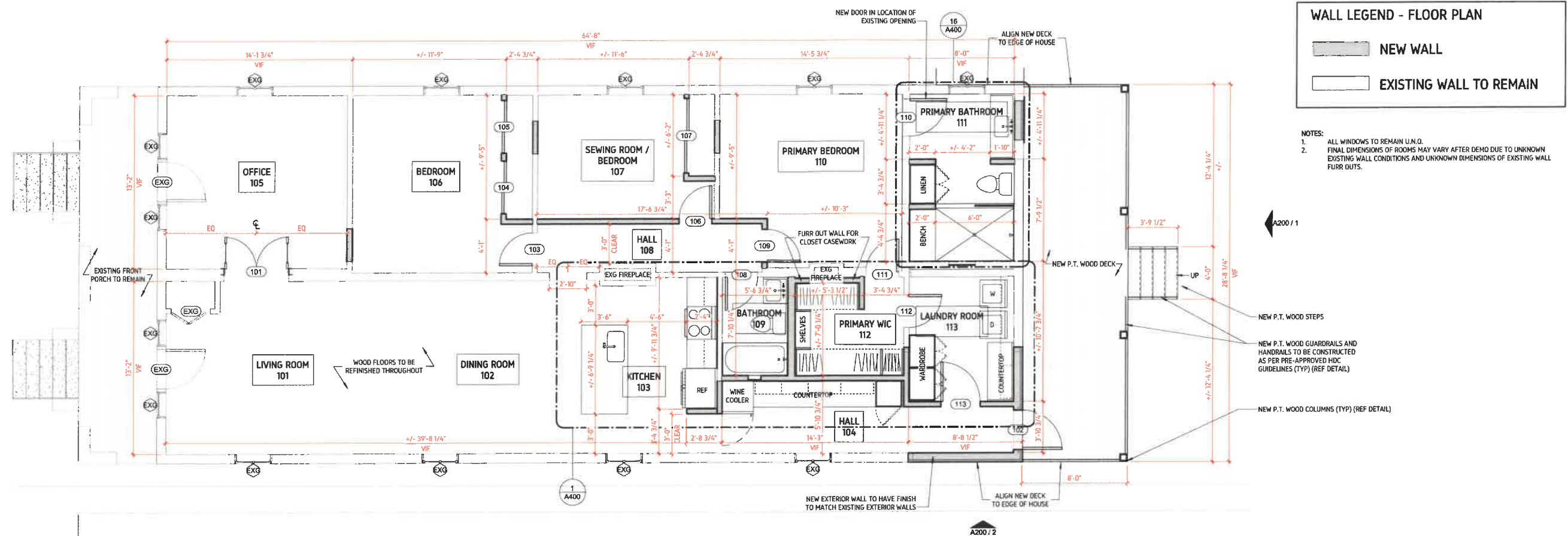
1 DEMO PLAN  
1/4" = 1'-0"  
1/ A200

NOTES:  
1. ALL DOORS AND DOOR FRAMES NOTED TO BE REMOVED ARE TO BE SALVAGED AND REUSED IN NEW LOCATIONS, UNLESS NOTED OTHERWISE BY OWNER.

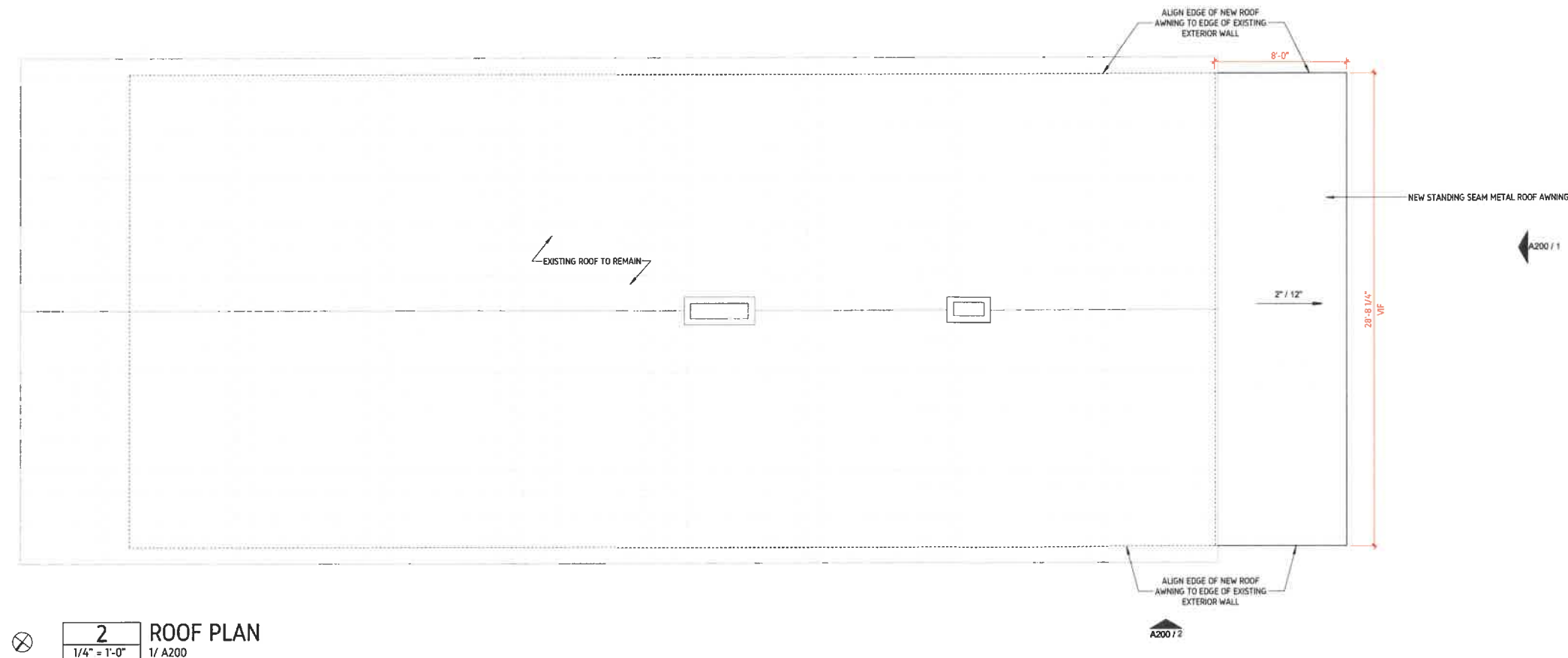
A002  
DEMO PLANS



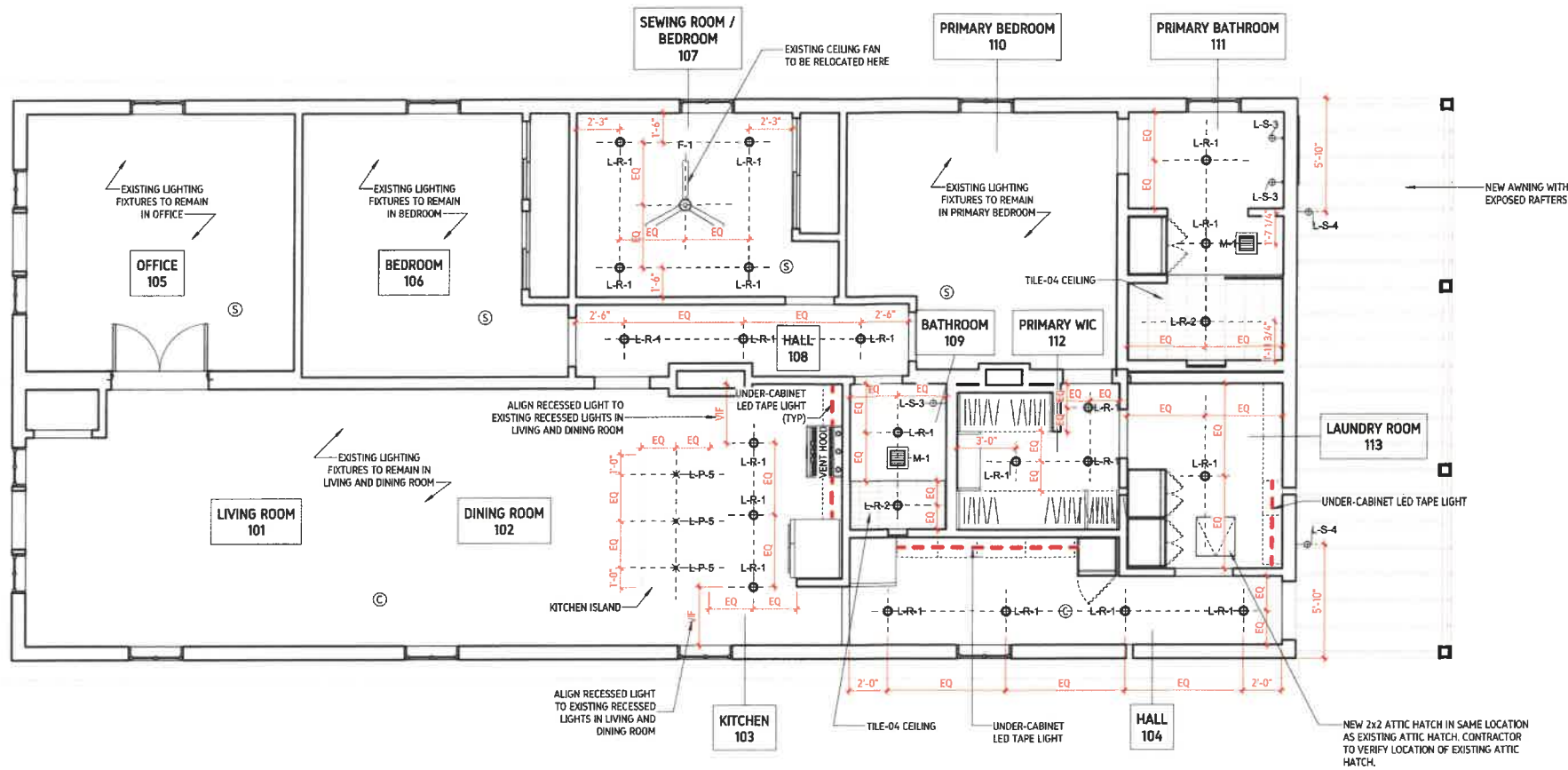
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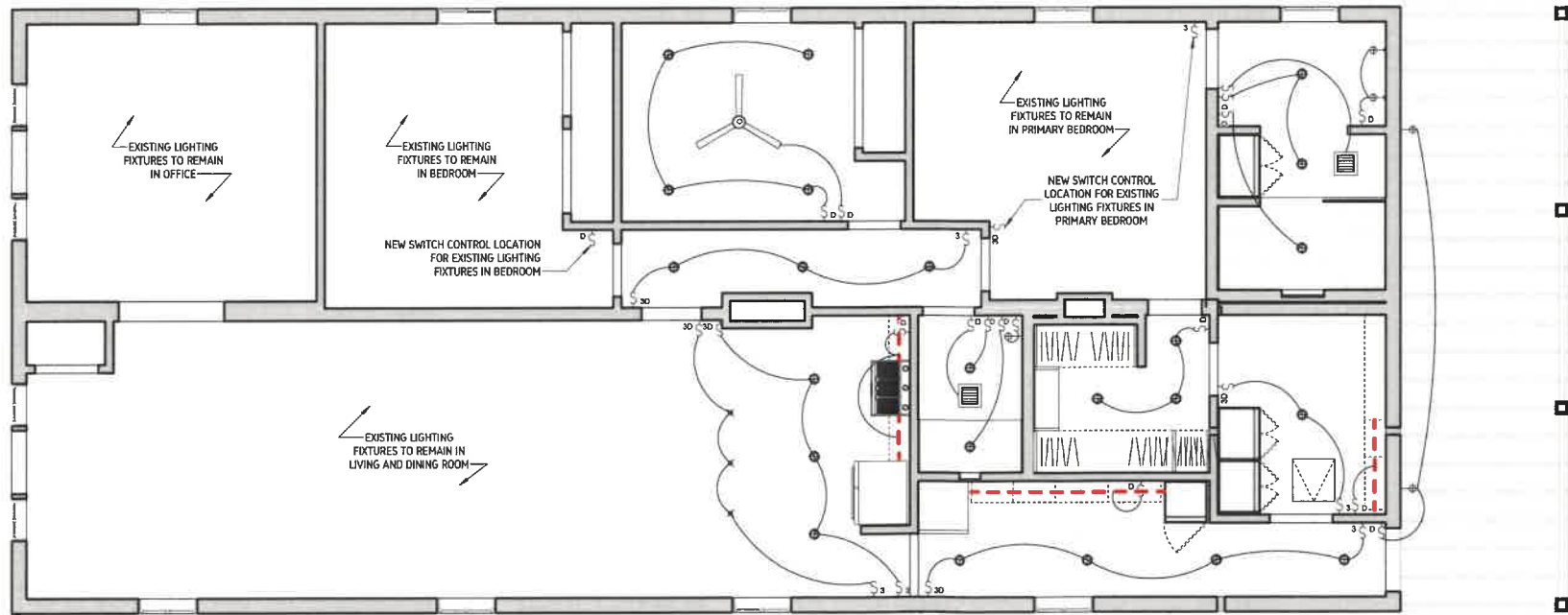
1 FLOOR PLAN - MAIN LEVEL  
1/4" = 1'-0" 1/ A200



A100  
FLOOR PLANS



1 RCP - MAIN LEVEL  
1/4" = 1'-0" 1/ A200



2 LIGHTING PLAN - MAIN LEVEL  
1/4" = 1'-0" 1/ A200

RCP LEGEND	
	L-R-1 - 4" RECESSED DOWNLIGHT
	L-R-2 - 4" RECESSED DOWNLIGHT- WET RATED
	L-S-3 - BATHROOM WALL SCONCE
	L-S-4 - WALL SCONCE (WET RATED)
	L-P-5 - PENDANT LIGHT
	L-T-6 - LED TAPE LIGHT
	F-1 - CEILING FAN
	M-1 - BATHROOM CEILING FAN
	M-2 - SQUARE OVERHEAD REGISTER
	S - SINGLE SWITCH
	S3 - THREE WAY SWITCH
	S0 - SWITCH DIMMER
	UL 217 COMPLIANT SMOKE DETECTOR
	UL 217 COMPLIANT COMBO CARBON MONOXIDE AND SMOKE DETECTOR

NOTES:

- CONTRACTOR TO DETERMINE IF EXISTING SWITCH LOCATIONS MAY BE REPURPOSED FOR NEW LIGHTING. OTHERWISE SWITCH LOCATIONS SHOWN ON DRAWING WILL GOVERN.
- EXISTING CEILING FANS TO REMAIN U.N.O. ON DEMO SHEET.
- ALL CEILING HEIGHTS ARE EXISTING TO REMAIN. CONTRACTOR TO VERIFY ALL EXISTING CEILING HEIGHTS.
- CONTRACTOR TO CONFIRM ALL LIGHTING LOCATIONS AND PRODUCTS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- CONTRACTOR TO CONFIRM BEDROOMS WITH EXISTING SMOKE DETECTORS HAVE UL 217 COMPLIANT SMOKE DETECTORS THAT MAY REMAIN. NEW SMOKE DETECTOR(S) TO BE PROVIDED IF EXISTING IS NOT COMPLIANT.
- ALL FIXTURE LOCATIONS TO BE CONFIRMED BY OWNER PRIOR TO INSTALL.

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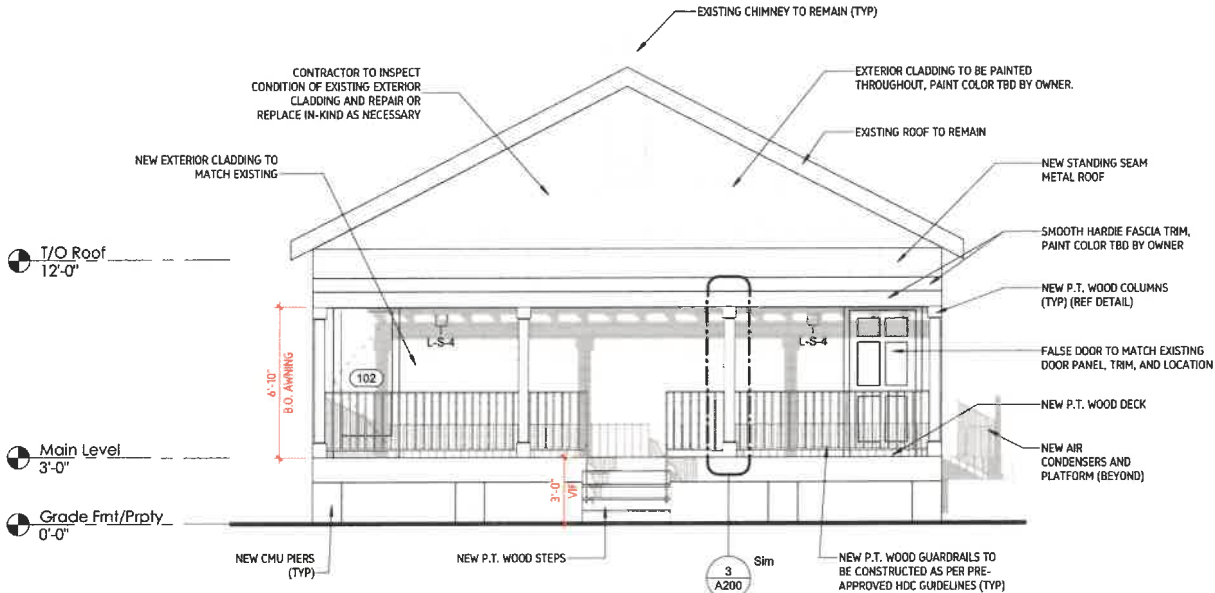
A104

REFLECTED  
CEILING  
PLANS

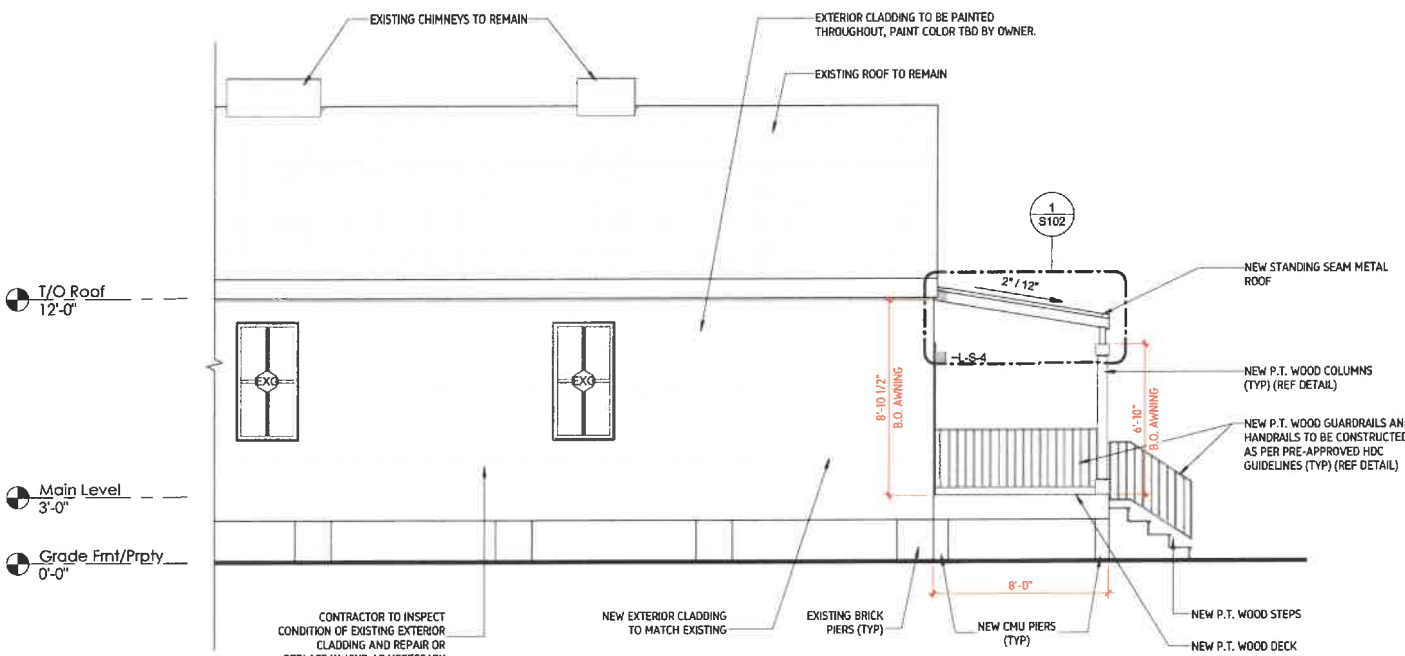




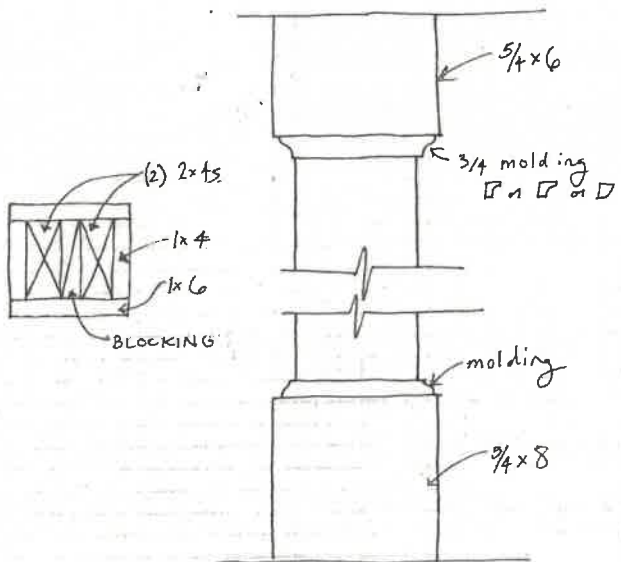
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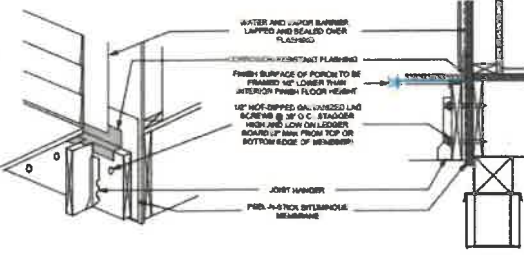
1 REAR ELEVATION  
1/4" = 1'-0" 1/ A100



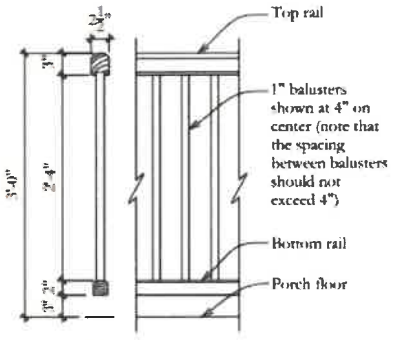
2 SIDE ELEVATION  
1/4" = 1'-0" 1/ A100



3 DETAIL  
NTS



4 DETAIL  
NTS



5 DETAIL  
1" = 1'-0"

A200  
BUILDING  
ELEVATIONS  
& DETAILS

Room Schedule							
Number	Name	Floor Finish	Wall Finish	Base Finish	Ceiling Finish	Comments	Area
101	LIVING ROOM	REFINISH EXISTING FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	256 SF
102	DINING ROOM	REFINISH EXISTING FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	111 SF
103	KITCHEN	REFINISH EXISTING FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	174 SF
104	HALL	MATCH EXISTING	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	106 SF
105	OFFICE	REFINISH EXISTING FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	181 SF
106	BEDROOM	REFINISH EXISTING FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	162 SF
107	SEWING ROOM / BEDROOM	REFINISH EXISTING FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	111 SF
108	HALL	MATCH EXISTING	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	60 SF
109	BATHROOM	TILE-02	M,R,GYP, PNT TBD BY OWNER; TILE-04	MATCH EXISTING	M,R,GYP, I,PT-01; TILE-04	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	37 SF
110	PRIMARY BEDROOM	MATCH EXISTING WOOD OR VINYL FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	169 SF
111	PRIMARY BATHROOM	TILE-02; TILE-03	M,R,GYP, PNT TBD BY OWNER; TILE-04	MATCH EXISTING	M,R,GYP, I,PT-01; TILE-04	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	100 SF
112	PRIMARY WIC	REFINISH EXISTING FLOOR	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	59 SF
113	LAUNDRY ROOM	MATCH EXISTING	GYP, PNT TBD BY OWNER	MATCH EXISTING	GYP, I,PT-01	CONTRACTOR TO INSPECT EXISTING CONDITIONS AND MAKE REPAIRS IN-KIND AS NECESSARY	76 SF

FINISH LEGEND:

CODE	DESCRIPTION	PRODUCT INFO
GYP	5/8" GYPSUM BOARD, PAINTED	
M,R,GYP	5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD, PAINTED	
WD-01	INTERIOR WOOD FLOOR	TO BE SELECTED BY OWNER
WD-02	EXTERIOR WOOD DECK	TO BE SELECTED BY OWNER
CASEWORK-01	KITCHEN & BAR CASEWORK	TO BE SELECTED BY OWNER
CASEWORK-02	BATHROOM & LAUNDRY ROOM CASEWORK	TO BE SELECTED BY OWNER
COUNTER-01	KITCHEN & BAR COUNTERTOP	TO BE SELECTED BY OWNER
COUNTER-02	BATHROOM & LAUNDRY ROOM COUNTERTOP	TO BE SELECTED BY OWNER
TILE-01	KITCHEN BACKSPASH TILE	TO BE SELECTED BY OWNER
TILE-02	BATHROOM FLOOR TILE	TO BE SELECTED BY OWNER
TILE-03	BATHROOM SHOWER FLOOR TILE	TO BE SELECTED BY OWNER
TILE-04	BATHROOM SHOWER WALL & CEILING TILE	TO BE SELECTED BY OWNER

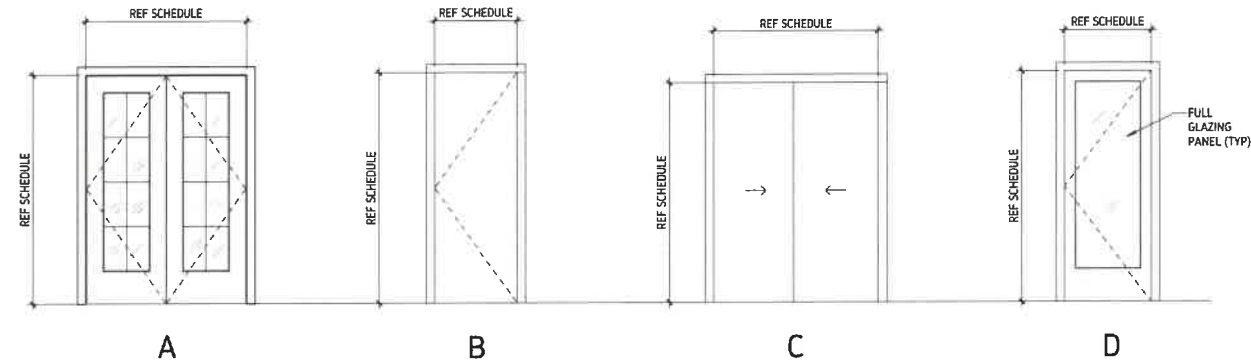
ROOM SCHEDULE & FINISH NOTES:

- AREAS ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ACCURATE TAKE-OFFS TO PERFORM PRICING.
- ALL MATERIALS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- CONTRACTOR TO SUBMIT SAMPLES FOR ALL CASEWORK AND FINISHES PRIOR TO PURCHASE.
- CONTRACTOR TO VERIFY ALL QUANTITIES SHOWN ON SCHEDULES WITH THE DOCUMENT DRAWINGS.
- EXISTING INTERIOR AND EXTERIOR WALLS TO REMAIN TO BE PAINTED, COLOR TBD BY OWNER.
- CONTRACTOR TO REPLACE/REPAIR AREAS OF EXISTING FINISHES THAT ARE AFFECTED BY THE WORK.
- ALL CASEWORK MATERIAL AND FINISH TO BE SELECTED BY OWNER.
- ALL EXISTING WOOD FLOORS TO BE REFINISHED.

Door Schedule						
Mark	Type Mark	Description	Width	Height	Finish	Comments
101	A	DOUBLE FRENCH DOORS	5'-0"	7'-0"	TBD BY OWNER	
102	D	EXTERIOR GLASS HINGED DOOR	3'-0"	7'-0"	TBD BY OWNER	
103	B	INTERIOR HINGED DOOR	2'-6"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
104	C	DOUBLE SLIDING CLOSET DOOR	4'-0"	7'-0"	TBD BY OWNER	
105	C	DOUBLE SLIDING CLOSET DOOR	4'-0"	7'-0"	TBD BY OWNER	
106	B	INTERIOR HINGED DOOR	2'-6"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
107	C	DOUBLE SLIDING CLOSET DOOR	5'-6"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
108	B	INTERIOR HINGED DOOR	2'-6"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
109	B	INTERIOR HINGED DOOR	2'-6"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
110	B	INTERIOR HINGED DOOR	2'-10"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
111	B	INTERIOR HINGED DOOR	2'-4"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
112	B	INTERIOR HINGED DOOR	2'-6"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.
113	B	INTERIOR HINGED DOOR	3'-0"	7'-0"	TBD BY OWNER	REUSE SALVAGED DOOR IF POSSIBLE. DOOR AND OPENING SIZES TO BE VERIFIED BY CONTRACTOR.

NOTE:

- NEW DOOR AND FRAME STYLES TO BE SELECTED BY OWNER.
- CONTRACTOR TO VERIFY SIZE OF ALL EXISTING DOORS AND DOOR OPENINGS TO BE REUSED.
- CONTRACTOR TO CONFIRM PRODUCT WITH OWNER PRIOR TO PURCHASE.
- SALVAGED DOORS AND DOOR FRAMES TO BE REUSED. INSTALL LOCATION OF SALVAGED DOORS AND DOOR FRAMES TO BE COORDINATED BY OWNER.



DOOR LEGEND

3/8" = 1'-0"

Plumbing Fixture Schedule			
Type Mark	Description	Count	Comments
P-01	PULL DOWN SINGLE-HANDLE KITCHEN FAUCET	1	TO BE SELECTED BY OWNER
P-02	UNDERMOUNT KITCHEN SINK	1	TO BE SELECTED BY OWNER
P-03	TWO HANDLE BATHROOM FAUCET	2	TO BE SELECTED BY OWNER
P-04	UNDERMOUNT BATHROOM SINK	2	TO BE SELECTED BY OWNER
P-05	TOILET	2	TO BE SELECTED BY OWNER
P-06	TUB	1	TO BE SELECTED BY OWNER
P-07	SHOWER/TUB TRIM KIT	1	TO BE SELECTED BY OWNER
P-08	SHOWER TRIM KIT	1	TO BE SELECTED BY OWNER

PLUMBING FIXTURE SCHEDULE NOTES:

- COUNT IS INCLUDED FOR CONVENIENCE. CONTRACTOR RESPONSIBLE FOR CONFIRMING FINAL COUNT OF FIXTURES.
- ALL FIXTURES TO BE CONFIRMED WITH OWNER PRIOR TO PURCHASE.

Lighting Fixture Schedule				
Type Mark	Description	Manufacturer	Model	Comments
F-1	CEILING FAN			EXISTING CEILING FAN TO BE REUSED
L-P-6	PENDANT LIGHT			TO BE SELECTED BY OWNER
L-R-1	4" RECESSED DOWNLIGHT			TO BE SELECTED BY OWNER
L-R-2	4" RECESSED DOWNLIGHT - WET RATED			TO BE SELECTED BY OWNER
L-S-3	BATH SCONCE LIGHT			TO BE SELECTED BY OWNER
L-S-4	OUTDOOR WALL SCONCE - WET RATED			TO BE SELECTED BY OWNER
M-1	BATHROOM CEILING FAN			TO BE SELECTED BY OWNER

LIGHTING FIXTURE SCHEDULE NOTES:

- ALL FIXTURES TO BE CONFIRMED WITH OWNER PRIOR TO PURCHASE.

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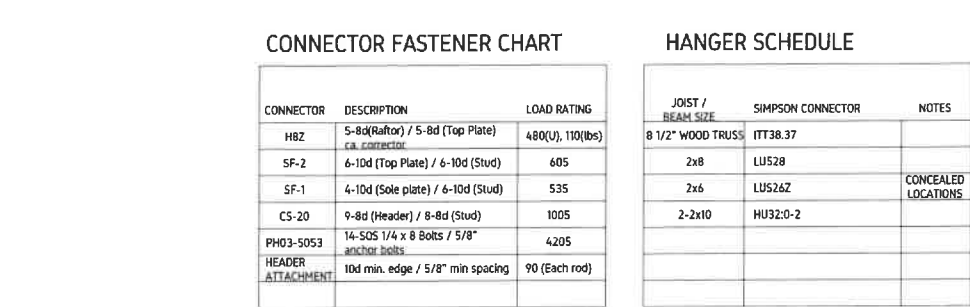
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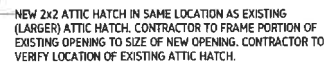
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SCHEDULES

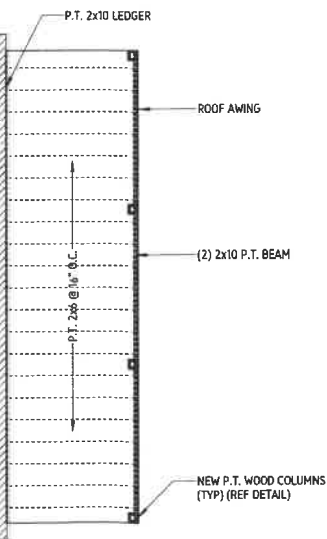




 CMU PIER      - - - WOOD JOIST MEMBER  
 CONC. SLAB      ----- 6x6 P.T. SILL  
 18" x 18" GRADE BEAM



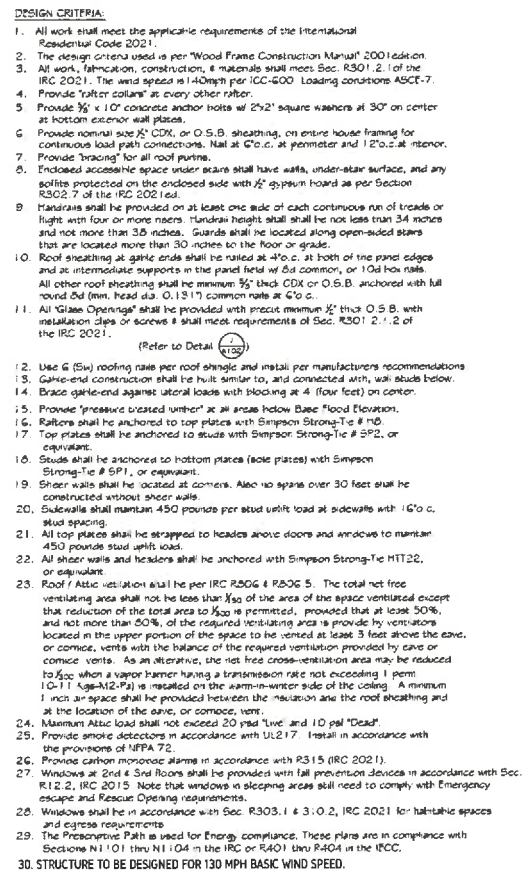
3/16" = 1'-0"	1/ A200
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3/16" = 1'-0"	1/ A200
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## HANGER SCHEDULE

JOIST / BEAM SIZE	SIMPSON CONNECTOR	NOTES
8 1/2" WOOD TRUSS	ITT38.37	
2x8	LU528	
2x6	LU526Z	CONCEALED LOCATIONS
2-2x10	HU32:0-2	



- Concrete design is based upon a minimum compression strength of 3500 psi at 28 days. Concrete design mix shall be in accordance w/ A.C.I. building code requirements (A.C.I. 318-77).
- All conventional reinforcing steel shall be designation A-615 (Grade 60) reinforcing and shall be detailed w/ accessories provided in accordance w/ the latest A.C.I. Manual for Reinforcing Detailing Reinforced Concrete Structures.
- Mesh and Bars shall be adequate and securely supported to prevent vertical and horizontal movement during placement of concrete.
- The contractor shall verify all drops, offsets, bridge ledges, block-outs, etc. on architectural drawings and notify Architect / Engineer of any discrepancies that may exist.
- Reinforcement shall have a minimum of 3" cover in grade beam bottom, 3" covering at beam sides and tops, and 2" covering at slab tops & bottoms.
  - Provide .005 polyethylene membrane under all concrete slabs.
- All sections shown are the sections at mid-span of grade beams unless otherwise indicated.
- This foundation design is designed specifically for this location.
- Plans for pipes, conduits, thimbles, etc. shall pass through concrete slab and beams as to not conflict w/ reinforcing.
- Plans shall verify all dimensions and site conditions prior to placement of foundation.
- Top of slab and/or pipes (lowest horizontal structural member) must be at minimum 2' Anchor Bolt Elevation. (Where applicable)
- Anchor bolts shall have 2"x2" square washers.

1. Excavate to depth as shown on plans.
2. Remove all vegetation, tree roots, stumps, etc. as required to reach firm undisturbed natural soil prior to placing compacted fill.
3. Fill to depth as shown on plans.
4. Fill shall be placed in 6" to 8" loose lifts and compaction shall be such as to secure 95% optimum water content.

1. All soil under new slabs, and/or under raised piers, shall be pretreated w/ liquid chemical according to Louisiana Code and performed by a certified termite contractor.

1. Where water impacts the ground from a roof valley, downspout, scupper, or other rain water collection diversion devices, provisions shall be made to prevent soil erosion and direct the water away from the foundation.
2. Finish grade shall be sloped away from the foundation for drainage.

All lumber and plywood shall be identified by official grade markings and shall be of the following grade:

Framing lumber shall be the following nominal sizes:

Exterior Walls:	2x4 studs @ 16" O.C., Fir or SYP
	2x6 studs @ 16" O.C., Fir or SYP @ wall heights exceeding 11'-0"
Interior Partitions:	2x4 studs @ 16" O.C., Fir or SYP
	2x6 studs @ 16" O.C., Fir or SYP @ wet walls & wall heights exceeding 11'-0"

Exterior Walls:	2x4 studs @ 16" O.C., Fir or SYP 2x6 studs @ 16" O.C., Fir or SYP @ wall heights exceeding 11'-0"
Interior Partitions:	2x4 studs @ 16" O.C., Fir or SYP 2x6 studs @ 16" O.C., Fir or SYP @ wet walls & wall heights exceeding 11'-0"

Exterior wall sheathing - 1/2" treated plywood, applied on all exterior walls & treated wood @ all areas below Base Flood Elevation.

Disappearing attic stairs - Verify location on job and with owner. Folding sections shall be double hinged, concealed door hinges, & balance spring action.

1. The installation of treated plywood on exterior walls shall be installed in order to provide shear walls on the exterior of the structure.
2. Top plates shall be secured to each other at every 16" O.C.
3. Provide hurricane clips at every rafter securing rafters to ceiling.

Notches in joist may occur in the top or bottom, but may not be located in the center one-third of the span. A notch may not exceed one-sixth of the actual depth of the joist, except at the very ends, where it may be one-fourth of the actual depth. Holes bored in joist must not be larger than one-third the depth of the joist and must not be within two inches of the bottom edge.

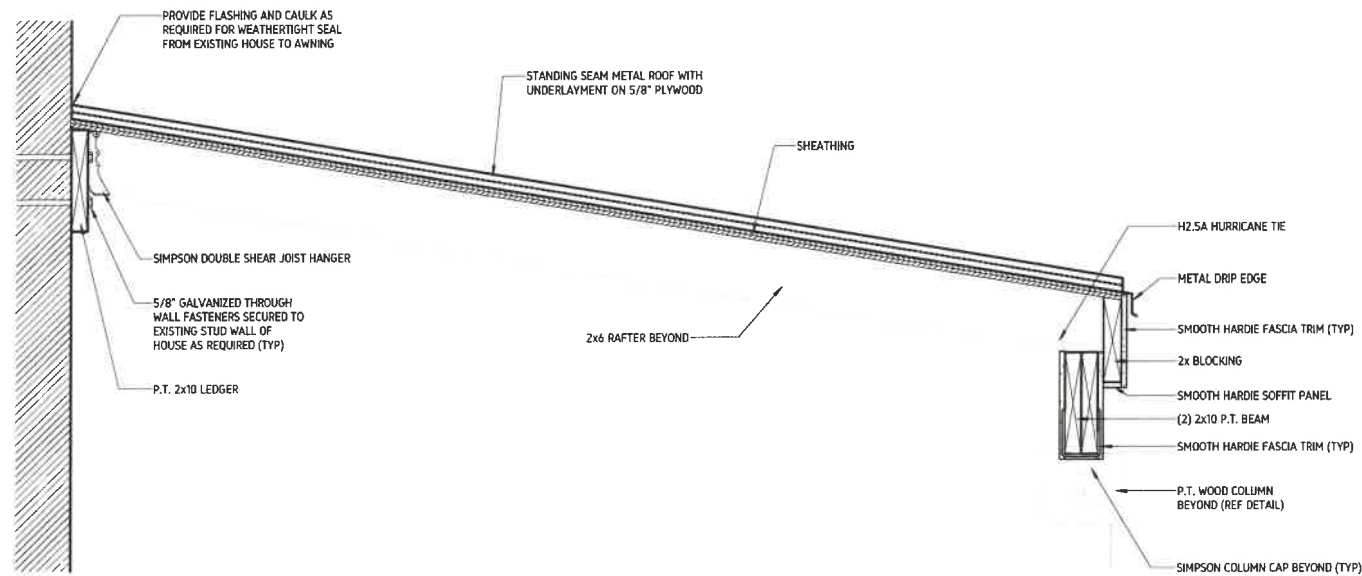
Notches in studs are restricted to 25% (1/4) of the actual stud width at exterior walls and at interior load bearing partitions. Notches may be 50% of the stud width non-bearing interior partitions. Holes bored in studs may be as large as 60% of the studs width at interior non-bearing partitions and where studs are doubled. Not more than two successive double studs may be bored at that size. In all other studs, hole sizes are limited to 40% of the actual stud width. In any case, holes must not be within 5/8" of the edge of the stud and must not be near any other cut or notch.



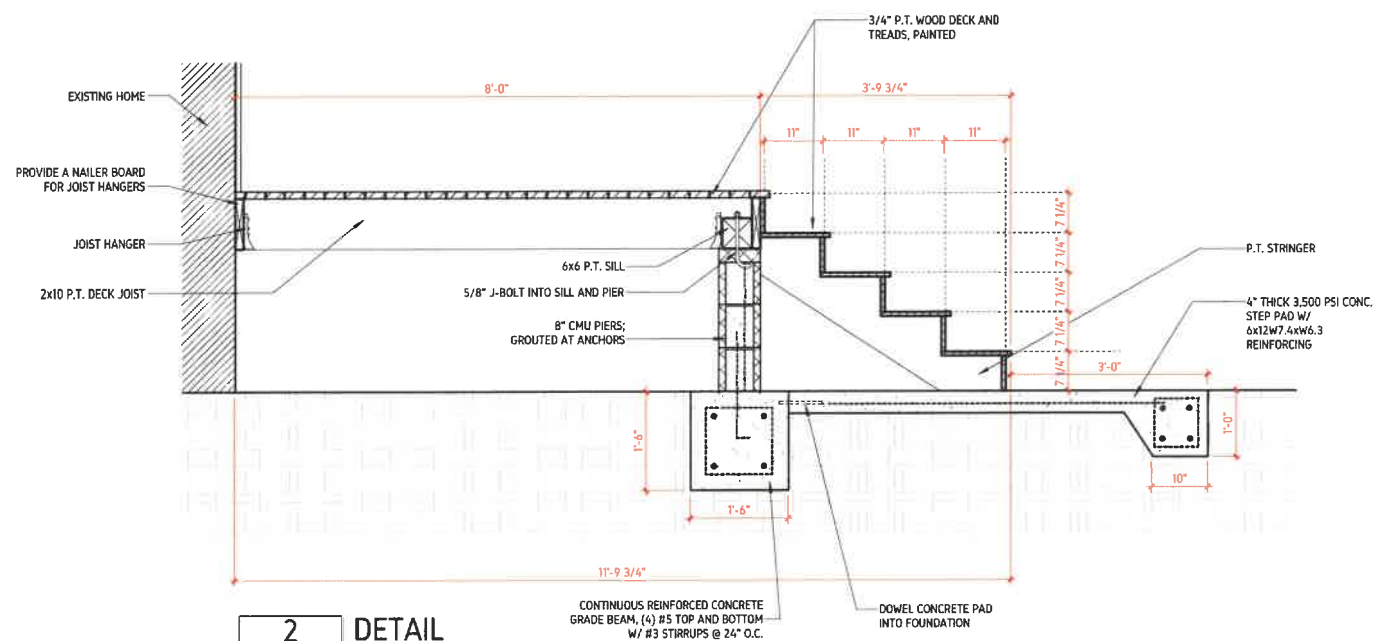
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**1** DETAIL  
1 1/2" = 1'-0" 2/ A200



**2** DETAIL  
3/4" = 1'-0" 1/ A001

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S102  
STRUCTURAL  
DRAWINGS



# Historic District Commission

Meeting: September 02, 2025

537 Huey P Long Avenue  
District -2

New Construction  
Discussion Only

Applicant:  
David Gassen



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

- ☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*
- ☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction of alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**



The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such application must be filed no later than (5) five business days prior to any meeting of the HDC.

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: 537 HUEY P LONG - 735 CM STREET

Renovation: \_\_\_\_\_  
New Construction: ✓ Demolition: ✓

Age of Structure: \_\_\_\_\_

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun ✓ DUPLEX

Bungalow \_\_\_\_\_

Other \_\_\_\_\_

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed ✓

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other \_\_\_\_\_

**Exterior materials proposed:**

Roof ASPHALT SHINGLES Soffit BOARD

Fascia NONE / RAFTER TAILS Siding LAP

Masonry FOUNDATION PIERS Porches CONCRETE

Balconies NONE Handrails NONE

Type of exterior lighting fixtures: NONE

Style of windows: MIXTURE

Type of exterior doors: WOOD SLABS

Describe any ornamental woodwork: MINIMAL

**Elevations:**

Front Space: 430 ft. Side Space: 330 ft.

Rear Space: 430 ft.

Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's Signature: David W Gassen Date: 8.21.25

Applicant's Name: DAVID GASSEN

Applicant's Address: 403 WILCOX ST, ROCHESTER MI 48307

Phone No: 248 568 9887 Cell No: ( )

---

**For Office Use Only:**

Application date: \_\_\_\_\_

Substantive Change: Yes ☐ No ☐ Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes ☐ No ☐

Historic District Commission meeting date: \_\_\_\_\_

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 Second Street (70053)

P. O. Box 404

Gretna, Louisiana 70054-0404

## Mayor

Belinda Cambre Constant

## Councilmembers

Wayne A. Rau

## Councilman-at-Large

Rudy S. Smith

## District One

Michael A. Hinyub

## District Two

Mark K. Miller

## District Three

Jackie J. Berthelot

## District Four

## Departments

### Building

Danika E. Gorrondona

### Citizens' Affairs

Rachael Stanley

### City Clerk

Norma J. Cruz

### City Development

Amelia Pellegrin

### Code Enforcement

Angel L. Gonzales

### Environmental Affairs

Madason Priore

### Finance & Tax

Raylyn C. Stevens

### Human Resources

Gwen Turner

### Information Technology

Michael T. Wesley

### Operations

Eric Stahl

### Parks & Parkways

Amie L. Hebert

### Public Utilities

Ron Johnson

I, DAVID GASSEN the undersigned, have been informed of the Historic District Commission (HDC) meeting where my application for historic district appropriateness will be reviewed on SEPT 2nd 2025 at 4:00 p.m., in the 2<sup>nd</sup> floor Council Chambers at Gretna City Hall, 740 2<sup>nd</sup> Street, Gretna, LA 70053.

I further understand that the Historic District application and/or Certificate of Appropriateness are NOT permission to commence any work. A representative for the applied property is expected to attend the meeting. If unable to attend, review may be deferred until the following month's HDC meeting.

I further understand and acknowledge that the Certificate of Appropriateness issued by the Historic District Commission does not guarantee approval of the Zoning and/or Building departments because while a project may be historically appropriate, it may not meet current Building and Zoning Code requirements.

Signature of Applicant

DAVID GASSEN

Name of Applicant (Please Print)

403 WILCOX ST, ROCHESTER MI 48307

Applicant's Address

537 HUEY P. LONG

Address under HDC review

Date: 8.21.25



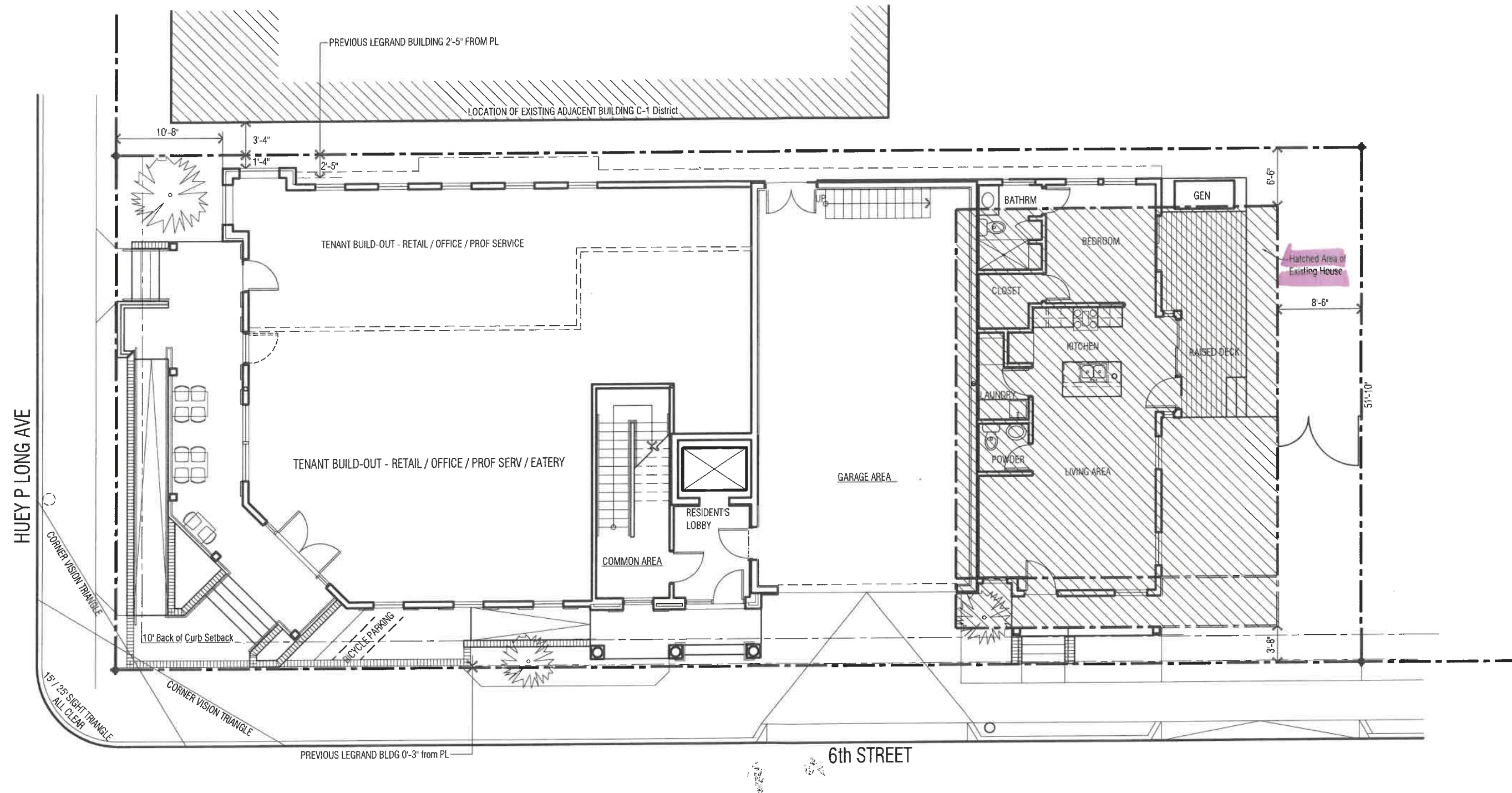
# 537 Huey P Long – “The LeGrand Building”



Partial Character Study from HPL & 6<sup>th</sup> St  
Introduction / Discussion

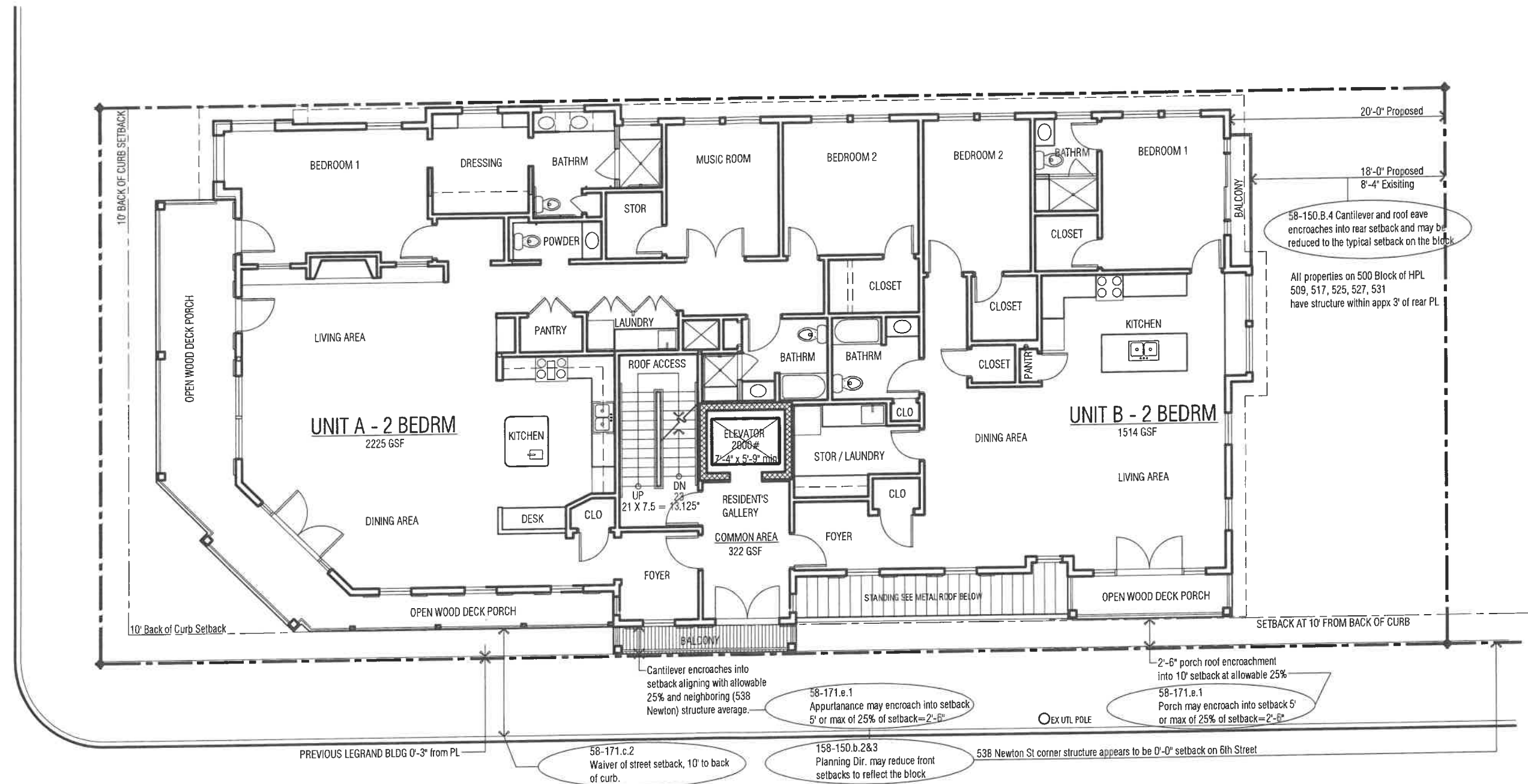




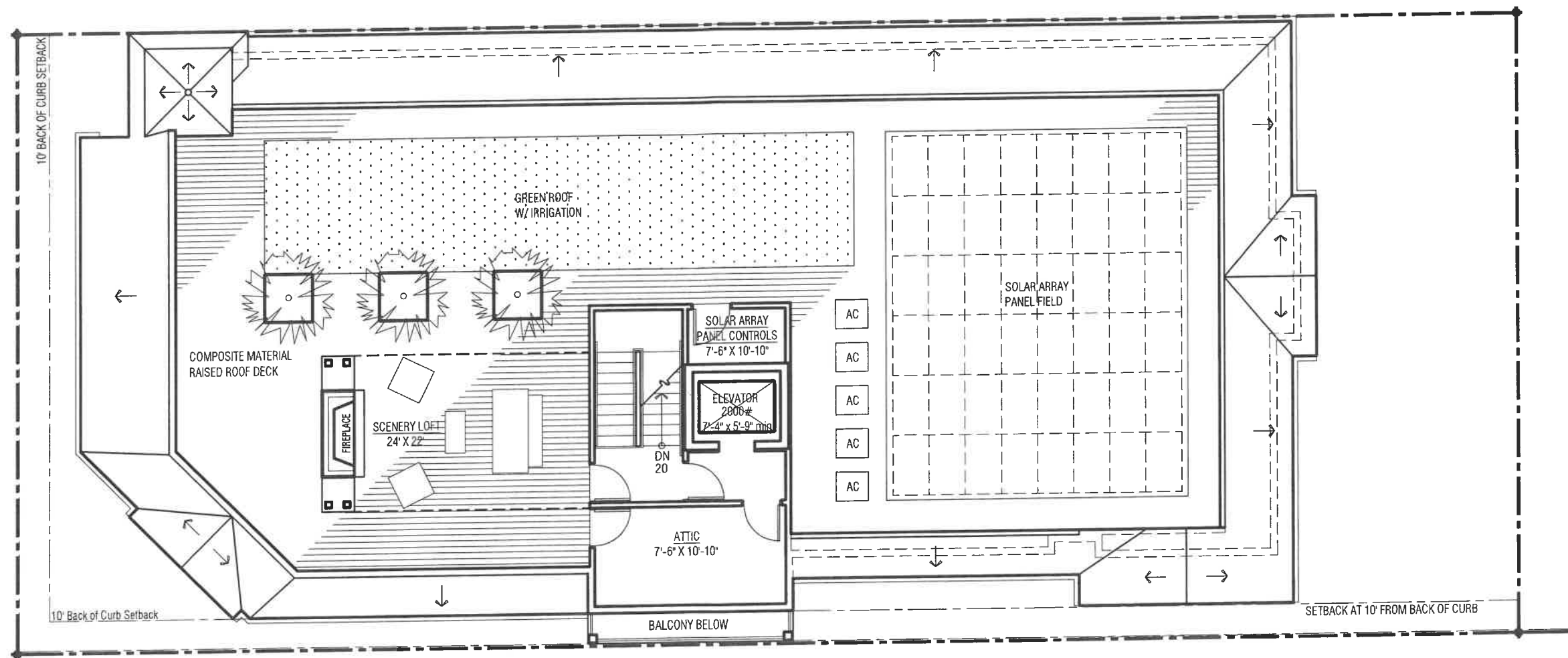


# 537 HPL Ground w/ Existing Plan - Introduction / Discussion

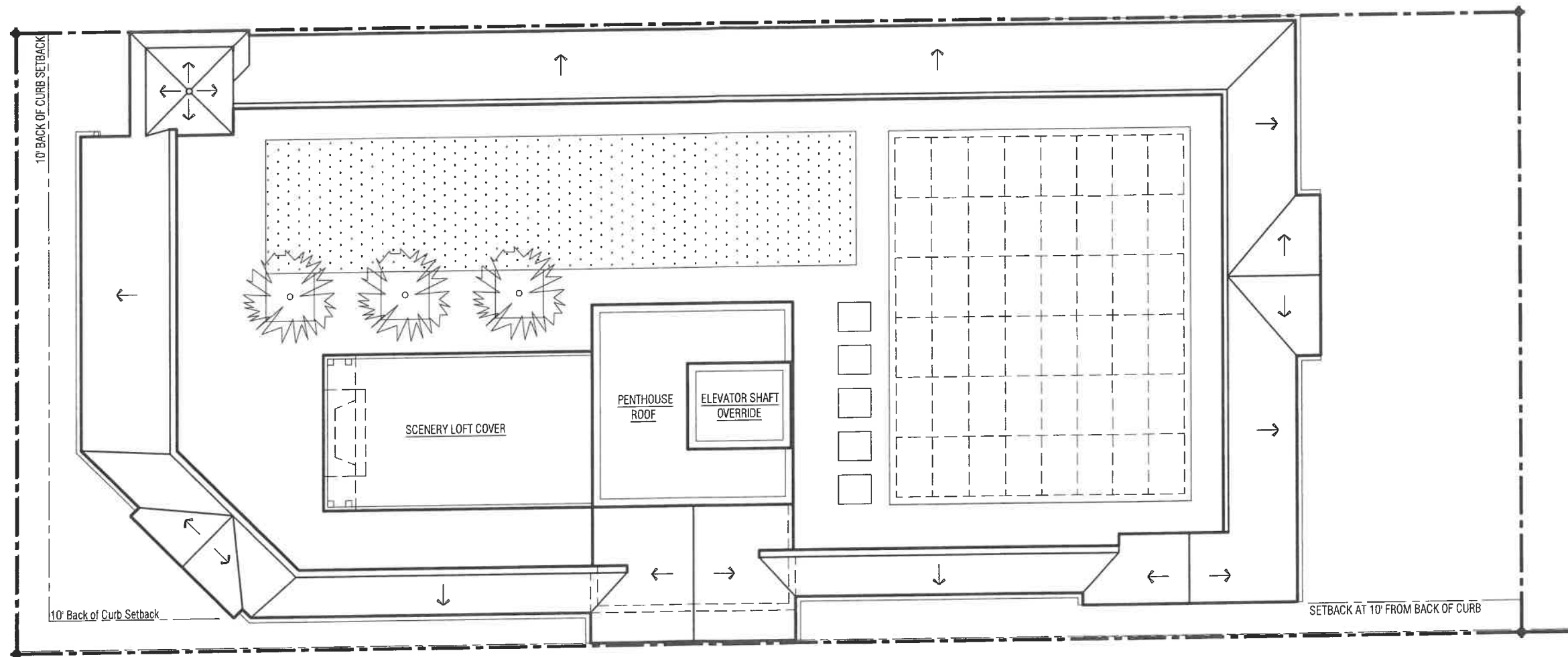




# 537 HPL Second Floor Plan - Introduction / Discussion



# 537 HPL Scenery Loft Plan - Introduction / Discussion



# 537 HPL Roof Plan - Introduction / Discussion



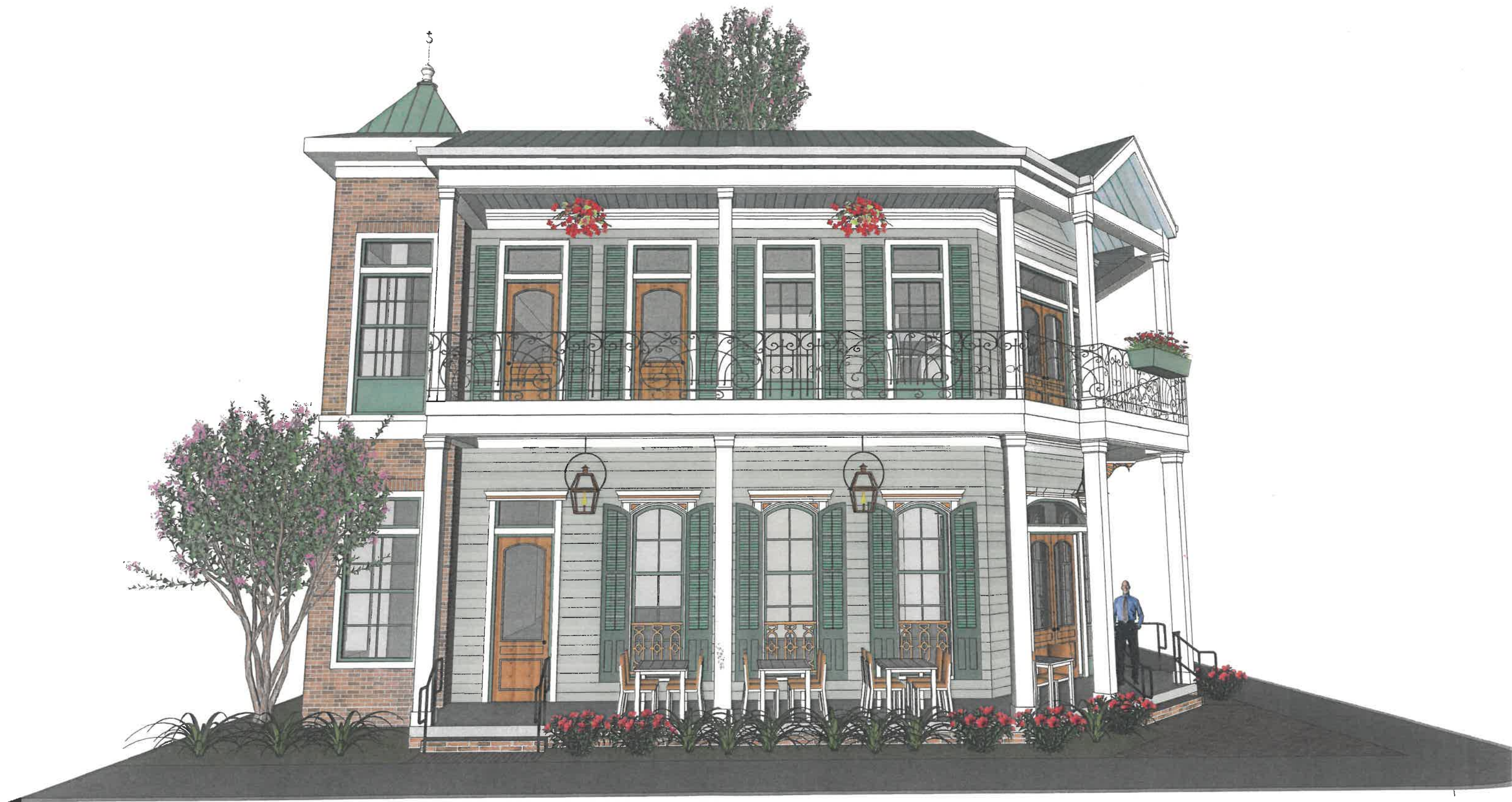


# 537 HPL - HPL View - Introduction / Discussion



# 537 HPL 6th St View - Introduction / Discussion





## HPL Character Study Elevation Introduction / Discussion



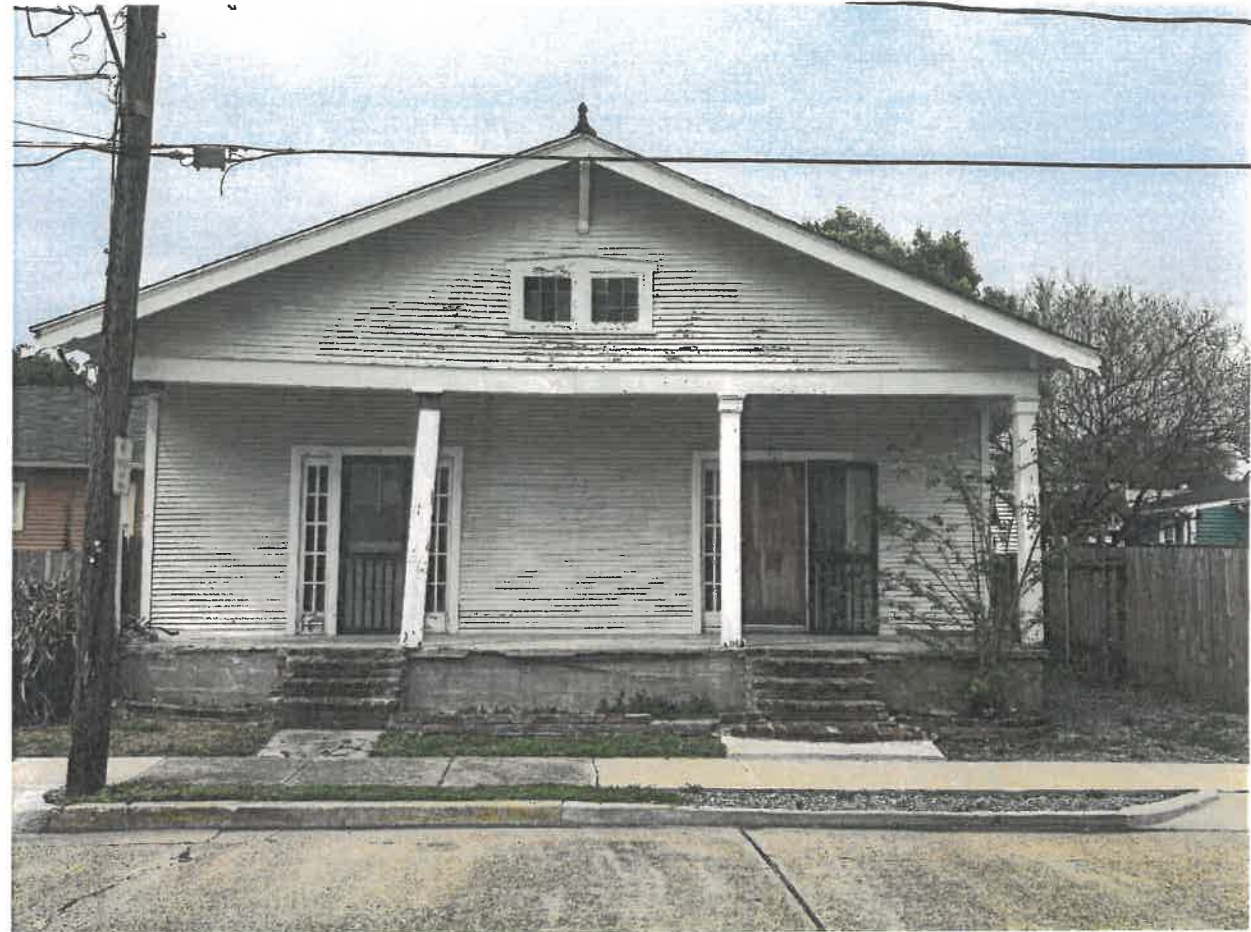


## 6<sup>th</sup> Street Partial Character Study Elevation





**6<sup>th</sup> Street / Side Elevation**



**6<sup>th</sup> Street Elevation – failing porch header at gable**



**River Side Elevation- different construction**



**Bracing at Porch**



**6<sup>th</sup> Street Elevation – failing porch slab and compromised columns**





**Looking from HPL**



**Typical Foundation Condition**





# Historic District Commission

Meeting: September 02, 2025

**Gretna Marketplace  
District -2**

**Discussion Only**

**Applicant:  
Colin VanWingen**



**Historic District Commission**  
**Application for Certificate of Appropriateness**  
Governed by Ordinance No. 4653 Adopted 2-11-15

*For the purpose of the Historic Preservation District applications and permits, the following shall apply:*

☒ **Mechanickham Historic District** – area bounded by the east side of Gulf Drive, the north side of Sixth Street to the west side of Dolhonde, on the West; the north side of Twelfth Street on the South; the east side of Amelia Street on the East; and the Mississippi River on the North. *The Gretna National Register Historic District is included within the Mechanickham – Gretna Historic District.*

☐ **McDonoghville Historic District** – area bounded by the east side of Ocean Avenue from the river to the Fourth Street right-of-way to the west side of Hancock Street to the Orleans Parish line and the Mississippi River.

Historic District permits are required for the following activities:

- Demolition of a historical building
- Moving of a historic building
- Material change by additions, reconstruction or alterations in the exterior appearance of existing buildings classified as historic
- New construction of a building or accessory building or structure, if subject to view from a public street
- Change in existing walls and fences or construction of new walls and fences if along a public street
- Change in the exterior appearance of existing non-historic buildings by additions, reconstruction, alteration or maintenance of exterior, if subject to view from a public street.

**Alteration** – any change because of new construction, repair or maintenance, which changes the architectural integrity of an historic district, building or landmark

**Construction** – the erection of any on site improvements on any parcel of ground

**Demolition** – the complete, partial or constructive removal of a building from any site

**Historic building** – a building at least fifty years-old with significant architectural value and integrity

**Ordinary repairs and standard maintenance** – work done on a building to prevent deterioration, decay or damage of a building or any part thereof in order to restore same as nearly as practical to its condition prior to such deterioration, decay or damage.

**Important criteria for new construction:** All new construction shall be visually compatible with the buildings and the environment with which it is related. The general design, scale, gross volume, arrangement, site, plan, texture, material and exterior architectural features of new constructions shall be in harmony with its surroundings and shall not impair the historic character of the neighborhood.

**Substantive change** – changes, which alter the historical or architectural character such as windows, columns, porches, doors and exterior ornamental decorative.

**Substantive changes require review by the Historic District Commission**

The Historic District Commission shall hold a public hearing on each application for a Historic District Permit *except in those instances where the Building Official has determined that the application for a Historic District Certificate of Appropriateness does not represent a substantive change.*

Application for a historic district certificate of appropriateness shall be made in the office of the building official, and shall be accompanied by a \$50.00 administration fee. Such **application must be filed no later than (5) five business days prior to any meeting of the HDC.**

The Historic District Commission (HDC) shall review all applications requiring certificate of appropriateness representing substantive changes and determine if such changes are appropriate to the Historic District. The HDC shall adhere to and seek compatibility of structures in the district in terms of size, texture, scale, and site plan.

In addition to the information on the cover sheet, please provide the following:

Re: Address: Gretna Marketplace, 300 block of Huey P Long Avenue

Renovation: X

New Construction: \_\_\_\_\_

Demolition: \_\_\_\_\_

Age of Structure: 36 years

**Building Type:**

Creole Cottage \_\_\_\_\_

Shotgun \_\_\_\_\_

Bungalow \_\_\_\_\_

Other market

**Building Style:**

Greek Revival \_\_\_\_\_

Italianate \_\_\_\_\_

New Orleans Bracketed \_\_\_\_\_

Eastlake \_\_\_\_\_

Colonial Revival \_\_\_\_\_

Other market

**Exterior materials proposed:**

Roof standing seam metal Soffit metal

Fascia metal Siding n/a

Masonry brick Porches n/a

Balconies n/a Handrails n/a

Type of exterior lighting fixtures: arm & pendant mount "acorn" style hanging, recessed can/linear

Style of windows: n/a

Type of exterior doors: n/a

Describe any ornamental woodwork: n/a

**Elevations:**

Front Space: n/a ft. Side Space: n/a ft.


Rear Space: n/a ft.



Each application must be accompanied by adequate sketches, drawings, photographs, descriptions or other information showing the proposed exterior alteration, additions, changes or new construction as would be necessary for the Historic District Advisory Committee and City Council to make an informed decision.

**Important:** This information is for the purpose of Historic District Commission review only. Matters relating to zoning requirements and/or other City of Gretna permits such as building, plumbing, electrical, mechanical and public works must be applied for separately.

Applicant's

Signature: 

Date: 08.25.25

Applicant's

Name: Colin VanWingen

Applicant's

Address: 3308 Magazine Street, Suite A, New Orleans, LA 70115

Phone No: ( )

Cell No: (734) 358-9412

**For Office Use Only:**

Application date: August 25, 2025

Substantive Change: Yes ☐

No ☒

Inventory Number: \_\_\_\_\_

Contributing Element to Gretna National Register Historic District: Yes ☐

No ☒

Historic District Commission meeting date: September 2, 2025 @ 4:00

Public Hearing to be held at the Council Regular meeting at Gretna City Hall, 740 2<sup>nd</sup> Street, 2nd floor Council Chamber. (Council regular meetings held on the 2<sup>nd</sup> Wednesday of every month.)

Architectural Description/Comments (as per Gretna National Register Historic District nomination form): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Gretna

740 2nd Street, Gretna, LA 70053-5829  
P. O. Box 404 Gretna, LA 70054-0404

## **Mayor**

Belinda Cambre Constant

## **Council Members**

Wayne A. Rau

### **Councilman-at-Large**

Milton L. Crosby

*District One*

Michael Hinyub

*District Two*

Mark K. Miller

*District Three*

Jackie J. Berthelot

*District Four*

## **Departments**

### ***Building and Regulatory***

Danika Gorron dona

### ***Planning and Zoning***

Azalea M. Roussel

### ***City Clerk***

Norma J. Cruz

### ***Finance & Tax Departments***

Raylyn C. Stevens

### ***Human Resources***

Gwen Turner

### ***Public Utilities***

Michael J. Baudoin

### ***Public Works***

Daniel Lasyone

### ***Parks and Recreation***

Amie H. Hebert

### ***Information Technology***

Michael Wesley

I, Colin VanWingen the undersigned,  
have been informed of the Historic District Commission (HDC) meeting  
where my application for historic district appropriateness will be reviewed  
on September 2, 2025 4:00 p.m., 740 2<sup>nd</sup> Street,  
Gretna City Hall, 2nd floor Council Chambers.

I further understand that the Historic District application and/or  
Certificate of Appropriateness are NOT permission to commence any work.  
A representative for the applied property is expected to attend the meeting.  
If unable to attend, review may be deferred until the following month HDC  
meeting.

I further understand and acknowledge that the "Certificate of  
Appropriateness", issued by the Historic District Commission, does not  
guarantee approval of the Zoning and/or Building Departments because,  
while a project may be historically appropriate, it may not meet current  
Building and Zoning Code requirements.

Signature of Applicant

Colin VanWingen

NAME OF APPLICANT (PLEASE PRINT)

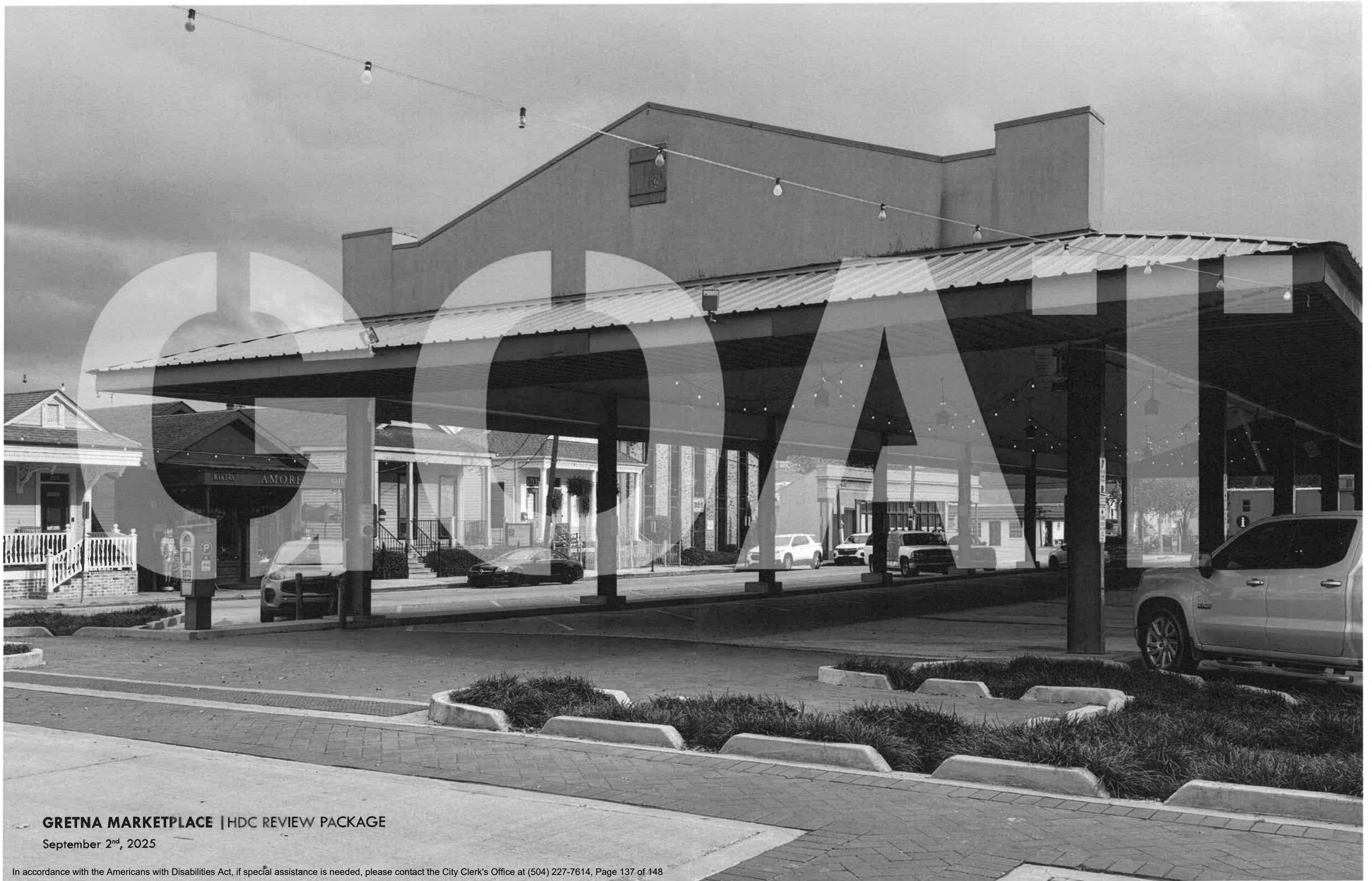
3308 Magazine Street, Suite A, New Orleans, LA 70115

Applicant's address

Gretna Marketplace, 300 block of Huey P Long Avenue, Gretna LA 70053

Actual address of the property for review

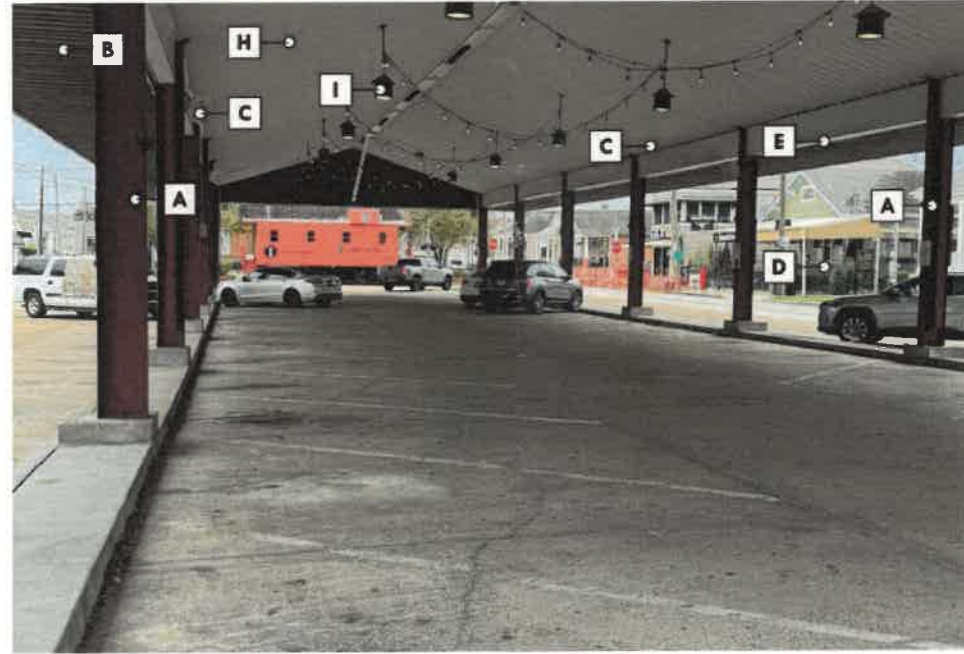
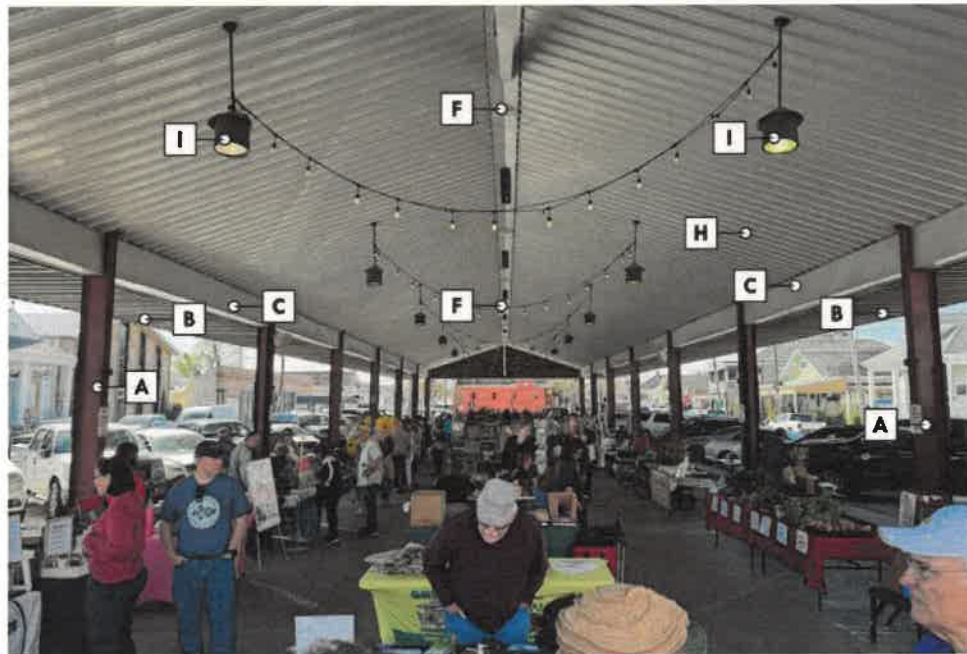
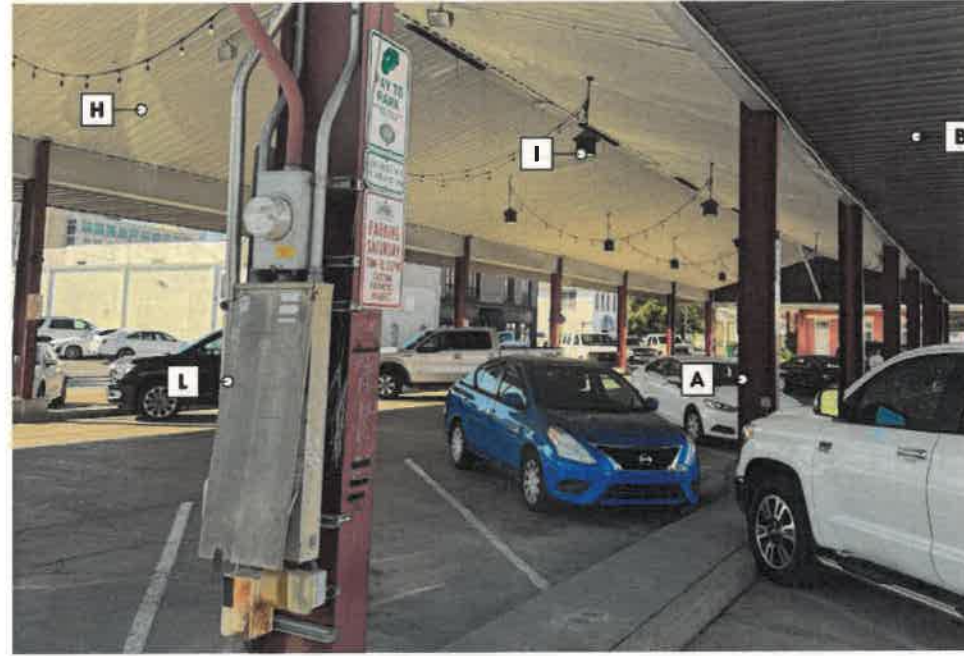
Date: 08.25.25



**GRETNA MARKETPLACE | HDC REVIEW PACKAGE**

September 2<sup>nd</sup>, 2025





(A) Wrap existing steel columns in new brick with concrete base; (B) Replace existing fascia and soffit with new metal panel to refresh exterior appearance; (C) Extend soffit into the market interior, creating opportunity for integrated down-lighting above vendor booths & speakers for events; (D) Infill column bays with perforated metal panel archways to better define the space, create a rear to stalls during farmer's market, and provide the framework for a pull-down shade system; (E) Install pull-down shade system, mounted to archway steel; (F) Install high-volume, low-speed (HVLS) ceiling fans for air ventilation; (G) New "Gretna Marketplace" feature signage; (H) Paint existing metal panel ceiling with a bright color to enliven the space; (I) Replace existing pendant lights with new fixtures, matching style of new "acorn" street lighting; (J) Replace roof with new standing seam metal panel system; (K) Rep-paint existing stucco, add new foam bumpouts at ends to provide more articulation and interest, and replace flashing cap; (L) Remove disused equipment and conduit, replace as needed, and consolidate & organize existing signage

## GRETNA MARKETPLACE | EXISTING CONDITIONS & SCOPE NOTES





Huey P Long Avenue, from the Riverfront to the Marketplace, has a number of moments from which we drew inspiration. Archways, masonry, and metal work abound along this historic, scenic stretch and in reviewing the Marketplace within this context, it became abundantly clear that the first goal of the design upgrades we proposed should be to better integrate the existing utilitarian structure into the thoroughfare. The historic post office pictured above provided us with our creative starting point.

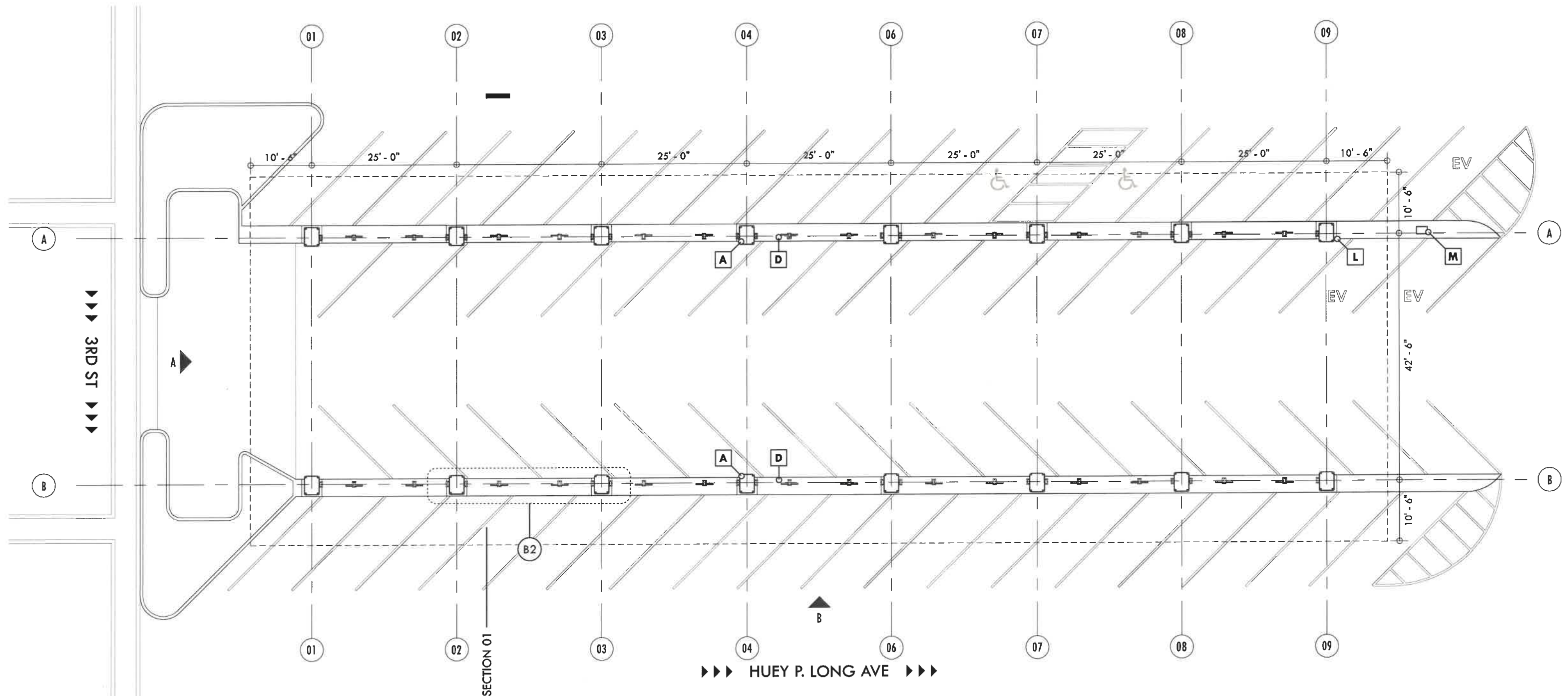


The archway motif is repeated again and again, especially in the civic structures within and abutting the Avenue, and most dramatically in the Jefferson Memorial pictured above. This motif provided us with a clear way to connect the Marketplace to the rest of the public serving structures along this stretch of Huey P Long Avenue, and the Jefferson Memorial specifically gave us a starting point for a new material palette, again reinforcing the connection between the riverfront plaza and the market.



While we drew inspiration from a number of historic Gretna sites, we also sought to ensure that the new intervention at the Marketplace was appropriately of its time. We accomplish this by introducing a contemporary perforated metal panel material in the creation of the archways, similar to the Sacred Heart Academy expansion on St. Charles Avenue pictured above, by Multistudio. The metal panel material meets the project goals for resilience, provides a baseline level of shading & glare reduction while creating the framework for additional shade elements, and allows the interior of the market to glow like a jewel box when illuminated in the evening.

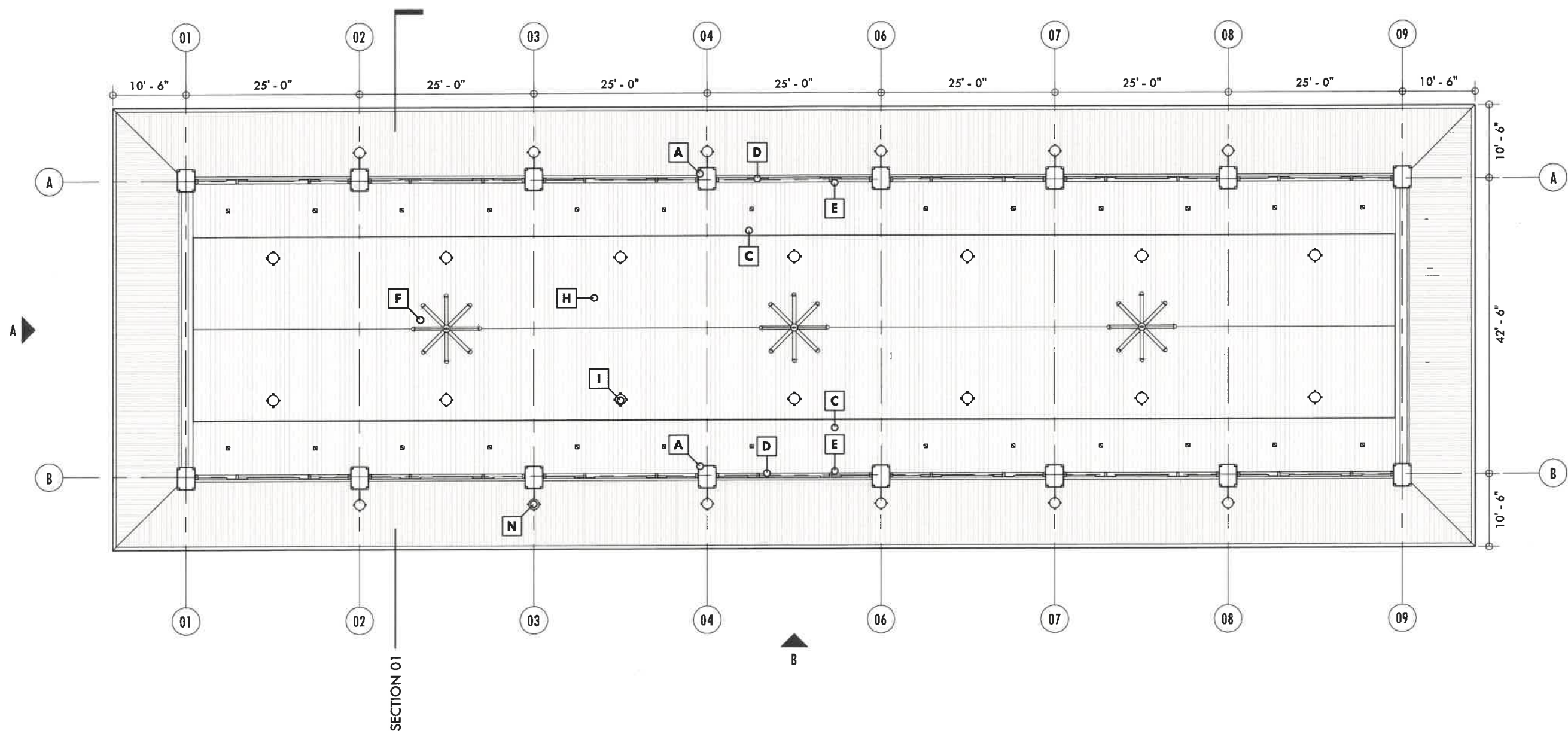




(A) Wrap existing steel columns in new brick with concrete base; (B) Replace existing fascia and soffit with new metal panel to refresh exterior appearance; (C) Extend soffit into the market interior, creating opportunity for integrated down-lighting above vendor booths & speakers for events; (D) Infill column bays with perforated metal panel archways to better define the space, create a rear to stalls during farmer's market, and provide the framework for a pull-down shade system; (E) Install pull-down shade system, mounted to archway steel; (F) Install high-volume, low-speed (HVLS) ceiling fans for air ventilation; (G) New "Gretna Marketplace" feature signage; (H) Paint existing metal panel ceiling with a bright color to enliven the space; (I) Replace existing pendant lights with new fixtures, matching style of new "acorn" street lighting; (J) Replace roof with new standing seam metal panel system; (K) Repaint existing stucco, add new foam bumpouts at ends to provide more articulation and interest, and replace flashing cap; (L) Remove disused equipment and conduit, replace as needed, and consolidate & organize existing signage; (M) New EV charger location; (N) Add new wall mounted arm light, fixture to match new "acorn" street lighting; (O) Replace interior bulkhead walls with new metal panel



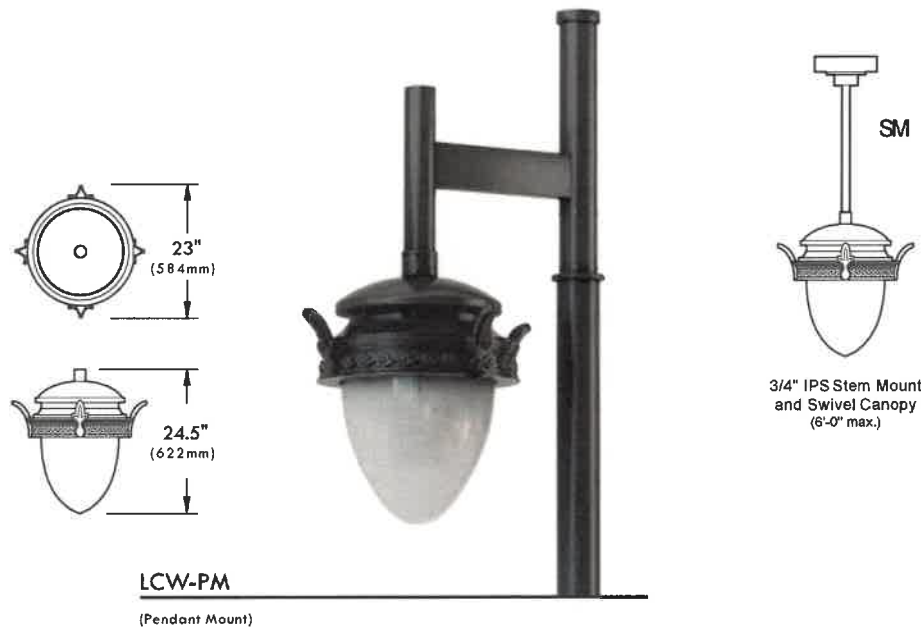




(A) Wrap existing steel columns in new brick with concrete base; (B) Replace existing fascia and soffit with new metal panel to refresh exterior appearance; (C) Extend soffit into the market interior, creating opportunity for integrated down-lighting above vendor booths & speakers for events; (D) Infill column bays with perforated metal panel archways to better define the space, create a rear to stalls during farmer's market, and provide the framework for a pull-down shade system; (E) Install pull-down shade system, mounted to archway steel; (F) Install high-volume, low-speed (HVLS) ceiling fans for air ventilation; (G) New "Gretna Marketplace" feature signage; (H) Paint existing metal panel ceiling with a bright color to enliven the space; (I) Replace existing pendant lights with new fixtures, matching style of new "acorn" street lighting; (J) Replace roof with new standing seam metal panel system; (K) Repaint existing stucco, add new foam bumpouts at ends to provide more articulation and interest, and replace flashing cap; (L) Remove disused equipment and conduit, replace as needed, and consolidate & organize existing signage; (M) New EV charger location; (N) Add new wall mounted arm light, fixture to match new "acorn" street lighting; (O) Replace interior bulkhead walls with new metal panel



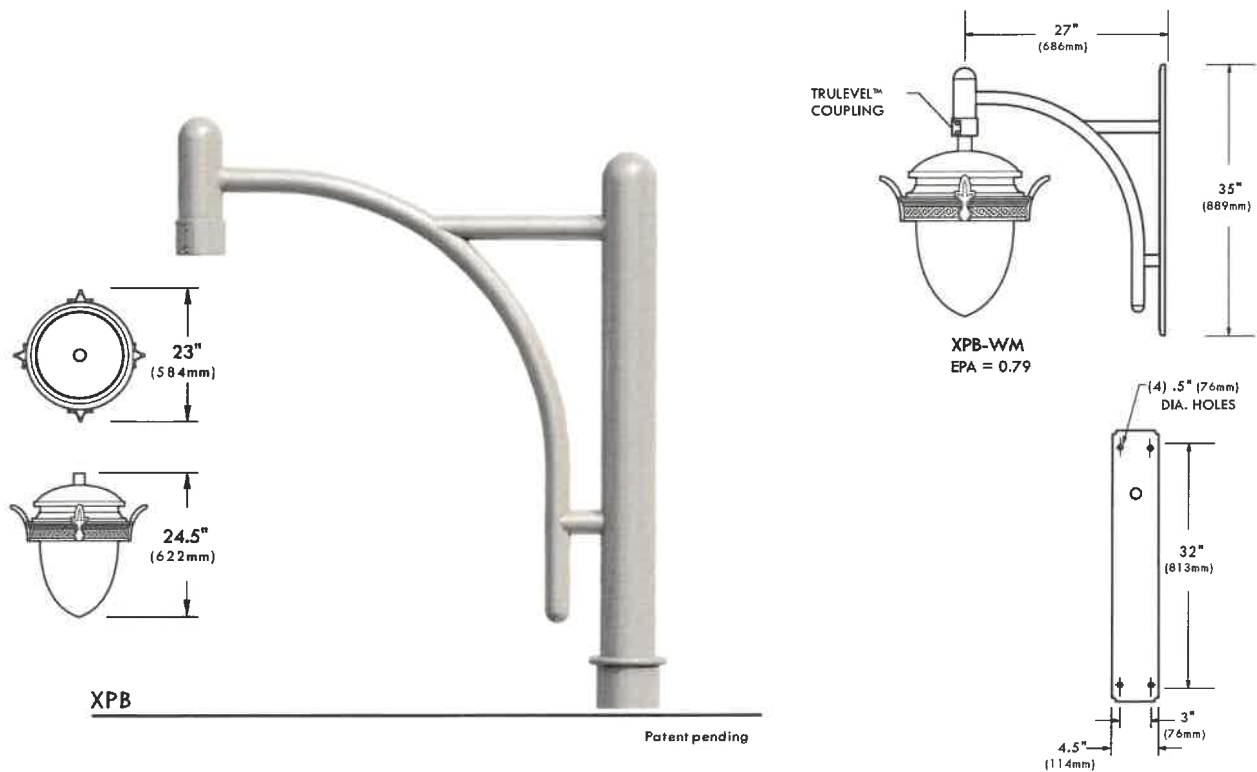
PENDANT: LCW-SM



ORDERING INFORMATION

Luminaire	Optics	# of LED's	Drive Current	CCT	Voltage	Mounting	Finish	Options
Luminaire	Optics				Voltage	Mounting	Finish	Options
<input type="checkbox"/> LCW <input checked="" type="checkbox"/> LCW-PM (Pendant Mount)	Area & Roadway (Clear Patterned Lens) <input type="checkbox"/> PA - II <input type="checkbox"/> PA - III <input type="checkbox"/> PA - IV <input type="checkbox"/> PA - V  General Diffuse (White-Opal Lens) <input type="checkbox"/> PA - SYM	# of LED's <input type="checkbox"/> 48LED <input type="checkbox"/> 32LED	Drive Current <input type="checkbox"/> 175mA <input type="checkbox"/> 350mA <input type="checkbox"/> 525mA <input type="checkbox"/> 700mA	Color Temp-CCT <input type="checkbox"/> 27K (2700K) <input type="checkbox"/> 30K (3000K) <input type="checkbox"/> 40K (4000K) <input type="checkbox"/> 50K (5000K) Consult Factory for Other LEDColor, CCT, & CRIOptions <input type="checkbox"/> TRA True Amber* * TRA Available only in 350mA and 525mA Drive Currents	<input type="checkbox"/> UNV (120-277) <input type="checkbox"/> 347 <input type="checkbox"/> 480	Arm Mount <input type="checkbox"/> 1 <input type="checkbox"/> 2-180 <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-90 <input type="checkbox"/> 3-120 <input type="checkbox"/> 4-90  Wall Mount <input type="checkbox"/> WM  Post Top <input checked="" type="checkbox"/> PT	Standard Textured Finish <input type="checkbox"/> Black RAL-9005-T <input type="checkbox"/> White RAL-9003-T <input type="checkbox"/> Grey RAL-7004-T <input type="checkbox"/> Dark Bronze RAL-8019-T <input checked="" type="checkbox"/> Green RAL-6005-T  Premium Finishes <input type="checkbox"/> Rust <input type="checkbox"/> Patina Copper PC For smooth finish replace suffix "T" with suffix "S" (Example: RAL-9500-S) Consult factory for custom colors	Lens Options: <input type="checkbox"/> Clear Patterned Acrylic CPA <input type="checkbox"/> Opal Patterned Acrylic WPA  <input type="checkbox"/> Stem Mount + Length (in) (EX SM48) SM+L <input type="checkbox"/> Chain Mount + Length (in) (EX CM36) CM+L <input type="checkbox"/> House Side Shield HS <input type="checkbox"/> High-Low Dimming for Switch (BY OTHERS) Select 25/100 Or 50/100 (EX HLSW25) HLSW** <input type="checkbox"/> Pole Mounted Bluetooth Photo/Motion Sensor, (Factory 50/100 Motion Photo 75 fc) MS-F311 <input type="checkbox"/> Mini-Button Photocell + Voltage PC+V <input type="checkbox"/> Std. Twist Lock Photocell Receptacle TPR <input type="checkbox"/> 7 Pin Twist Lock Photocell Receptacle TPR7 <input type="checkbox"/> Single Fuse SF <input type="checkbox"/> Double Fuse DF
	GLASS REFRACTOR (Clear Patterned Lens) <input type="checkbox"/> GRV - III ..... <input type="checkbox"/> GRV - V .....	<input type="checkbox"/> 36LED	<input type="checkbox"/> 175mA <input type="checkbox"/> 350mA <input type="checkbox"/> 525mA					

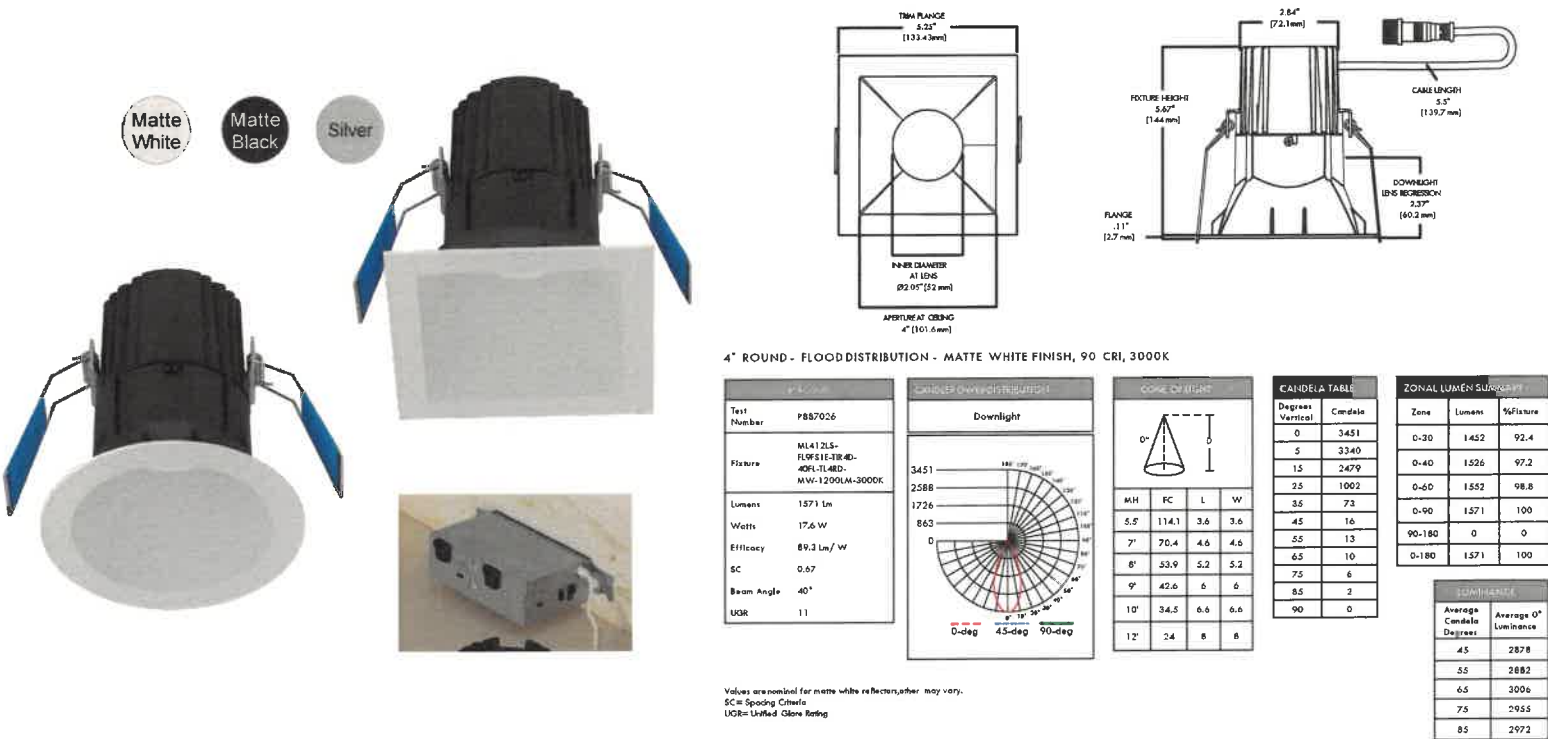
WALL MOUNTED: LCW-WM



ORDERING INFORMATION

Configuration	<input checked="" type="checkbox"/> XPB-WM	<input type="checkbox"/> XPB-1	<input type="checkbox"/> XPB-2-180	<input type="checkbox"/> XPB-3-180	<input type="checkbox"/> XPB-3-120	<input type="checkbox"/> XPB-4-90	XPB-4-120	XPB-5-90
Finish*	<input type="checkbox"/> Black RAL-9005-T <input checked="" type="checkbox"/> White RAL-9003-T <input type="checkbox"/> Grey RAL-7004-T <input type="checkbox"/> Dark Bronze RAL-8019-T <input checked="" type="checkbox"/> Green RAL-6005-T	*Standard texture finish For smooth finish replace suffix "T" with suffix "S" (Example: RAL-9005-S) Consult factory for custom colors						

4" RECESSED DOWNLIGHT: HALO FLEX



Order Information

Stock: 4" ML Flex Downlights

Stock ML Flex fixtures come fully assembled and include the LEDlight engine, 40° TIRoptic, removable clear lens, remote driver / junction box, and interchangeable trim.

Optional new construction mounting frames, flushmount mud-in rings (coming soon), interchangeable TIRoptics, and driver-to-light engine extension cables are also available.

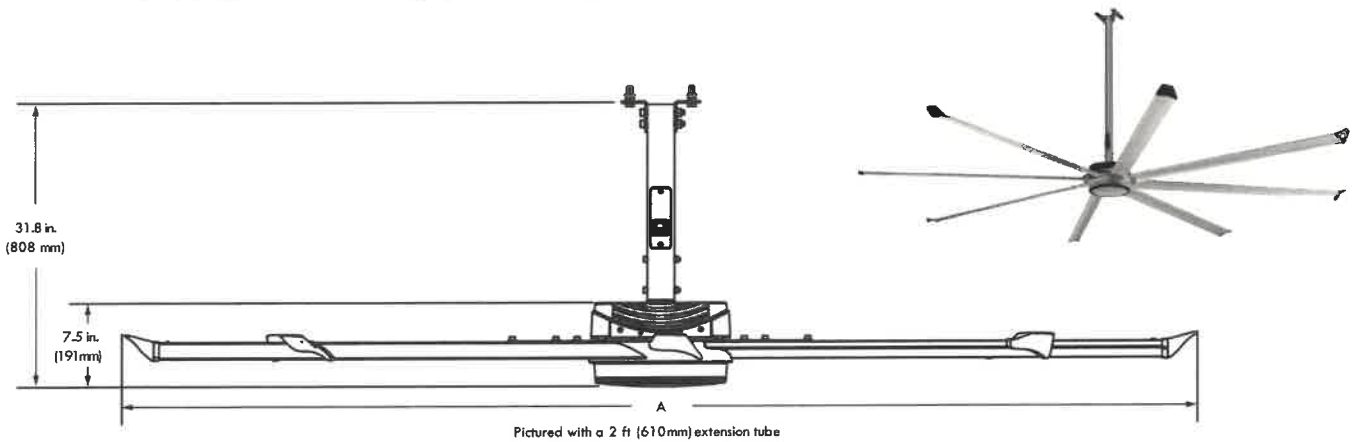
Phase Cut LE/TEDimming, 120V Input

Catalog Number	Description	Lumens (nominal)	CRI / CCT	Dimming / Driver	Trim Finish	TIR Optic
ML4LSF51ERMB	4" Round Smooth LED Canless Downlight	Lumen Selectable 600/900/1200 lm	90+ CRI, 5-color Field-SeleCCTable™ CCT: 2700/3000/3500/4000/5000K	≤5%Phase Cut LE/TEDimming, 120V 60Hz	Matte Black	40°
ML4LSF51ERMW	4" Round Smooth LED Canless Downlight	Lumen Selectable 600/900/1200 lm	90+ CRI, 5-color Field-SeleCCTable™ CCT: 2700/3000/3500/4000/5000K	≤5%Phase Cut LE/TEDimming, 120V 60Hz	Matte White	40°
ML4LSF51ESMB	4" Square Smooth LED Canless Downlight	Lumen Selectable 600/900/1200 lm	90+ CRI, 5-color Field-SeleCCTable™ CCT: 2700/3000/3500/4000/5000K	≤5%Phase Cut LE/TEDimming, 120V 60Hz	Matte Black	40°
ML4LSD2W1ERMB	4" Round Smooth LED Canless Downlight	600 lm	90+ CRI, Field-SeleCCTable™ Dim-to-Warm 3000-to-1800K or 2700-1800K	≤5%Phase Cut LE/TEDimming, 120V 60Hz	Matte Black	40°
ML4LSD2W1ESMB	4" Square Smooth LED Canless Downlight	600 lm	90+ CRI, Field-SeleCCTable™ Dim-to-Warm 3000-to-1800K or 2700-1800K	≤5%Phase Cut LE/TEDimming, 120V 60Hz	Matte Black	40°
ML4LSD2W1ESMW	4" Square Smooth LED Canless Downlight	600 lm	90+ CRI, Field-SeleCCTable™ Dim-to-Warm 3000-to-1800K or 2700-1800K	≤5%Phase Cut LE/TEDimming, 120V 60Hz	Matte White	40°



Compliance with California Title 24 High Efficiency requirements.  
Certified to California Appliance Efficiency Database under JAB.

HVLS CEILING FAN: F-ES2



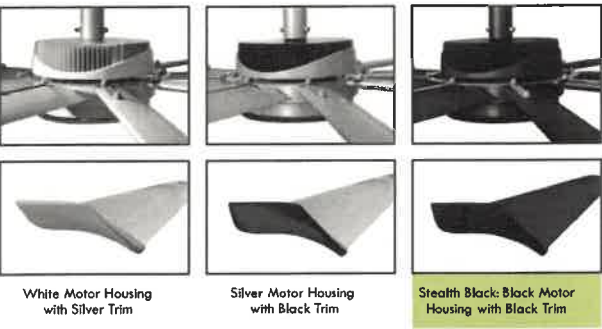
Technical Specifications

Diameter (A)	Weight <sup>1</sup>	Max Speed	Input Power and Required Breaker	Airfoil Clearances <sup>2</sup>	Sound at Max Speed <sup>3</sup>	IP Rating	Max Operating Temperature	Environment <sup>4</sup>
8 ft (2.4 m)	75 lb (34 kg)	158 RPM	110-125 VAC, 1Φ, 50/60 Hz, 10 A	2 ft (0.6 m) on sides	< 35 dBA	IP43	-4°F to 131°F (-20°C to 55°C)	Suitable for indoor or outdoor spaces
10 ft (3 m)	81 lb (37 kg)	107 RPM	200-240 VAC, 1Φ, 50/60 Hz, 10 A	2 ft (0.6 m) below ceiling deck				
12 ft (3.7 m)	88 lb (40 kg)	76 RPM						
14 ft (4.3 m)	96 lb (44 kg)	56 RPM						

Construction Features

Airfoils	Motor and Drive	Certifications <sup>5</sup>	Mounting	Accessories	Colors
Eight anodized Mini-Ellipto airfoils with winglets (black or silver)	Gearless direct drive motor	 UL Standard 507 and CSA Standard 22.2 No. 113	Standard upper mount installs to bar joists Optional kits allow for mounting to I-beams, solid beams, and purlins	LED Light Wireless Wall Controller	Standard color options: White motor housing with silver trim, airfoils, and winglets Silver motor housing and airfoils with black trim and winglets Stealth Black Black motor housing, trim, airfoils, and winglets Individualize your fan with one of our classic color upgrades, or work with our design consultants to create a shade that's all your own.

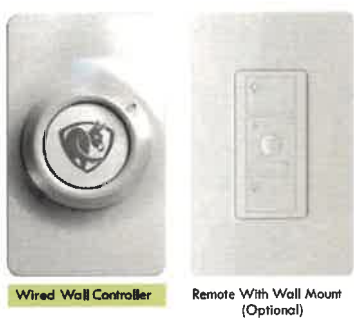
Standard Color Options



LED Light (Optional)



Control Options



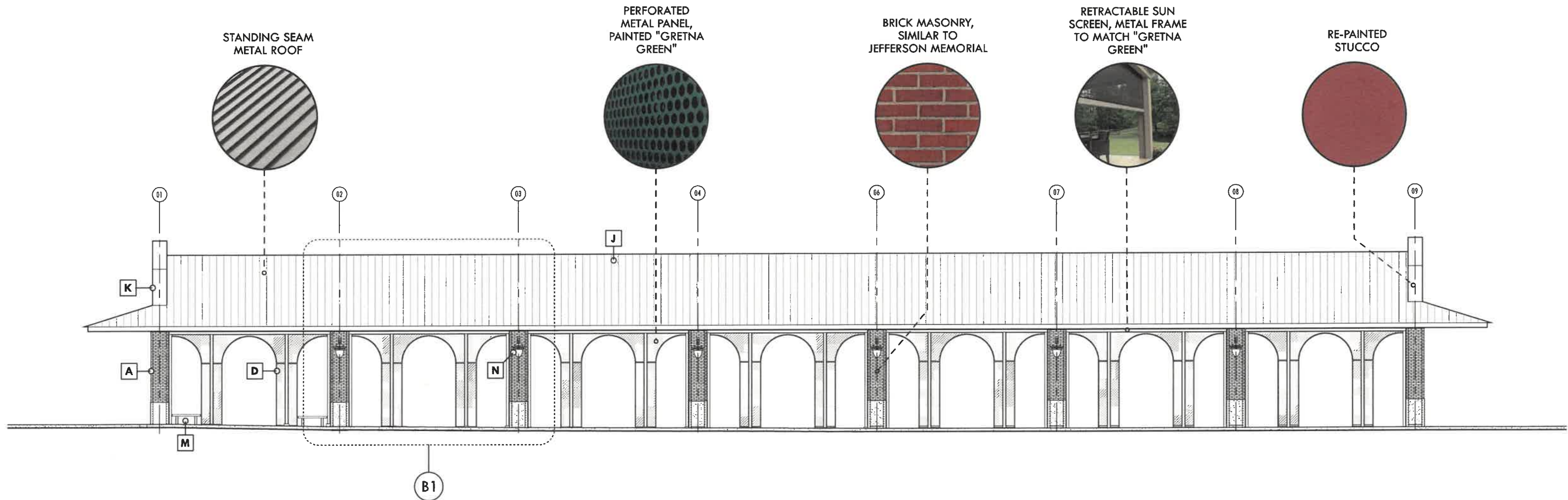
<sup>1</sup>Weight does not include mount or extension tube.  
<sup>2</sup>Suitable for ceiling installation - at 12 ft (3.7 m) measure the distance from the tip of the winglet to the ceiling or major obstruction.  
<sup>3</sup>Measured sound tested at maximum speed in laboratory environment. Actual results in field conditions may vary due to sound reflecting surfaces and environmental conditions.  
<sup>4</sup>Suitable for use in wet locations when installed in a GFCI-protected branch circuit. Not suitable for salt air environments.  
<sup>5</sup>Certification listed here applies to the fan and does not include accessories.



# GREटना MARKETPLACE

GREटना MARKETPLACE | ELEVATION A / VIEW FROM 3RD STREET

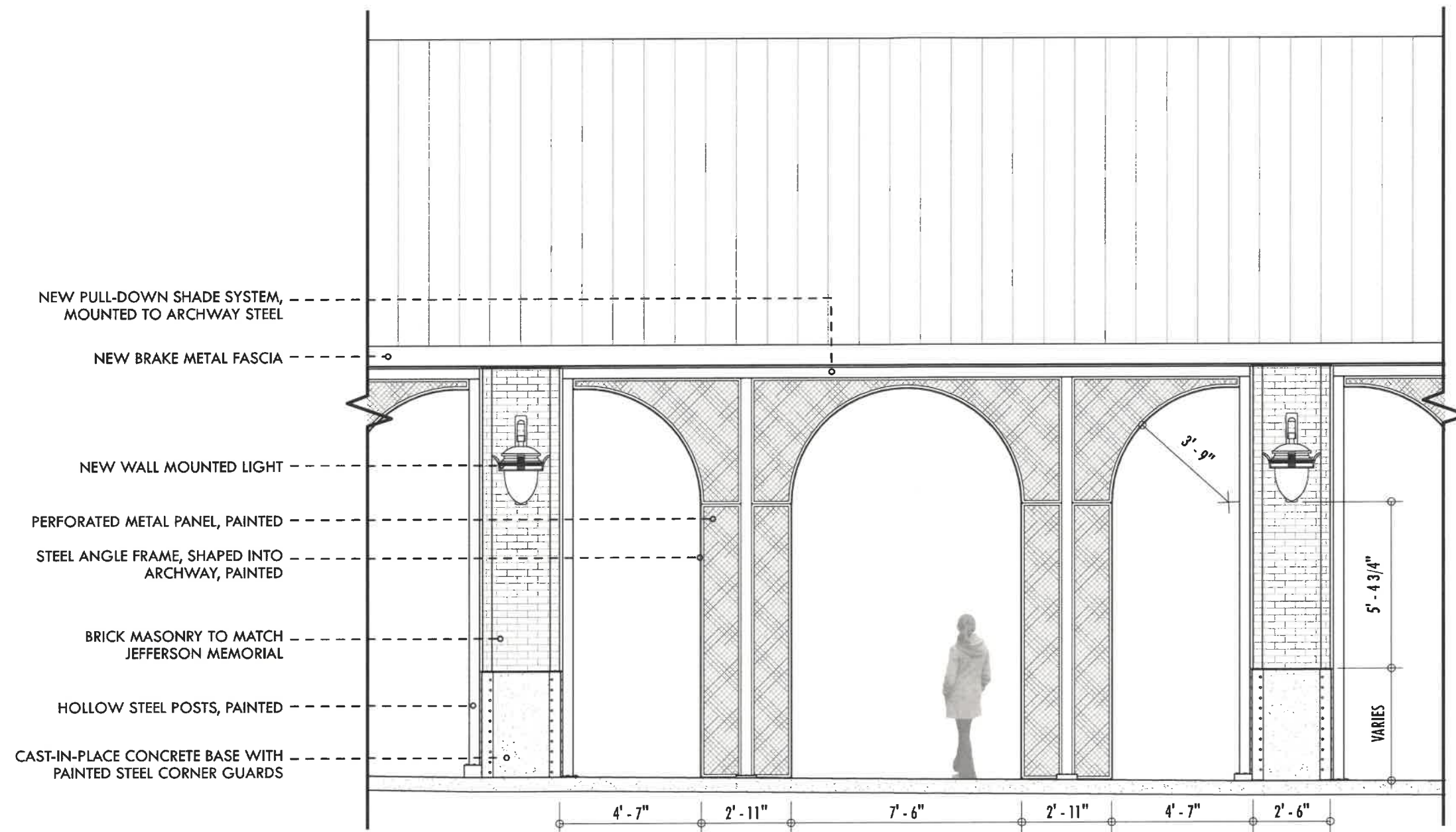




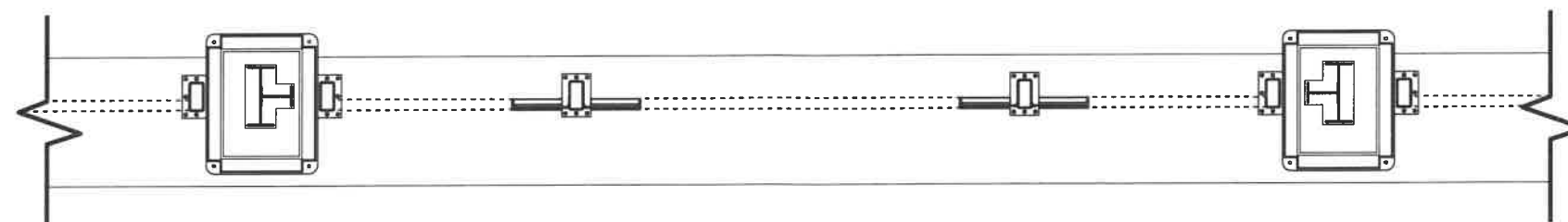
(A) Wrap existing steel columns in new brick with concrete base; (B) Replace existing fascia and soffit with new metal panel to refresh exterior appearance; (C) Extend soffit into the market interior, creating opportunity for integrated down-lighting above vendor booths & speakers for events; (D) Infill column bays with perforated metal panel archways to better define the space, create a rear to stalls during farmer's market, and provide the framework for a pull-down shade system; (E) Install pull-down shade system, mounted to archway steel; (F) Install high-volume, low-speed (HVLS) ceiling fans for air ventilation; (G) New "Gretna Marketplace" feature signage; (H) Paint existing metal panel ceiling with a bright color to enliven the space; (I) Replace existing pendant lights with new fixtures, matching style of new "acorn" street lighting; (J) Replace roof with new standing seam metal panel system; (K) Repaint existing stucco, add new foam bumpouts at ends to provide more articulation and interest, and replace flashing cap; (L) Remove disused equipment and conduit, replace as needed, and consolidate & organize existing signage; (M) New EV charger location; (N) Add new wall mounted arm light, fixture to match new "acorn" street lighting; (O) Replace interior bulkhead walls with new metal panel

0' 4' 8' 20'

GRETN A MARKETPLACE | ELEVATION B



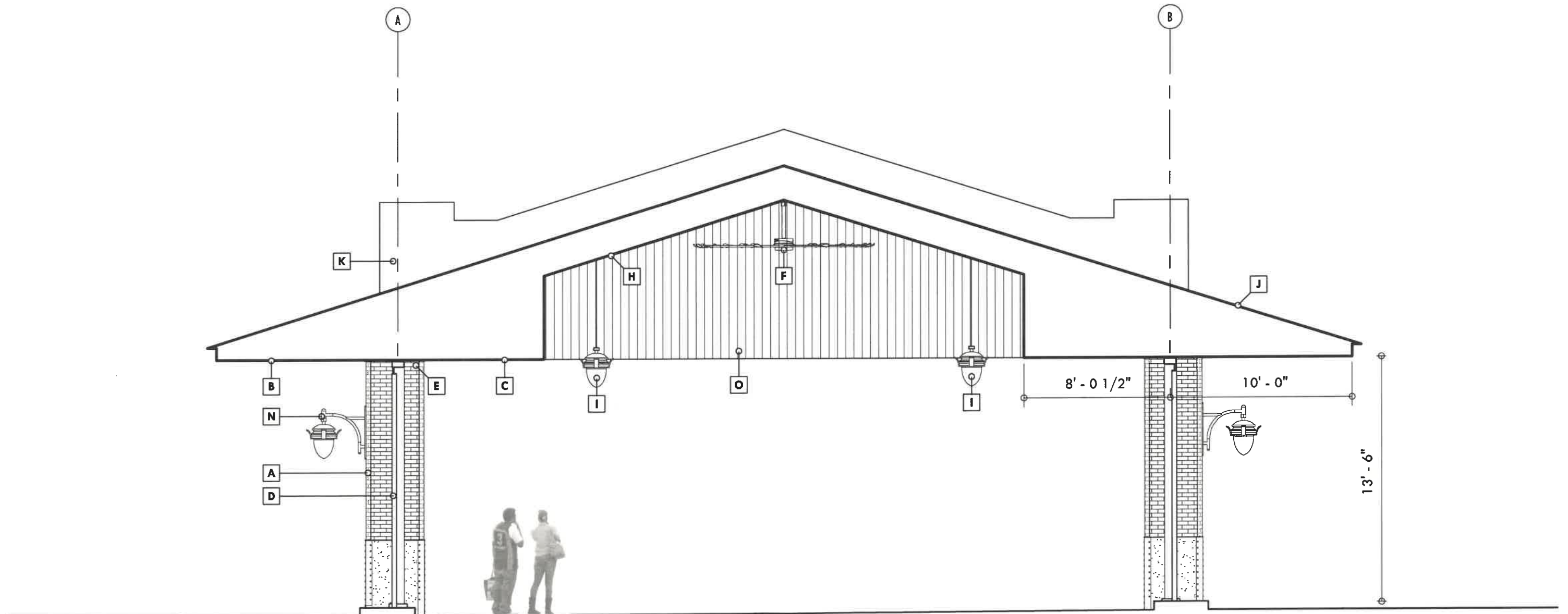
B1. ENLARGED ELEVATION



B2. ENLARGED PLAN







(A) Wrap existing steel columns in new brick with concrete base; (B) Replace existing fascia and soffit with new metal panel to refresh exterior appearance; (C) Extend soffit into the market interior, creating opportunity for integrated down-lighting above vendor booths & speakers for events; (D) Infill column bays with perforated metal panel archways to better define the space, create a rear to stalls during farmer's market, and provide the framework for a pull-down shade system; (E) Install pull-down shade system, mounted to archway steel; (F) Install high-volume, low-speed (HVLS) ceiling fans for air ventilation; (G) New "Gretna Marketplace" feature signage; (H) Paint existing metal panel ceiling with a bright color to enliven the space; (I) Replace existing pendant lights with new fixtures, matching style of new "acorn" street lighting; (J) Replace roof with new standing seam metal panel system; (K) Repaint existing stucco, add new foam bumpouts at ends to provide more articulation and interest, and replace flashing cap; (L) Remove disused equipment and conduit, replace as needed, and consolidate & organize existing signage; (M) New EV charger location; (N) Add new wall mounted arm light, fixture to match new "acorn" street lighting; (O) Replace interior bulkhead walls with new metal panel

0' 1' 2' 5'

**GRETTA MARKETPLACE | CROSS SECTION**



# GOAT



GRETNA MARKETPLACE | VIEW FROM HUEY P. LONG AVENUE